

NORTH ELEVATION 1/8" = 1'-0"

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14th LANE
3588044

CHAMPLAIN TOWERS SOUTH
8777 COLLINS AVE.

A-135 UNIT CONDOMINIUM

COMM. No. DATE: SHEET

REVISED: 9 OF

PLUMBING NOTES

1. ALL PLUMBING SHALL BE DONE IN ACCORDANCE WITH STATE AND LOCAL CODES AND ORDINANCES, AND UTILITY COMPANIES SPECIFICATIONS AND REQUIREMENTS.
2. PLUMBING CONTRACTOR SHALL PAY ALL FEES, INSPECTION AND CONNECTION CHARGES REQUIRED.
3. PLUMBING CONTRACTOR SHALL VERIFY ALL SPACE CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO FABRICATION AND INSTALLATION OF MATERIALS AND EQUIPMENT.
4. COORDINATE WORK WITH OTHER TRADES.
5. SUBMIT SHOP DRAWINGS TO ENGINEER FOR APPROVAL OF ALL EQUIPMENT, MATERIALS AND LAYOUTS PRIOR TO INSTALLATION.
6. PLUMBING CONTRACTOR SHALL GUARANTEE ALL WORK FREE OF DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE.
7. PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL A/C CONDENSATE DRAIN AND TRAP. SEE A/C PLANS FOR LOCATIONS OF UNITS AND DRAINS.
8. EACH BATHROOM AND FIXTURE GROUP SHALL BE PROVIDED WITH AIR CHAMBERS.
9. PROVIDE SHUT-OFF VALVE FOR EACH FIXTURE.
10. WHEREVER DISSIMILAR METALS ARE TO BE JOINED, A DIELECTRIC FITTING SHALL BE PROVIDED TO CONNECT BOTH TYPES OF PIPES.
11. FURNISH AND INSTALL BATHROOM FIXTURES AS SPECIFIED.

12. PIPING:

A) WATER LINES:

1. UNDERGROUND
ALL PIPING 4" AND LARGER SHALL BE CEMENT MORTAR LINED DUCTILE IRON PIPE CLASS 150, WITH HOT COAL TAR DIPPED EXTERIOR.
ALL PIPING 3" AND SMALLER SHALL BE TYPE "L" COPPER. ALL COPPER LINES SHALL BE JOINED WITH 95/5 SOLDER.
2. ABOVE GROUND
ALL COLD & HOT WATER PIPING SHALL BE TYPE "L" COPPER WITH CAST OR WROUGHT COPPER FITTINGS. ALL COPPER LINES SHALL BE JOINED WITH 95/5 SOLDER.
COLD AND HOT WATER PIPING IN SLAB SHALL BE TYPE "L" SOFT COPPER IN POLY-ETHYLENE CONDUIT. NO PIPE JOINTS ALLOWED INSIDE OF SLAB.
3. VALVES 4" AND SMALLER SHALL BE ALL BRASS AS MANUFACTURED BY NIBCO OR APPROVED EQUAL. VALVES 5" AND LARGER SHALL BE CAST IRON BODY WITH BRASS TRIM CRANE, STOCKHAM OR APPROVED EQUAL.

B) SANITARY LINES:

1. UNDERGROUND
ALL PIPES UNDER BUILDING, 2 1/2" AND SMALLER SHALL BE TYPE "L" COPPER SANITARY PIPE AND FITTING.
ALL PIPES UNDER BUILDING, 3", 4" OR 5" SHALL BE NO-HUB CAST IRON PIPE AND FITTINGS.
ALL PIPES UNDER BUILDING, 6" AND LARGER SHALL BE CAST IRON, NEOPRENE RUBBER GASKETED HUB AND SPIGOT SOIL PIPE AND FITTINGS.
ALL PIPES OUTSIDE OF BUILDING SHALL BE SAME AS DESCRIBED ON ABOVE ITEMS, EXCEPT PIPES 6" AND LARGER CAN BE VITRIFIED CLAY PIPE.
2. ABOVE GROUND
ALL PIPING SHALL BE NO-HUB CAST IRON PIPE AND FITTINGS. FIXTURE ARMS SHALL BE TYPE DWV COPPER. FIXTURE ARMS EXPOSED TO VIEW SHALL BE CHROME PLATED BRASS, WITH ESCUTCHEON PLATE AT WALL.

C. STORM LINES

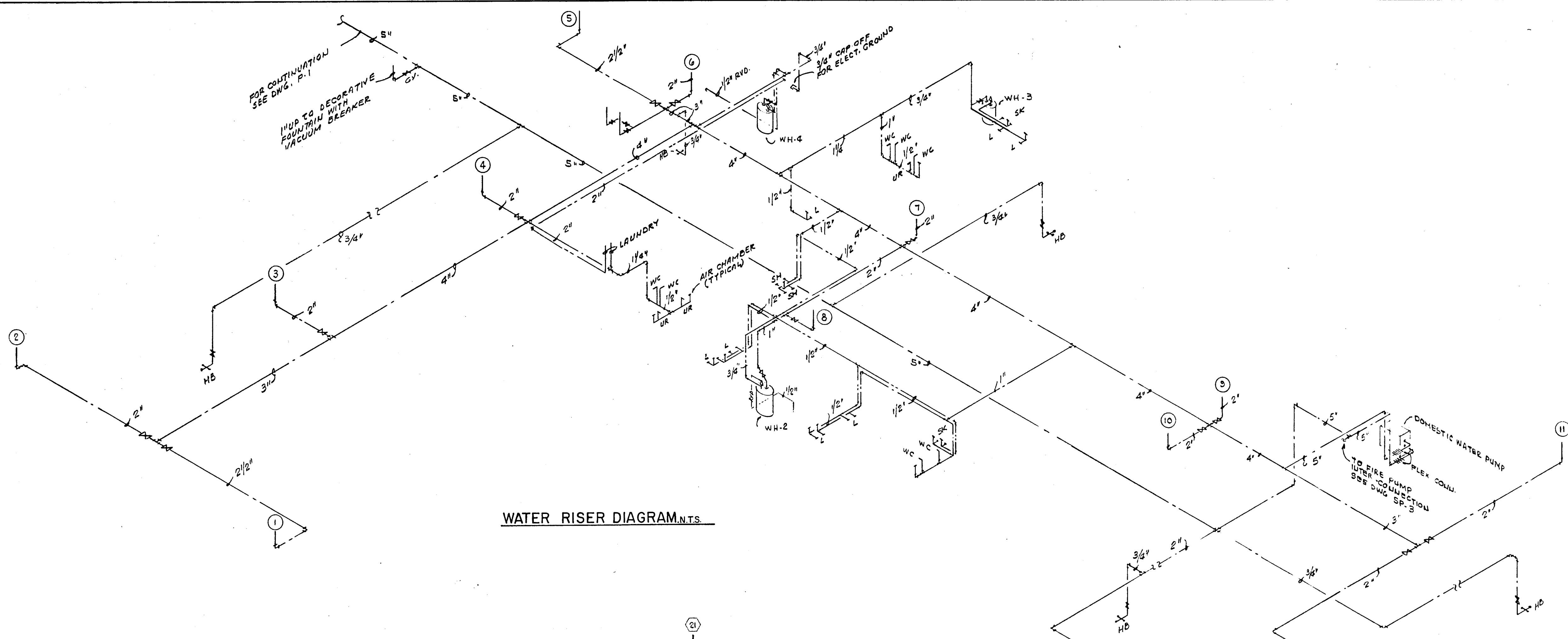
1. UNDERGROUND
ALL PIPING, INSIDE OF BUILDING, 5" AND SMALLER SHALL BE NO-HUB CAST IRON PIPE AND FITTINGS.
ALL PIPING 6" AND LARGER, UNDER BUILDING, SHALL BE CAST IRON, NEOPRENE RUBBER GASKETED HUB AND SPIGOT SOIL PIPE AND FITTINGS.
ALL PIPING OUTSIDE OF BUILDING 5" AND SMALLER SHALL BE NO-HUB CAST IRON PIPE AND FITTINGS.
ALL PIPING OUTSIDE OF BUILDING, 6", 8" AND 10" SHALL BE NEOPRENE RUBBER GASKETED HUB AND SPIGOT PIPE AND FITTINGS.
ALL PIPING OUTSIDE OF BUILDING 12" AND LARGER SHALL BE CONCRETE PIPE AND FITTINGS OR CORRUGATED HELICAL ALUMINUM PIPE AND FITTINGS.
2. ABOVE GROUND
ALL PIPING SHALL BE NO-HUB CAST IRON PIPE AND FITTINGS.

D. CONDENSATE LINES

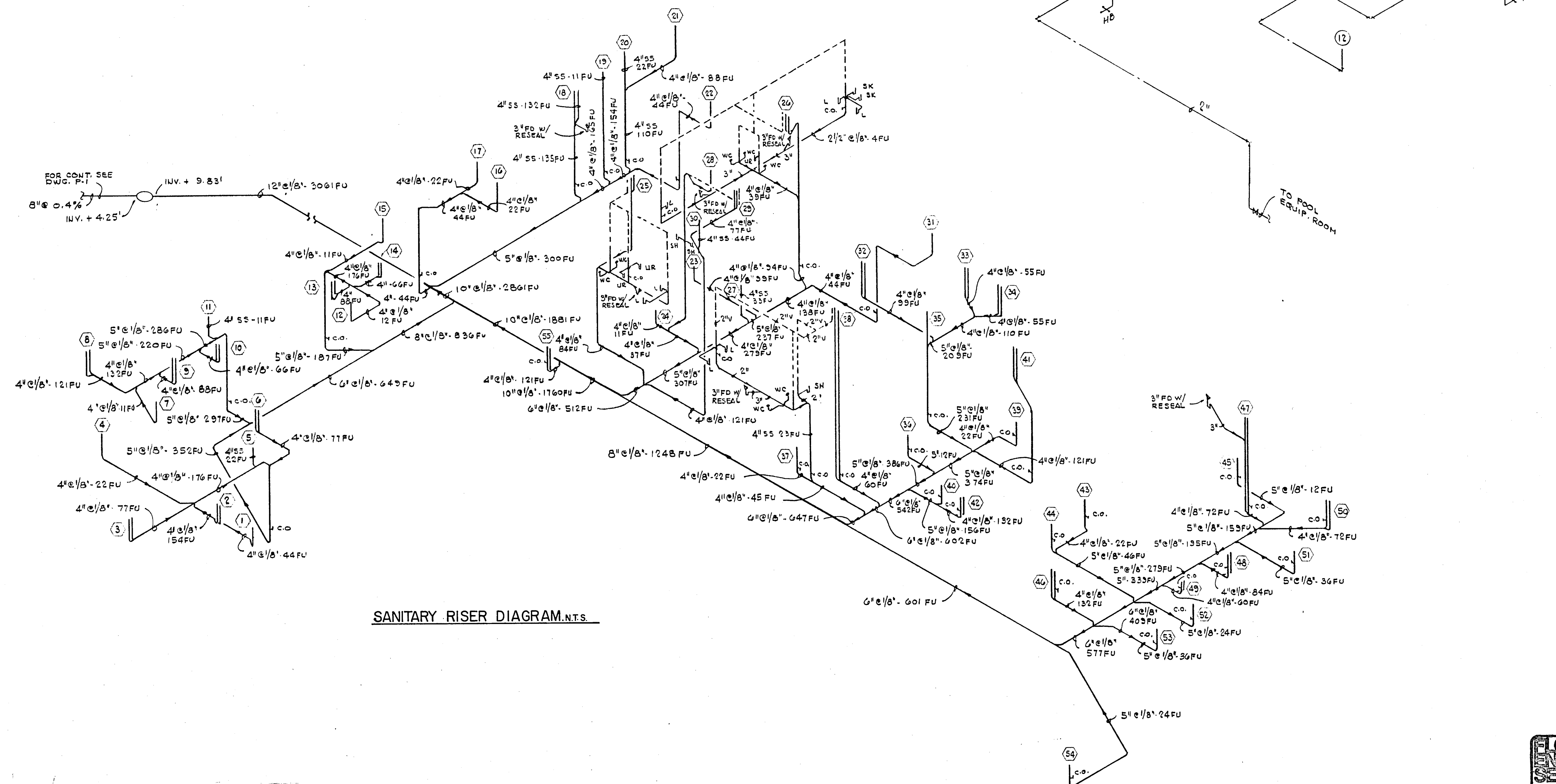
- SHALL BE SCHEDULE 40 PVC PIPE AND FITTINGS. INSTALL ALL VERTICAL RISERS WITHIN BUILDING, INSIDE OF PARTITION.

E. RELIEF VALVE LINES

- ALL BOILER AND/OR WATER HEATER PRESSURE AND TEMPERATURE RELIEF LINES SHALL BE TYPE "L" COPPER PIPE AND FITTINGS.



WATER RISER DIAGRAM.N.T.S.



SANITARY RISER DIAGRAM.N.T.S.

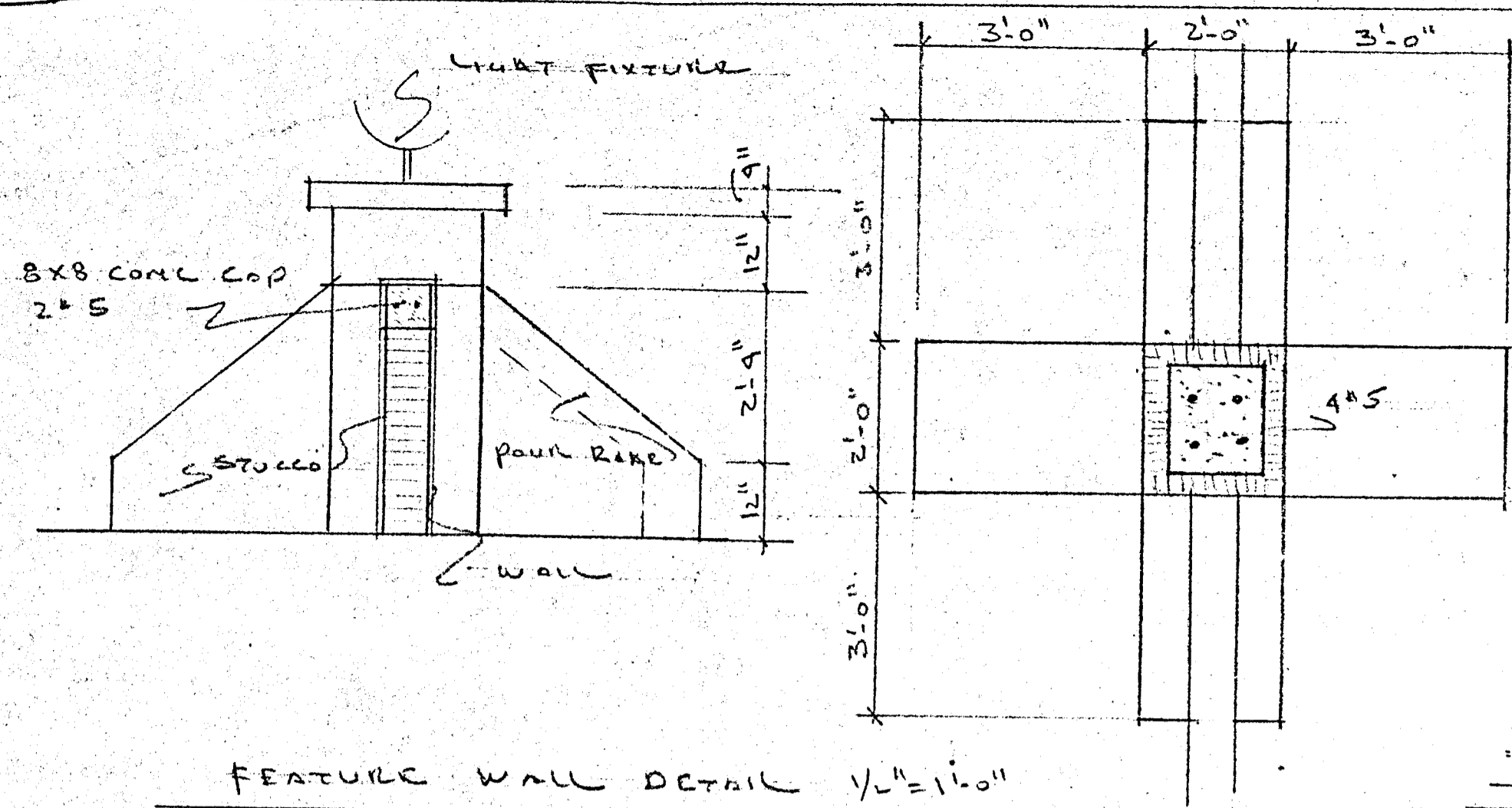
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CHAMPLAIN TOWERS SOUTH
A- 135 UNIT CONDOMINIUM

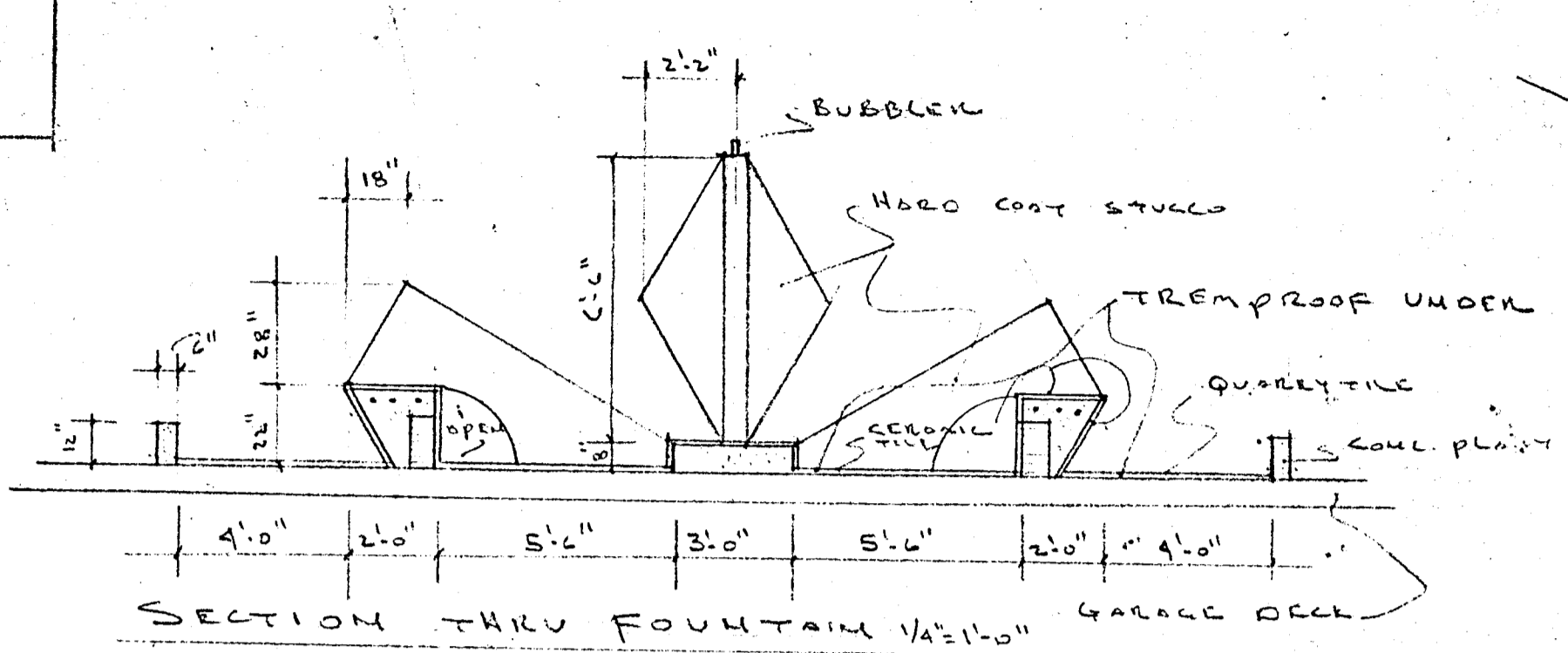
COMM. No. DATE: 8-13-79 SHEET No. 11 of 11 SHEETS

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352 NE 167 STREET
MIAMI, FLA. 33132 245-4743

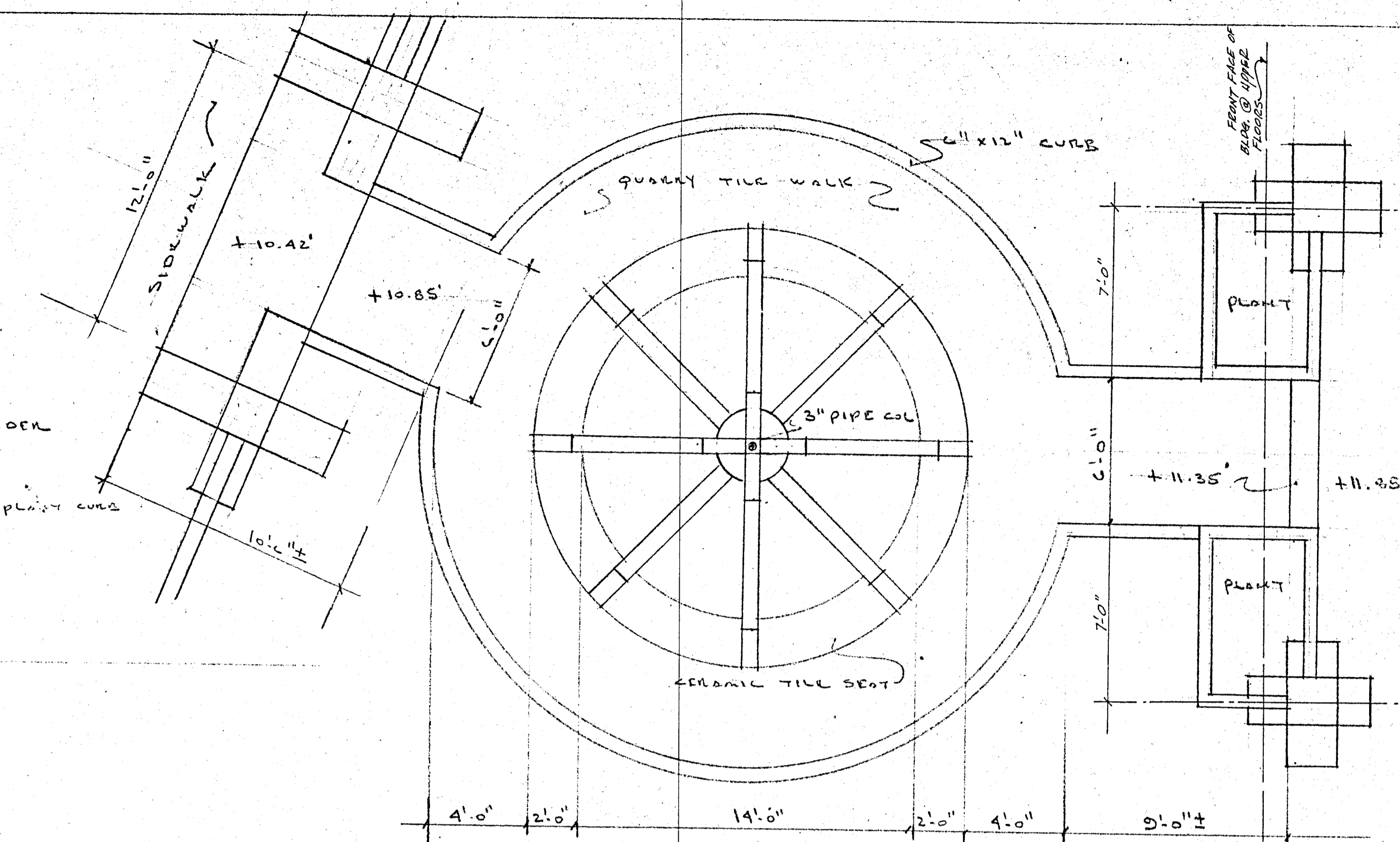
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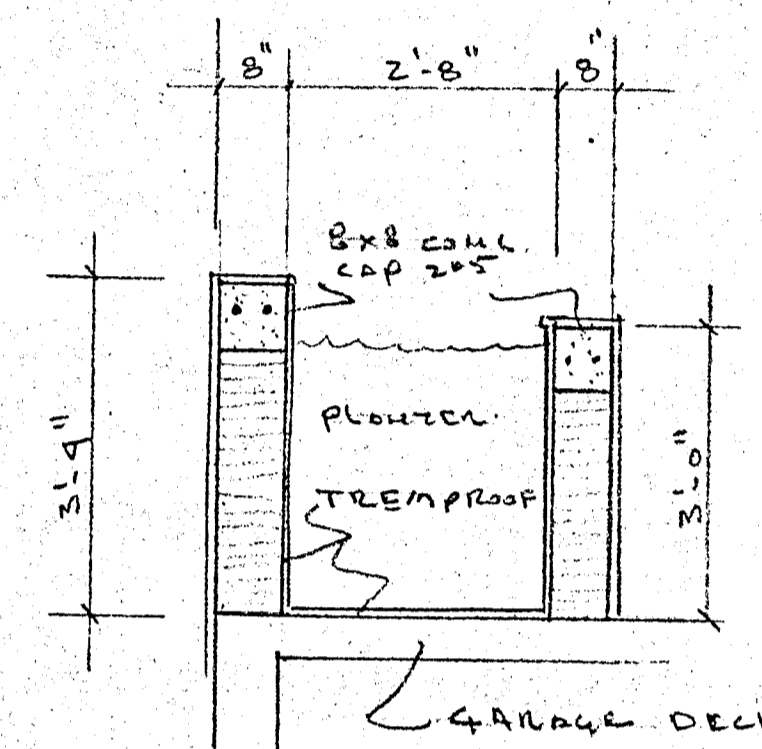
FEATURE WALL DETAIL 1/2"=1'-0"



SECTION THRU FOUNTAIN 1/2"=1'-0"

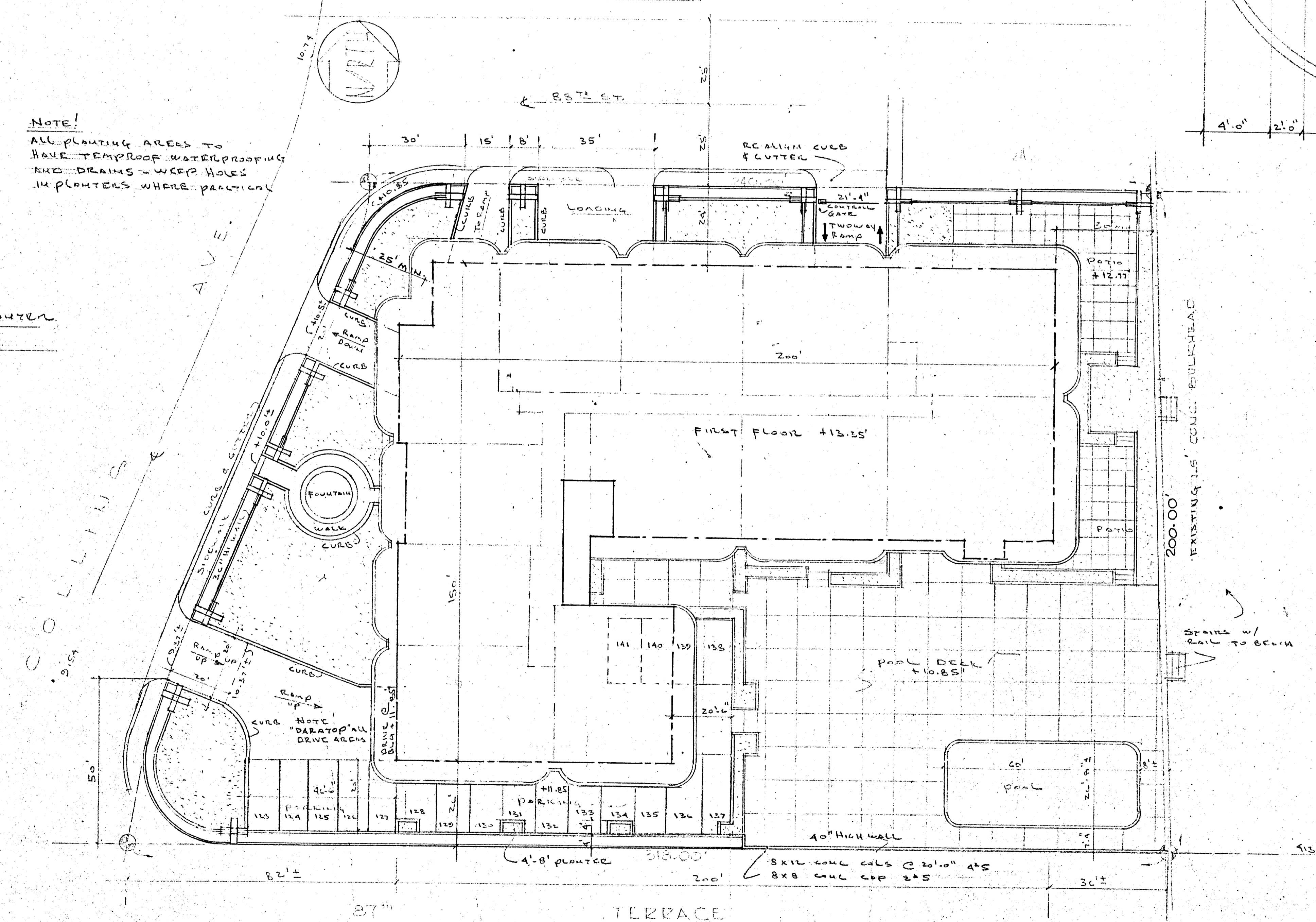


FOUNTAIN PLAN 1/4"=1'-0"

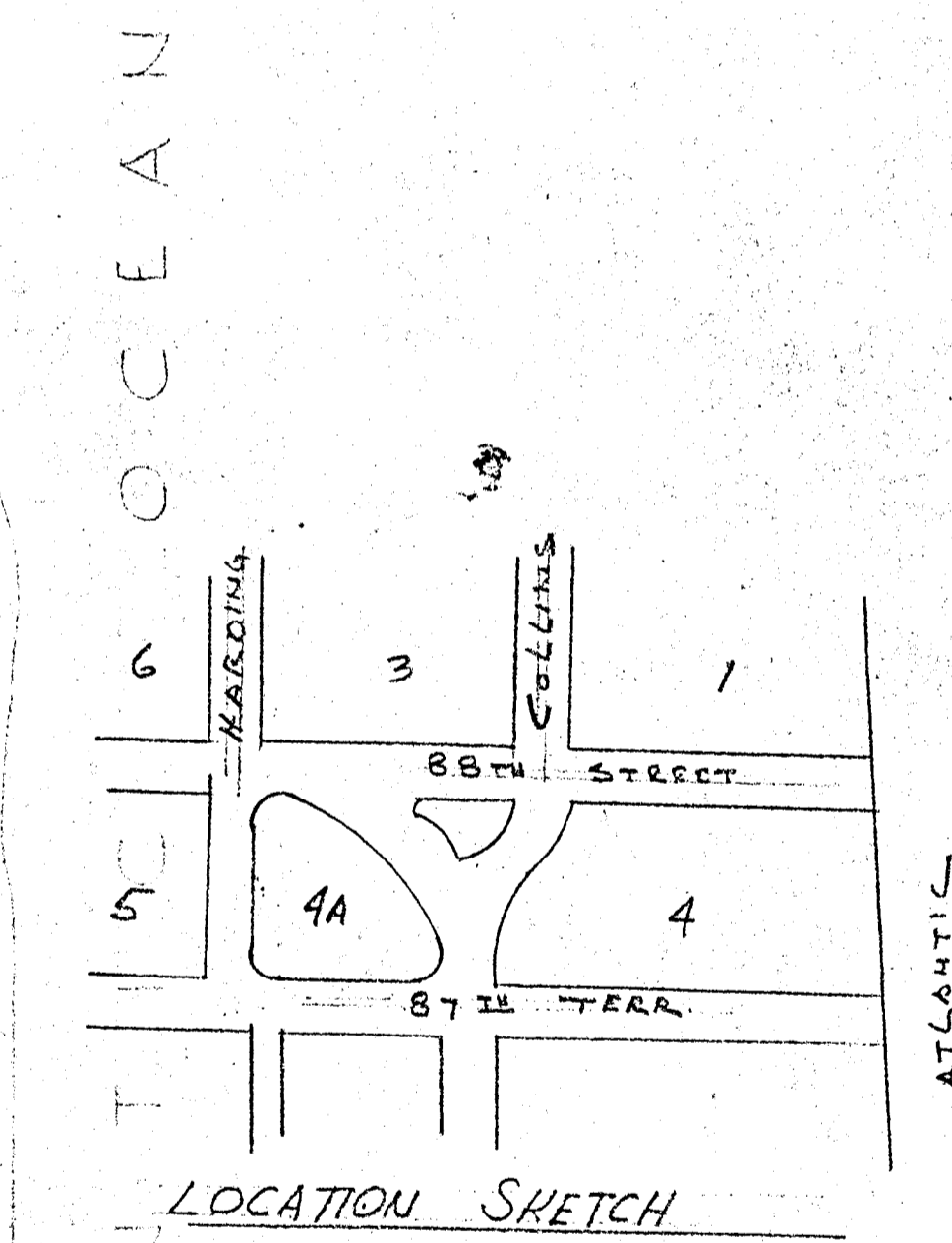


SECTION THRU 4x8 PLANTER 1/2"=1'-0"

NOTE!
ALL PLANTING AREAS TO HAVE TREMPROOF, WATERPROOFING AND DRAINS - WEEP HOLES IN PLANTERS WHERE PRACTICAL



SITE PLAN @ 1/4"=20'



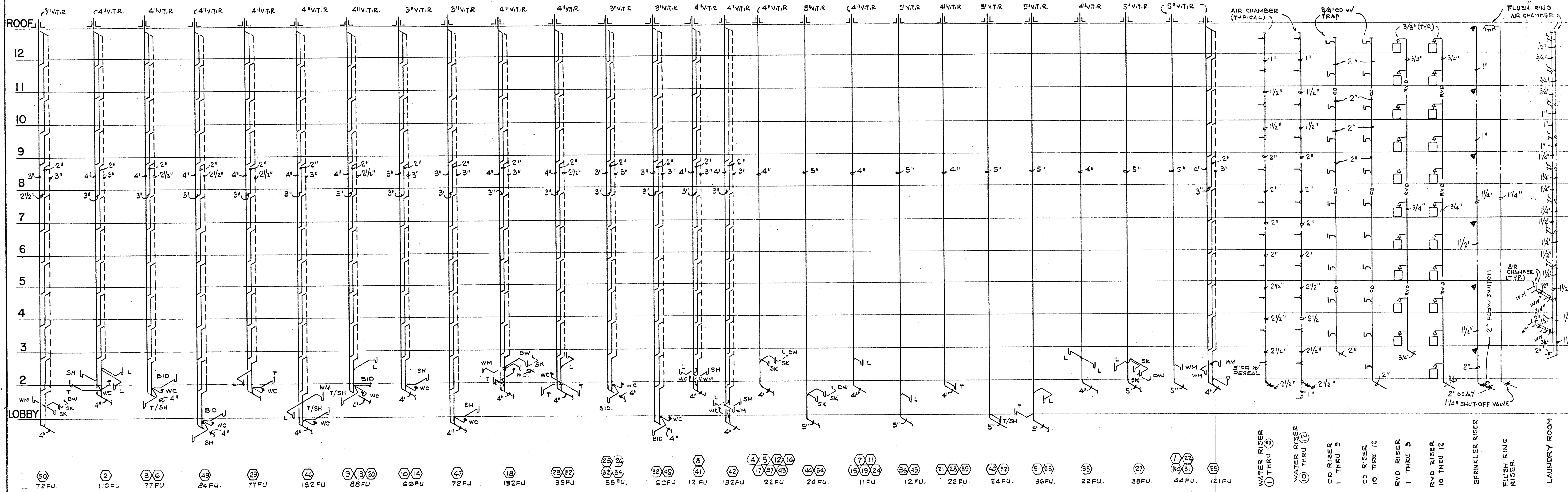
LOCATION SKETCH

LEGAL
BLOCK 4
2ND AMENDED PLAT OF
NORMANDY BEACH
SUPERIOR, DADE CO., FLA.

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8777 COLLINS AVE.
A 135 UNIT CONDOMINIUM

COMM. No.	DATE:	SHEET
	REVISED:	6 OF 30



SANITARY RISER DIAGRAM

- APARTMENT PLUMBING FIXTURES AND TRIM
(ALL FIXTURES TO BE WHITE)
- LAVATORY: 0476.028 "AQUALYN" 20" x 17" V.C. - SELF RIMMING 2379.019 "AQUARIAN 11" FAUCET W/AERATOR, POP-UP DRAIN, AND CERAMIC DISC CARTRIDGE. 3" x 12" C.P. SUPPLY PIPES W/STOPS. 1 1/4" C.P. TUBE P-TRAP - 17 GAGE.
 - WATER CLOSET: 2109.056 "ELONGATED CADET" - SIPHON-JET. 5330.063 "CHURCH" CLOSED FRONT SEAT W/COVER. 3" x 12" C.P. SUPPLY PIPES W/STOPS. (2) BOLT CAPS.
 - BATHTUB: 0135.137 (RH) OR 0137.133 (LH) "SALEM" 5'0" ACID RESISTING ENAMELED STEEL RECESSED BATH W/SLIP RESISTANT BOTTOM. 1490.093 AQUARIAN 11 BATH AND SHOWER COMBINATION - DIVERTER SPOUT - CERAMIC DISC CARTRIDGE. 1560.135 MULTI-FLEX DRAIN.
 - ROMAN TUB: FOR SPECIFICATIONS SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.
 - SHOWER: 1490.036 "AQUARIAN 11" SHOWER FITTING - CERAMIC DISC CARTRIDGE WITH SCREWDRIIVER STOPS. 1413.012 SHOWER HEAD, 1444.017 ARM AND ESCUTCHEON PLATE.
ZURN: Z-415 SERIES W/TYP B STRAINER.
PROVIDE 4 LB. LED PAN.
 - KITCHEN SINK: 7017.015 "CUSTOM-LINE DOUBLE BOWL SINK, 32 x 20, 4 HOLE 4200.077 "AQUARIAN 11" SWING SPOUT FAUCET - SWIVEL AERATOR - CERAMIC DISC CARTRIDGE 3" SINK SUPPLIES W/STOPS 1 1/4" S.F. TUBE P-TRAP - 17 GAGE (DISPOSER BY OTHERS NOT PERMITTED!!!)
 - LAUNDRY TRAY: MUSTEE MODEL 18F - FLOOR MOUNTED, 20 GAL. CAPACITY MOULDED STONE WITH DRAIN. TRIM-CHICAGO FAUCET CO., NO. 891 WITH AERATOR AND LEVER HANDLES. 1 1/4" SATIN FINISH P-TRAP, 17 GAGE. 3" SINK SUPPLIES W/STOPS.
 - BIDGET: 5010.103 "LUXETTE" WITH FITTING - WITH CHROME HANDLE FOR WALL MOUNTING - 3324.092.

FIXTURE CONNECTION SCHEDULE					
ITEM	C.W. CONN	H.W. CONN	TRAP SIZE	F.U. COUNT	REMARKS
LAVATORY	1/2"	1/2"	1 1/2"	1	
BATHTUB	1/2"	1/2"	1 1/2"	2	
SHOWER	1/2"	1/2"	2"	2	
WATER CLOSET (TANK)	1/2"	---	3"	4	
KITCHEN SINK	1/2"	1/2"	1 1/2"	2	
WASHING MACHINE	1/2"	1/2"	1 1/2"	4	
HOSE BIB	3/4"	---	---	---	VACUUM BREAK VALVE IN THE VERTICAL
DISHWASHER	---	1/2"	1 1/2"	2	
FLOOR DRAIN	---	---	3 or 4"	3	PROVIDE TRAP RESEALER
URINAL	3/4"	---	2"	4	WALL MOUNTED
WATER CLOSET (FLUSH VALVE)	1"	---	3"	8	
DRINKING FOUNTAIN	3/8"	---	1 1/2"	1	SEE PLANS FOR LOCATIONS

- PUBLIC AREA PLUMBING FIXTURES AND TRIM
(ALL FIXTURES TO BE WHITE)
- PLUMBING FIXTURES - ALL FIXTURES TO BE AMERICAN STANDARD.
- WATER CLOSET: (FOR THE HANDICAPPED) 9468.018 "ELONGATED CADET" - SIPHON JET - 11" TOP STUD
SEAT: HEAVY DUTY SOLID PLASTIC OPEN FRONT SEAT, LESS COVER, WITH STAINLESS STEEL CHECK HINGE.
SLOAN ROYAL 115 FLUSH VALVE
481310-100 BOLT CAPS
 - WATER CLOSET: (REGULAR) 2222.016 "MADERA" SIPHON-JET 11" TOP STUD
SEAT: HEAVY DUTY SOLID PLASTIC OPEN FRONT SEAT, LESS COVER, WITH STAINLESS STEEL CHECK HINGE.
SLOAN ROYAL 110 FLUSH VALVE
481310-100 BOLT CAPS
 - LAVATORY: 0475.028 "AQUALYN" 20 x 17 VITREOUS CHINA SELF RIMMING LAVATORY. 2379.063 AQUARIAN 11 CENTER SET SINGLE HANDLE VALVE WITH AERATOR AND POP-UP DRAIN. 1/2" x 12" C.P. SUPPLY PIPES WITH STOPS 1 1/4" C.P. TUBE P-TRAP - 17 GAGE.
 - URINAL: 6560.015 "TRIMBROOK" WALL HUNG SIPHON JET URINAL SLOAN ROYAL 186-11 FLUSH VALVE.
 - SHOWER: PUBLIC 1490.036 AQUARIAN 11 SHOWER FITTING - CERAMIC DISC CARTRIDGE WITH SCREWDRIIVER STOPS.
 - SERVICE SINK: 7692.049 "LAKEWELL" 22" x 18" AERCI SINK WITH 8379.018 RIM GUARD 8340.242 DOUBLE FAUCET WITH HOSE AND SPOUT, PAIL HOOK, AND VACUUM BREAKER. 7798.176 3" TRAP STANDARD.
 - ELECTRIC WATER COOLER: PUBLIC HALSEY TAYLOR WC-7A-1 WALL HUNG WATER COOLER.
 - FLOOR DRAIN: ZURN MODEL ZN415 - WITH NO HUB FITTING.
 - PLANTER DRAIN: ZURN ZB114C WITH SUMP-RECEIVER AND PERFORATED OVERFLOW. - SEE ARCHITECTURAL PLANS FOR LENGTH OF OVERFLOW REQUIRED.
 - ROOF DRAIN: ZURN MODEL Z-113 WITH LEAD FLASHING AROUND DRAIN
 - POOL EQUIPMENT ROOM: ZURN ZB-520-Y WITH Z-1099 BWV WITH PRIMING CONNECTION.
 - PUMP ROOM DRAIN: ZURN Z-550-Y WITH PRIMING CONNECTION
 - TRASH ROOM: ZURN Z-451 WITH Z-1099 BWV WITH PRIMING CONNECTION.
 - TRENCH DRAIN: ZURN ZN-666.
 - POOL AND LOBBY LEVEL DECK: ZURN ZN-415 WITH 10" TYPE "Y" TOP.
 - PARKING DECK DRAIN: ZURN Z-150 WITH 14" TOP.

PUMP SCHEDULE	
PUMP NUMBER	P-1
APPLICATION	DOMESTIC BOOSTER
LOCATION	LOBBY EQUIP. ROOM
G.P.M.	90+180+180
T.D.H. (IN FT. WATER)	110
H.P.	5+10+10
R.P.M.	1750
EFFICIENCY	59.5 + 71.5 + 71.5
VOLTAGE	208-3-60
MOTOR TYPE	O.D.P.
PUMP TYPE	HORIZONTAL END SUCTION
MANUFACTURER	SYNCRON-FLOW
MODEL	450ES48P
SIZE	1-1P; 2-1Q
CONSTRUCTION	CAST IRON BRONZE FITTED
SEAL	MECHANICAL
OPERATING WEIGHT - LBS.	2000
INERTIA BLOCK SIZE	A, B, C, D, E
ACCESSORIES	
A. SPRING ISOLATORS	
B. HIGH - LOW PRESSURE CUT-OFF	
C. ELECTRICAL ALTERNATION	
D. COPPER PIPING	
E. PIPE ISOLATORS	

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138 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS SOUTH

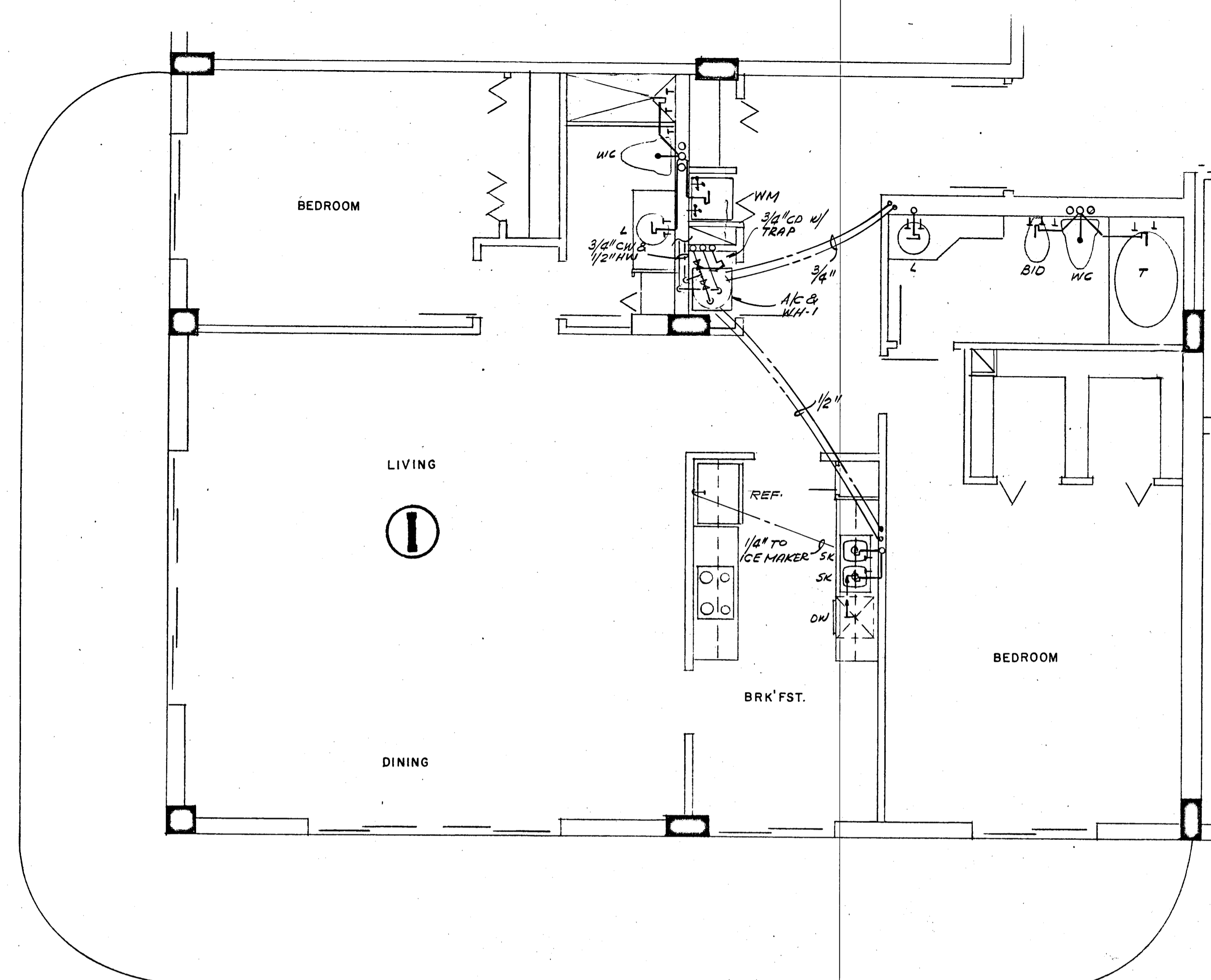
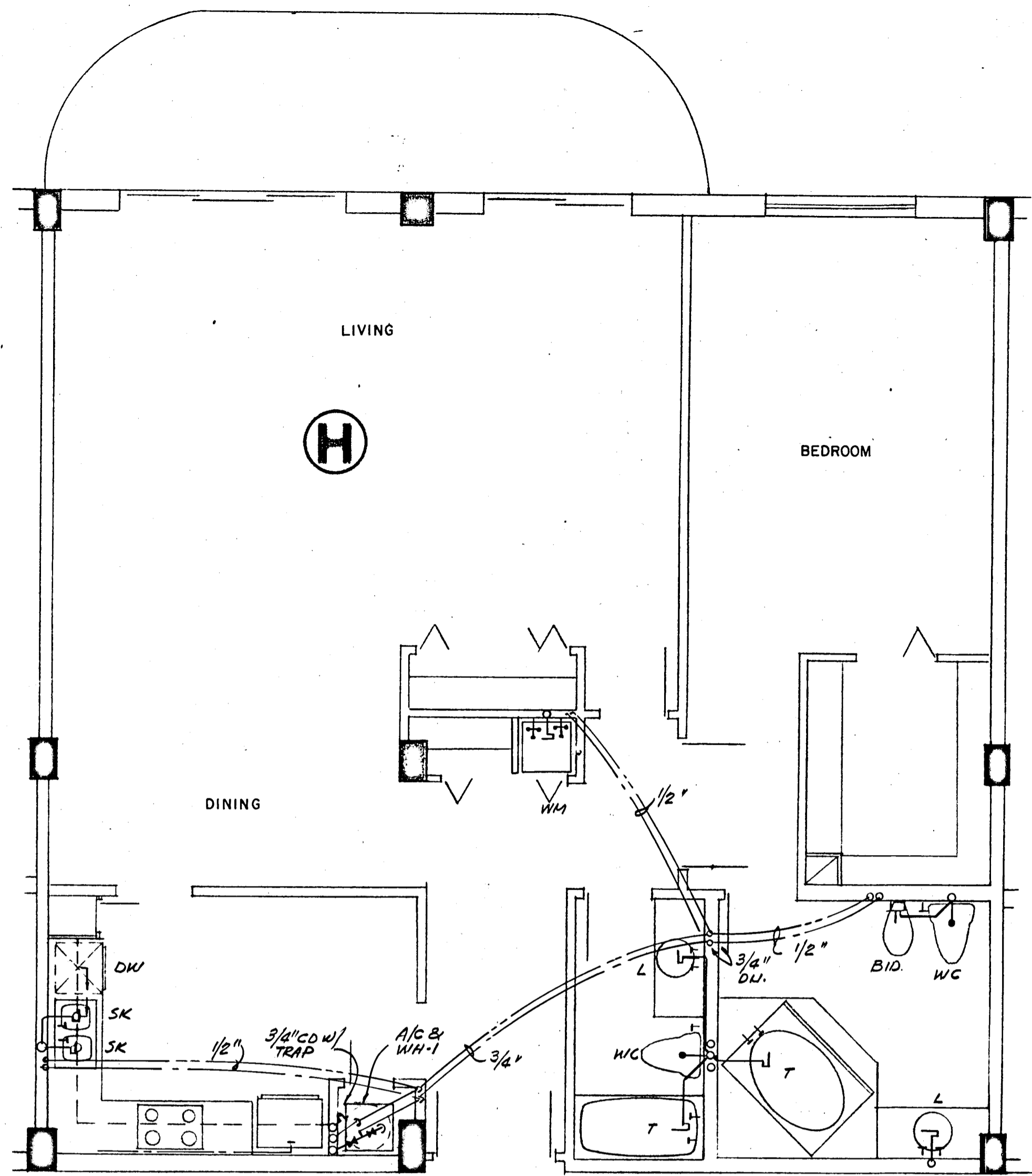
A- 135 UNIT CONDOMINIUM

COMM. NO. DATE: 6-13-79 SHEET NO. 11 OF 11

REV. 11 SHEETS

FLORIDA ENGINEERING SERVICES
322 NE 167 STREET
DADE COUNTY, FLA. 33132

Solomon Miller
8/13/77



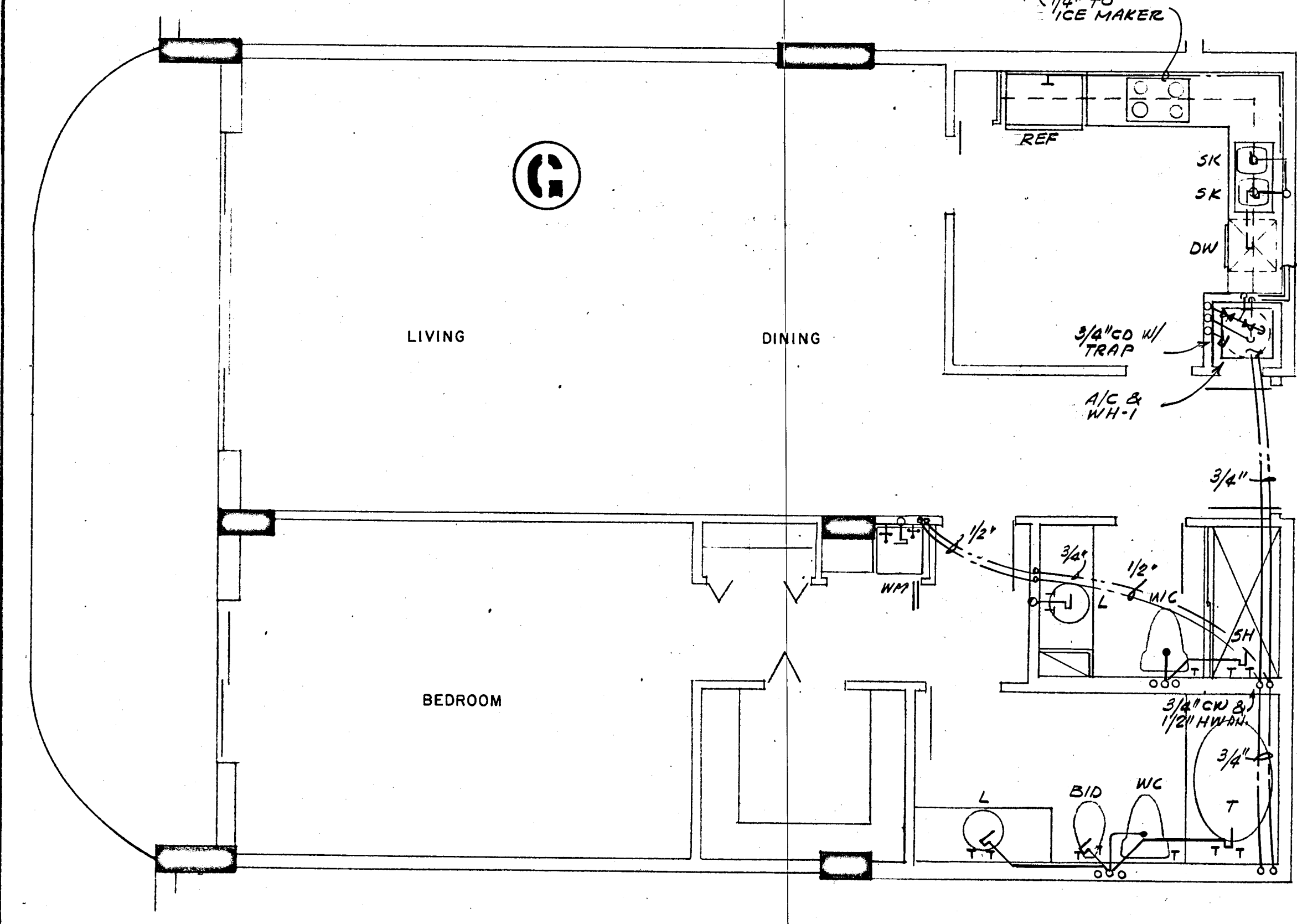
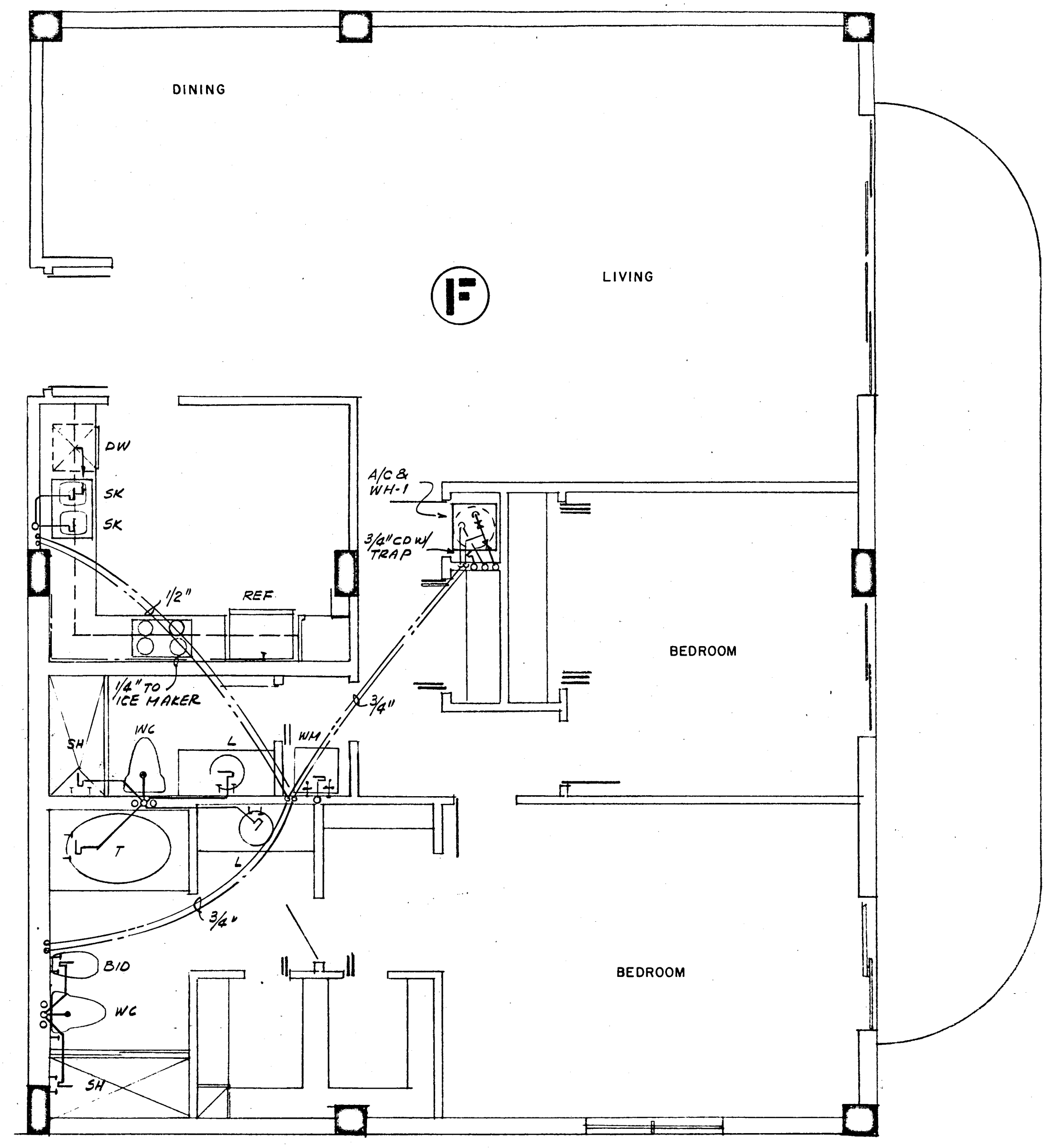
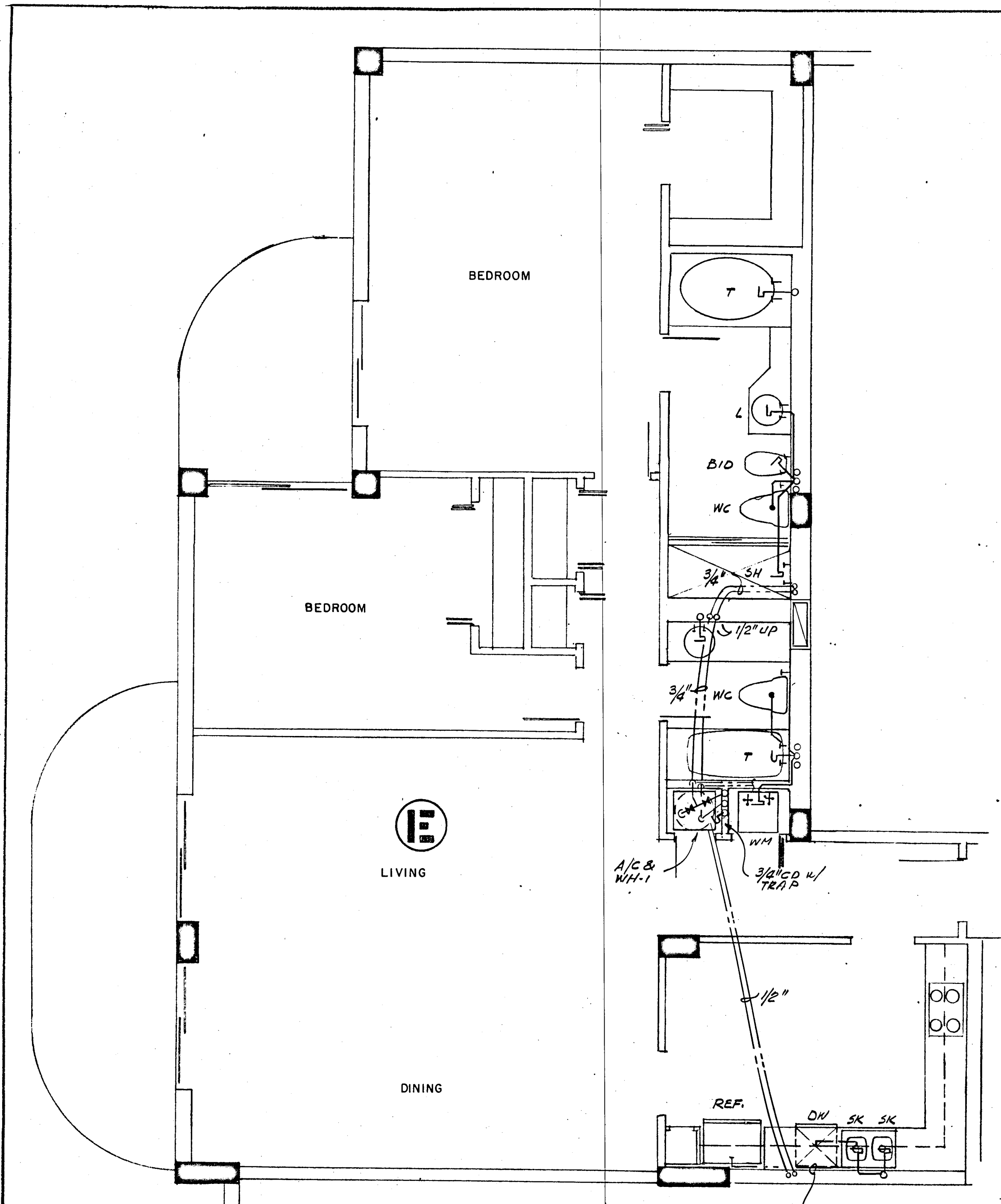
WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC.
 128 S.E. 14th LANE
 3588044

CHAMPLAIN TOWERS SOUTH
 A-125 UNIT COLDOMINIUM

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 REV.

FLORIDA ENGINEERING SERVICES
 352 NE 167 STREET
 MIAMI BEACH, FLA 33132 848-4743

Salomon Rubenstein
 8/13/79



*Note -
 MIN. SIZE WATER
 SUPPLY TO DISHWASHER
 3/8" I.D.
 MIN SIZE WATER SUPPLY TO ICE
 MAKER 1/4" I.D.
 P. J. ...
 Plumbing Eng.*

*Salomon ...
 8/13/79*

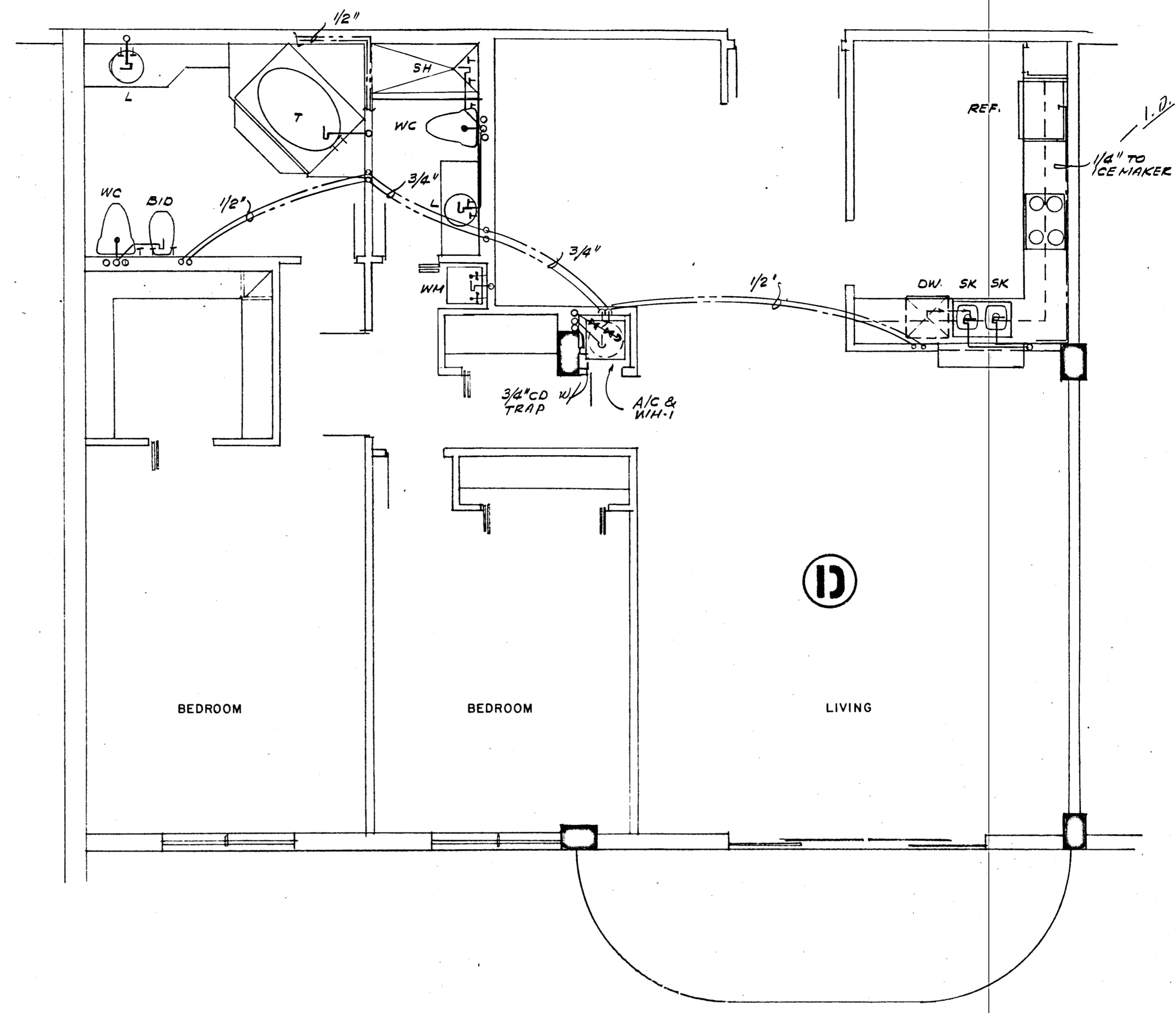
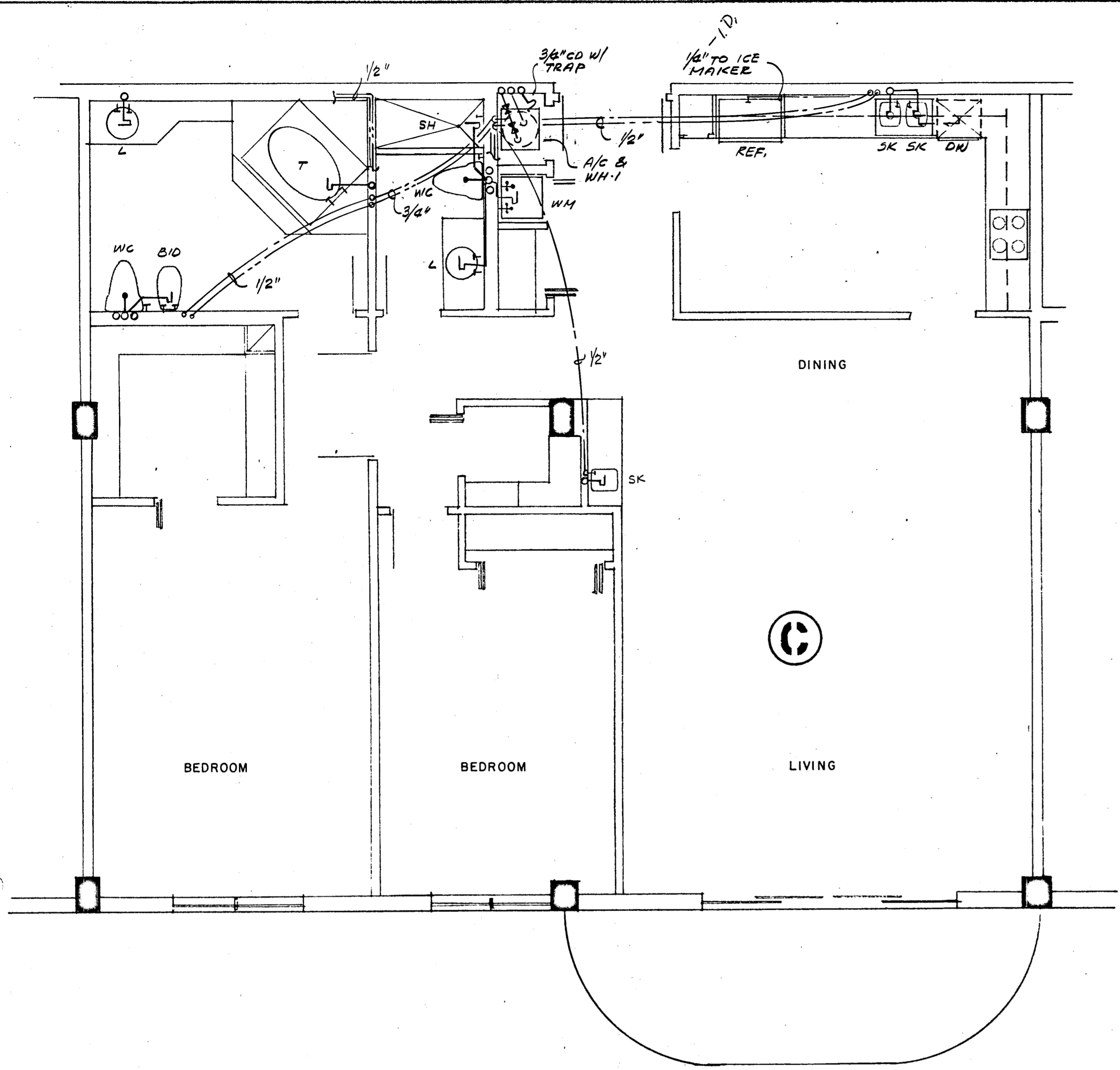
WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC.
 138 S.E. 14th LANE
 3528044

CHAMPLAIN TOWERS SOUTH

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FLORIDA ENGINEERING SERVICES
 352 NE 167 STREET
 N. MIAMI BCH, FLA. 33162 945-4743

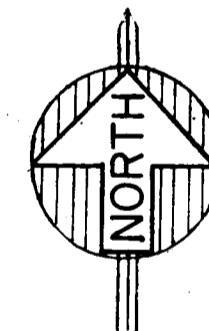
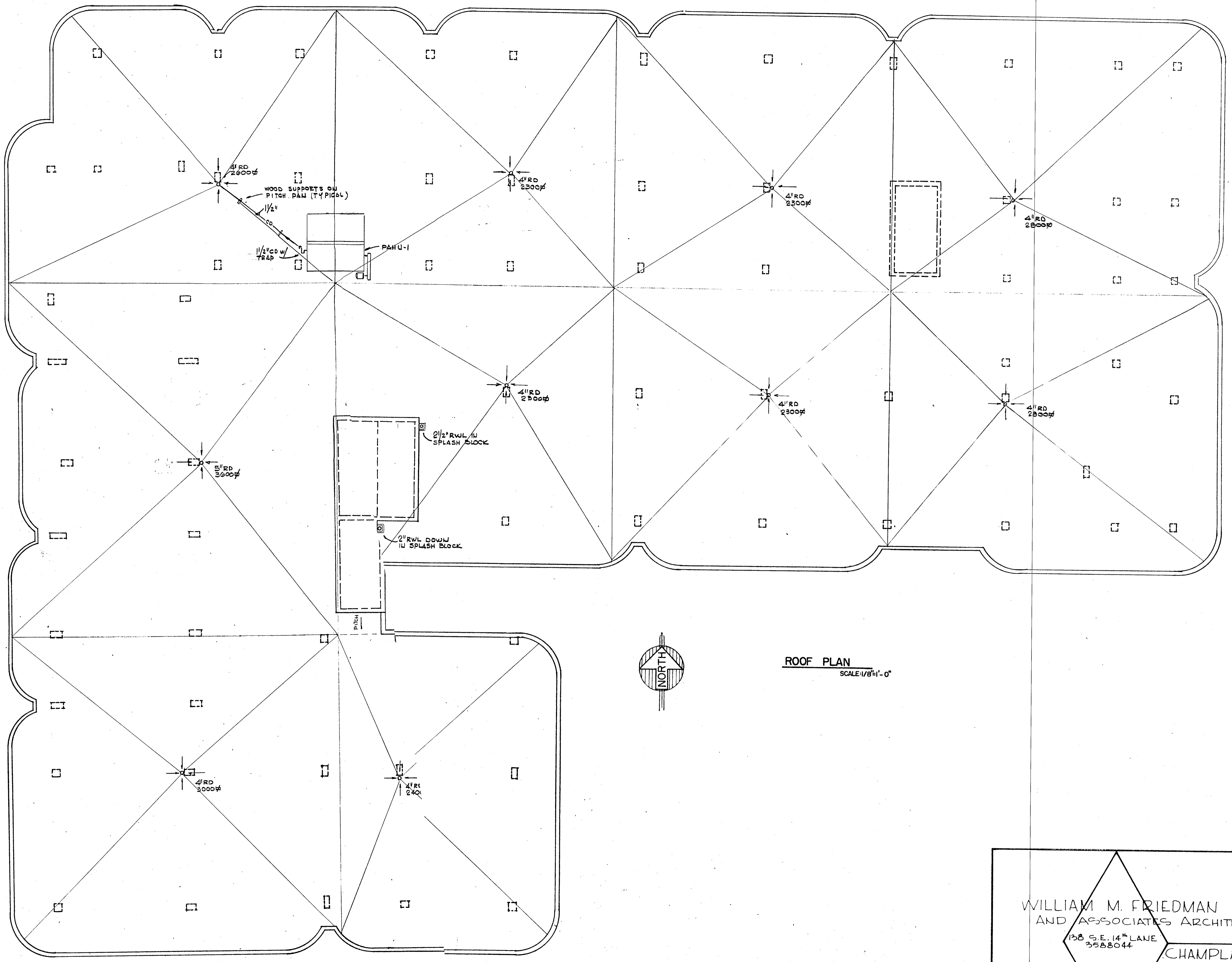


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CHAMPLAIN TOWERS SOUTH
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COMM. No.	DATE	SHEET No.
	8-13-79	17 of 11
REV.		SHEETS

Salomon
8/15/79



ROOF PLAN
SCALE: 1/8" = 1'-0"

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14th LANE
3588044

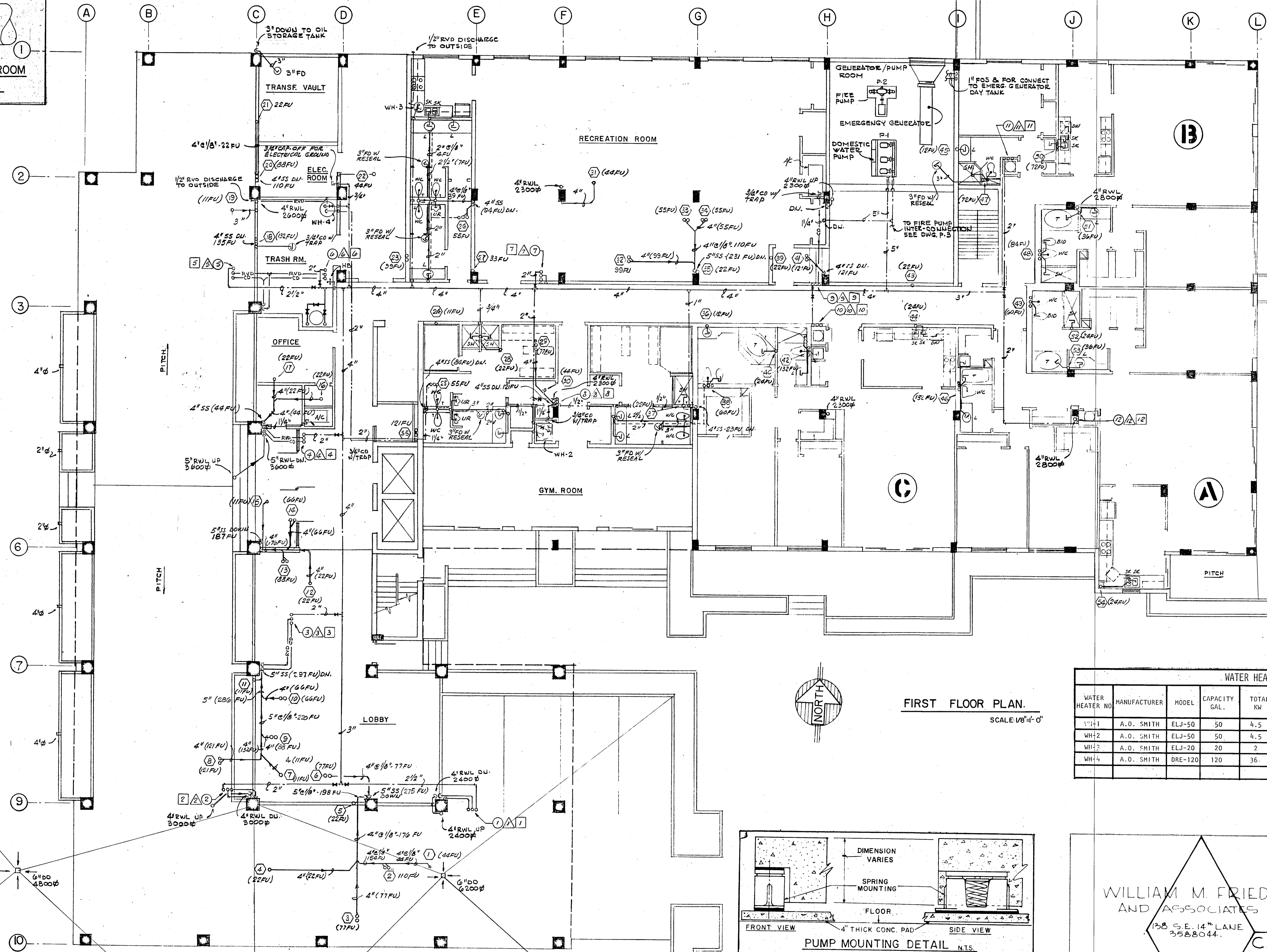
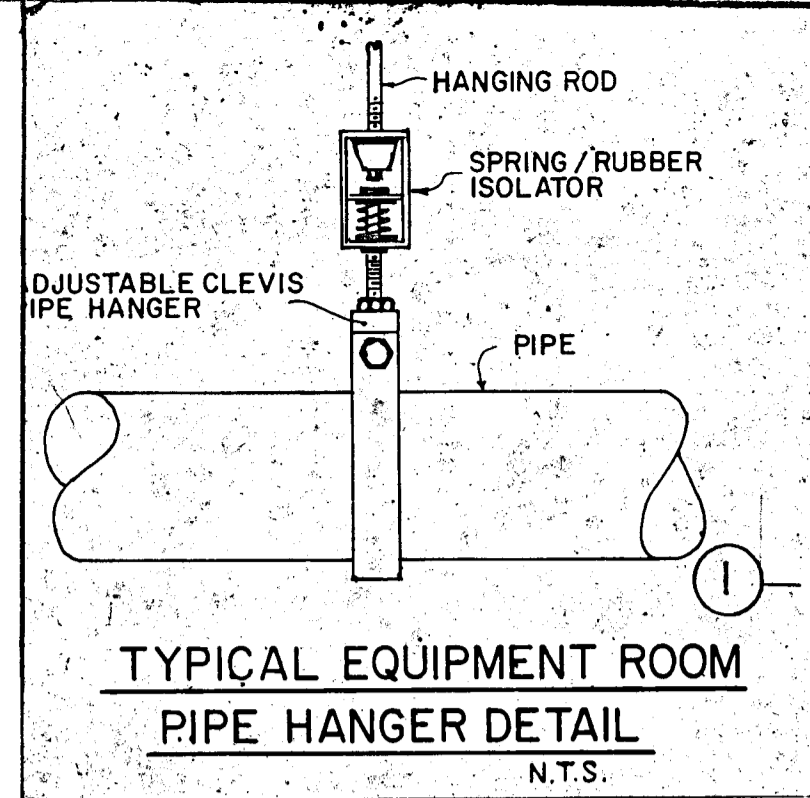
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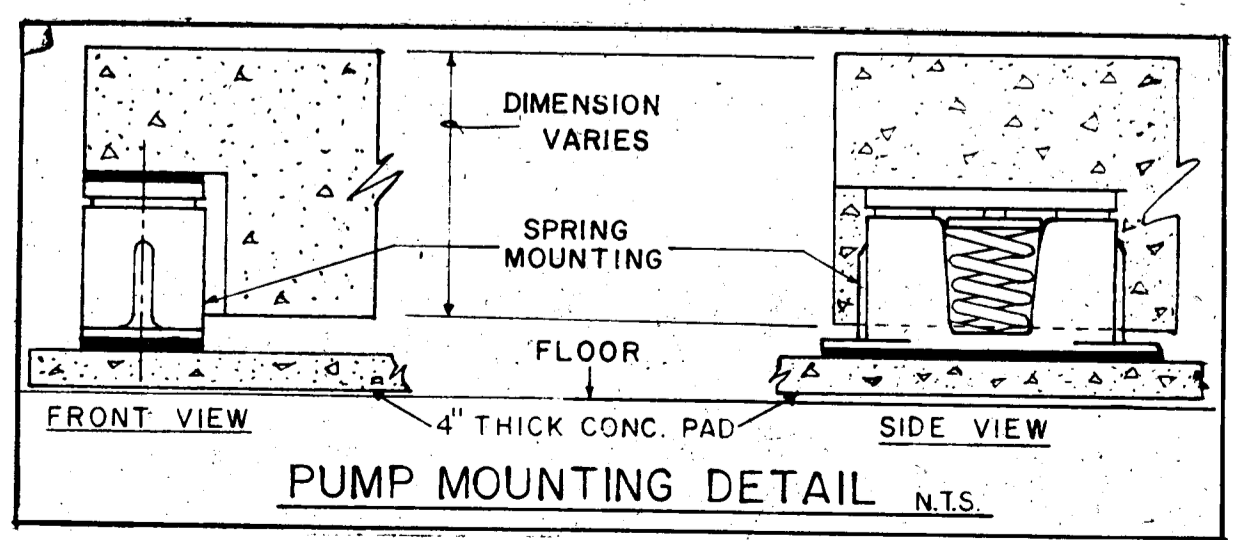
FLORIDA ENGINEERING SERVICES
352 NE 167 STREET
MIAMI BCH, FLA. 33152 945-4743

Salvatore [Signature]
8/13/79



WATER HEATER SCHEDULE

WATER HEATER NO.	MANUFACTURER	MODEL	CAPACITY GAL.	TOTAL KW	VOLTAGE	ELEMENTS (NON-SIMULTANEOUS)	GUARANTEE
WH-1	A.O. SMITH	ELJ-50	50	4.5	208-1-60	2	5
WH-2	A.O. SMITH	ELJ-50	50	4.5	208-1-60	2	5
WH-3	A.O. SMITH	ELJ-20	20	2	208-1-60	2	5
WH-4	A.O. SMITH	DRE-120	120	36	208-3-60	2	5

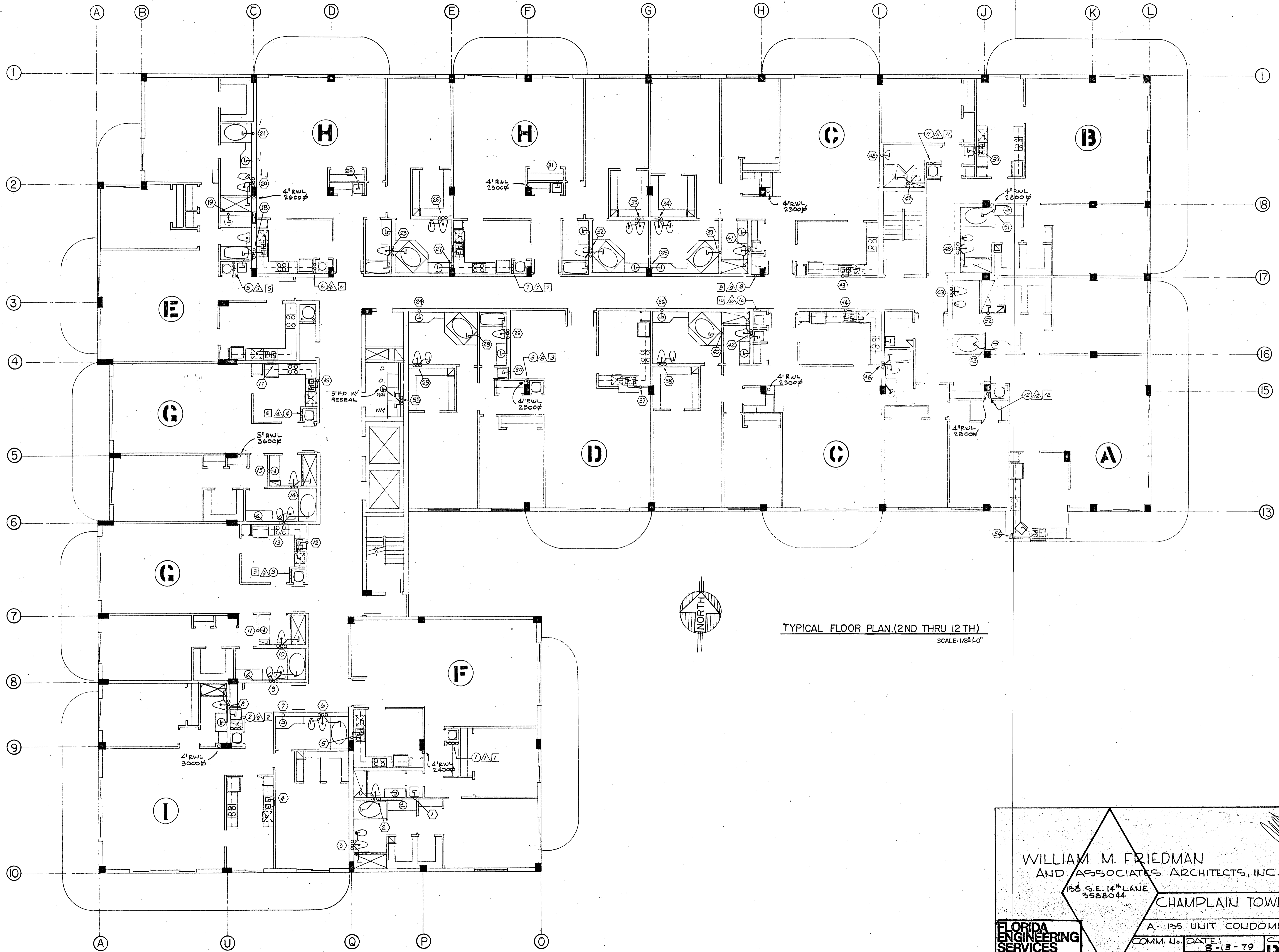


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138 S.E. 14TH LANE
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FLORIDA ENGINEERING SERVICES
352 NE 127 STREET
MIAMI, FLA 33132 945-4743

Solomon Friedman
8/13/79



TYPICAL FLOOR PLAN (2ND THRU 12TH)
SCALE: 1/8"=1'-0"

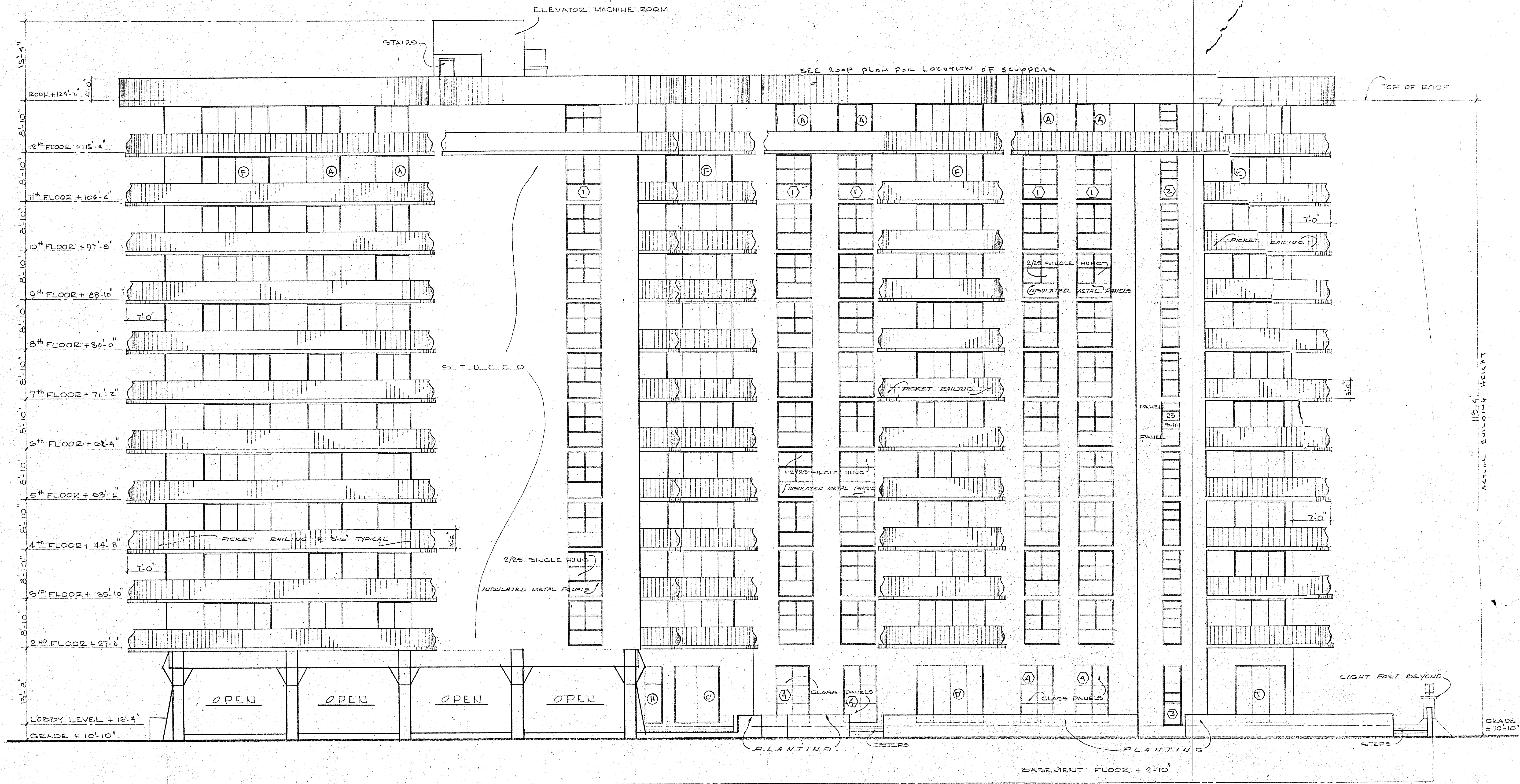
WILLIAM M. FRIEDMAN
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352 N.E. 167 STREET
N. MIAMI BCH. FLA.
33162 945-4743

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REV. SHEETS

Salomon Miller
8/13/79



SOUTH ELEVATION @ 1/8" = 1'-0"

WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14TH LAKE
 3528044

CHAMPLAIN TOWERS SOUTH
 8777 COLLINS AVE.
 A 125 UNIT CONDOMINIUM

COMM. No. DATE: _____
 REVISED: _____

SHEET
 11

SPECIFICATIONS

SECTION I DESCRIPTION OF CONTRACT DOCUMENTS & GENERAL CONDITIONS

ART. I

- A. A.I.A. Form A 1 - "Agreement between contractors and owner" Fifth Addition 5 Pages
B. Drawings and plans by the Architect - as prepared by WILLIAM FRIEDMAN & ASSOCIATES ARCHITECT'S INC.
C. These specifications as prepared by the architect and all subsequent addenda agreed to by owner and contractor in writing.
D. All shop and fabrication drawings approved by the architect or engineer pertaining to the various sub-contractors and material suppliers engaged by the contractor.
E. Certified Survey Certificate
F. All sub-contractors will be held responsible for examination of construction on surfaces on which their work is to be applied or to which it connects and report, in writing, to the architect of any conditions which exist that may affect the quality of their work.
G. Where manufacturers names are set forth in these specifications, they are used to set a standard of quality and finish and are not intended as specifying the particular manufacturer to the exclusion of any others.

SECTION II SUPPLEMENTARY GENERAL CONDITIONS

- A. Bids: The owner reserves the right to reject any or all bids.
B. Scope of Specifications, Codes, Ordinances and Legal Requirements
1) Particular attention is called to the fact as it covers and affects the work included under these headings and no attempt has been made to duplicate any of the information or to enumerate the requirements covered by codes, ordinances or other legal requirements.
2) Special attention is called to the fact that, while these specifications follow the general classes of building work, the various headings do not necessarily include all the work to be done by the tradesmen under the said headings and each sub-contractor should therefore examine the entire plans and specifications carefully.
C. Cleaning
1) Remove rubbish and debris daily.
2) Leave job clean upon completion of work including cleaning of hardware fixtures and removal of stains, dust, dirt, and paint. Windows shall be washed by professional window cleaner.
3) Remove all temporary construction.
D. Dimensions: General contractor shall be responsible for the accuracy of layout and all dimensions. Any discrepancies must be reported to the architect before commencing actual construction.
E. Materials: shall be new, of quality specified, delivered in ample supply to prevent delay of the work. Substitutions shall require prior approval by the architect or owner.
F. Manufacturer's Directions: For the applications, installations, and methods shall be followed and are herewith made a part of this specifications. All manufacturer's guarantees, warranties underwriters certificates, shall be properly filed and delivered to the architect upon completion of work.
G. Permits: The general contractor shall secure and pay for building permit and other lawful fees. The general contractor shall secure certificates of inspection and occupancy from authorities having jurisdiction and deliver them to the owner upon completion of work. Inspection fees and reports as required by building authorities shall be paid for by the general contractor.
H. Workmanship: By skilled mechanics under supervision of a competent foreman acceptable to the architect and in accordance with best trade practices.
I. Specifications listings do not limit scope of work, other items shown, or noted on drawings or mentioned elsewhere in specifications, are also to be included.

SECTION III EXCAVATION AND PREPARATION OF SITE

ART. I

- A. Removal or relocation of all utility items necessitated by construction is the responsibility of the contractor.
B. Excavate to levels shown for grade beams, slabs and footings, etc. Clean all bottoms before pouring concrete.
C. Fill and backfill to final finish grades and bottoms of slabs.
D. Plumbing and electrical contractors to excavate and backfill as required for their work.
E. Brace and shore as conditions require. Contractors shall protect adjacent structures and foundations from damage and shall be responsible for any damage to adjacent structures or properties.
F. Fill for slabs: Wherever concrete slabs are shown on the drawings occurring on ground floor fill shall be well compacted - gravel and sand flooded to prevent undue settlement.

SECTION IV CONCRETE AND MASONRY

ART. I Work Included

- A. Cement integral concrete finished as noted on drawings.
B. Reinforced concrete footings, columns, beams, and slabs, including all reinforcing steel and mesh and setting chairs, supports, dowels, inserts and anchors.
C. Concrete block walls, and simulated brick on concrete block as indicated on drawings.
D. Approved admix waterproofing in concrete slab on ground.
E. Concrete curbs at parking area, as shown on site plan.
F. Check all openings at slabs for pipe and duct installations.

ART. II Materials

- A. Concrete Block - ASTM Spec. C-90 Cured 28 Days; 3 Core 8x8x16 blocks. Special blocks for jambs, corners, etc. 2 cell block may be substituted.
B. Portland Cement - ASTM Spec. C-150-44 for Type 1 Cement.
C. Sand - clean, coarse, washed, free from clay, loam or chemical salts.
D. Rock - crushed stone or gravel, well graded, clean, free from shale or other soft materials.
E. Lime - STM Spec. C-207-46T
F. Water - city water
G. Wire Mesh - ASTM Spec. A-82
H. Reinforcing Steel - Domestic, Intermediate grade deformed bars rolled from new billet steel. ASTM - Spec. A-15 deformation Spec. ASTM A-305-49. Refer to notes on structural plans.

ART. III Methods and Workmanship - Concrete and Masonry

- A. Minimum strength concrete for this structure shall be 2500 lbs. per PSI in 28 days and as specified on engineering plans.
B. Storing - in a weather-tight enclosure. Hardened or partially set cement shall not be used in structure and will immediately be moved from the site.
C. Forms - shall be made to conform to the shape size and dimensions of the members shown on the plans. They shall be properly braced and tied to maintain shape and size and insure safety. They shall be tight to prevent leakage of mortar. Temporary access panels shall be provided at the base of all columns to permit cleaning and inspection of same. Forms shall not be stripped until concrete has developed two-thirds of its required strength and not less than four (4) days after placing at columns or slabs; also not less than seven (7) days under cantilever slabs with high early concrete.
D. Reinforcing - shall be free of all mill and rust scale before placing, shall conform to dimensions indicated on the plans and shall be secured with annealed wire, 16 ga. or larger, or suitable clips of shain.
E. Water Cement Ratio and Mix - The proportioning of materials shall be based on the requirements of a plastic and workable mix. Concrete deliveries not conforming to specifications requirements shall be rejected and removed from the project. Water shall not be added to mixed concrete after the truck leaves the batching plant, except with specific direction of the engineer. Each load of concrete is to be examined by a competent observer representing the general contractor and, if found to be of a slump nor within range acceptable, shall be rejected as unfit for use on this project.
F. Mixing - For not less than one minute after all materials are in the drum of an approved batch mixer. For not more than 90 min. stay in transit mixer truck from loading to time of being unloaded.
G. Shop Drawings - Engineers approval of steel shop and placing drawings prior to fabrication and placing. Officially approved prints of these drawings shall be used on the job for actual work, and work shall not proceed without same.
H. Protecting and Curing - Protecting exposed surfaces from premature drying and keep damp for five days. The method selected shall ensure the continuous wetting without alternate wetting and drying of areas during the five day period.
I. Patching - Defective concrete or concrete out of alignment shall be considered as not conforming to the intent of these specifications and shall be removed, at the contractor's expense, and replaced unless the architect approves patching the areas. This patching to be done in accordance with the architects directions. Guniting method patching shall be used where directed by the engineer to correct honeycombing or voids at which reinforcing bars are exposed in minor areas. Cut out defective work to solid concrete as directed and obtain architect's inspection and approval before patching.
J. Anchorage - Set bolt anchors as required. Build in hangers, inserts, ties, nailing strips, blocking, slots and keys, required to secure the work of other trades.
K. Exposed Concrete - Remove fins, patch all holes and rub to even plane.
L. Finished Concrete Floors - At interior spaces generally, provide integral finish level and smooth, by mechanical and/or hand troweling on top of concrete slab following placement. Provide proper slopes for drainage.
M. 1) General Work shall be plumb, true and accurate to dimensions shown. Blocks shall be set in running bond and intersections bonded or keyed with wall ties. Blocks shall be cut accurately to fit around pipes, ducts and openings and voids slushed full. All joints full 3/8" wide and struck flush.
2) Mortar - For Concrete Block: Cement Lime mortar - 1:1:6

ART. IV

Exterior Sidewalks - shall be installed as shown on drawings as to thickness, reinforcing and slopes. Brush finish surfaces throughout with all outside corners rounded.

SECTION 5 CARPENTRY

ART. I Work Included

- A. Forms, Centering, bracing for concrete work including below grade.
B. Framing for work of all trades
C. Nailing strips, grounds, blocking, and furring for all pipes and ducts.
D. Wood stud partitions, plates.
E. Wood bucks for doors, windows, panels, etc. as required.
F. Rough and builders hardware including nails, bolts, nuts, anchors, screws, etc. as required and not specifically called for under other divisions.
G. Set finish hardware.
H. Set door frames and doors where scheduled.
I. Do incidental work as necessary to complete the building.

ART. II Materials

- A. Rough Carpentry lumber: No. 2 common lf or Douglas Fir unless otherwise shown on plan.
B. All wood throughout in contact with concrete shall be pressure treated or dipped in "Woodlife" minimum of 20 minutes, by approved treating plant.

ART. III Workmanship: by skilled mechanics under the supervision of a competent foreman acceptable to the architect.

SECTION 6 WATERPROOFING AND DAMPROOFING

ART. I

- A. All ground slabs to receive approved ad-mixtures at mixing plant in quantities as specified by the manufacturer.
B. Flashings, etc. as set out in "Roofing and Sheet Metal".

SECTION 7 STRUCTURAL STEEL

ART. I

- A. Scope of Work: Supply all labor, tools, materials and equipment required for the fabrication and erection of all angle lintels, plates and all structural steel shapes shown on the plans & the bolts therefor.
B. Shop Drawings: The contractor shall furnish shop drawings to the engineer for approval before fabrication or any structural steel.
C. Materials - All steel shall conform to ASTM Spec. A-7 for Structural Steel of most recent adoption.
D. Fabrication and Erection of the structural steel shall be done in accordance with the A. I. S. C. "Specification for Fabrication and Erection" of most recent issue.
E. Painting - all structural steel shall receive two shop coats of red lead paint. All field welds and damages to the shop coat shall be painted in the field by this sub-contractor.

SECTION 8 ROOFING & SHEET METAL

ART. I Scope of Work:

- A. Built up Roofing
B. Sheet metal flashing and counter flashing.
C. Pitch pans or lead sleeves for all vent stacks and other installation.
D. Metal leaders, heads and overflow scuppers

ART. II Materials:

- A. All roofing materials shall be delivered on site in original packages, bearing manufacturer's labels and shall be Barrett Division, Allied Chemical and Dye Corp., or approved equal.
B. Roofing felt - Barrett, or approved equal 15 lb. felt.
C. Asphalt - Barrett, or approved equal
D. Plastic cement - Barrett Elastigum or approved equal
E. Sheet metal - galvanized or .032 sheet aluminum
F. Nails - metal to concrete - 3/4" concrete nails
G. Solder - 50% lead, 50% tin new metals.
H. Gravel-Hard, thoroughly washed, dry, free from dirt and range in size 1/4 to 3/8".

ART. III Execution of Work: General

- A. Asphalt shall not be heated above 400 degrees F. and shall be applied between 350 and 375 degrees F.
B. One hundred sixty (160) pounds of asphalt shall be used for construction each (100) one hundred square feet of completed roof.
C. Felts so laid as to be free from wrinkles and buckles so that no pronounced ridges are formed at laps.
D. Moppings of pitch shall be used between plies and shall uniformly cover the entire lapped surfaces so that in no place felt touches felt.
E. Installation of 4 ply built up roof areas shall conform to Barrett's specifications for 10 years Bondable roofs. If bond is required owner is to pay for bond at the rate of \$1.75 per 100 sq. ft. of roof areas.
F. For roof decks:
1) Over entire surface lay 4 plies of tarred felt, lapping each sheet 27 1/2" over preceding one.
2) Over entire surface, pour a flood coat of asphalt and white hot inbed not less than 200 lbs. of gravel for each 100 sq. ft. of roof area.
3) Under all flashings, reinforce with 4 additional plies of tarred felt feathered up side and out the roof deck 6", 7", 8" and 9" in both directions. The first layer reinforcing felts shall be imbedded in pitch and all layers including the top layer shall be covered with heavy uniform layer of pitch base plastic.
4) Set all stack and vent lead flashings as supplied by plumbing contractor.
5) Install scupper drains and down spouts with adjacent flashing as described in plans at locations shown.

SECTION 9 VINYL ASBESTOS TILE

ART. I Work Required

- A. Install Tile
B. Surface preparation

ART. II Materials

- A. Vinyl asbestos plastic tile 1/8" by John Mansville or American Biltrite. All colors to be selected by owner or architect.
B. 4" or 6" cover base
C. Mastic

WILLIAM M. FRIEDMAN & ASSOCIATES ARCHITECTS, INC. 138 S.E. 14th LANE 3588044 CHAMPLAIN TOWERS SOUTH 8777 COLLINS AVE. A 135 UNIT CONDOMINIUM COMM. No. DATE: SHEET 2 OF 30

Section 16, Article 3

- A. (con't) contractor shall place upon the job a qualified foreman who shall remain on the job continually through the regular working hours during periods when electrical work is in progress. Only experienced, qualified workmen shall be employed.
- B. This contractor shall cooperate with all other contractors on the job and shall install his work as fast as progress of the balance of the work will permit.
- C. This contractor is to be responsible for the actions of his employees and for the compliance with all laws and ordinances governing his work. He shall lay out lines for conduit sleeves, locate wall chases, etc., in ample time so that all coordination with other trades will be accomplished without necessity for cutting and patching. He shall at all times take proper precaution to protect his work from damage and disfigurement.
- D. The complete electrical system shall conform to all laws, ordinances and regulations of Municipal, County or state bodies, and the Florida Power and Light Co. and the individuals having legal authority to supervise the work. In general, the regulations of the National Board of Fire Underwriters and Rating Bureaus shall be strictly adhered to, except where those regulations conflict with regulations of the utility companies and local codes, which shall take precedence.
- E. The contractor shall obtain all permits for work under this contract, shall pay all expenses in connection therewith, and shall furnish certificates of inspection.
- F. The contractor shall provide all necessary instruments, special apparatus, and expert service to make all tests required to show that the system is absolutely clear of grounds, short circuits, and is properly installed to meet the intent and requirements of these specifications.
- G. The Electrical Contractor shall guarantee all workmanship and materials covered by these specifications for a period of one year after acceptance, and shall make good all defects, either labor or materials, discovered within the one year period, without additional charge over and above the bid price.
- H. It shall be the responsibility of the bidders to visit the site of the work, and to acquaint themselves with all available information regarding service facilities. Failure of the bidders to inform themselves fully of the conditions will not entitle them to an extra charge over and above the bid price.
- I. Conductor Installation:
 - 1) No joints or taps will be allowed in feeder runs under any conditions.
 - 2) Conductor sizes specified are minimum sizes, and shall not be decreased.
 - 3) Insulation resistance of joists shall be equal to or greater than that of the wire.
 - 4) Changes in equipment furnished by others may necessitate changes in wire size. In such cases the contractor shall increase wire sizes accordingly.
 - 5) No conductors shall be installed until all rough work by other trades is complete, and roof is in place.
 - 6) For branch circuits, no wire smaller than 14 AWG shall be used, and for home runs in excess of 100 feet, # 10 AWG shall be used.
 - 7) For control wiring of motor circuits, contractors and pilot devices, # 14 AWG wire may be used.
 - 8) Wire insulation shall be colored, using three colors and white to indicate the phases; white shall be used for the neutral.

ART. IV Raceways

- A. All conductors shall be contained in raceways. All raceways shall be run concealed unless specifically noted otherwise on the plans. Do not pierce any structural member without the written permission of the architect.
- B. All underground conduit runs shall have two protective coats of Koppers Bitumastic #50 brush applied, undiluted, before backfilling.

ART. V Outlet Boxes, covers and plates

- A. Outlet boxes shall be of the sizes and types to properly accommodate the size and number of conductors and raceways which enter them. Boxes shall be selected to suit the particular devices to be installed.
- B. Mount all boxes so that all covers and plates will finish flush with the wall or other finished surfaces. Properly center outlets in paneling or other architectural features as indicated on the architectural plans, and clear trims and corners by at least four (4") inches where possible.
- C. Close all outlets during rough construction, and during plastering and concreting, with kraft paper excelsior, or clip on blank plates.
- D. Symbols on drawings show approximate locations only. Unless exact locations are specified on architectural plans and elevations, consult architect for instructions before proceeding.
- E. All fixture outlet boxes shall be equipped with "no-bolt" type of fixture studs of sufficient size to support fixture and device loads.
- F. Suitable bar hangers shall be used throughout the work, as wooden supports, strips, or other makeshift devices will not be permitted.
- G. Unless specifically noted otherwise, all wall outlets shall be mounted as follows, measurements being made from the finished floor to the center of the outlet box.
 - 1) Switches - 4' - 0"
 - 2) Receptacles - 1' - 0"
 - 3) Bracket Outlets - 7' - 6"
 - 4) Flush Panels (to center of can) - 5'0"
 - 5) Surface panels and Main Switch, (to center) - 5'0"

ART. VI Panels and Safety Switches

- A. All panels and safety switches shall be fastened rigidly to the structure or to backing boards.
- B. All safety switches mounted in groups shall be plainly marked to indicate their function.
- C. All panels shall be equipped with directory frames, and typewritten directory cards shall be inserted to indicate the function of all circuits.
- D. Backing boards, where required, shall be 3/4" thick exterior plywood rigidly fastened to 2 x 4 lumber fastened flat to the wall with machine bolts and lead inserts (concrete nails are not acceptable). Backing boards shall be given two coats of flat black paint.
- E. Panel board boxes shall be given two coats of zinc chromate primer before installation.

ART. VII Service - Service to the building shall be underground for power from utility company facilities. Service to the building will be shown on electrical plans.

SECTION #617 DRIVEWAY AND RAMP SEALERS

ART. I WORK REQUIRED

- A. SEAL ALL CONCRETE DRIVEWAYS
- B. SEAL AND NON-SKID RAMP
- C. PAINT ALL PARKING STRIPES
- D. INSTALL PRECAST PARKING BUMPERS

ART. II MATERIALS

- A. DARATOP BASE AND FINISH COAT
- B. DARATOP NON-SKID TOPPING
- C. STRIPING PAINT
- D. PRECAST CONCRETE PARKING BUMPERS

ART. III EXECUTION OF WORK

- A. DARATOP CURING AND SEALING SYSTEM, BY W.R. GRACE & CO., SHALL BE APPLIED IN ACCORDANCE TO THE MANUFACTURES SPECIFICATION.
- B. AREAS CAN BE OPENED TO TRAFFIC 24 HOURS AFTER THE APPLICATION OF THE BASE COAT. FINISH COAT CAN BE APPLIED AFTER OTHER TRADES HAVE COMPLETED THEIR WORK. IF SO THE AREA MUST BE CLEANED AS DIRECTED BY MANUFACTURER.
- C. DARATOP RAMP TOPPING AND SEALING SYSTEM, BY W.R. GRACE & CO., SHALL BE APPLIED IN ACCORDANCE TO THE MANUFACTURES SPECIFICATION.
- D. RAMP SHOULD NOT BE OPEN TO TRAFFIC FOR AT LEAST 48 HOURS AFTER THE APPLICATION OF RAMP TOPPING.
- E. STRIPING PAINT SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURES SPECIFICATION. ALL SURFACES SHALL BE DRY AND CLEAN.
- F. INSTALL PRECAST CONCRETE PARKING BUMPERS AFTER PAINT STRIPING. BUMPERS TO ANCHORED WITH MASTIC.

SECTION 18 CLEAN-UP, TRASH REMOVAL, & PATCH UP WORK

- ART. I The general contractor is responsible for the daily removal of all trash and debris, either caused by him or his sub-contractors.
- ART. II Before final inspection is given by the architect for final payment, he must have all foreign matter, trash, debris, etc., removed from the premises, and pay for all labor and equipment involved in such clean-up; also, the structure is to be left in a neat, broom clean and acceptable manner.
- ART. III Patch up work consists of any revision, alterations and additions to existing structure, incidental to the performance of his work on the new structure and outlined on the specifications and plans.

SECTION 19 PLUMBING

ART. I Scope of Work

- A. Provide all equipment, materials and labor required to construct a complete plumbing system according to these plans and specifications and comply with all codes. The major items included in this work as follows:
 - 1) water heater
 - 2) sanitary waste and soil piping
 - 3) condensate piping
 - 4) cold and hot water piping
 - 5) specialties
 - 6) Clean-outs
 - 7) Sleeves and Escutheons
 - 8) Flashings
 - 9) Floor Drains
 - 10) Plumbing fixtures
 - 11) Excavation and backfilling
 - 12) Tests and balancing
 - 13) Cleaning up
 - 14) Guarantee
 - 15) Piping for air cond. as required

ART. II Materials and Equipment

- A. All equipment and materials furnished under this contract is to be the best quality available in each grade or class.
- B. All equipment and materials will be installed in strict accordance with the manufacturers recommendations.

ART. III Sanitary Waste and Soil Piping

- A. All piping shall be service weight cast iron including fittings with cast lead and oakum joints.
- B. All piping shall be installed with a 1/8" per 1' pitch. Piping within building shall be supported with approved pipe hangers 5' on center max. Underground piping shall be continuously supported upon the bottom of the trench.
- C. All cast iron soil pipe and fittings shall be coated inside and outside with a mixture of hot tar and oil.

ART. IV Condensate Piping - Supply and run connect a 1" A.C. Cond. safe waste as shown.

ART. V Cold and Hot Water Piping

- A. Copper and Galvanized piping of approved types to be used.
- B. All piping inside building will be supported with approved pipe hangers 10 feet o.c.

SECTION 19 PLUMBING (continued)

ART V (con't)

- B. (con't) max. Under slab piping on trench bottom.

ART. VI Specialties - Install 3/4" "Crane" #8.340 brass hose bibs - see plan

ART. VII Cleanouts - Provide approved cleanouts with brass plugs and access panel as shown on riser diagram.

ART. VIII Sleeves and Escutheons - Provide standard weight galv. steel pipe sleeves where piping passes through concrete, block or walls. Sleeves through slab shall extend 3/8" above finished floor. Provide escutcheon plates (brushed chrome plated) at above locations.

ART. IX Flashings - all vent pipes through roof shall be flashed with 4 lb. lead sheet furnished by this contractor, installed by roofer.

ART. X Floor Drains - Josam 3" with cast iron body and deep seal P-trap, brass grate

ART. XI Plumbing fixtures - see mechanical plan - AMERICAN STANDARD; CRANE OR KOHLER

ART. XII Co-ordinator of Work

- A. This contractor is responsible for the full coordination of his work with all other contractors.
- B. This contractor shall furnish the general contractor with all data and dimensions for the installation of his work.

ART. XIII Excavation and backfilling - This contractor shall do all excavation and backfilling required for his work and only to the depth and width necessary for the proper installation of the work. Excess excavation shall be filled to the proper levels and well compacted as directed

ART. XIV Tests and Balancing

- A. All piping will pass the following pressure tests for 2 hours

- 1) Sanitary piping: 5PSI - Hydrostatic
- 2) Hot and Cold Water: 100 PSI - Hydrostatic

- B. Plumbing contractor to make all tests as Codes require

ART. XV Cleaning-up - Upon completion of this installation this contractor shall clean all dirt, grease, oil and rust from all his installation.

ART. XVI Guarantee - This contractor shall furnish the owner with a written guarantee, that the complete plumbing system is without fault in materials or workmanship; and that any defects in either or both shall be corrected promptly and without cost to the owner or general contractor. This guarantee is to be for 1 year from the date of acceptance by the owner of the installation.

SECTION 20 CERAMIC TILE

ART. I Work Required

- A. Preparation
- B. Setting
- C. Grouting and Painting

ART. II Materials

- A. 3/4" x 3/4" matte floor tile
- B. 4" x 8" stoneware tile - hard molded
- C. 3/4" x 3/4" Glazed "JO" tile
- D. Portland Cement
- E. Sand, free from clay, alkali, organic matter
- F. Metal Lath for furred surfaces
- G. Standard Sill tile all windows.

ART. III Execution of Work

- A. Preparation of floor areas to receive tile - Clean, wet and sprinkle with dry cement before applying setting band.
- B. Set, grout and clean tile in accordance with T.M.A.B.S. -k300. Protect all finishes.
- C. Use bull nose and cove where required
- E. All colors to be selected by owner or architect.

SECTION 21 WINDOWS & GLASS DOORS

SCOPE

Supply and install windows and glass doors as shown on the plan. Windows and doors to have aluminum frame complete with screen and hardware. All windows and doors to meet Dade County Building Standards.

SECTION 22 LANDSCAPING

SCOPE

Include furnishing all materials, equipment, and labor necessary for planting trees, shrubs, ground covers and lawns, maintenance, guarantee and replacement of plant materials and related items required to complete the work. Contractor shall submit detailed landscaping plan to owner for approval.

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 ARCHITECTS, INC.
 138 S.E. 14th LANE
 3588044

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(section 9 - vinyl asbestos tile (con't))
ART. III Execution of Work

- A. Inspect and level floor
- B. Apply cement in accordance with manufacturers specifications.
- C. Install tile in strict accordance with manufacturer's specifications

SECTION 10 INSULATION

ART. I Scope

- A. Supply and install rock wool bats in partitions where shown on plans. All walls that have insulation to have lathing attached with resilient clips.
- B. All roof areas to have 2" thick board type insulation to be installed in accordance with manufacturers specifications under roofing. **NOTE: SEE PLANS FOR ALL INSULATION.**

SECTION 11 WOOD DOORS AND MILLWORK

ART. 1

- A. Door frames and trim, etc.
- B. Doors
- C. Wood preservative treatment
- D. The following are included under the other sections:

- 1) Installation of millwork, Section 5
- 2) Finishing, Section 15

ART. 2 Materials

- A. Lumber shall be sound, thoroughly seasoned and shall be in accord with the lumber manufacturing association's grading rules as herein specified or approved equal and shall be selected to eliminate objectional defects.
- B. Lumber type and grade:
 - 1) Exterior trim and frame - "B" grade pine, or "B" or btr. V.G. Fin. Doug. Fir.
 - 2) Interior frames, trim, etc., - clear Poplar or white pine, shop grade selected
- C. Doors = see door schedule
 - 1) Flush type hollow core interior doors.
 - 2) Flush type solid - Exterior as selected.

ART. 3 Wood Preservative: Woodlife, as distributed by A. H. Ramsey and Sons, Inc. or approved equal.

SECTION 12 LATHING, PLASTERING AND STUCCO

ART. 1 Work Required

- A. Gypsum Lathing
- B. Plastering - Lime
- C. Stucco

ART. 2 Materials

- A. All manufactured materials delivered in original packages, containers or bundles bearing the name of the manufacturer and brand.
- B. All cementitious materials must be kept dry until ready for use - must be kept off the ground, under cover and away from sweating walls and damp surfaces.
- C. Sand - Standard specifications of the ASTM CC35, latest addition.
- D. Water: City
- E. Gypsum Plaster - Fed. Spec. SS-P-402 type N, Fibered and unfibered.
- F. Masonry Cement - Fed. Spec. SS-C-181-8 type 1
- G. Portland Cement - Fed Spec. SS-C-192 Type 1 Domestic
- H. Waterproofing - Section #1 by SEC Manufacturing Co. or approved equal.
- I. Metal Lath - Fed. Spec. QQ B 101C, Type F expanded metal
- J. Gypsum lath - Fed. Spec. SS-P-431d, 3/8" thick
- K. Corner beads - zinc, small nose, expanded type.

ART. 3 Execution of Work

- A. Preparation for lathing - ceiling - apply wood furring strips 1x3 16" O.C.
- B. Lathing Gypsum for ceilings
 - 1) Gypsum lath nailed to furring strips, 5 lath-nails each contact point.
 - 2) Transverse joints between lath broken. Lath shall not be butted tightly together or more than 1/4" apart.
- C. Gypsum Lath on Wood Framing
 - 1) Gypsum lath laid with long dimension across supports and nailed to wood - 4 lath nails at each support.
 - 2) Staggered vertical joists - Lath not butted tightly together more than 1/4" apart.
- D. Lathing General
 - 1) Corner beads at all external corners of plastered surfaces.
 - 2) Apply wire lath on each surface at internal corners.
- E. Plastering
 - 1) General - Material which is partially set shall not be re-tempered or used. Caked or lumpy material shall not be used. The mixer or mixing box and tools to be thoroughly cleaned of all set or hardened material before material for a new batch is loaded.

- 2) Concrete surfaces shall have sufficient roughness to provide proper bond. If surfaces are not rough they shall be hacked or bush hammered, or a dash coat of cement grout, composed of 1 part cement to 1 1/2 parts sand mixed to a mushy consistency shall be used.
- 3) All masonry surfaces broomed off and evenly wetted, not saturated, immediately before the plaster is applied.
- 4) Gypsum Plaster - Brown - 1 part gypsum neat plaster and not more than 3 parts sand, by weight, well rodded, screeded and floated with all angles, true, straight and plumb, and just back of the grounds. First coat on gypsum lath.
- 5) Finish coat on gypsum plaster. Lime putty and gauging plaster troweled to a dense hard, smooth surface. Surface face shall be rod and be even with grounds.
- 6) Stucco on masonry - Scratch coat - 1 part portland cement, 1 part masonry cement mixed with a minimum of 5 parts to a maximum of 6 parts sand. Apply with sufficient pressure to form a good bond, fill out low places, double back to produce uniform surface. Scratch uniformly.
- 7) Final coat - shall be gauged with integral waterproofing 1 qt. to 1 bag cement, float texture finish min. 1/2" thick but applied in sufficient thickness to provide level surface.
- 8) Preparation for tile work - scratch coat over masonry window sills to receive tile & bed grout.

SECTION 13 CAULKING & WEATHERSTRIPPING

ART. I Work Required

- A. Caulking of all exterior openings
- B. Thresholds and weatherstripping

ART. II Materials

- A. weatherstripping - doors - Quaker City #538 Spring Aluminum or approved equal
- B. Aluminum thresholds of an approved type and manufacture
- C. Meeting strip on door at threshold, aluminum as approved
- D. Caulking of an approved type and manufacture.

ART. III Execution of Work

- A. Clean all spaces and areas to receive caulking thoroughly.
- B. Joints to be 1/2" deep and 3/8" wide.
- C. Apply caulking so that joint will not trap water, and provide an outward pitch for bottom joints.
- D. Use knife grade for horizontal joints and gungrade for vertical joints.
- E. Point joints neatly with coving tool and remove excess material.

SECTION 14 ROUGH HARDWARE

ART. I Work Required

- A. Door hinges, nails, screws, etc.
- B. Structural steel anchors, bolts, etc. covered in sections 7 and 5

ART. II Materials - Domestic manufactured of an approved size and grade

ART. III Execution of work

- A. All hardware connections and installations are to be done in a neat and skilled workmanlike manner
- B. Hinges to be shop prime coated before installation.

ART. IV LOCKS - All locks and knobs to be Schlage - Tulip design, aluminum polished finish, master keyed throughout.

ART. V Schedule - Finish hardware schedule to be submitted to owner for approval.

SECTION 15 PAINTING

ART. I Work Required

- A. Exterior Woodwork
- B. Exterior Metalwork
- C. Interior Plaster (walls)
- D. Interior woodwork and doors
- E. Interior metal work
- F. Interior galvanized and primed hardware
- G. Painting or finishing of the following not required:
 - 1) Aluminum work
 - 2) Other surfaces which come pre-finished
 - 3) Interior structural steel covered in section "6"

ART. II Materials

- A. Putty - 10% white lead
- B. Sandpaper etc., as required and approved
- C. All paint materials in and out "Devoe" or approved equal as scheduled in "Execution of Work" below.

ART. III Execution of Work

- A. Workmanship - All materials shall be applied by skilled mechanics and shall be evenly and smoothly flowed on, leaving no superfluous material, sags or runs.
- B. All work shall be clean cut and all dividing lines that separate colors shall be straight.
- C. All surfaces not to be painted are to be left clean and free from paint.
- D. Storage and mixing of paints shall be confined to one room or one specified area of building.

- E. All materials used on the job by painting contractor shall be delivered to the job in containers by the vendor, and it shall be the responsibility of the painting contractor in these packages is as labeled.
- F. Mineral Spirits shall not be used as a reducer and no mineral spirits shall be kept on the job except in the paint room for cleaning purposes only.
- G. All colors of finish coats are to be selected by the owner.
- H. Application
 - 1) With the exception of primer sealers, all individual coats of paint shall be applied in such manner as to give full coverage.
 - 2) The term full coverage shall mean applying paint over all surfaces in a manner which gives uniform color and sufficient density that it is opaque and all paints shall be applied in this manner.
 - 3) All wood and metal surfaces are to be sanded smooth between each coat of paint material applied. This does not apply to exterior house paint.
 - 4) The term "smooth", shall mean free from all roughness, ridges and projections on the surface.
 - 5) In the case of surfaces where pitch or resin has leaked through, same shall be removed and surface affected shall receive a heavy coat of approved shellac prior to the application of other paint materials.
 - 6) All areas to be caulked shall be back primed with 2 coats of approved stucco oil paint prior to the application of any caulking.
 - 7) All nail holes, cracks and other cavities shall be primed with an approved wood primer and then puttied flush with original surface.
 - 8) Application
 - a) Exterior woodwork - three coats, first coat - Devoe All weather house paint undercoat. Second and third coats: Devoe All-weather House Paint Top Coat.
 - b) Exterior metal work: Galvanized surfaces - 2 coats
First coat - Devoe Zinc Dust Primer
Second coat - Devoe All Weather House Paint Top Coat
 - c) Interior - Plaster walls receive paint at this time. Do entire interior plastered surfaces including ceilings. 2 coat work as follows:
First coat: Devoe #8010 primer and sealer, white
Second Coat: Devoe # 8030 enamel undercoat, white
Third coat: Devoe Velour white gloss enamel
 - d) Interior woodwork - 2 coats
First coat - Devoe # 8030 Enamel undercoat
Second Coat - Devoe Valour Alkyd Flat Enamel
 - e) Interior Galvanized and Primed Steel exposed 2 coats - same as section (d)
All work shall be left in a clean and workmanlike manner and left free of all defects. Inspection by owner is to be made with painting contractor present before general contractor is authorized to pay painting contractor on his final requisition.

SECTION 16 ELECTRICAL WIRING

ART. I Scope of work

- A. The applicable portions of the instructions, ladders and of general conditions shall be included herein
- B. The work of the electrical contractor shall consist of furnishing and installing all equipment and materials for a complete operating electrical system as shown on the plans, and as described in these specifications. The work shall include, but is not restricted to the following items:
 - 1) A temporary electrical service as required for all trades during construction as required by the general contractor.
 - 2) A complete secondary wiring system from point of service to and through main switch distribution panels, branch panels, to and including all outlets and devices.
 - 3) Secondary conduit and cable from the Florida Power and Light Company pole to the distribution center.
 - 4) Connection of all motors, starters and controls, and all other electrical work incidental to other trades for a complete working installation of their electrically driven equipment. This contractor is to furnish all materials beyond the disconnecting means to affect the connection of starters, controllers and motors furnished by others.
 - 5) Cutting, patching, excavating and backfilling.
 - 6) Fees, permits, inspections, tests, service and guarantee.
 - 7) Installing and lamping of fixtures furnished by this sub-contractor.

ART. II Materials

- A. General - Electrical materials and appliances of types for which there are Underwriter's Laboratories standard requirements shall have labels attached signifying compliance with such requirements. Where materials do not bear such a label, a certificate of compliance shall be furnished if requested. All materials shall be new and of the quality noted herein.
- B. Conductors - Lighting and power conductors
 - 1) shall be hard drawn copper, 99% conductivity, 600 volt type TW insulation for general use, unless otherwise indicated.
 - 2) Type RH-RW shall be used in lieu of type TW for "Trapped" runs.
- C. Raceways - all conductors shall be contained in raceways. All raceways shall be hot-dipped galvanized as by Allied Tube. Rigid heavy wall conduit shall be used where raceways are run exposed to weather, concealed in masonry, under concrete or under ground. Electro-mechanical tubing (EMT) may be used for all purposes except as noted. All connections to motors or other vibrating equipment shall be made with Greenfield Cable.
- D. Outlet boxes - outlet boxes shall be galvanized or electroplated stamped steel, 2 1/2 x 4 x 1 1/2" deep, except where larger boxes are required by code, by virtue of conductor size, number of conductors, or where required by the size of the device to be installed.
- E. Wiring Devices - wiring devices shall be furnished as shown on the plans and listed in the "Symbol List"
- F. Panelboards shall be as called for on the plans. All panels shall be single door construction with snap latch.
- G. Safety switches shall be as listed on the plans. Enclosures conform to location.

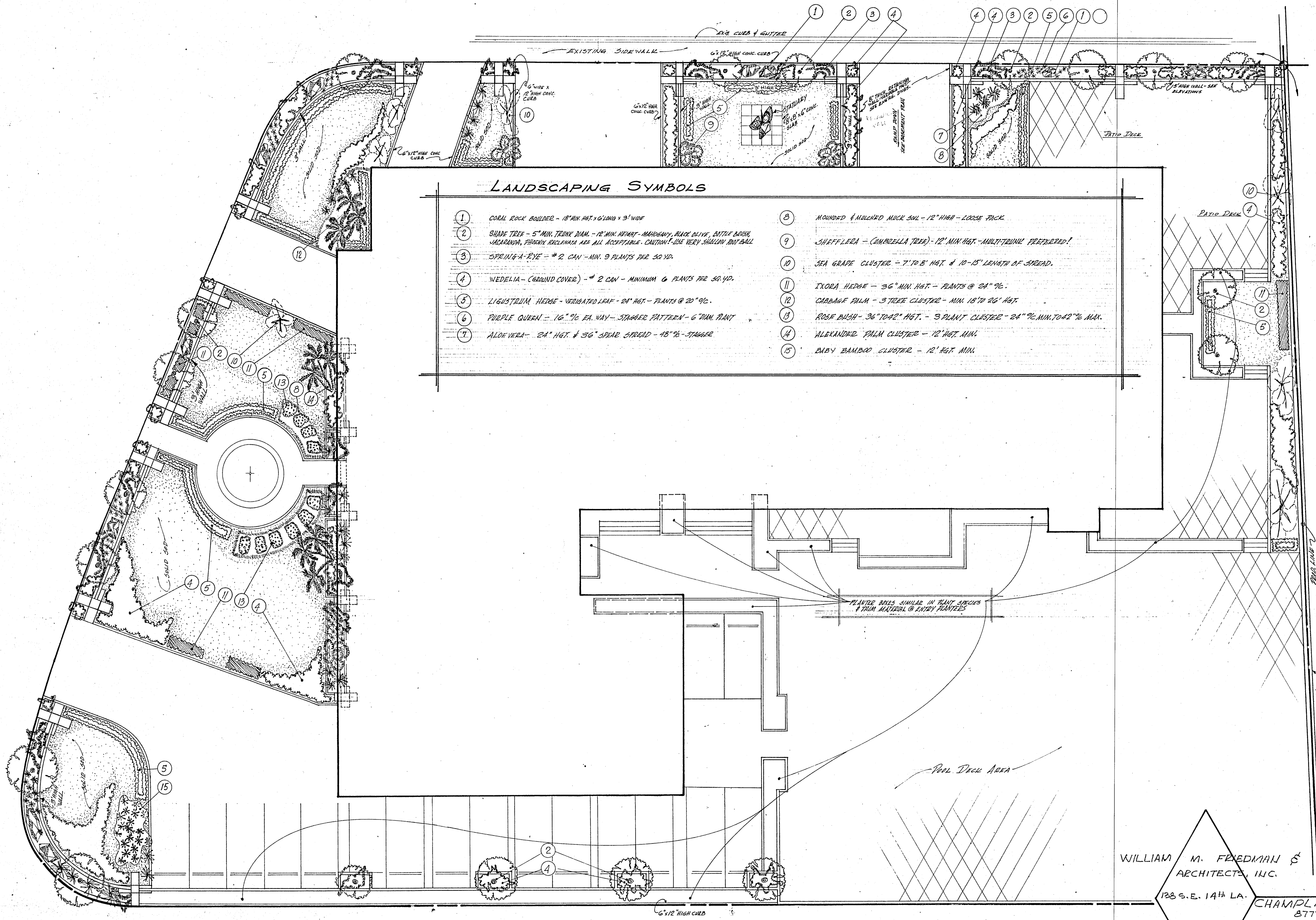
ART. III Execution of work

- A. All work necessary to complete this installation as intended by these specifications and the drawings, shall be executed in the most thorough, neat and workmanlike manner. The electrical

WILLIAM M. FRIEDMAN & ASSOCIATES
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3588044

CHAMPLAIN TOWERS SOUTH
8777 COLLINS AVE.
ATLANTA UNIT CONDOMINIUM

CONTRACT No.	DATE:	SHEET
	REV.	



LANDSCAPING SYMBOLS

- | | |
|--|--|
| ① CORAL ROCK BOULDER - 18" MIN. HGT. x 6' LONG x 3' WIDE | ⑧ MOUND & MULCHED MULCH SAIL - 12" HIGH - LOOSE PACK |
| ② SHADE TREE - 5" MIN. TRUNK DIAM. - 12" MIN. HEIGHT - MAHOEUBI, BLACK OLIVE, BUTTE BUSH, JACARANDA, PHOENIX ARELIMATA ARE ALL ACCEPTABLE. CAUTION: USE VERY SHALLOW ROOT BALL | ⑨ SHEFFLERIA - (UMBRELLA TREE) - 12" MIN. HGT. - MULTI-TRUNK PREFERRED! |
| ③ SPRING-A-EYE - * 2 CAN - MIN. 3 PLANTS PER 30 YD. | ⑩ SEA GRAPE CLUSTER - 7' TO 8' HGT. & 10'-15' LENGTH OF SPREAD. |
| ④ WEDELIA - (GROUND COVER) - * 2 CAN - MINIMUM 6 PLANTS PER 30 YD. | ⑪ IXORA HEDGE - 36" MIN. HGT. - PLANTS @ 24" OC. |
| ⑤ LIEUSTRUM HEDGE - VERGATED LEAF - 24" HGT. - PLANTS @ 20" OC. | ⑫ CABBAGE PALM - 3 TREE CLUSTER - MIN. 18" TO 26" HGT. |
| ⑥ PURPLE QUEEN - 16" OC EA. WAY - STAGGER PATTERN - 6" DIAM. PLANT | ⑬ ROSE BUSH - 36" TO 42" HGT. - 3 PLANT CLUSTER - 24" OC. MIN. TO 42" OC. MAX. |
| ⑦ ALOE VERA - 24" HGT. & 36" SPREAD SPREAD - 48" OC - STAGGER | ⑭ ALEXANDER PALM CLUSTER - 12" HGT. MIN. |
| | ⑮ BABY BAMBOO CLUSTER - 12" HGT. MIN. |

LANDSCAPE PLAN @ 3/32" = 1'-0"

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138 S.E. 14TH LA.

CHAMPLAIN TOWERS SOUTH
8777 COLLINS AVE.

A. 135 UNIT CONDOMINIUM

DATE:

SHEET

REV.

7 OF 20

CHAMPLAIN

TOWERS

SOUTH

A Development Of
Toronto Enterprises

8777 Collins Avenue
Surfside, Florida

135 UNIT CONDOMINIUM			
UNIT	Number	sq ft	type
A	12	2242	3-2
B	12	1794	2-2
C	23	1673	2-2
D	11	1748	2-2
E	11	1590	2-2
F	11	1728	2-2
G	22	1200	1-2
H	22	1425	1-1c-2
I	11	1728	2-2

*Railin's Details
A-29-30*

TOWN OF SURFSIDE

- Approved
- Approved as noted
- Disapproved

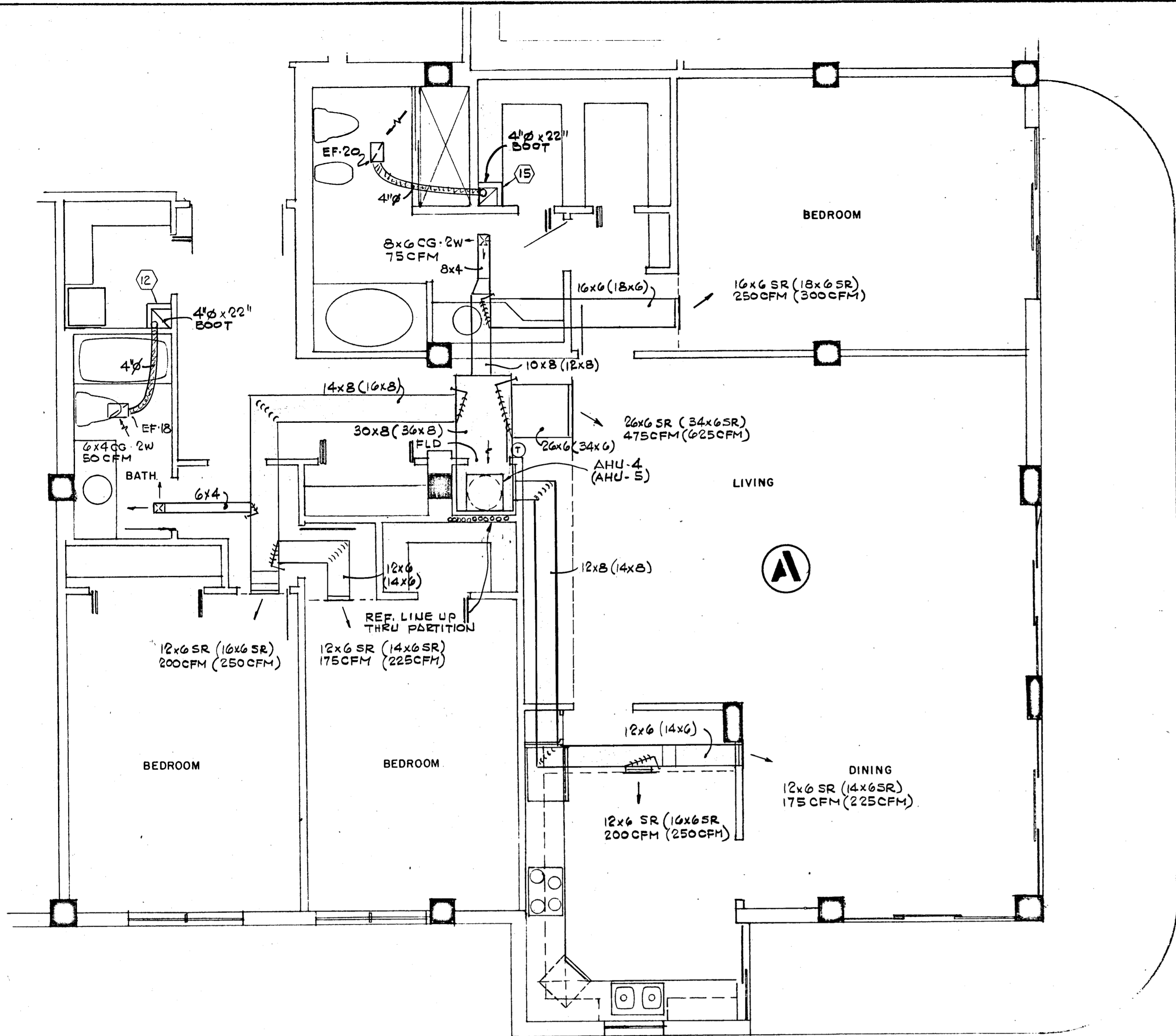
[Signature]
Inspector

Reviewed: *[Signature]* Date: 10/17/79
Planning & Zoning Board

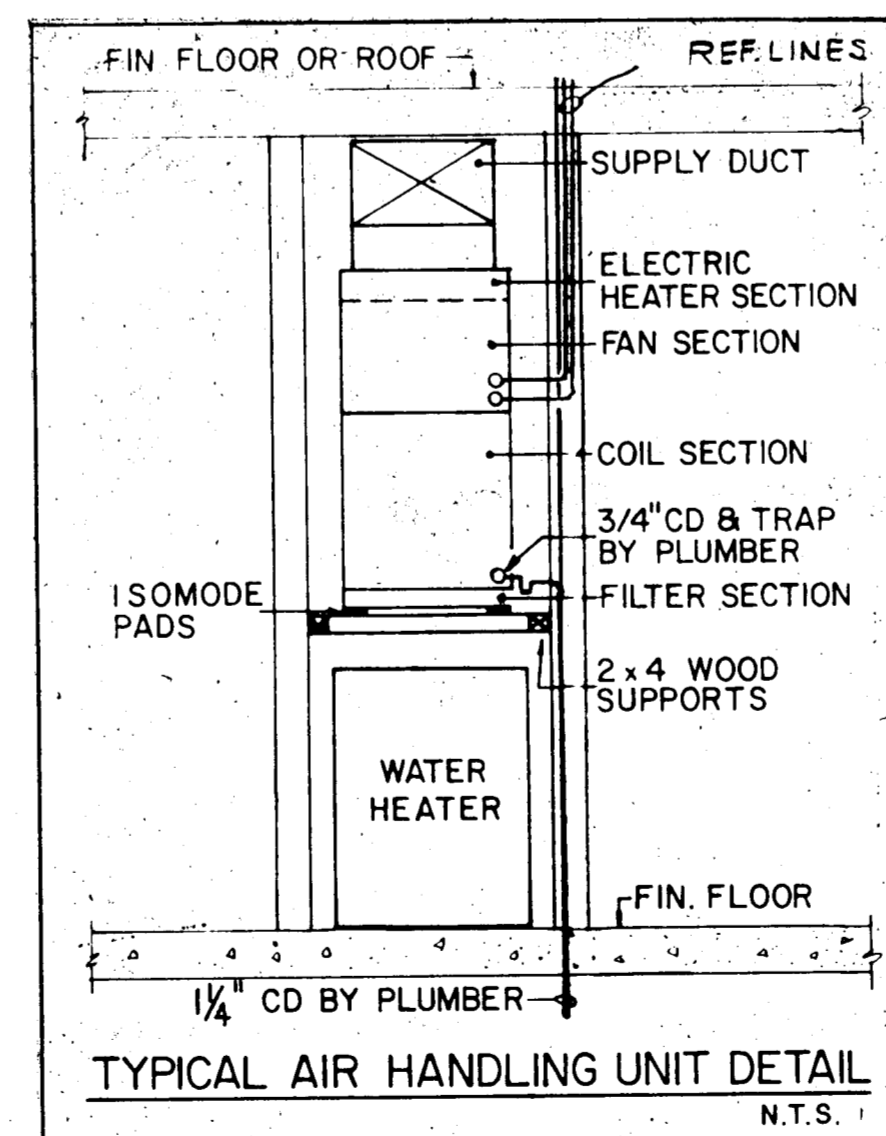
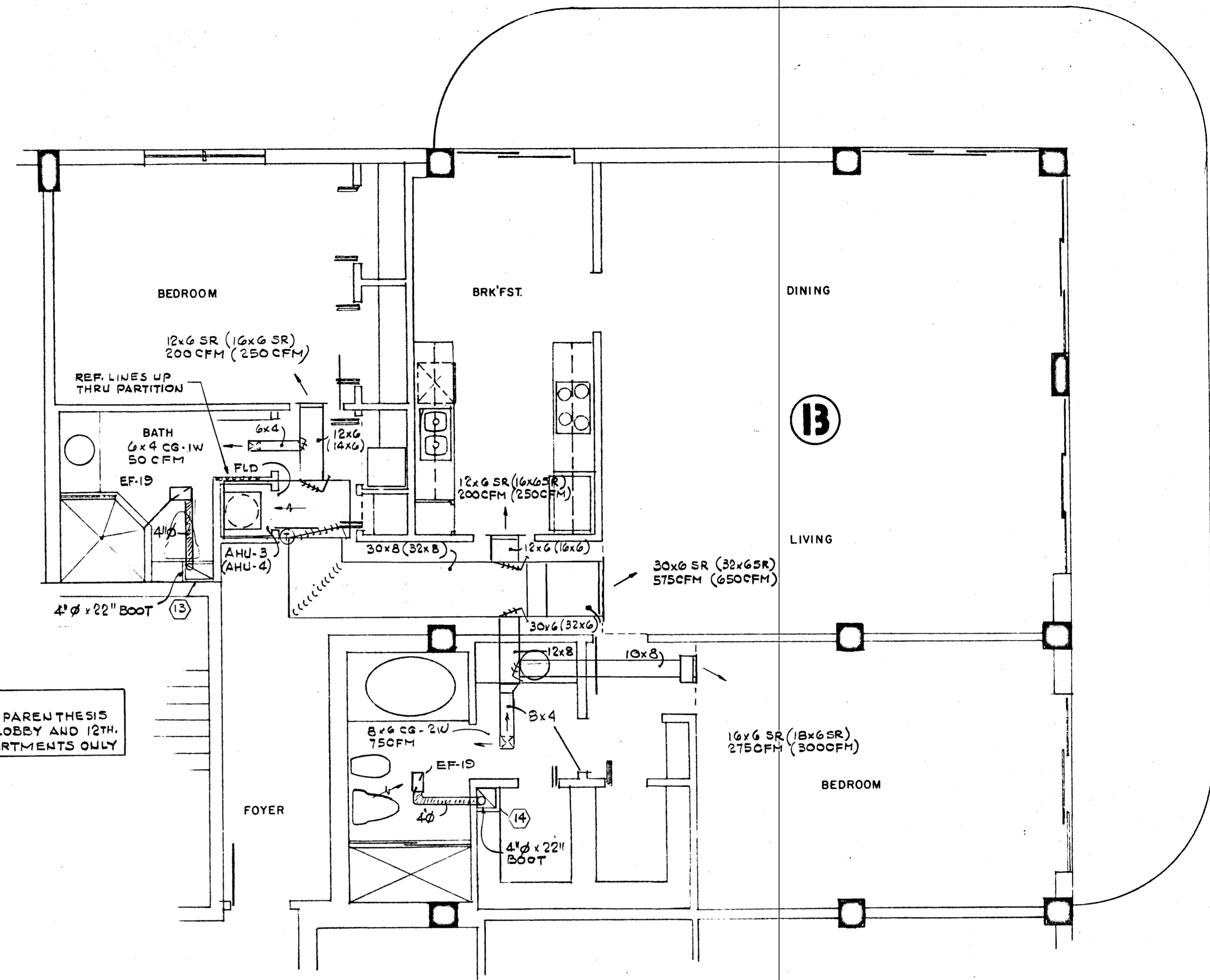
TOWN MANAGER
[Signature]

TOWN OF SURFSIDE
APPROVED:
Bldg. Inspector: *[Signature]* Date: 11/13/79
Electrical: *[Signature]* Date: 8/20/79
Plumbing: *[Signature]* Date: 8/20/79
Mechanical Ins: *[Signature]* Date: 8/20/79
Subject to Health Dept Approval

WILLIAM M. FRIEDMAN ARCHITECT		GERGIO BREITERMAN ENGINEER		FLORIDA ENGINEERING SERVICES	
ARCHITECTURAL		STRUCTURAL		ELECTRICAL	
A-1 COVER SHEET AND INDEX A-2 SPECIFICATIONS A-3 SPECIFICATIONS A-4 SPECIFICATIONS A-5 SPECIFICATIONS A-6 SITE PLAN & FOUNTAIN DET. A-7 LANDSCAPE PLAN A-8 WEST ELEVATION A-9 NORTH ELEVATION A-10 EAST ELEVATION A-11 SOUTH ELEVATION A-12 GARAGE & BASEMENT PLAN A-13 FIRST FLOOR PLAN A-14 TYPICAL FLOOR PLAN A-15 PENT HOUSE FLOOR PLAN A-16 ROOF PLAN A-17 1/4" TYPICAL UNIT — "C" & "B" A-18 1/4" TYPICAL UNIT — "A" & "D" A-19 1/4" TYPICAL UNIT — "E" & "G" A-20 1/4" TYPICAL UNIT — "H" & "I" A-21 1/4" TYPICAL UNIT — I		S-1 FOUNDATION S-2 GARAGE SLAB S-3 LOBBY FLOOR S-4 SECOND FLOOR S-5 TYPICAL S-6 PENT HOUSE S-7 ROOF S-8 COLUMN SCHEDULE & BEAM SCHEDULE		E-1 SITE PLAN E-2 GARAGE PLAN E-3 LOBBY PLAN E-4 TYPICAL E-5 ROOF E-6 1/4" TYPICAL UNIT — "A" & "B" E-7 1/4" TYPICAL UNIT — "C" & "D" E-8 1/4" TYPICAL UNIT — "E" & "G" E-9 1/4" TYPICAL UNIT — "H" & "I" E-10 ELECTRICAL SCHEDULE E-11 T.V., TELEPHONE, & FIRE ALARM RISER.	
				PLUMBING P-1 SITE PLAN P-2 GARAGE PLAN P-3 LOBBY P-4 TYPICAL P-5 ROOF P-6 1/4" TYPICAL UNIT — "A" & "B" P-7 1/4" TYPICAL UNIT — "C" & "D" P-8 1/4" TYPICAL UNIT — "E" & "G" P-9 1/4" TYPICAL UNIT — "H" & "I" P-10 PLUMBING RISERS SPRINKLERS SP-1 GARAGE PLAN SP-2 LOBBY PLAN SP-3 TYPICAL SP-4 RISERS & NOTES SP-5	
				AIR CONDITIONING AC-1 GARAGE PLAN AC-2 LOBBY PLAN AC-3 TYPICAL AC-4 ROOF AC-5 1/4" TYPICAL UNIT — "A" & "B" AC-6 1/4" TYPICAL UNIT — "C" & "D" AC-7 1/4" TYPICAL UNIT — "E" & "G" AC-8 1/4" TYPICAL UNIT — "H" & "I" AC-9 SCHEDULE & DETAILS	



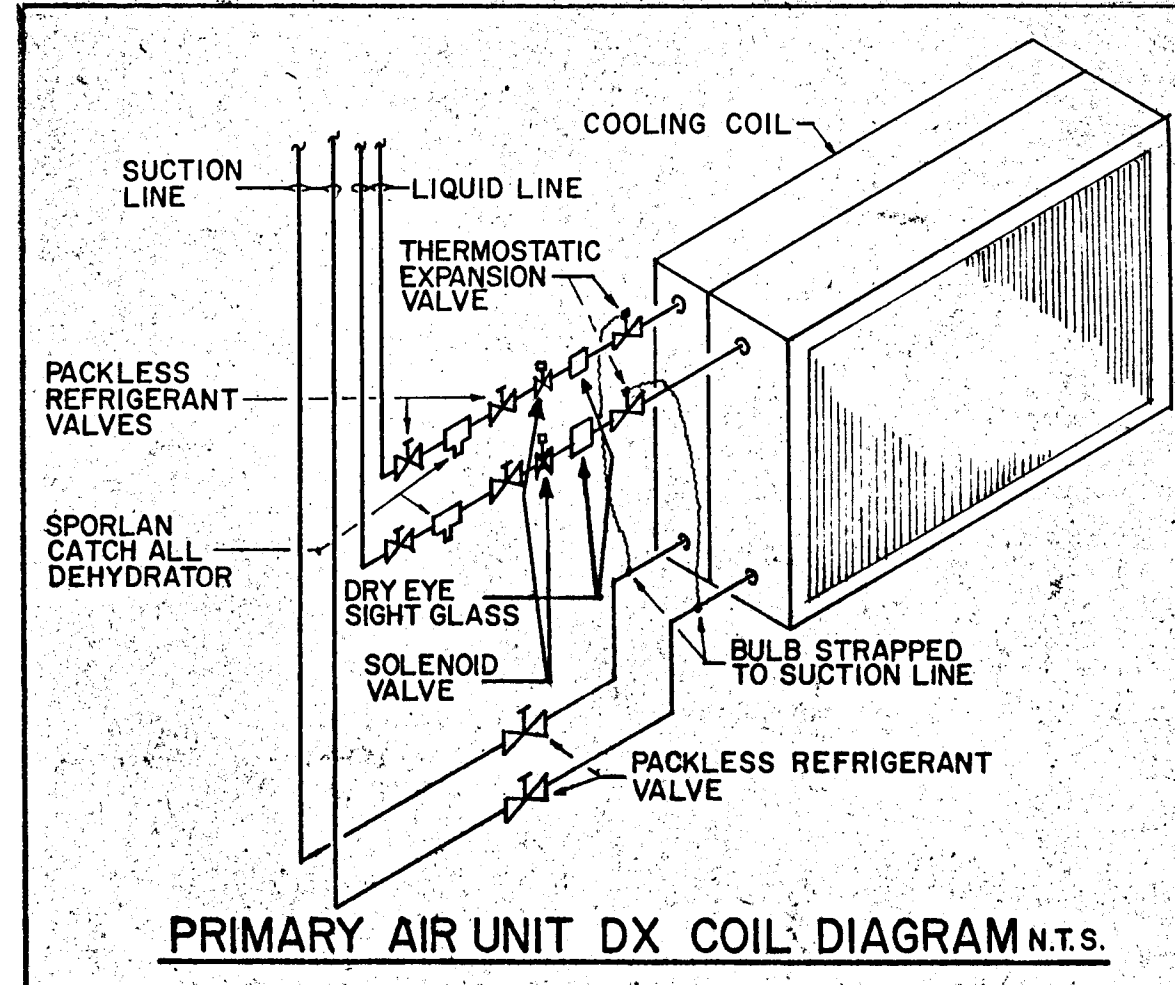
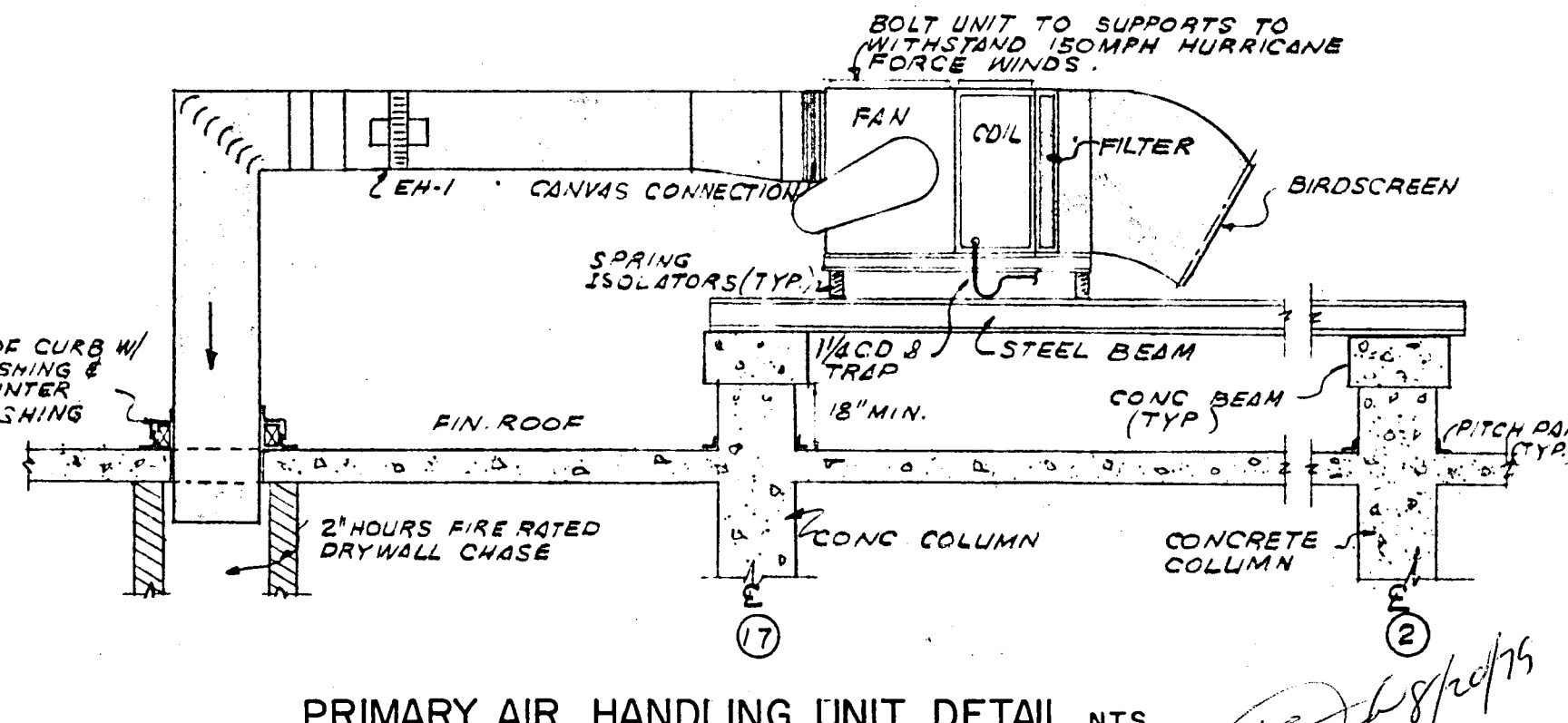
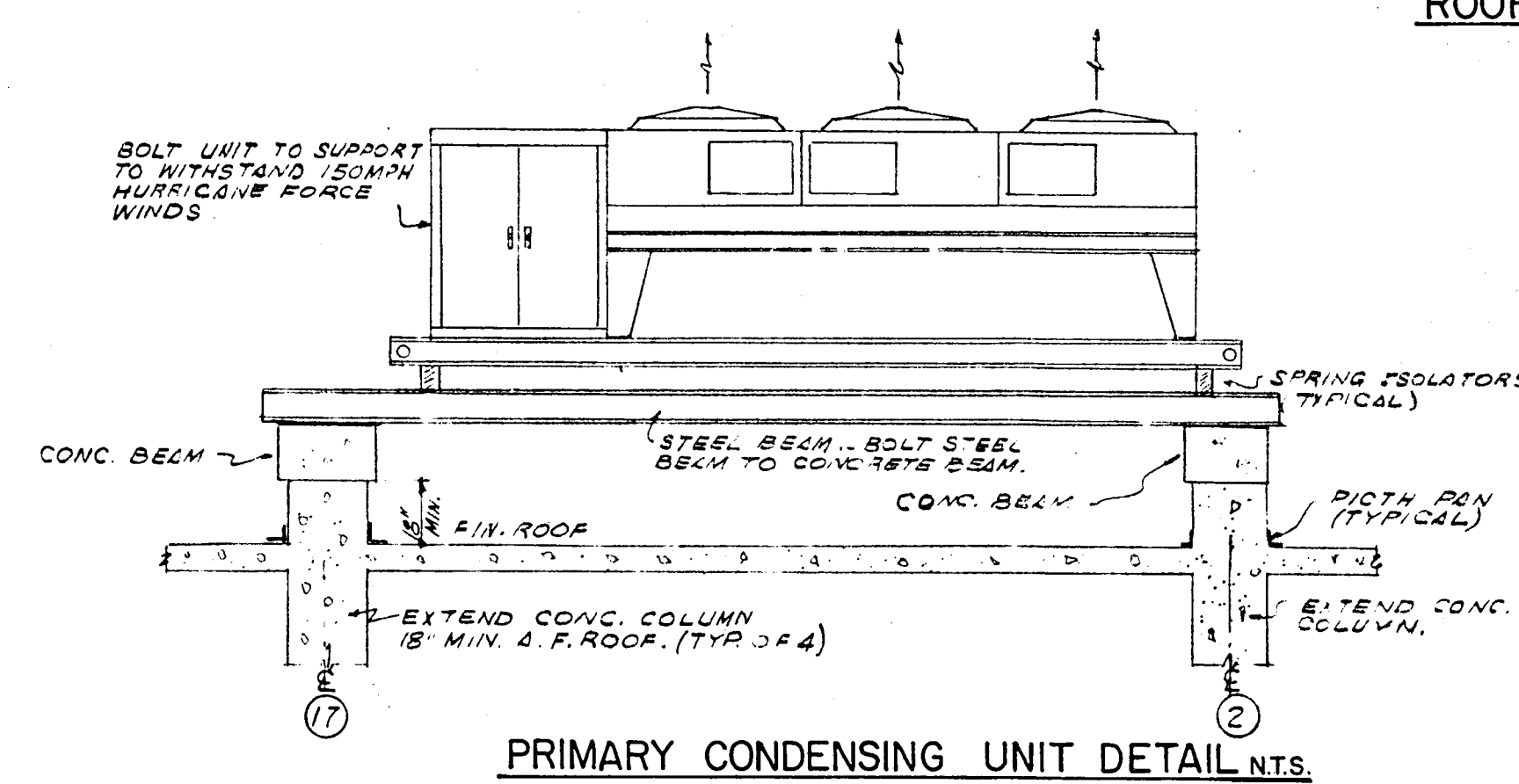
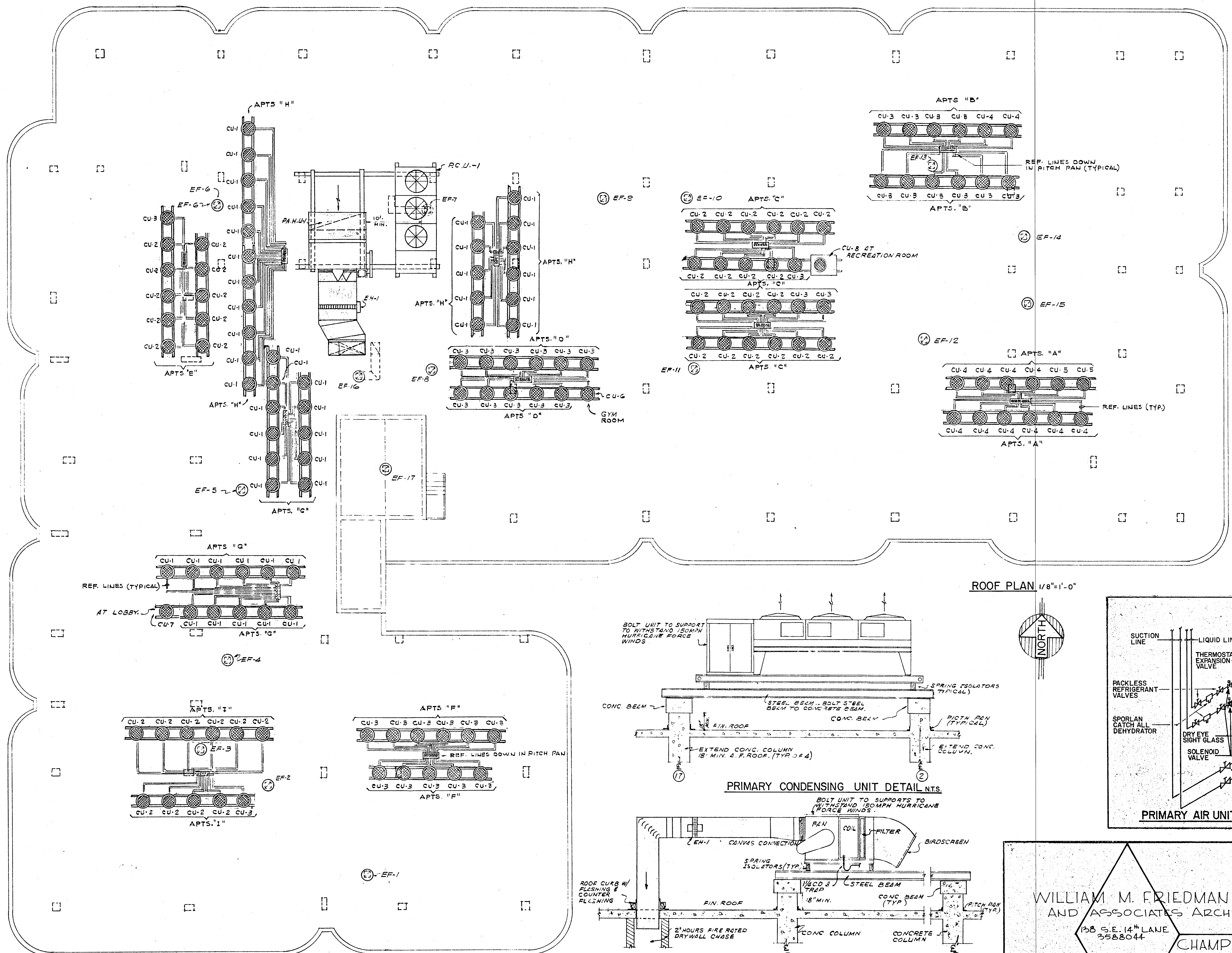
NOTE:
 ITEMS IN PARENTHESES
 APPLY TO LOBBY AND 12TH
 FLOOR APARTMENTS ONLY



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 AND ASSOCIATES ARCHITECTS, INC.
 138 S.E. 14th LANE
 3588044

CHAMPLAIN TOWERS SOUTH
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 COMM. No. DATE: 8-13-79
 REV. SHEET No. AC-5 OF 9 SHEETS

Salvatore Pulice 8/17/79



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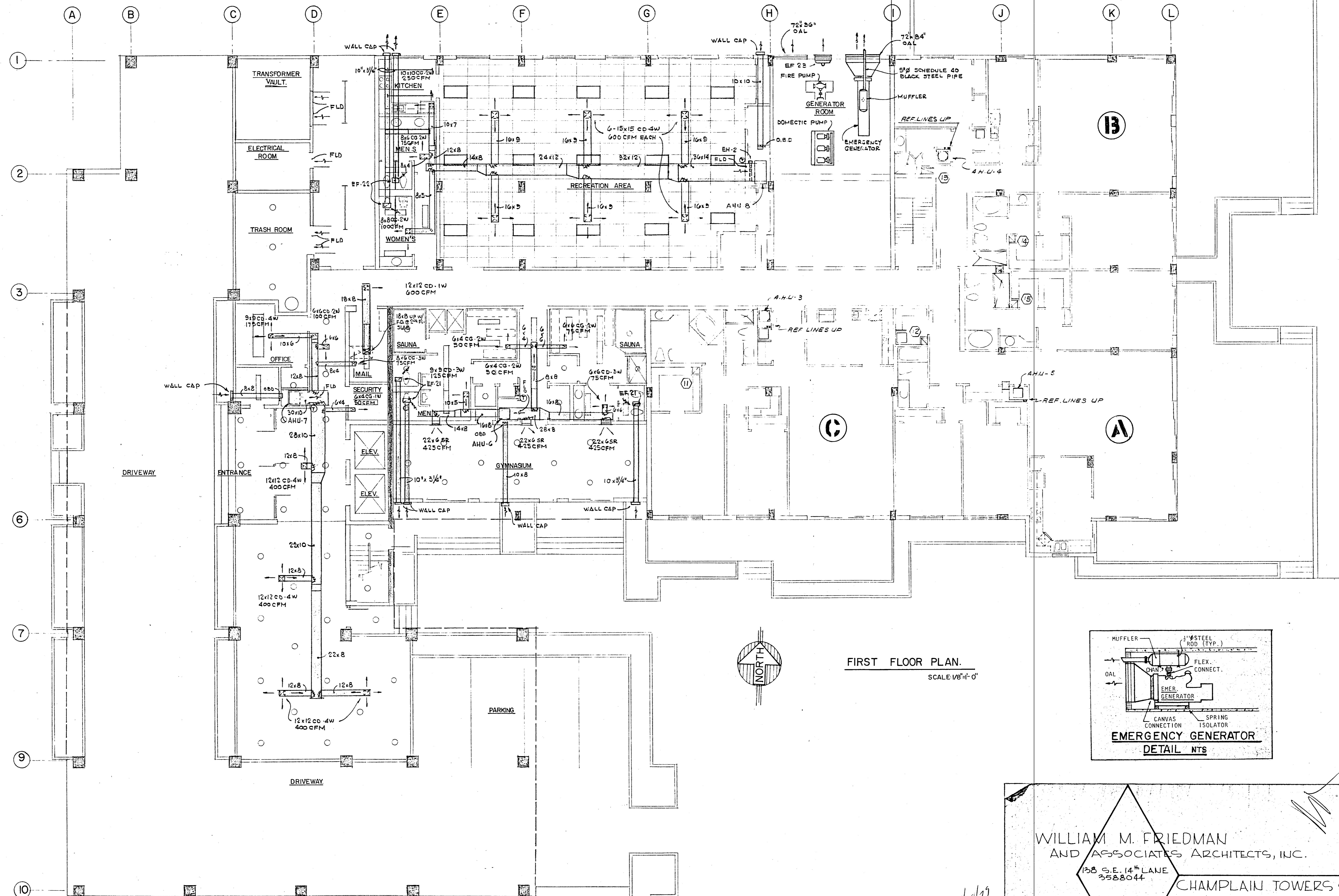
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A- 135 UNIT CONDOMINIUM

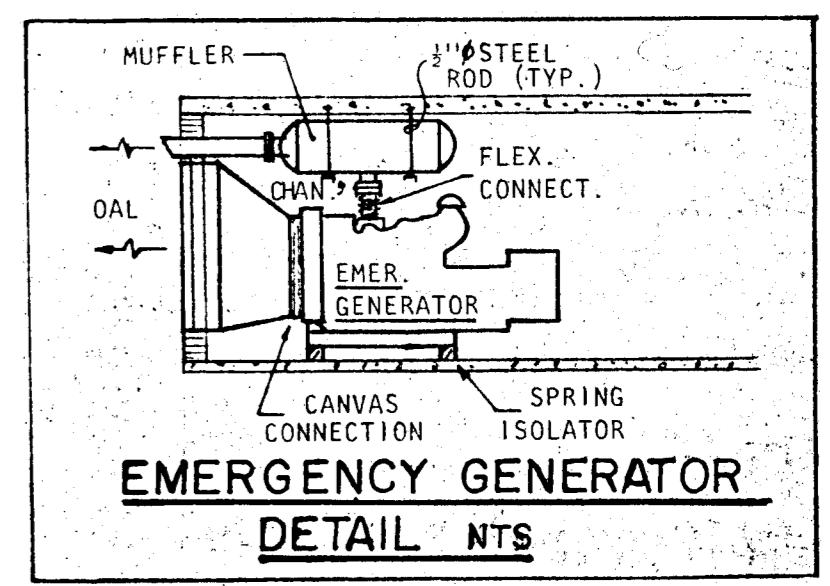
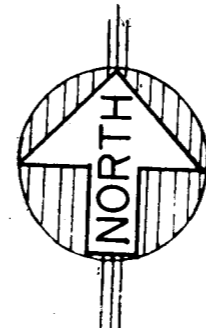
COMM. No. DATE: 8-13-79 SHEET No. OF-9 SHEETS

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MIAMI BEACH, FLA 33132 945-4743

Salomon Miller 8/13/79



FIRST FLOOR PLAN.
SCALE: 1/8" = 1'-0"



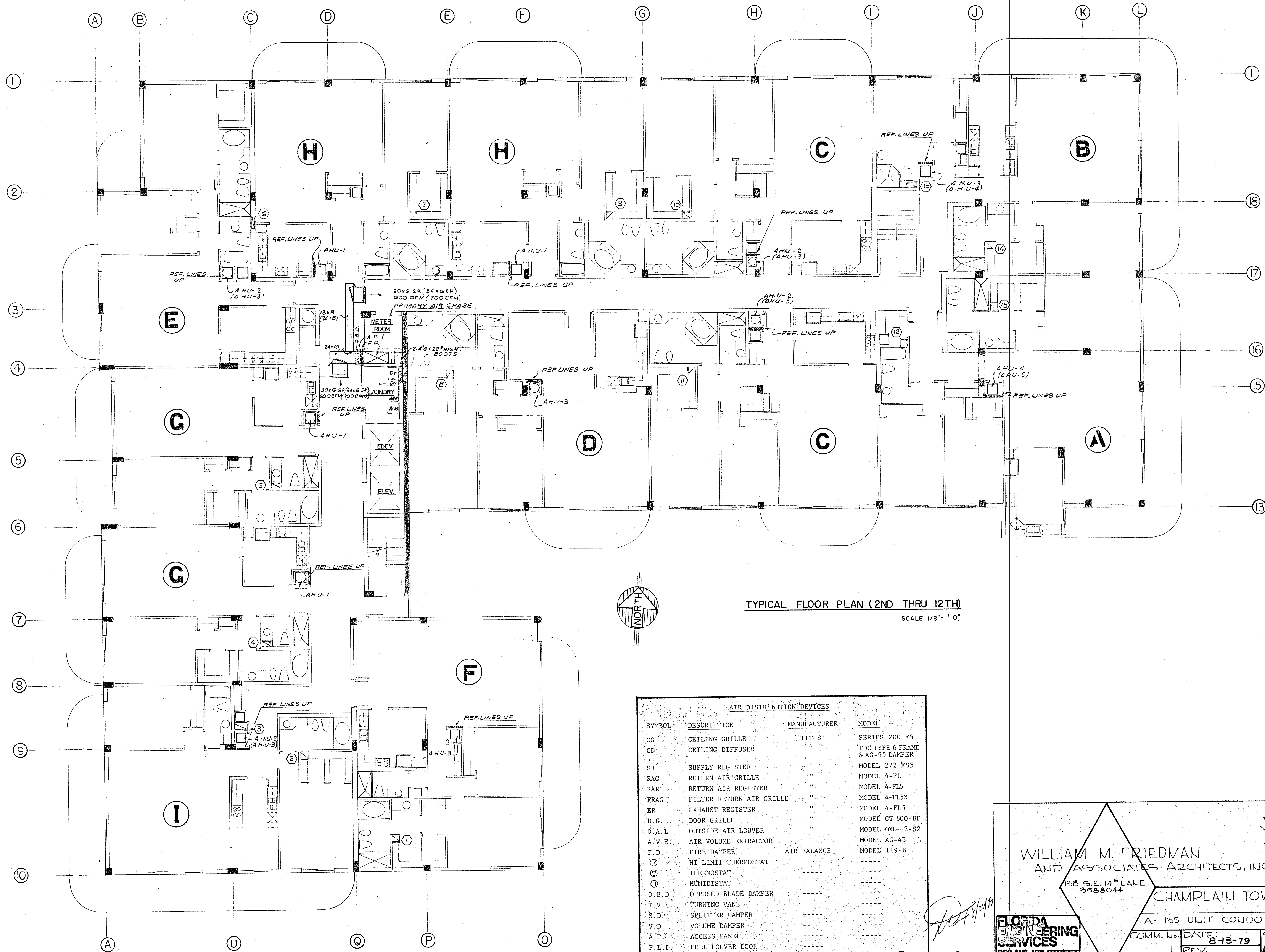
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A-135 UNIT CONDOMINIUM
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ENGINEERING
SERVICES
232 NE 167 STREET
FORT LAUDERDALE, FLA.
33302 • 945-4733

SHEET No. 9 OF 9
A/C2

8/20/79
Salomon Miller
8/13/79



TYPICAL FLOOR PLAN (2ND THRU 12TH)
SCALE: 1/8" = 1'-0"

AIR DISTRIBUTION DEVICES			
SYMBOL	DESCRIPTION	MANUFACTURER	MODEL
CG	CEILING GRILLE	TITUS	SERIES 200 F5
CD	CEILING DIFFUSER	"	TDC TYPE 6 FRAME & AG-95 DAMPER
SR	SUPPLY REGISTER	"	MODEL 272 FS5
RAG	RETURN AIR GRILLE	"	MODEL 4-FL
RAR	RETURN AIR REGISTER	"	MODEL 4-FL5
FRAG	FILTER RETURN AIR GRILLE	"	MODEL 4-FL5N
ER	EXHAUST REGISTER	"	MODEL 4-FL5
D.G.	DOOR GRILLE	"	MODEL CT-800-BF
O.A.L.	OUTSIDE AIR LOUVER	"	MODEL OXL-F2-S2
A.V.E.	AIR VOLUME EXTRACTOR	"	MODEL AG-45
F.D.	FIRE DAMPER	AIR BALANCE	MODEL 119-B
Ⓢ	HI-LIMIT THERMOSTAT	-----	-----
Ⓣ	THERMOSTAT	-----	-----
Ⓜ	HUMIDISTAT	-----	-----
O.B.D.	OPPOSED BLADE DAMPER	-----	-----
T.V.	TURNING VANE	-----	-----
S.D.	SPLITTER DAMPER	-----	-----
V.D.	VOLUME DAMPER	-----	-----
A.P.	ACCESS PANEL	-----	-----
F.L.D.	FULL LOUVER DOOR	-----	-----
U.D.	UNDERCUT DOOR	-----	-----

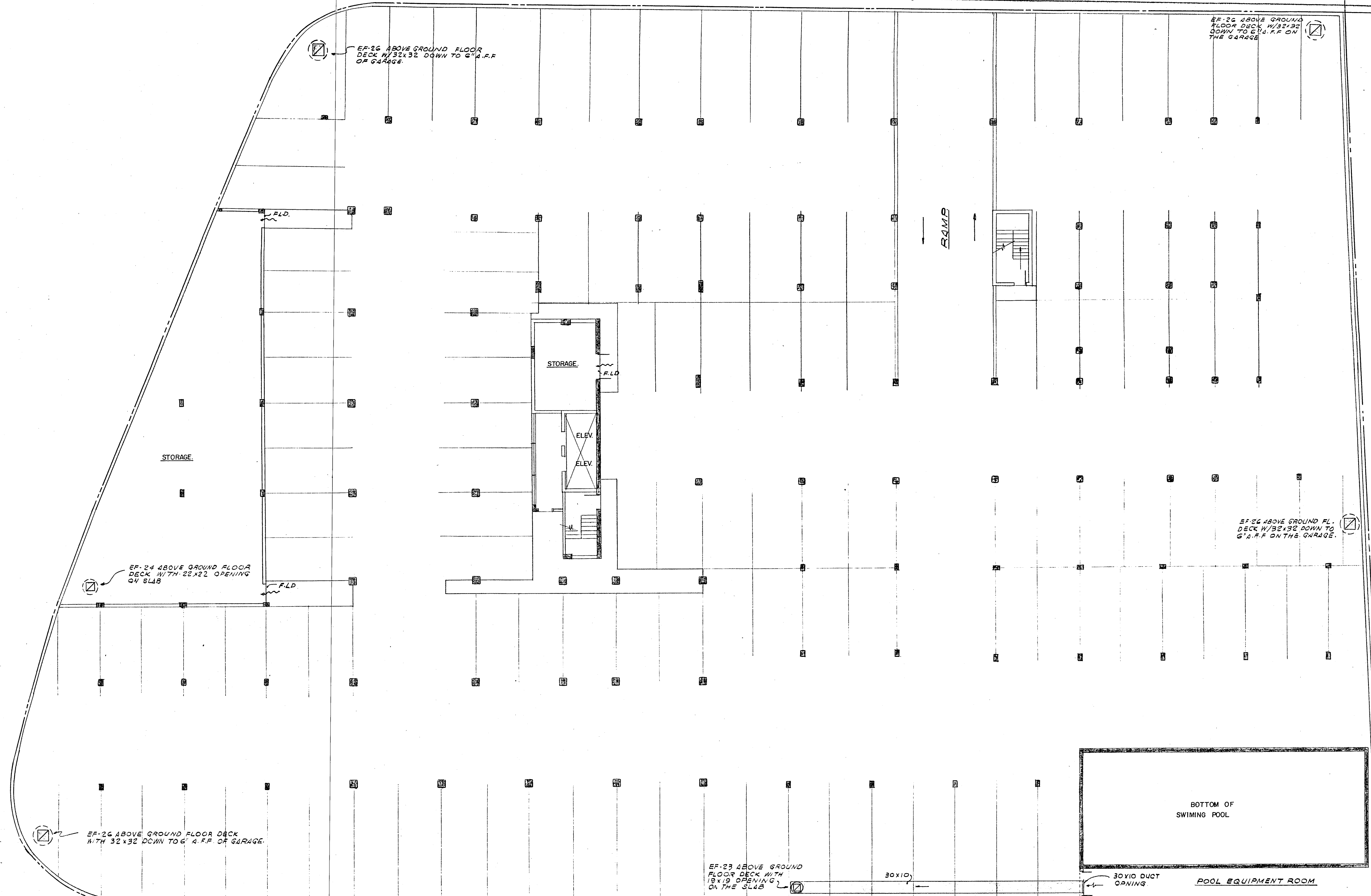
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3588044

CHAMPLAIN TOWERS SOUTH
A-135 UNIT COLDOMINIUM

FLORIDA ENGINEERING SERVICES
252 NE 167 STREET
MIAMI BEACH, FLA.
33132 925-4723

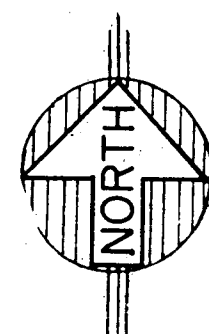
COMM. No. DATE: 8-13-79 SHEET No. 3 OF 3
REV. AC.3

Salvatore
8/13/79



NOTE:
 ALL DUCTWORK EXPOSED TO VEHICULAR TRAFFIC
 SHALL BE PROTECTED WITH STEEL ANGLES AS
 REQUIRED TO BE A HEIGHT OF 4 FT. A.F.F.

GARAGE LEVEL-FLOOR PLAN
 SCALE 1/32"=1'-0"



EF-26 ABOVE GROUND FLOOR DECK W/32x32 DOWN TO 6' A.F.F. ON THE GARAGE

EF-26 ABOVE GROUND FLOOR DECK W/32x32 DOWN TO 6' A.F.F. ON THE GARAGE

EF-26 ABOVE GROUND FL. DECK W/32x32 DOWN TO 6' A.F.F. ON THE GARAGE.

EF-24 ABOVE GROUND FLOOR DECK WITH 22x22 OPENING ON SLAB

EF-26 ABOVE GROUND FLOOR DECK WITH 32x32 DOWN TO 6' A.F.F. ON THE GARAGE

EF-23 ABOVE GROUND FLOOR DECK WITH 19x19 OPENING ON THE SLAB

BOTTOM OF SWIMMING POOL

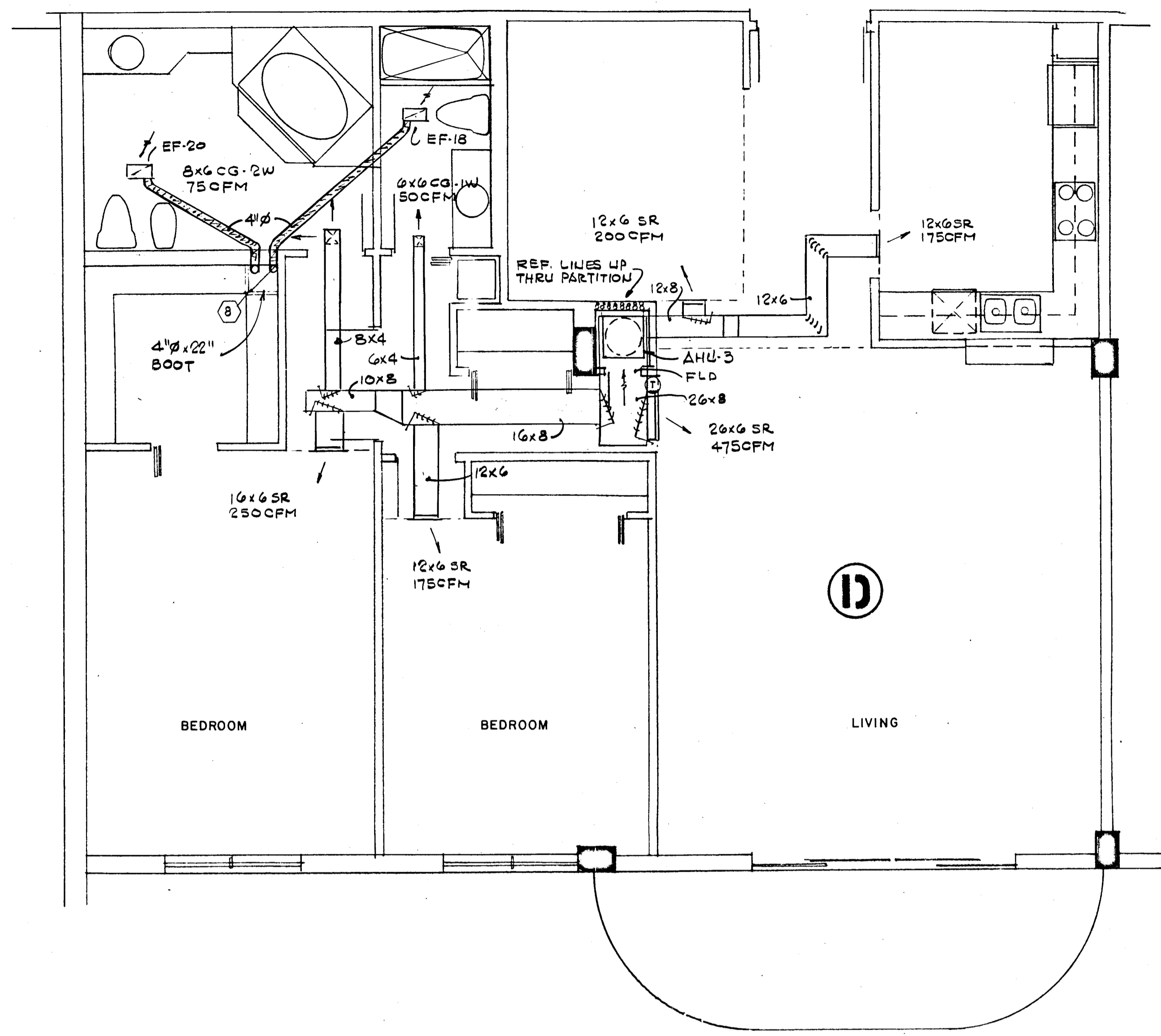
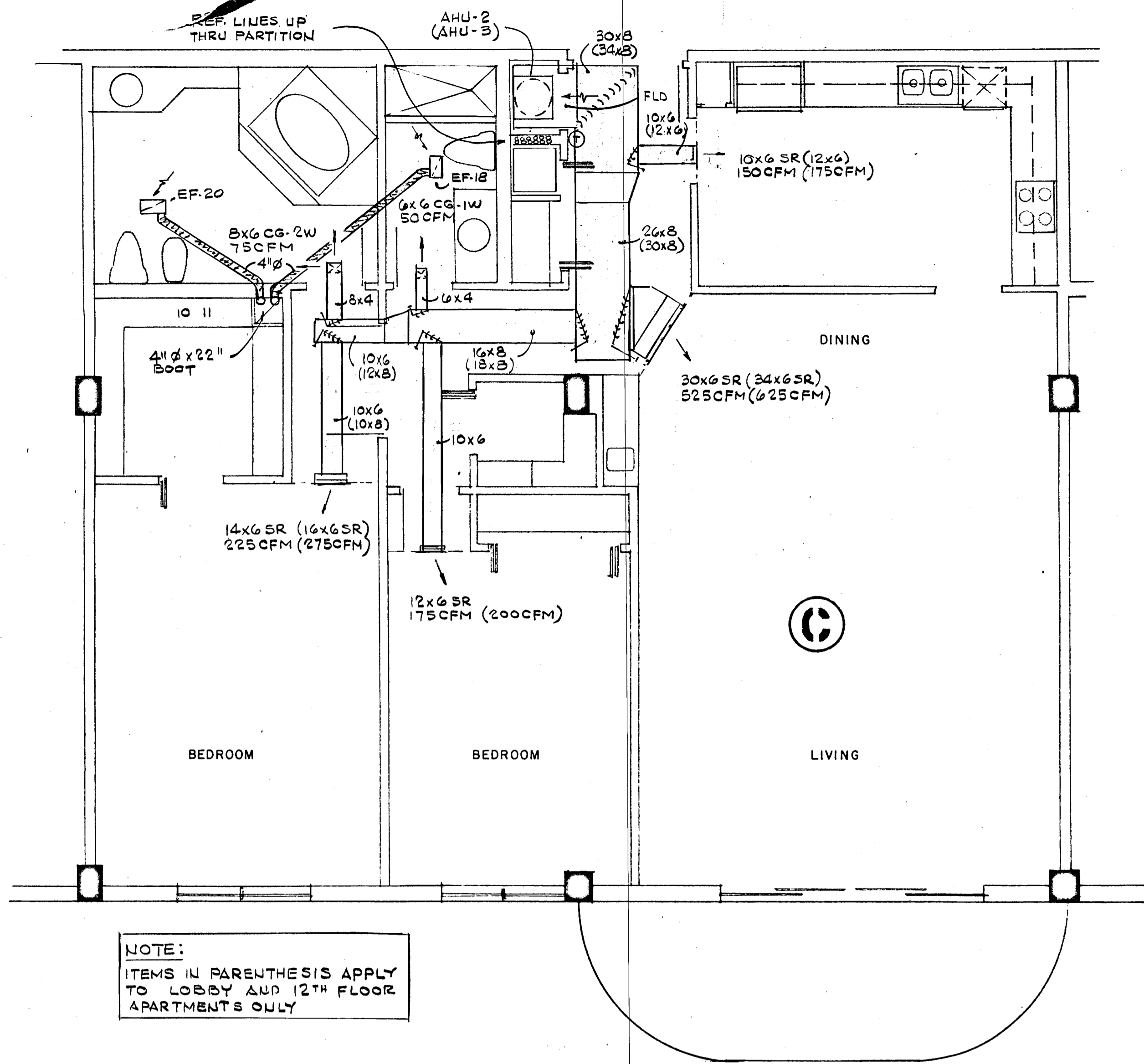
30x10 DUCT OPENING
 POOL EQUIPMENT ROOM

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 REV. AC/1 OF 9 SHEETS

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Salvatore Miller 8/20/79
Salvatore Miller 8/17/79

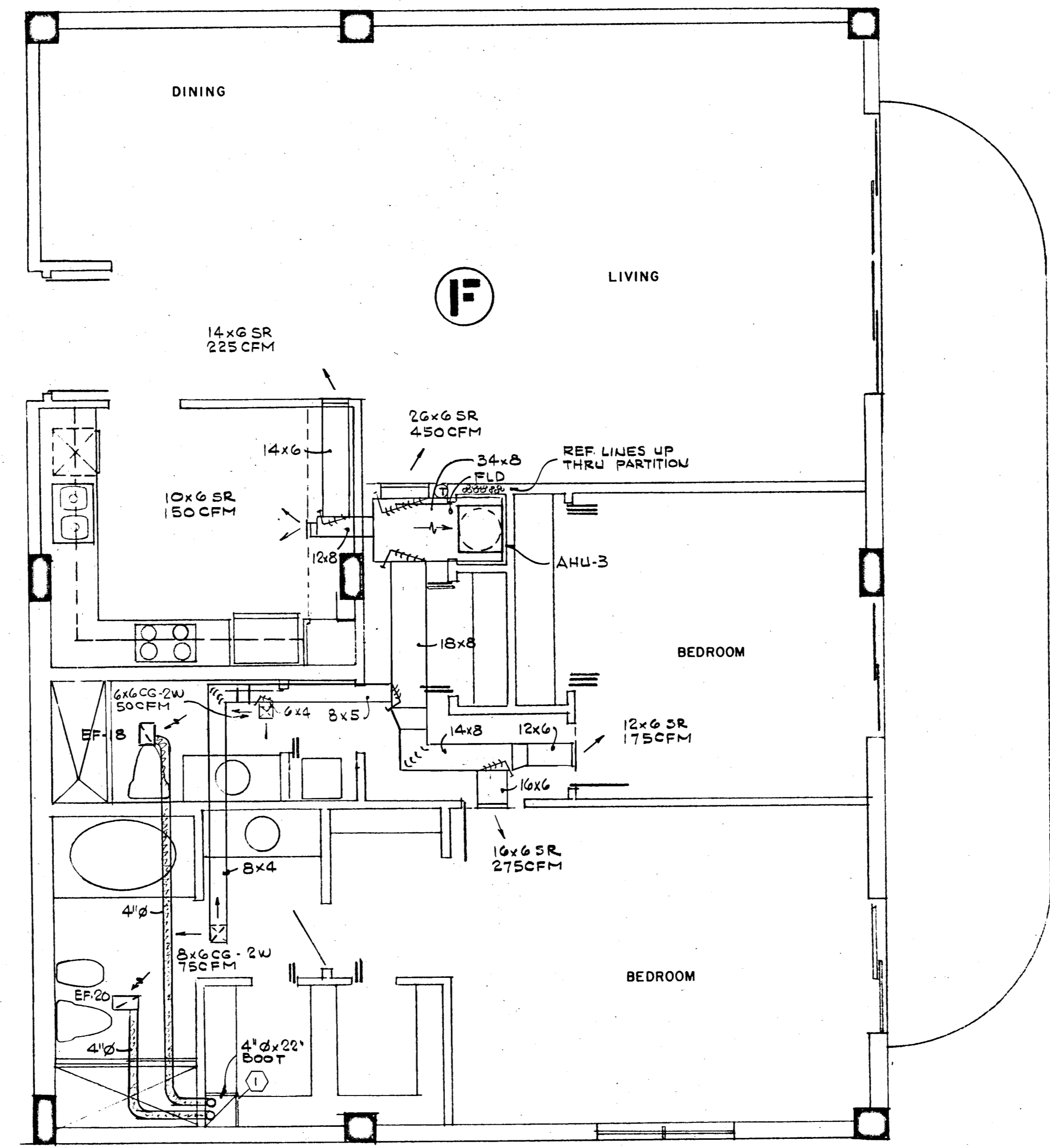
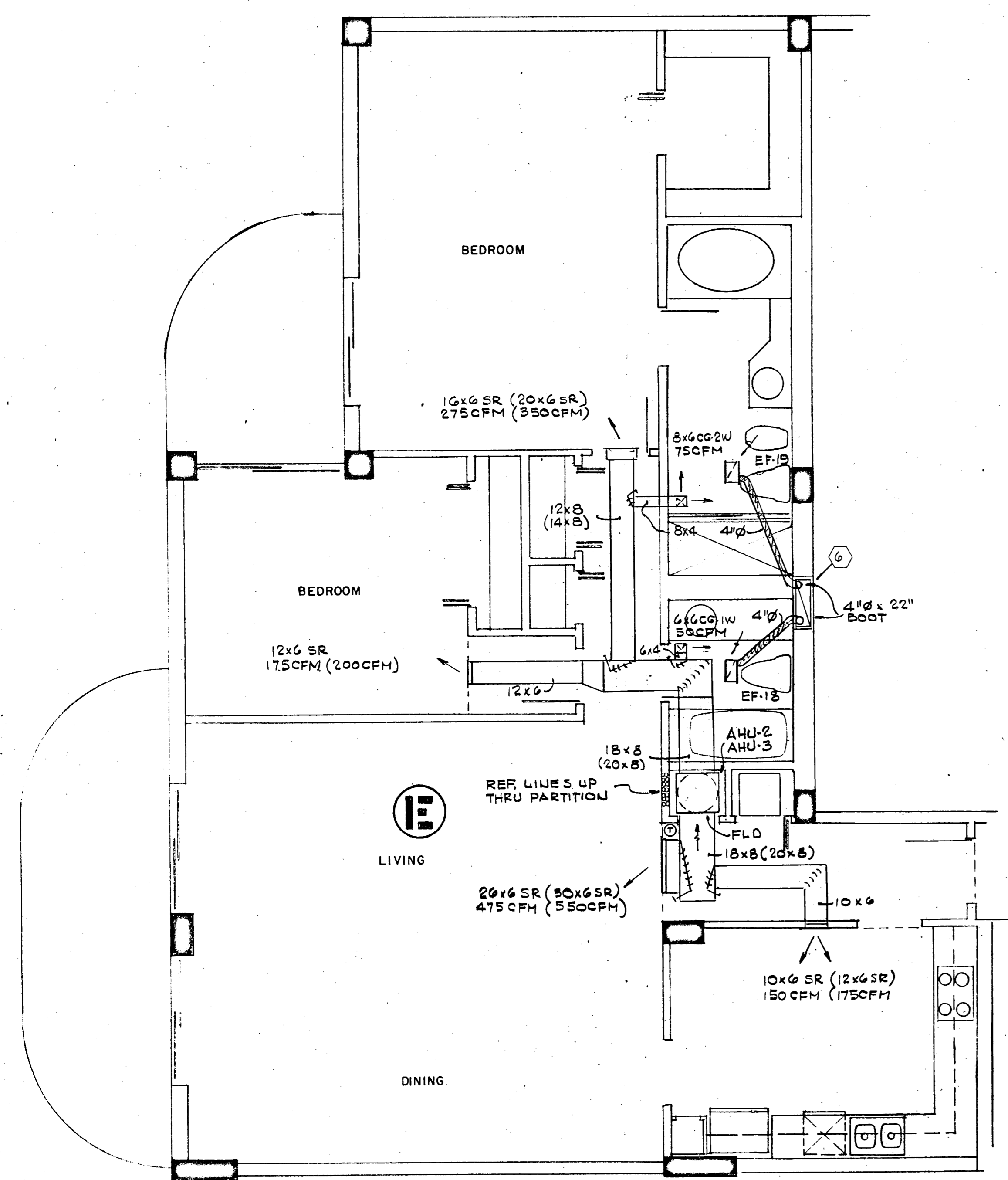


NOTE:
 ITEMS IN PARENTHESIS APPLY
 TO LOBBY AND 12TH FLOOR
 APARTMENTS ONLY

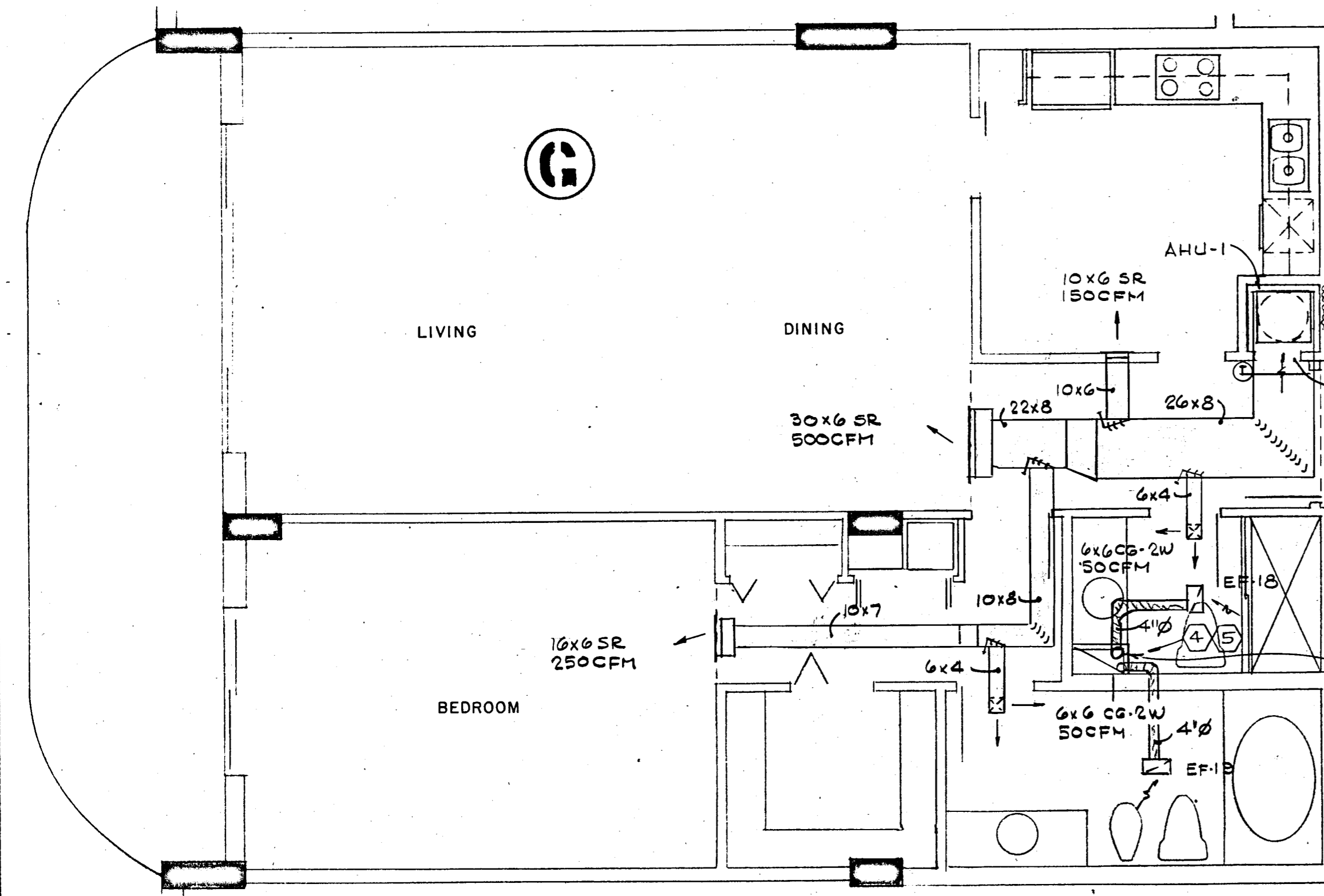
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 3388044

CHAMPLAIN TOWERS SOUTH
 A- 135 UNIT CONDOMINIUM
 COMM. No. DATE: 8-13-79
 REV. SHEET No. 6 OF 9
 SHTS

Salomon
 8/13/79



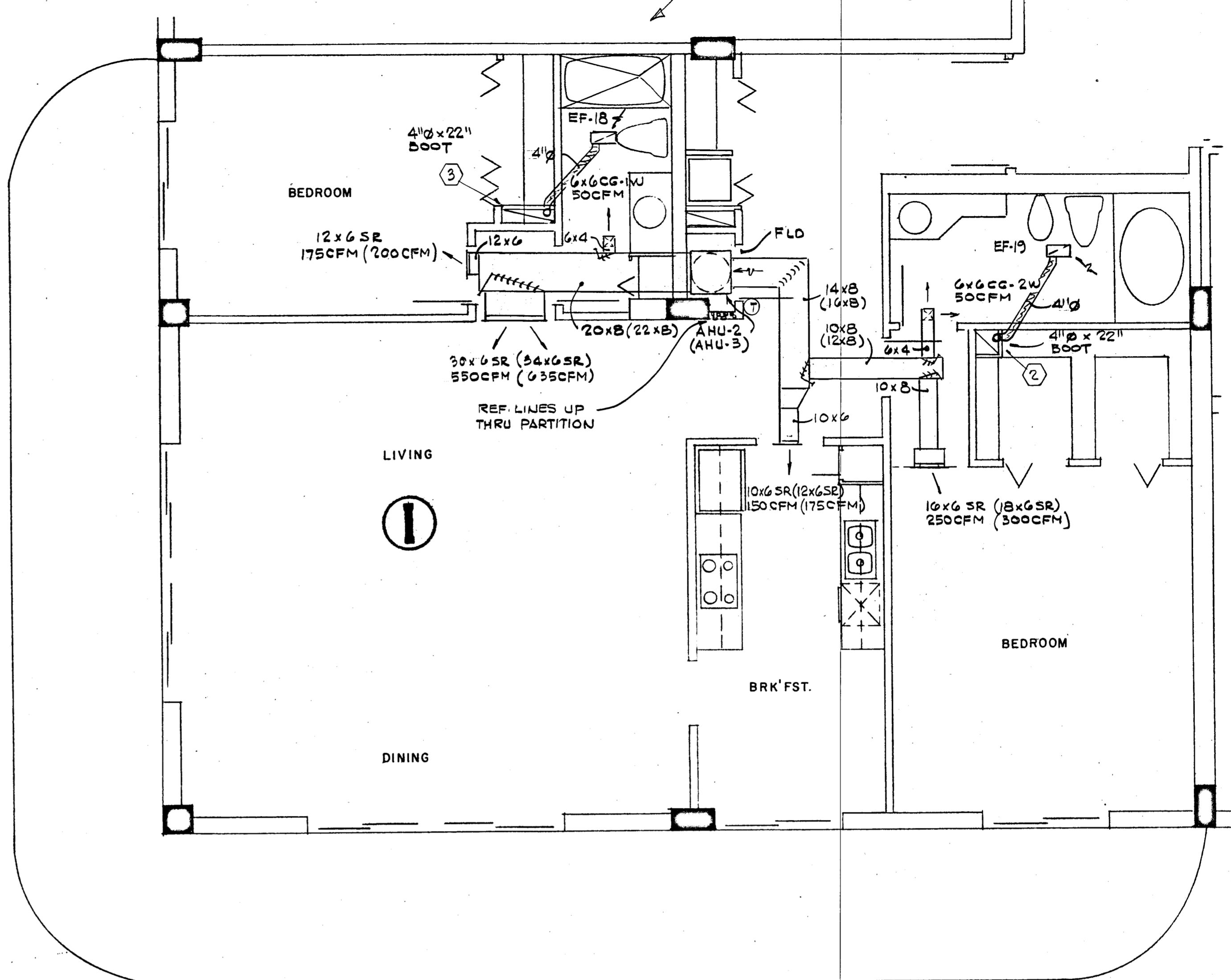
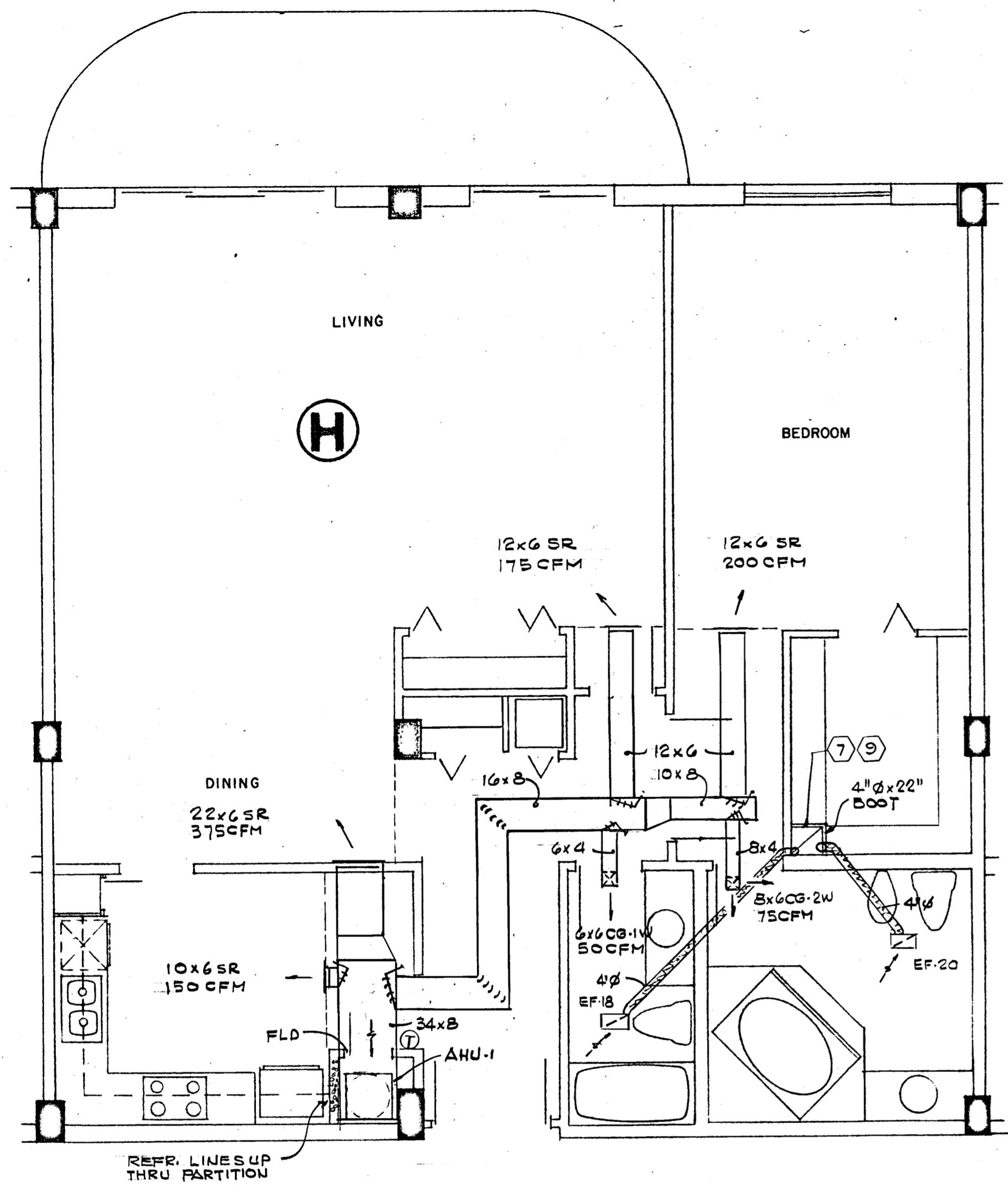
NOTE:
 ITEMS IN PARENTHESIS APPLY
 TO LOBBY AND 12TH FLOOR
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CHAMPLAIN TOWERS SOUTH
 A 135 UNIT COLDOMINIUM
 COMM. No. DATE: 8-13-79 SHEET No. AC7 OF 9
 REV. SHEETS



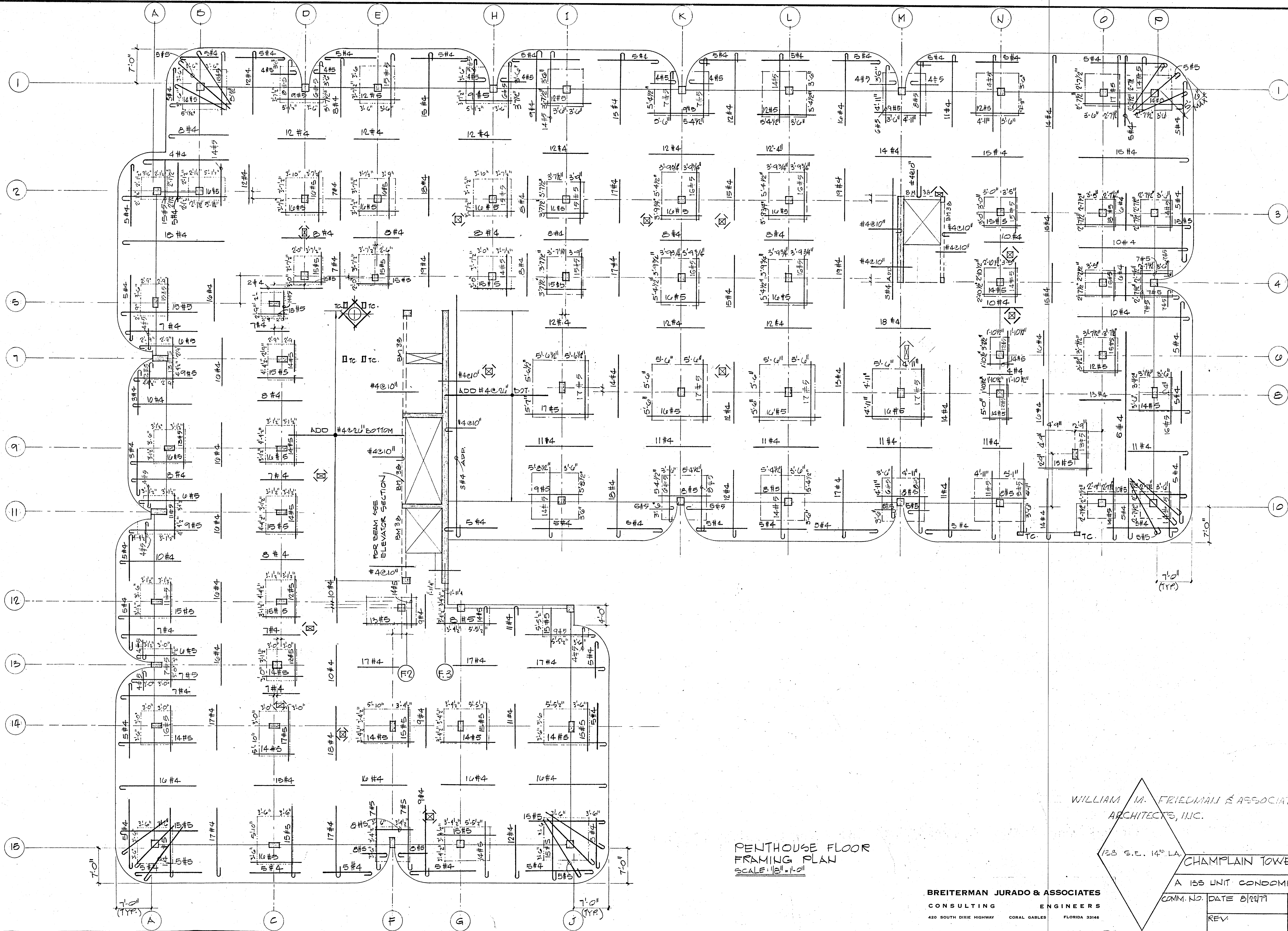
NOTE:
 ITEMS IN PARENTHESIS APPLY
 TO LOBBY AND 12TH FLOOR
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CHAMPLAIN TOWERS SOUTH
 A. 135 UNIT CONDOMINIUM

COMM. No.	DATE	SHEET No.
	8-13-79	ACB of 9
REV		SHEET



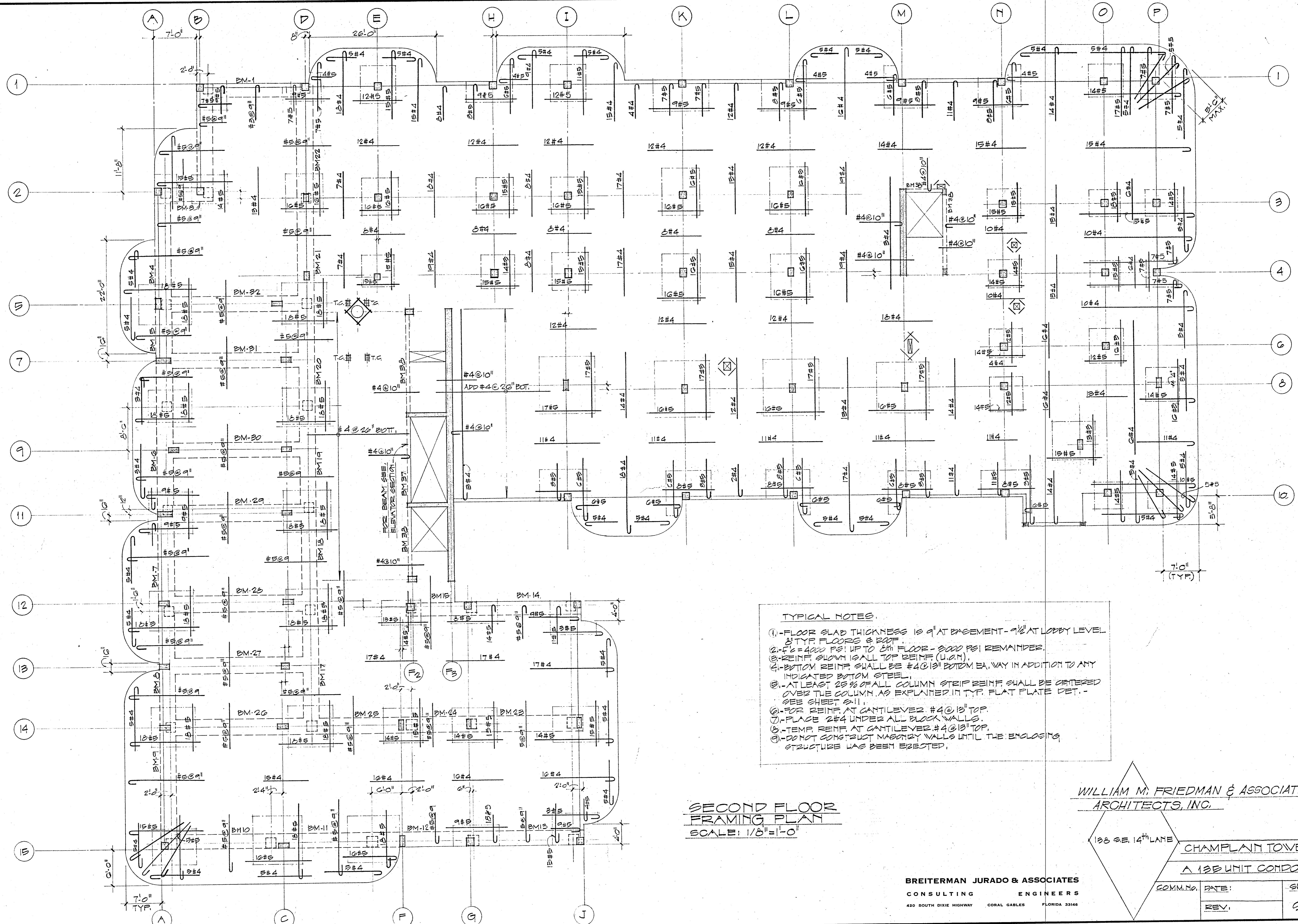
PENTHOUSE FLOOR
FRAMING PLAN
SCALE: 1/8" = 1'-0"

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

128 S.E. 14TH L.A.
CHAMPLAIN TOWERS SOUTH

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

A 135 UNIT CONDOMINIUM		SHEET NO.
COMM. NO.	DATE 8/27/99	59 OF 14
REV.		



TYPICAL NOTES.

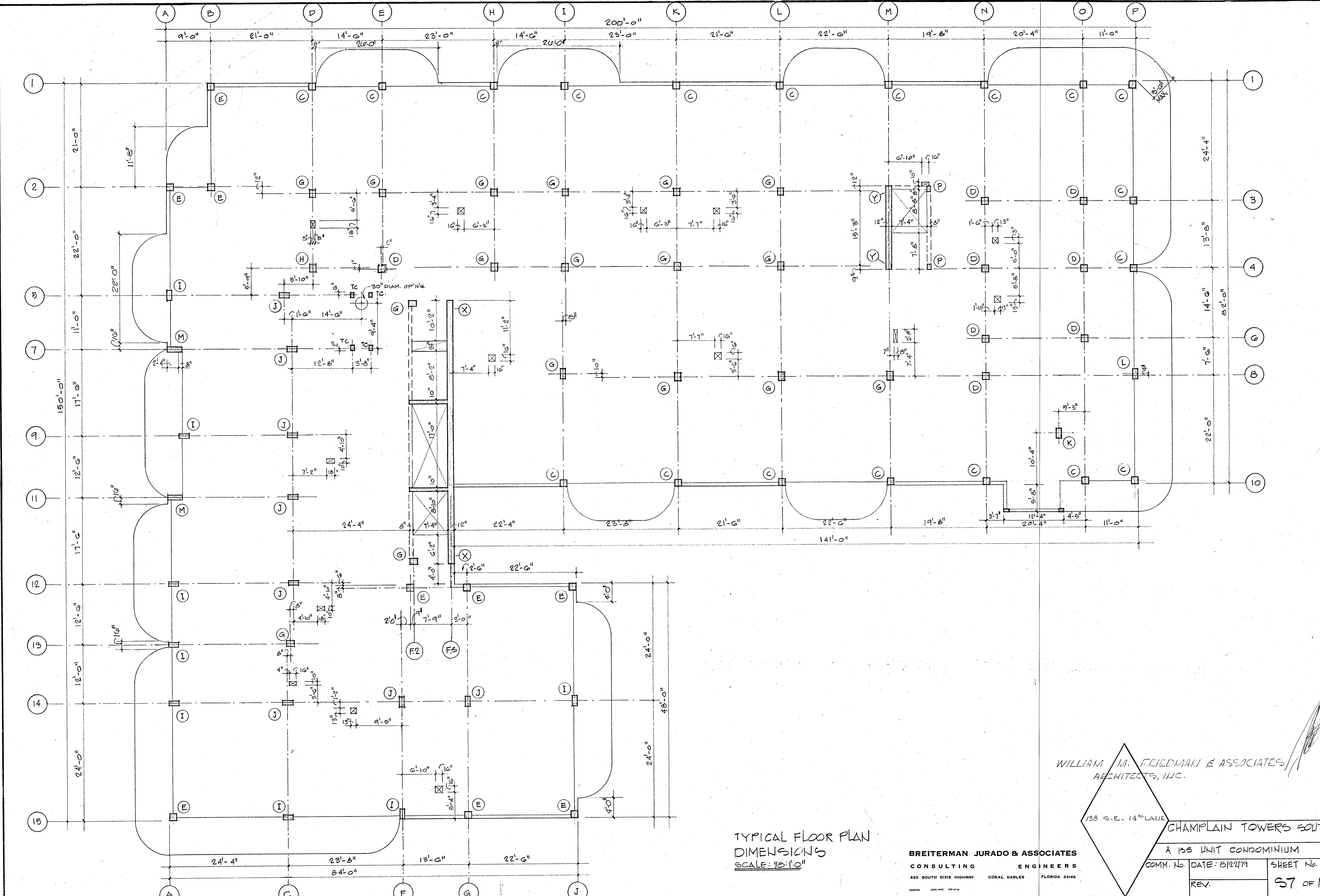
1. FLOOR SLAB THICKNESS IS 9" AT BASEMENT - 9 1/2" AT LOBBY LEVEL & TYP. FLOORS & ROOF.
2. F₁ = 4000 PSI UP TO 6TH FLOOR - 3000 PSI REMAINDER.
3. REINF. SHOWN IS ALL TOP REINF. (U.O.M.).
4. BOTTOM REINF. SHALL BE #4 @ 13" BOTTOM EA. WAY IN ADDITION TO ANY INDICATED BOTTOM STEEL.
5. AT LEAST 25% OF ALL COLUMN STRIP REINF. SHALL BE ORDERED OVER THE COLUMN AS EXPLAINED IN TYP. FLAT PLATE DET. - SEE SHEET S-11.
6. FOR REINF. AT CANTILEVER #4 @ 13" TOP.
7. PLACE 2#4 UNDER ALL BLOCK WALLS.
8. TEMP. REINF. AT CANTILEVER #4 @ 13" TOP.
9. DO NOT CONSTRUCT MASONRY WALLS UNTIL THE ENCLOSING STRUCTURE HAS BEEN ERRECTED.

**SECOND FLOOR
FRAMING PLAN**
SCALE: 1/8" = 1'-0"

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ARCHITECTS, INC.

138 SE. 14 TH LANE		CHAMPLAIN TOWERS SOUTH
		A 138 UNIT CONDOMINIUM
COMM. NO.	DATE:	SHEET
REV.		50 OF 14

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146



TYPICAL FLOOR PLAN
DIMENSIONS
SCALE: 1/8"=1'-0"

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

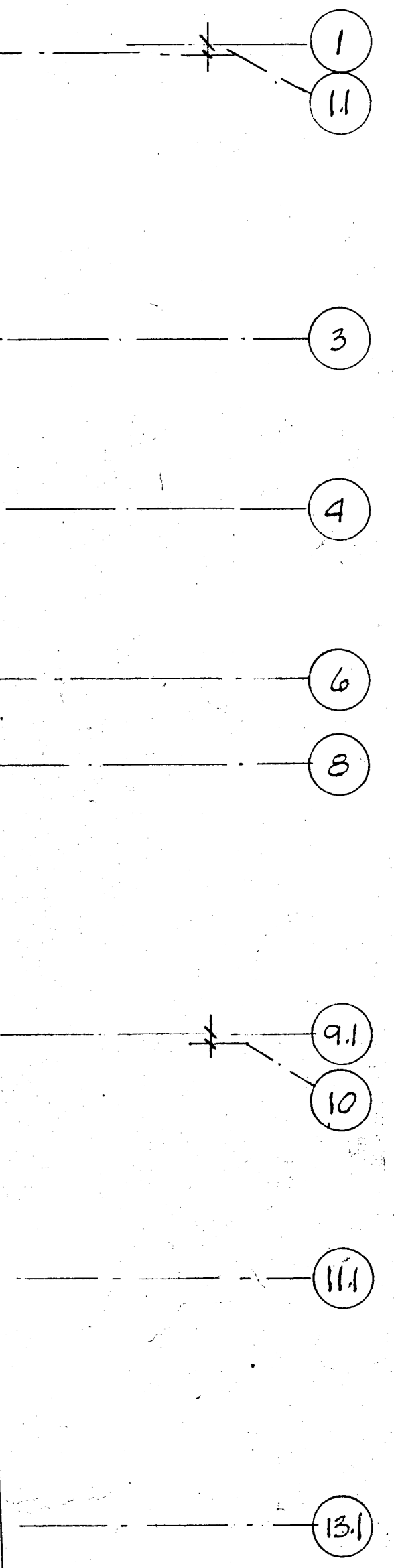
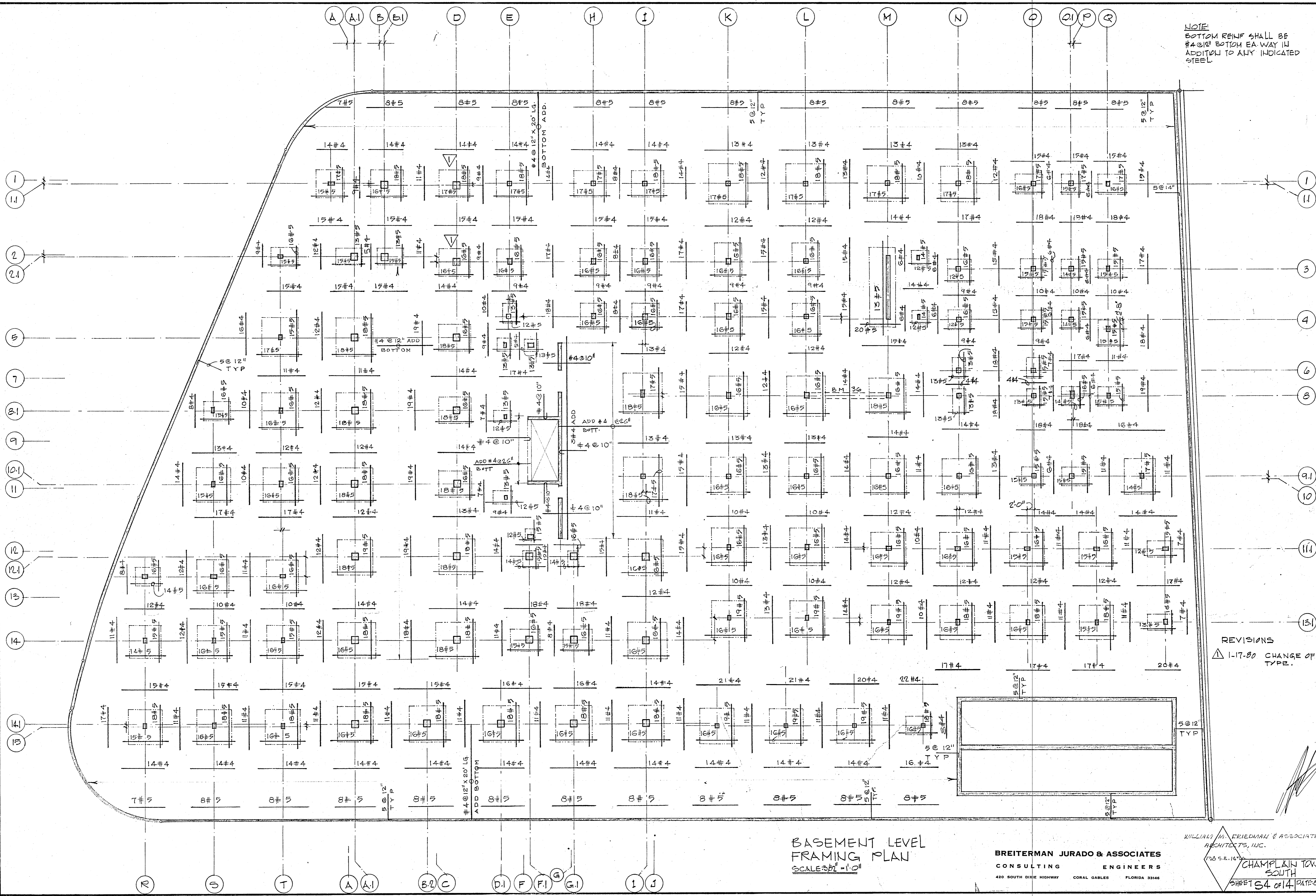
WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

133 S.E. 14TH LAKE
CHAMPLAIN TOWERS SOUTH

A 133 UNIT CONDOMINIUM

COMM. No.	DATE: 8/22/79	SHEET No.
REV.		57 OF 14

NOTE
 BOTTOM REINF SHALL BE
 #4 @ 12" BOTTOM EA WAY IN
 ADDITION TO ANY INDICATED
 STEEL.

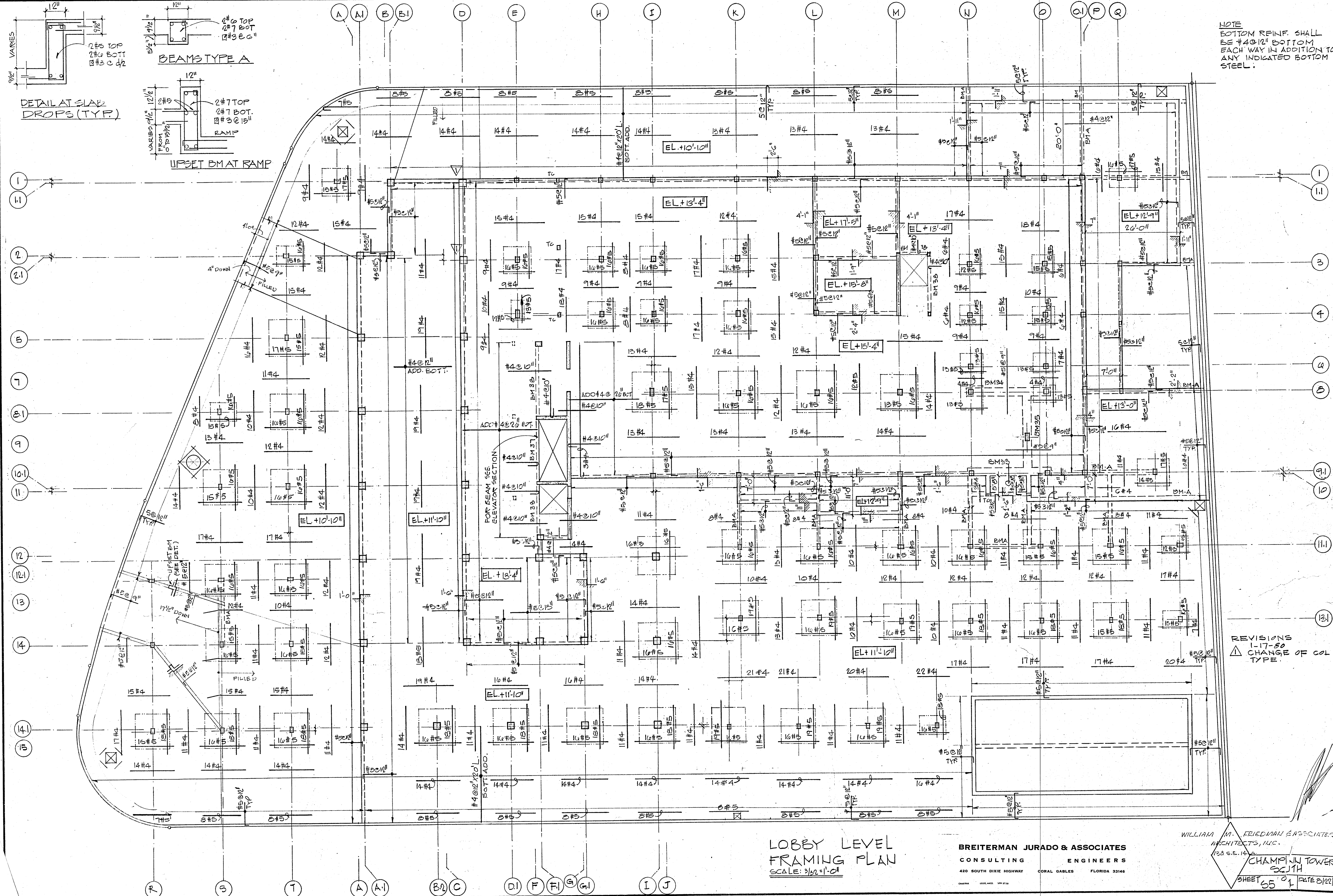


REVISIONS
 Δ 1-17-80 CHANGE OF COL TYPE.

BASEMENT LEVEL
 FRAMING PLAN
 SCALE 3/8" = 1'-0"

BREITERMAN JURADO & ASSOCIATES
 CONSULTING ENGINEERS
 420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

WILLIAM M. FRIEDMAN & ASSOCIATES
 ARCHITECTS, INC.
 1735 S.E. 14th
 CHAMPLAIN TOWERS
 SOUTH
 SHEET 54 OF 14 DATE 01/27/80



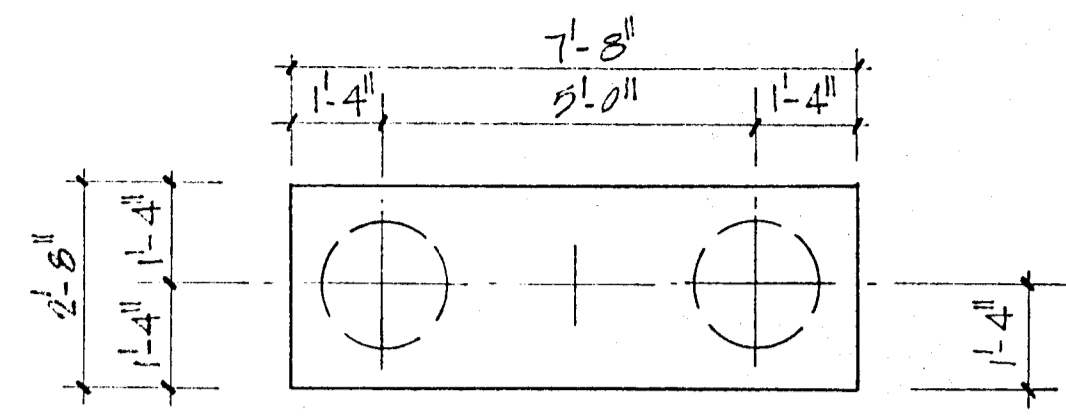
NOTE
 BOTTOM REINF. SHALL
 BE #4@12" BOTTOM
 EACH WAY IN ADDITION TO
 ANY INDICATED BOTTOM
 STEEL.

REVISIONS
 1-17-80
 CHANGE OF COL
 TYPE.

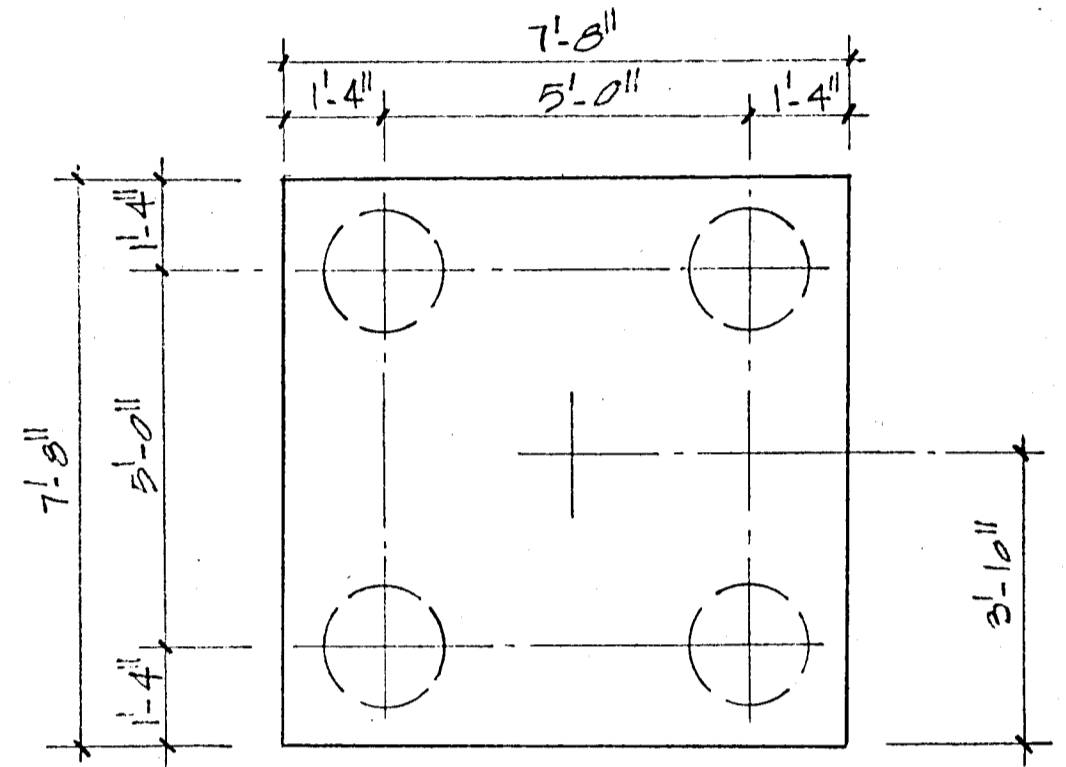
LOBBY LEVEL
 FRAMING PLAN
 SCALE: 3/32"=1'-0"

BREITERMAN JURADO & ASSOCIATES
 CONSULTING ENGINEERS
 420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

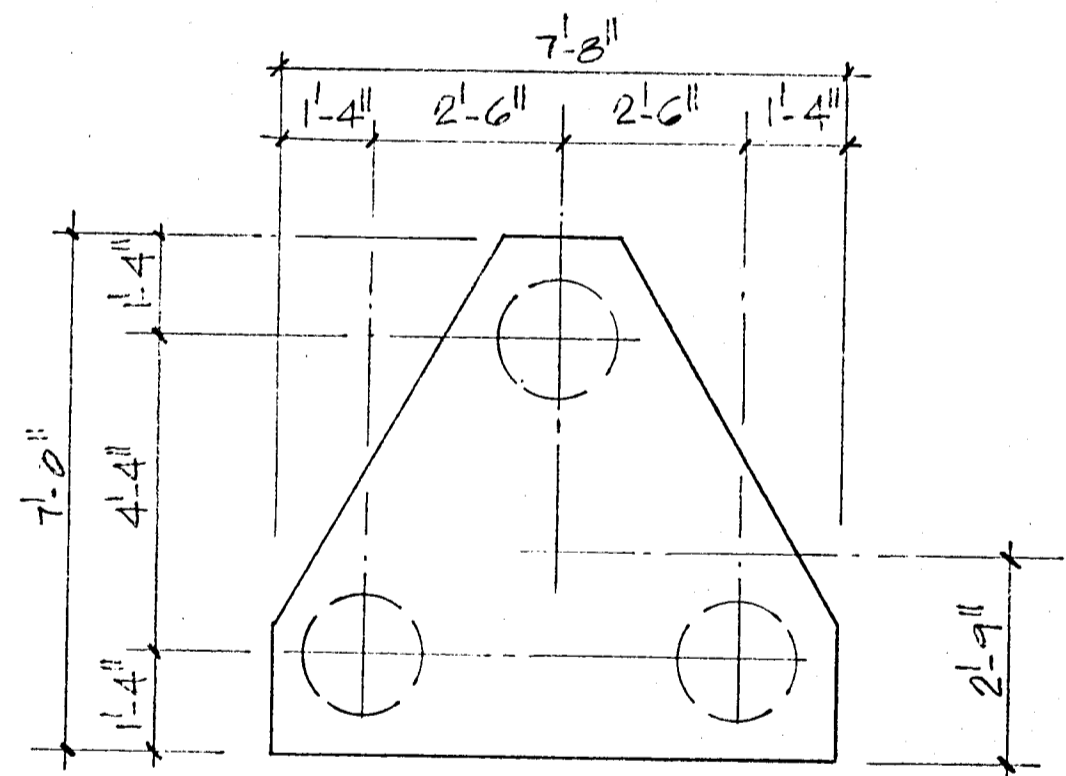
WILLIAM M. FRIEDMAN & ASSOCIATES
 ARCHITECTS, INC.
 128 S.E. 14th
 CHAMPAIN TOWERS
 SOUTH
 SHEET 65 OF 1 DATE 8/22/79



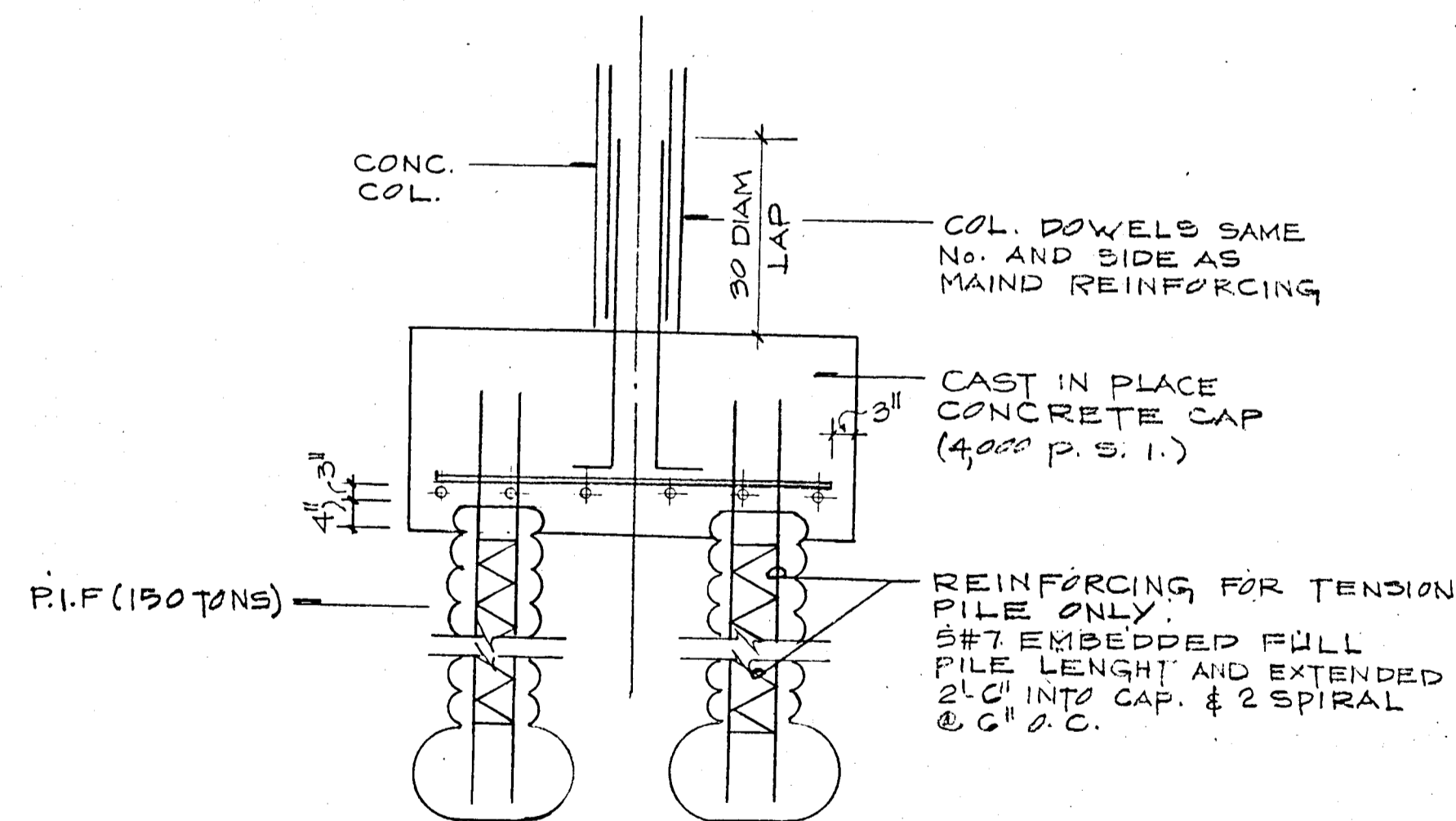
2 PIF
DEPTH = 3'-6"
7#6 LONG WAY
8#4 SHORT WAY



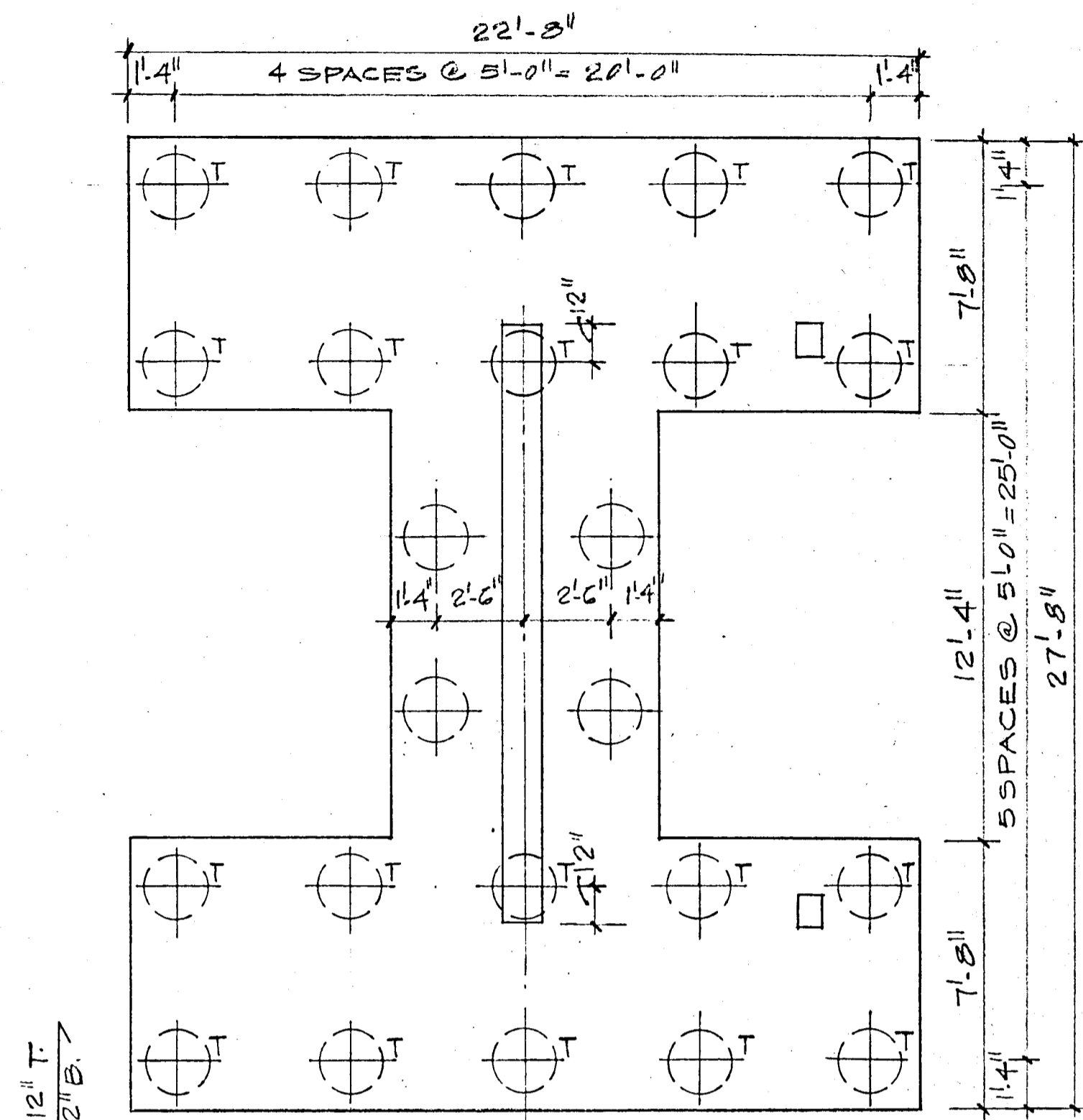
4 PIF
DEPTH = 3'-6"
12#7 EACH WAY



3 PIF
DEPTH = 3'-6"
8#6 3WAY

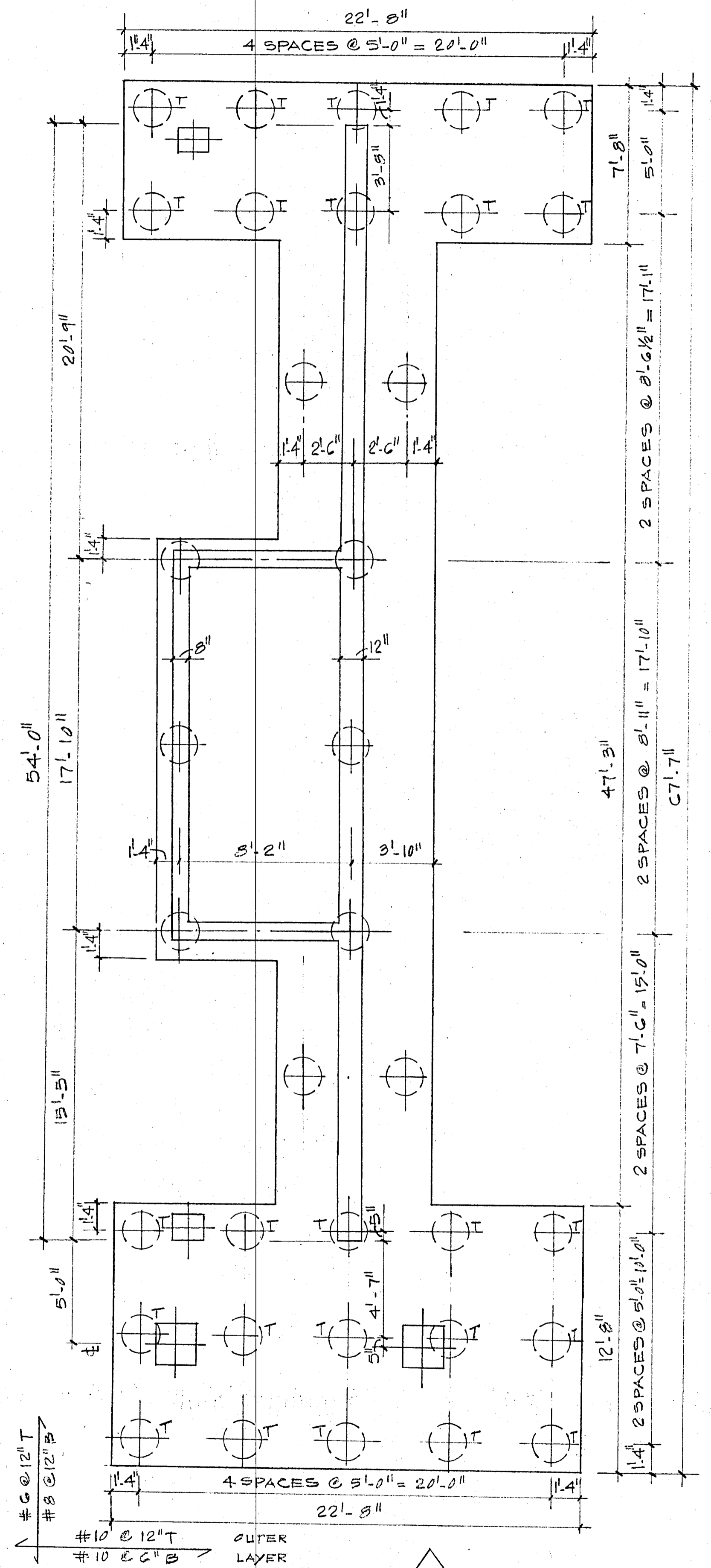


TYP. PILE CAP SECTION



24 PIF
DEPTH = 48"
SCALE 1/4" = 1'-0"

NOTE
"T" DENOTES TENSION PILES



35 PIF
DEPTH = 48"
SCALE: 1/4" = 1'-0"
NOTE: "T" (DENOTES TENSION PILES)

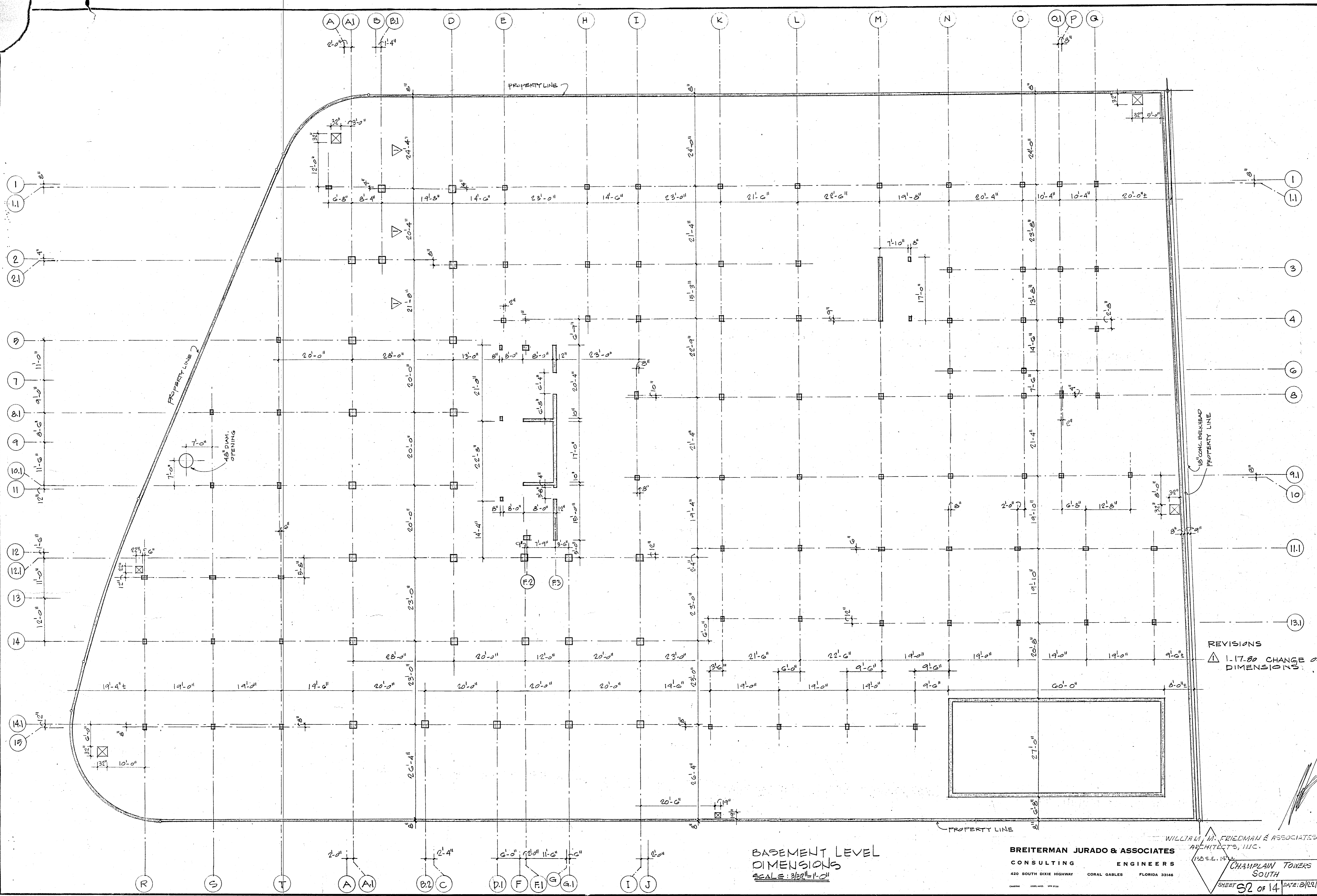
PILE CAP DETAIL
SCALE AS SHOWN

REVISIONS
△ GENERAL REVISIONS

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

CHAMPLAIN TOWERS SOUTH
A 135 UNIT CONDOMINIUM

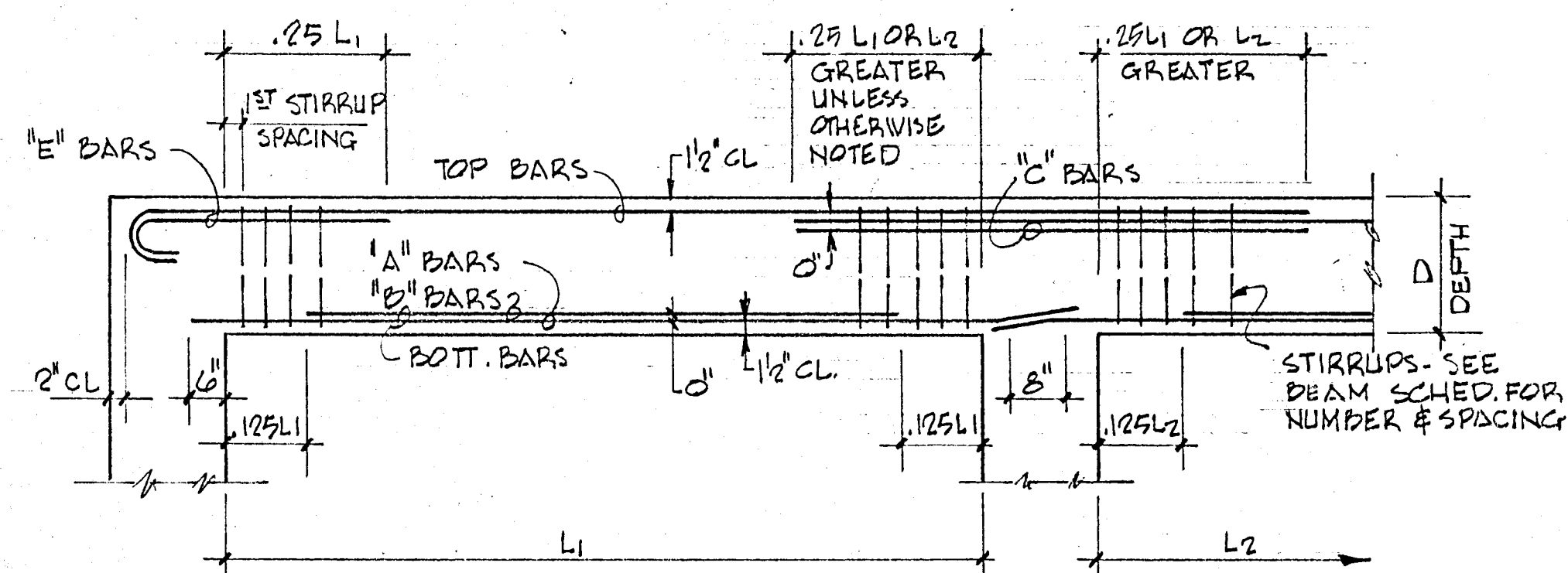
COMM. NO.	DATE	SHEET NO.
	1-17-80	53 OF 14
REV.	△	



REVISIONS
 ▲ 1-17-80 CHANGE OF DIMENSIONS

BASEMENT LEVEL DIMENSIONS
 SCALE: 3/32" = 1'-0"

WILLIAM M. FRIEDMAN & ASSOCIATES ARCHITECTS, INC.
 BREITERMAN JURADO & ASSOCIATES CONSULTING ENGINEERS
 420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146
 CHAMPLAIN TOWERS SOUTH
 SHEET 92 OF 14 DATE: 8/22/79



TYPICAL BAR PLACING BEAM DIAGRAM

BEAM SCHEDULE

MARK	EL. BOT. CONCRETE	SIZE B x D	LONGITUDINAL		"E" COL #	"C" COL #	STIRRUPS	REMARKS
			BOTT	TOP				
BM 1	+23'-6"	30" x 42"	6 # 8	4 # 8	2 # 8 EE		# 5 @ 18"	
BM 2		36" x 42"	6 # 8	4 # 8	2 # 8 EE		# 5 @ 18"	
BM 3			6 # 8	6 # 8	-		# 7 @ 18"	
BM 4			8 # 9	6 # 9	2 # 9		# 5 @ 18"	
BM 5			14 # 11	6 # 11		4 # 11	# 5 @ 6" THROUGH	
BM 6			* 12 # 11	6 # 11			# 5 @ 6"	* 2 LAYERS - 10 BARS IN OUTER LAYER
BM 7			8 # 9	6 # 11			# 5 - 4 @ 5" @ 6" REMAINDER @ 18"	
BM 8			* 16 # 11	6 # 11			# 5 @ 6" T.O.	* 2 LAYERS - 10 BARS IN OUTER LAYER
BM 9			8 # 9	6 # 9	2 # 9		# 5 @ 18"	
BM 10		30" x 42"	8 # 9	6 # 9	2 # 9	4 # 10	# 5 @ 18"	
BM 11			10 # 10	6 # 10		4 # 10	# 5 - 8 @ 6" WEST END REMAINDER @ 18"	
BM 12			10 # 11	6 # 10			# 5 - 10 @ 6" EE REM. @ 18"	
BM 13			8 # 9	6 # 10	2 # 10		# 5 @ 16"	
BM 14			8 # 9	* 6 # 9	4 # 10		# 5 @ 16"	* CONTINUOUS TOP STEEL
BM 15			8 # 9	* 6 # 9	4 # 9		# 5 @ 16"	* CONTINUOUS TOP STEEL
BM 16			DELETE					
BM 17		36" x 42"	* 16 # 11	6 # 11	2 # 11		# 5 @ 6"	* 2 LAYERS - 10 BARS IN OUTER LAYER
BM 18			8 # 10	6 # 11			# 5 @ 18"	
BM 19			* 12 # 11	6 # 11		4 # 11	# 5 @ 6"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 20			* 12 # 11	6 # 11		2 # 11	# 5 @ 6"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 21			* 14 # 11	6 # 11			# 5 - 8 @ 6" SOUTH END REMAINDER @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 22			8 # 10	6 # 8	2 # 8		# 5 @ 18"	
BM 23			8 # 10	* 4 # 11		6 # 11	# 5 @ 18"	* CONTINUOUS TOP STEEL
BM 24			8 # 10	* 4 # 11		4 # 8	# 5 @ 18"	* CONTINUOUS TOP STEEL
BM 25			* 12 # 11	6 # 11		2 # 11	# 5 - 6 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 26			* 16 # 11	6 # 11		2 # 11	# 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 27			* 14 # 11	6 # 11	2 # 10 EE		# 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 28			* 14 # 11	6 # 11	2 # 10 EE		# 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 29			* 14 # 11	6 # 11	2 # 10 EE		# 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 30			* 14 # 11	6 # 11	2 # 10 EE		# 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 31			* 14 # 11	6 # 10	2 # 10 EE		# 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 32	+23'-6"		* 14 # 11	6 # 10	2 # 10		# 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 33	+9'-10"	24" x 42"	* 10 # 11	4 # 10			# 5 - 10 @ 6" EX. END REM. @ 18"	* 2 LAYERS - 6 BARS OUTER LAYER
BM 34			* 10 # 11	4 # 10			# 5 - 10 @ 6" EX. END REM. @ 18"	* 2 LAYERS - 6 BARS OUTER LAYER
BM 35	+9'-10"		* 12 # 11	4 # 10			# 5 @ 6" THROUGH	* 2 LAYERS - 6 BARS EA.
BM 36	+1'-1"	8" x 21"	2 # 6	2 # 6			# 3 @ 10"	
BM 37	+10'-2"	8" x 38"	2 # 5	2 # 5			# 3 @ 18"	ADD 2 # 4 AT MIDDEPTH
BM 38	VARIES	8" x 18"	2 # 5	2 # 5			# 3 @ 8"	
BM 39	+127'-7"	8" x 32"	2 # 9	2 # 6			# 3 @ 8"	ADD 2 # 4 AT MIDDEPTH
BM 40	+128'-10"	8" x 24"	2 # 6	2 # 8			# 3 @ 8"	
BM 41	+137'-10"	8" x 20"	2 # 6	2 # 5			# 3 @ 10"	
BM 42	+125'-3"	12" x 18"	3 # 7	2 # 7			# 3 @ 8"	

BEAM SCHEDULE

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

138 S.E. 14th LA.

CHAMPLAIN TOWERS SOUTH

A 135 UNIT CONDOMINIUM

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

COMM. No. DATE 8/22/79 SHEET No.
REV. 513 OF 14

COLUMN SCHEDULE

TYPE	(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)	(I)	(J)	(K)	(L)	(M)	(N)	(P)	(Q)	(R)	(S)	(T)	(X)	(Y)
SIZE	24" x 24"		16" x 16"	16" x 16"	16" x 16"	16" x 16"	14" x 18"	14" x 18"	12" x 24"	12" x 24"	12" x 24"	12" x 24"	12" x 36"	12" x 16"	8" x 12"	8" x 12"	8" x 12"	8" x 12"		LARGE SHEAR WALL	SMALL SHEAR WALL
MACH. RM. ROOF																					
MACH. RM. FLOOR																					
ROOF																					
12th FLOOR (PENTHOUSE)			4#8	4#8	4#8		4#8	4#8	4#8	4#8	4#8	4#8	6#8		4#6					8#5 12" x 15"	8#5 12" x 18"
11th FLOOR																					
10th FLOOR																					
9th FLOOR		W																		8#5 12" x 18"	
8th FLOOR		T																		10#5 12" x 24"	8#5 12" x 18"
7th FLOOR		W		4#8	4#8		4#8	4#8		4#8	4#8	4#8								10#6 12" x 24"	8#7 12" x 18"
6th FLOOR		L	4#8	6#8	4#9		4#9	4#9	4#8	6#8	6#8	6#8								10#7 12" x 24"	8#9 12" x 18"
5th FLOOR		W	6#8	8#8	6#9		6#9	6#9	6#8	8#8	8#8	8#8								12#8 12" x 30"	10#9 12" x 24"
4th FLOOR		D	8#8	8#9	8#9		8#9	8#9	8#8	8#9	8#9	8#9	6#8		4#7					16#8 12" x 42"	10#10 12" x 24"
3RD FLOOR			8#8	8#9	8#9		8#9 4L-2S	8#9	8#8	8#9	8#9	8#9	6#9		4#7					16#9 12" x 42"	10#10 12" x 24"
2ND FLOOR			8#9	8#10	8#10 3 E.F.		8#10 4L-2S	8#10 4L-2S	8#9 4L-2S	8#10 4L-2S	8#10	8#10	8#9 4L-2S		4#8					16#11 12" x 42"	12#10 12" x 30"
LOBBY FL.	12#10 4 E.F.		8#10	8#11			10#10 4L-3S					10#10 5L-2S			4#9					20#11 12" x 54"	12#11 12" x 30"
BASAMENT FL.	12#10 4 E.F.		8#11 3 E.F.	12#11 4 E.F.		4#8	10#11 4L-3S					12#10 6L-2S		4#7	4#9					24#11 12" x 66"	14#11 12" x 36"

fc = 4,000 PSI
fc = 5,000 PSI
fc = 6,000 PSI

NOTES
 - TIES FOR NO. 11 MAIN BARS USE #4 TIES, ALL OTHERS TO BE #3 DETAILED IN ACCORDANCE WITH ACI-318
 - COLUMN DOWELS TO BE SAME NO. AND SIZE AS MAIN REINFORCING

COL. E-4 UP TO EL. +125'-8"
 COL. E-2 H-2, H-4 UP TO EL. +125'-8"
 COL. B-C FROM 2ND TO ROOF

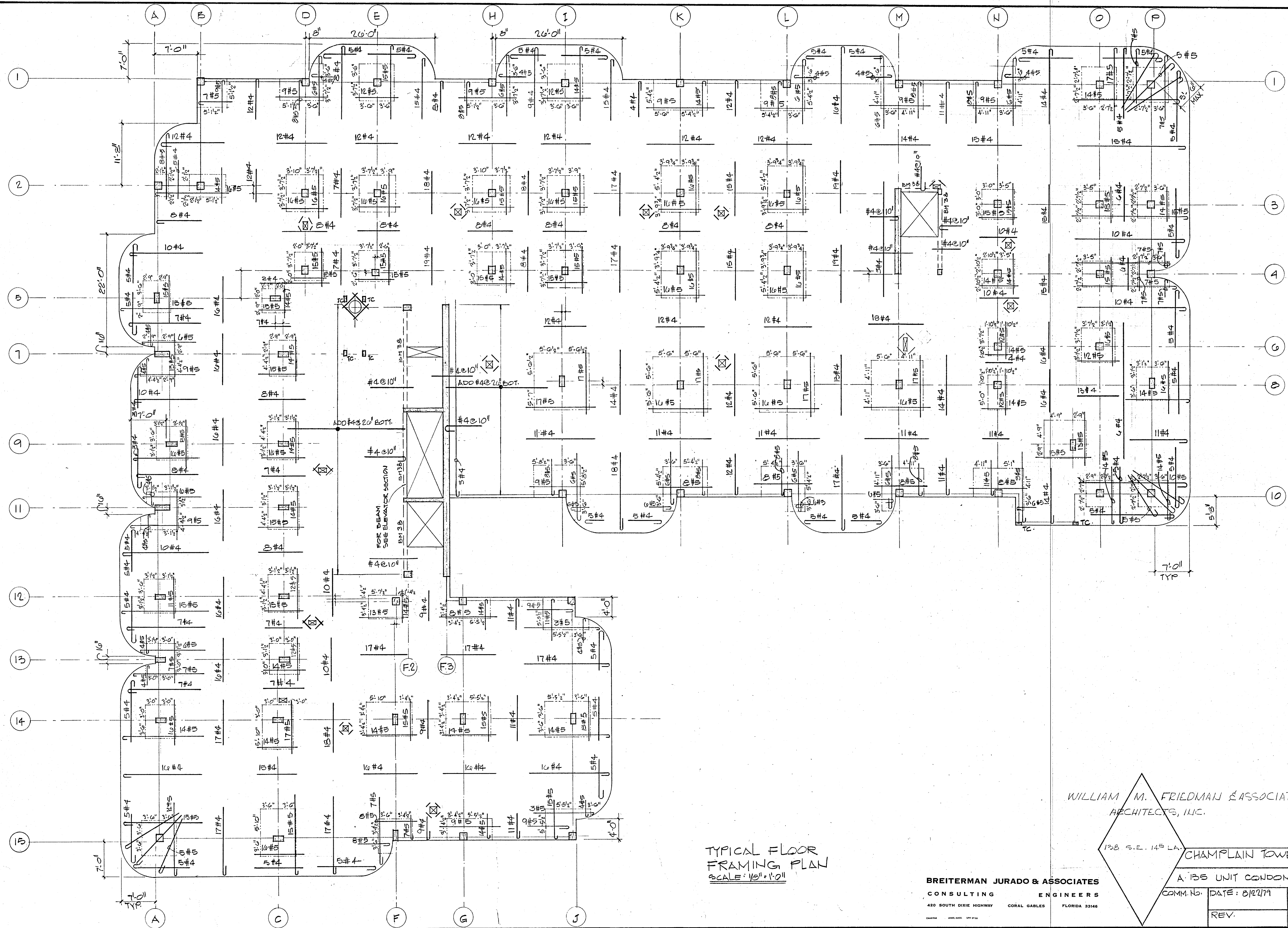
WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

138 S.E. 14th LA.

CHAMPLAIN TOWERS SOUTH
A 155 UNIT CONDOMINIUM

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

COMM. NO. DATE 8/22/79 SHEET NO. 514 OF 14
 REV.



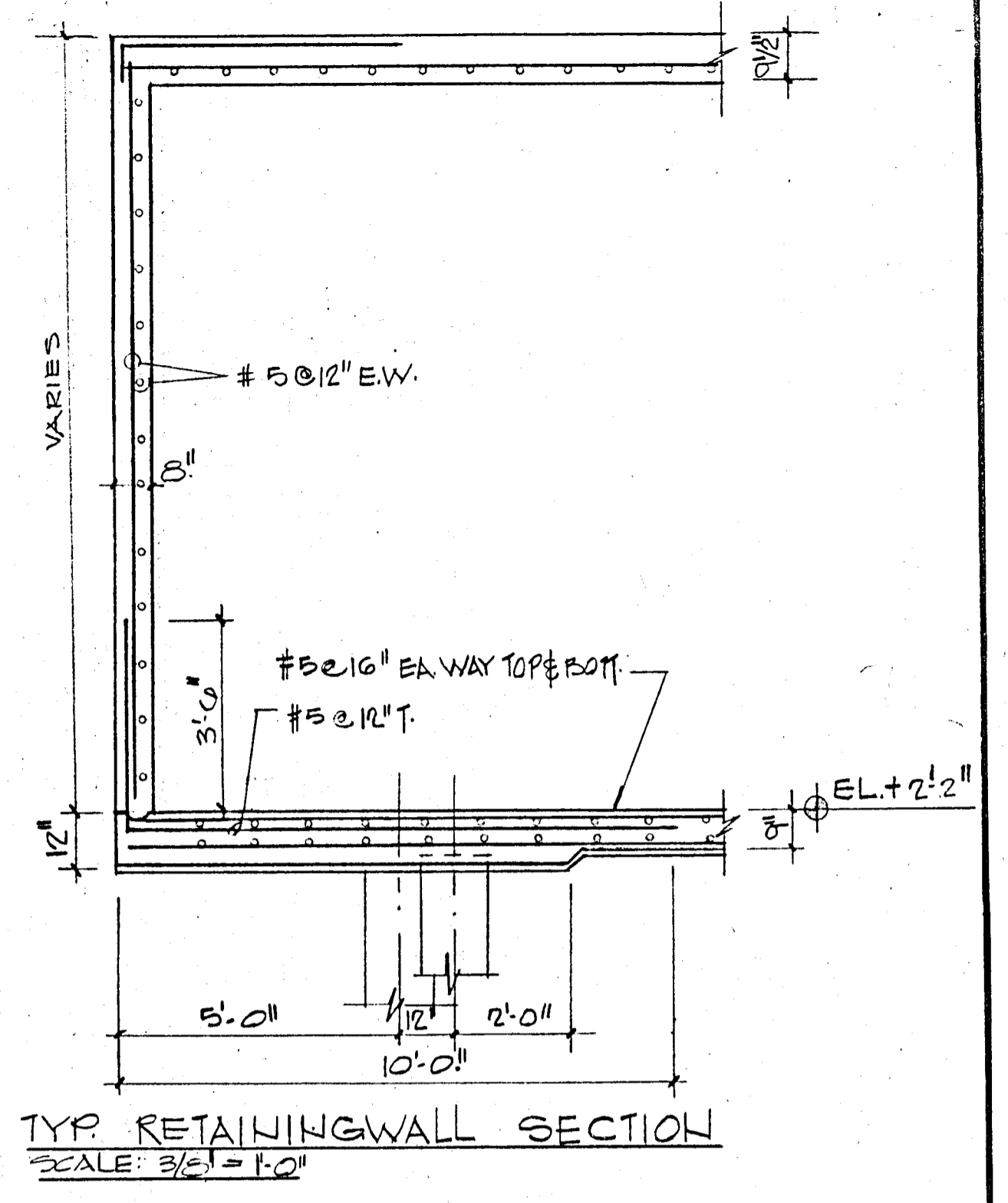
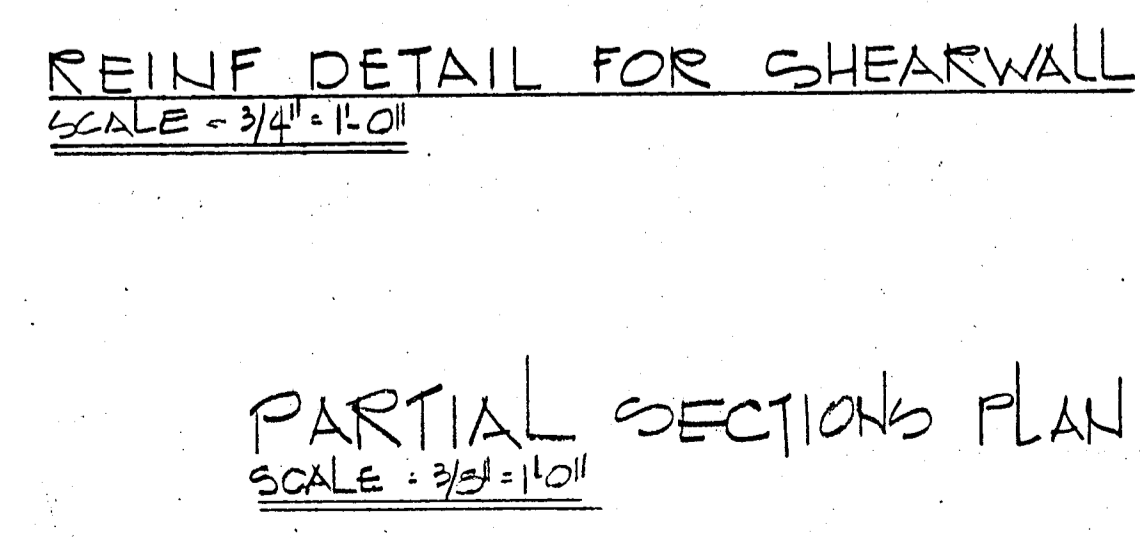
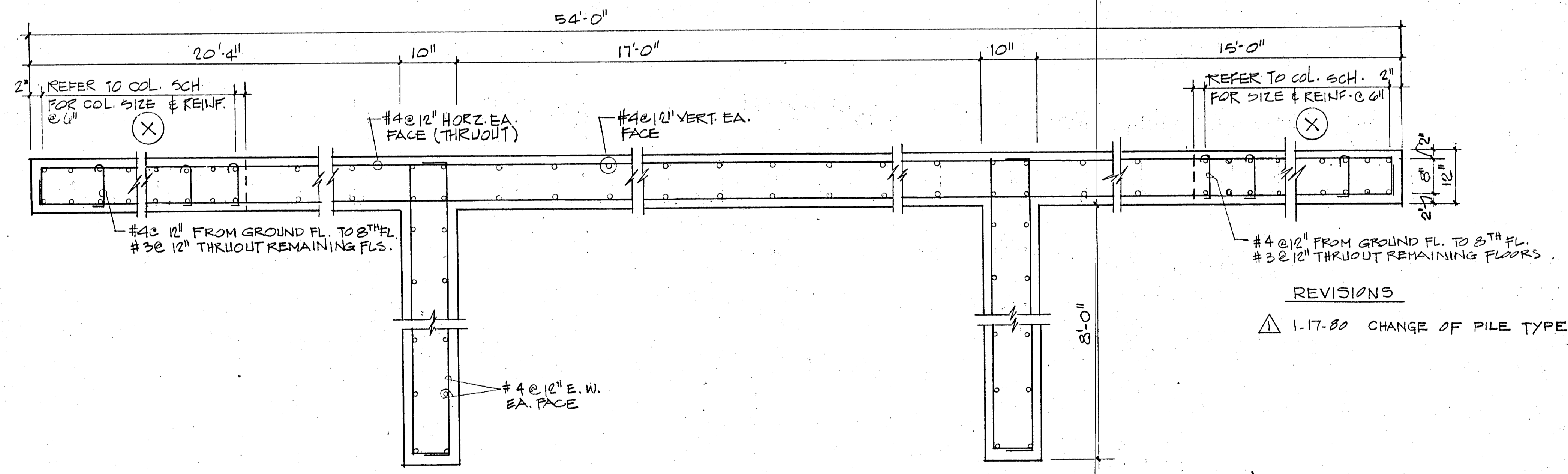
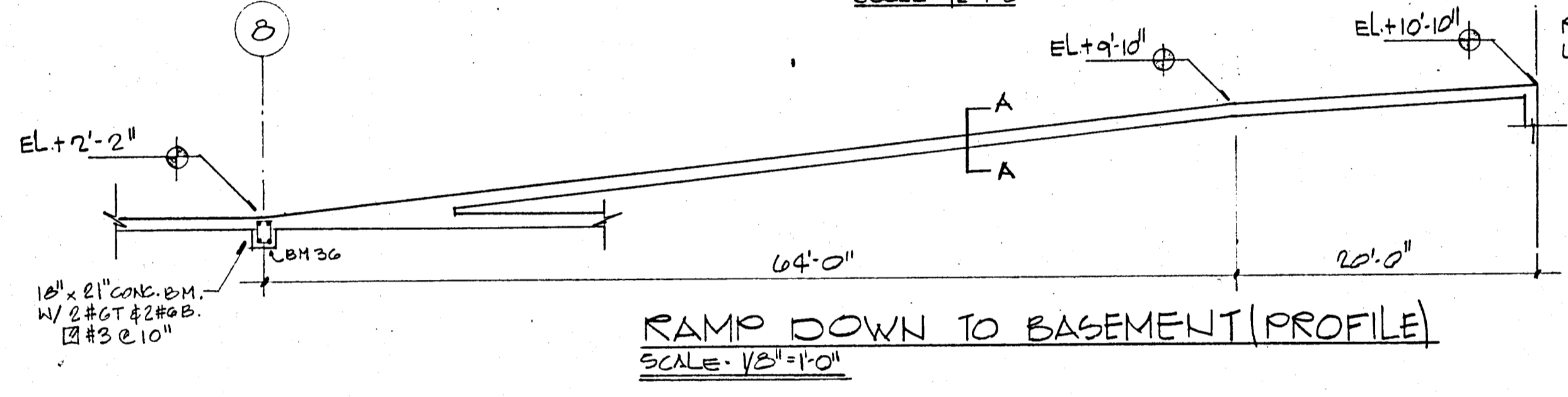
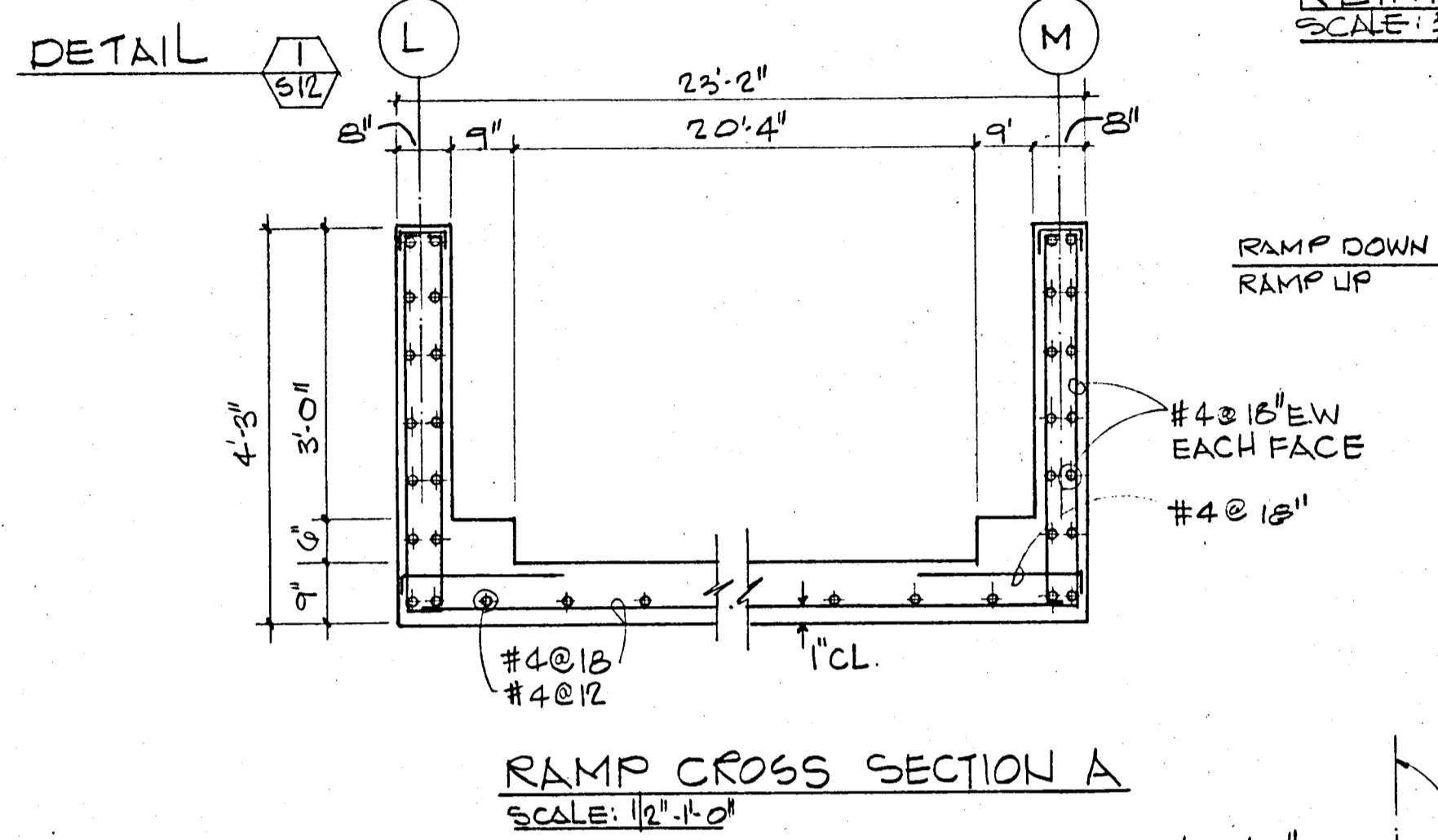
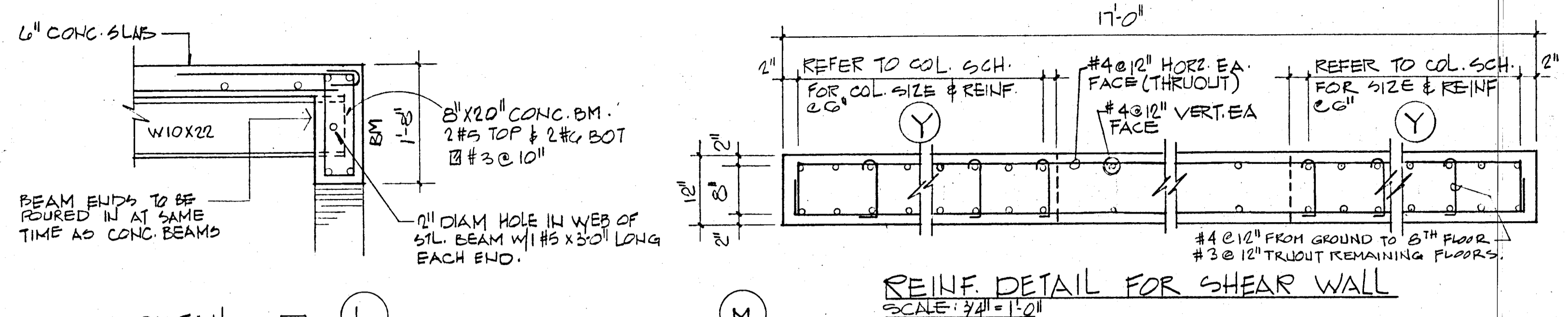
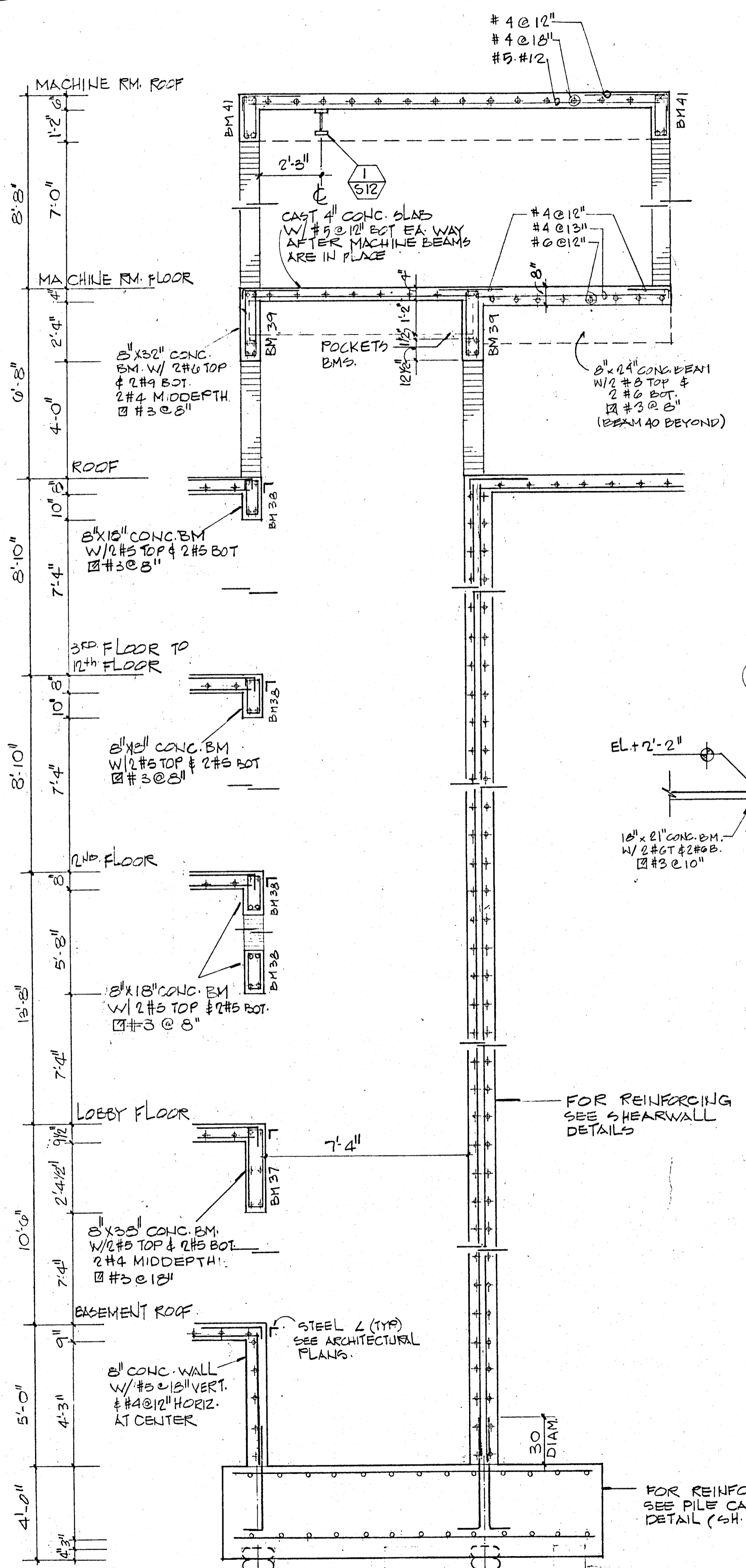
TYPICAL FLOOR
FRAMING PLAN
SCALE: 1/8" = 1'-0"

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

138 S.E. 14th L.A. CHAMPLAIN TOWERS SOUTH

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

A-135 UNIT CONDOMINIUM	
COMM. No.	DATE: 8/22/79
REV.	SHEET No. 38 of 14



REVISIONS
 1-17-80 CHANGE OF PILE TYPE

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

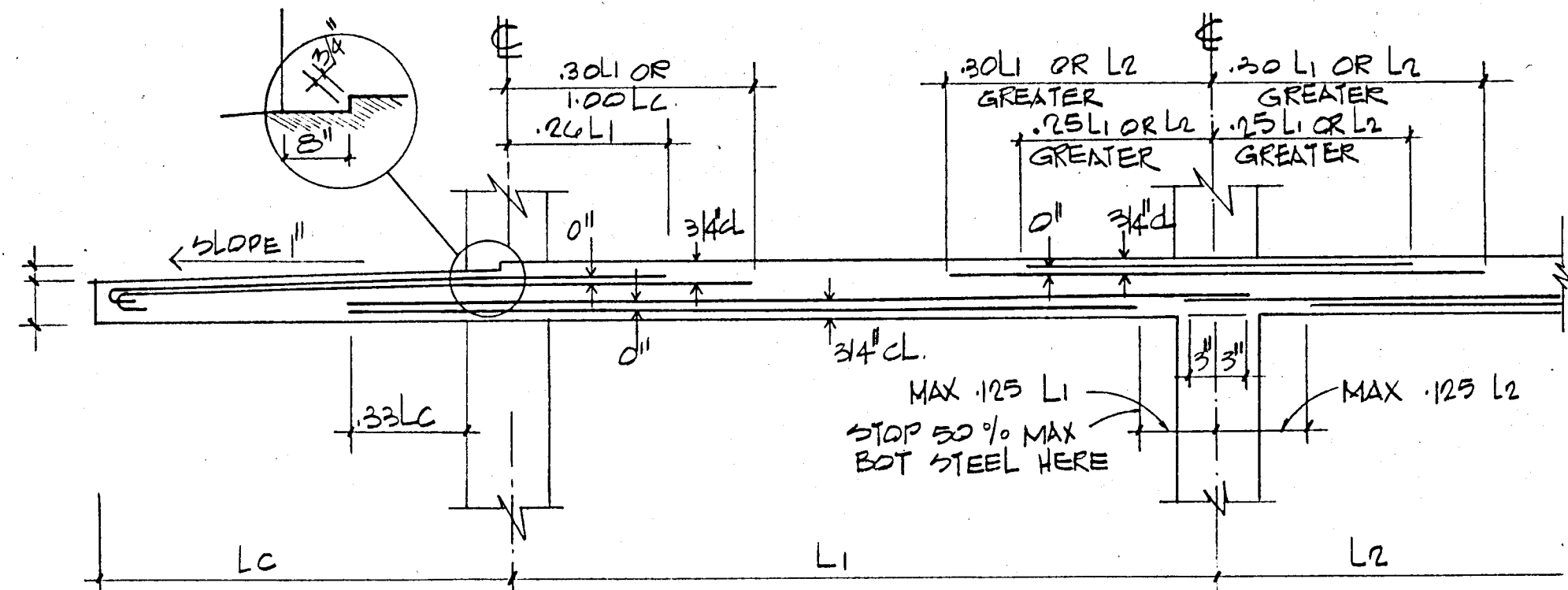
135 S.E. 14th LA

CHAMPLAIN TOWERS SOUTH
A 135 UNIT CONDOMINIUM

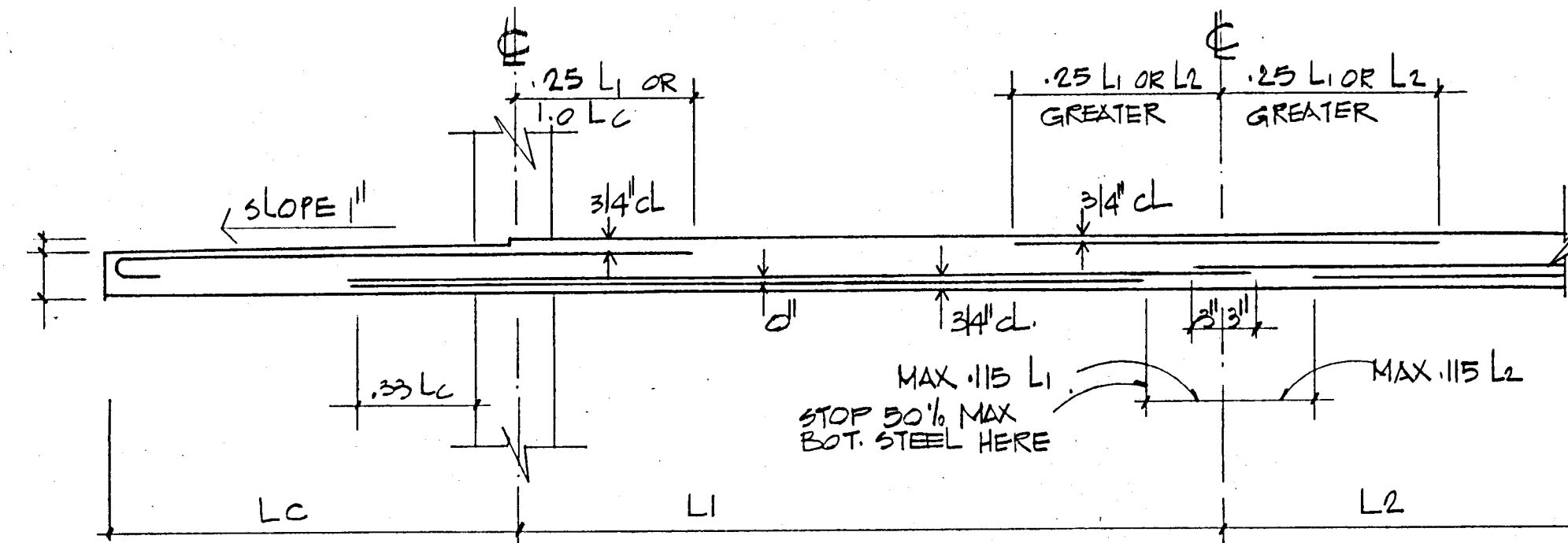
COMM. NO.	DATE 8/22/79	SHEET NO.
REV.		512 OF 14

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

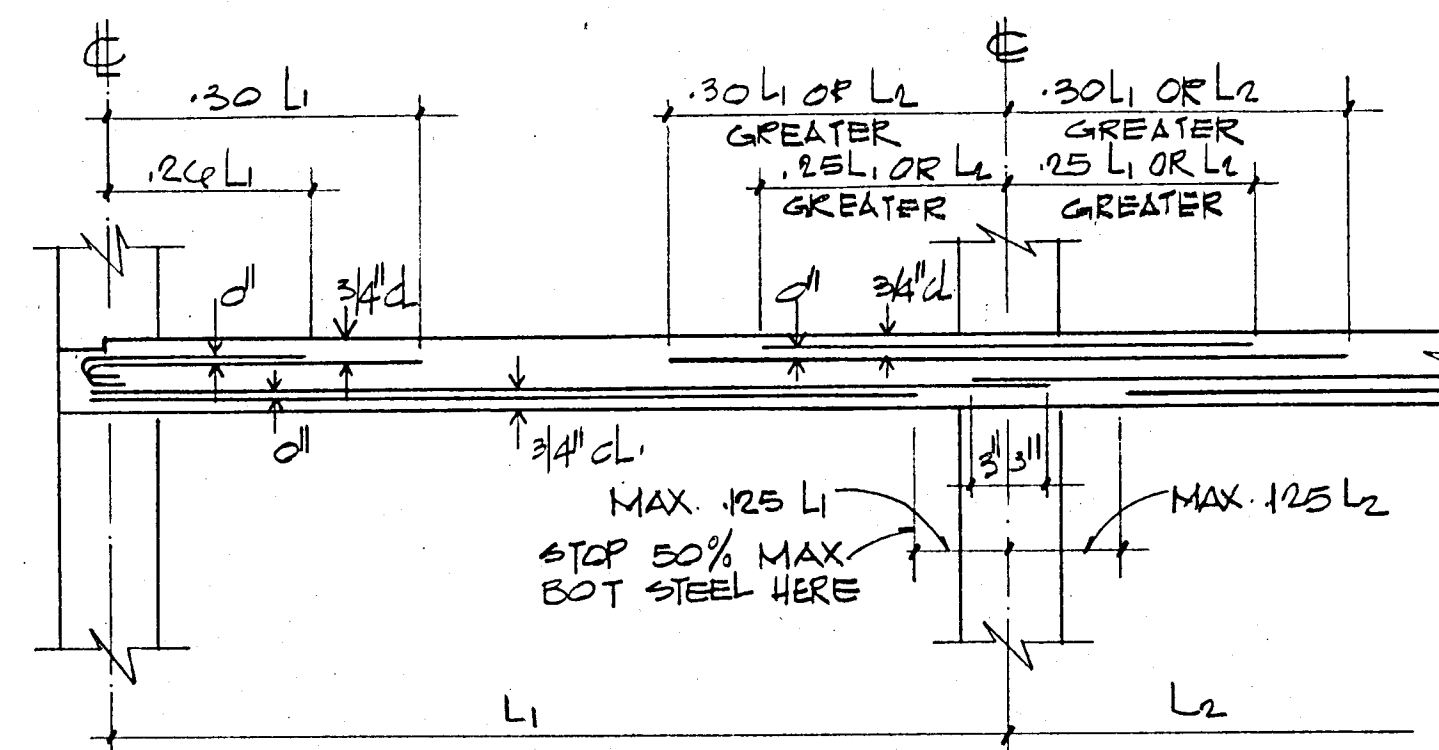
NOTE
VERIFY DIMENSIONS AND
DETAILS WITH ELEVATOR
MANUFACTURER SPECIFICATIONS



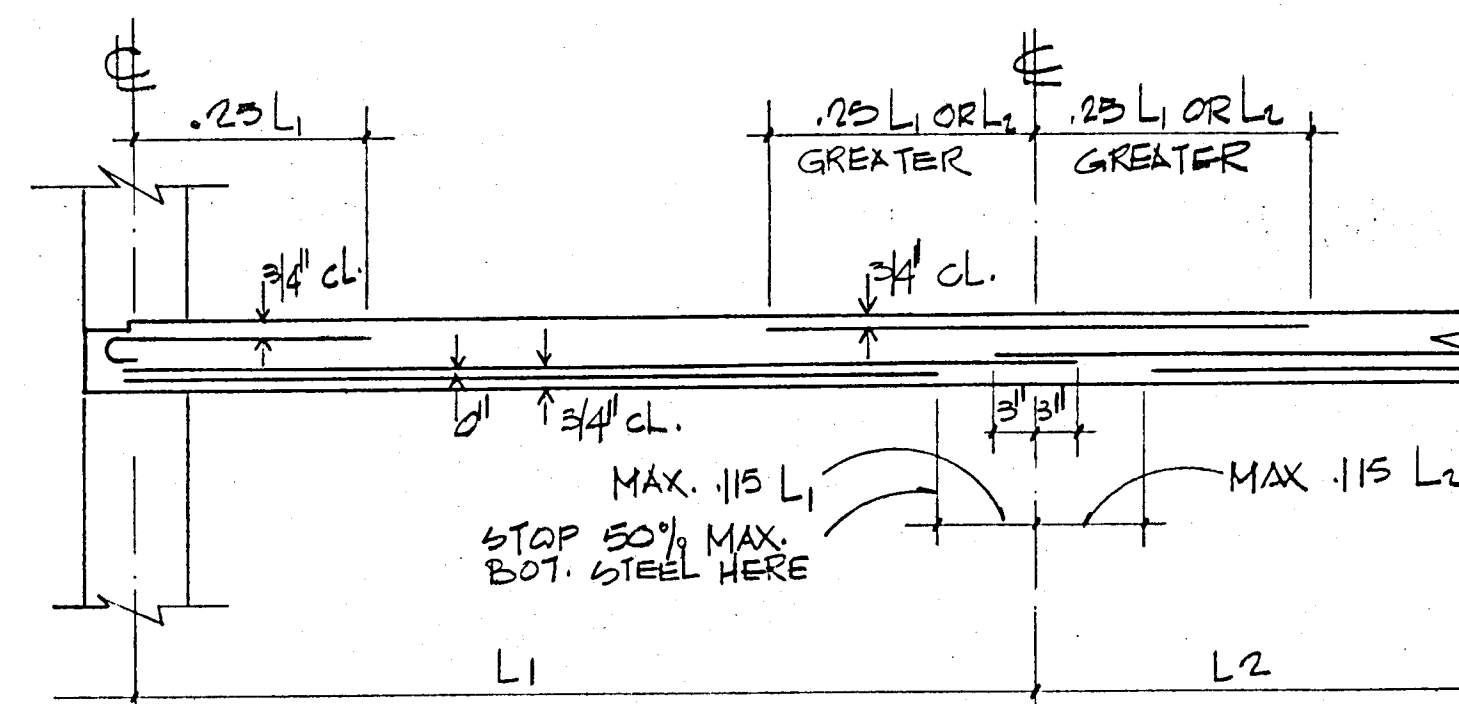
TYP COLUMN STRIP WITH CANTILEVER
NTS



TYP MIDDLE STRIP WITH CANTILEVER
NTS

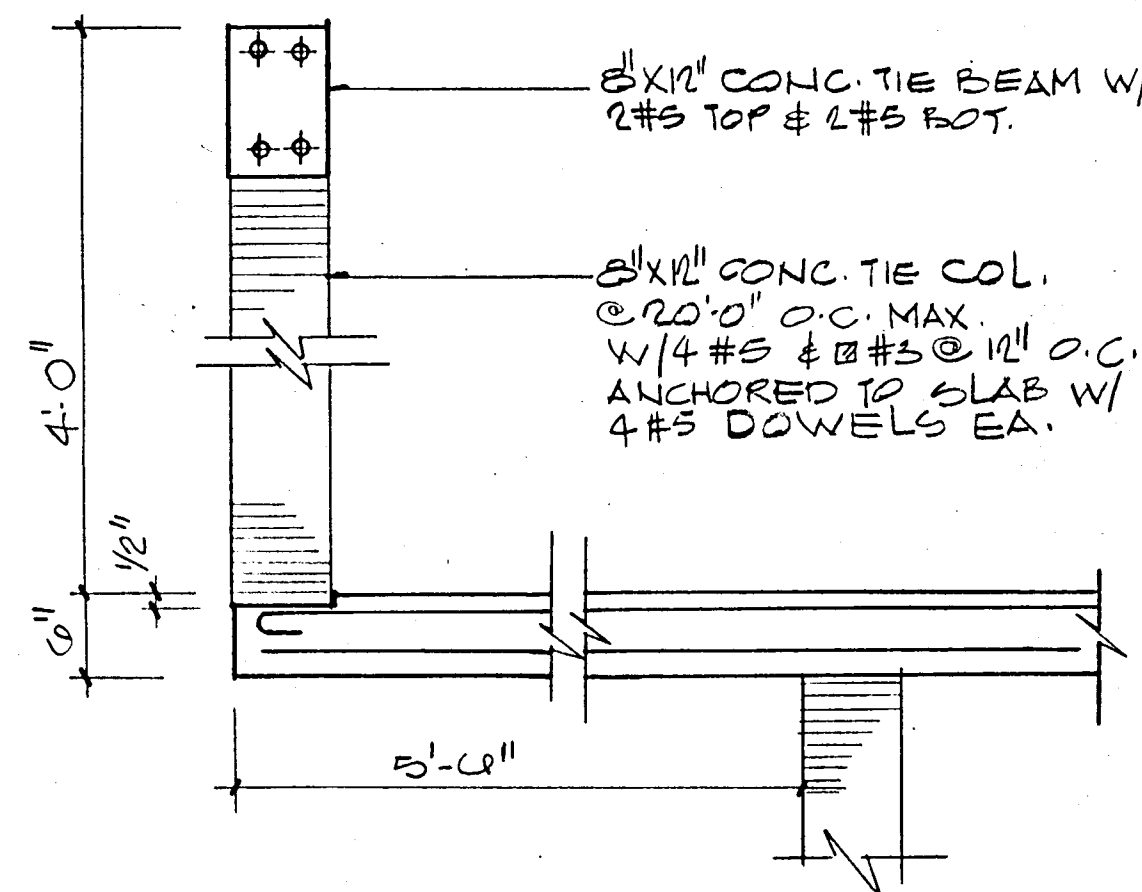


TYP COLUMN STRIP
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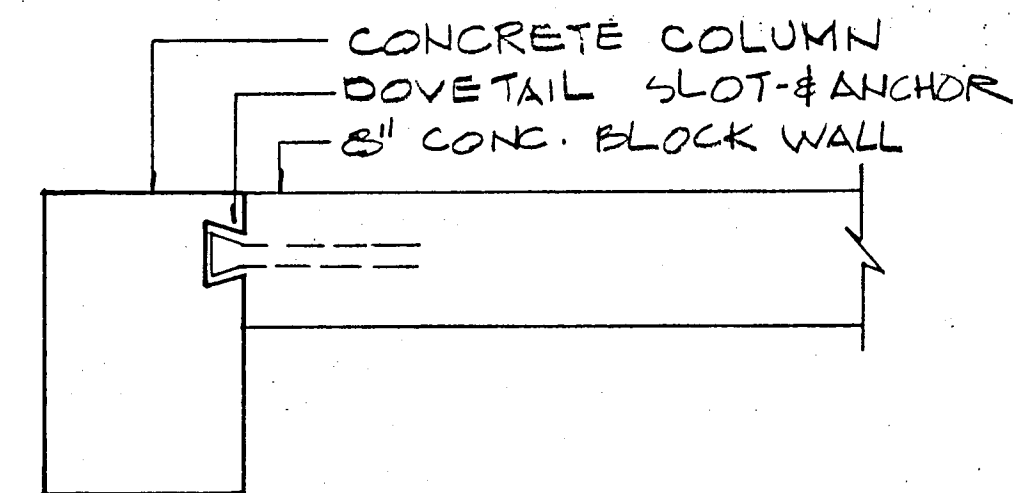


TYP MIDDLE STRIP
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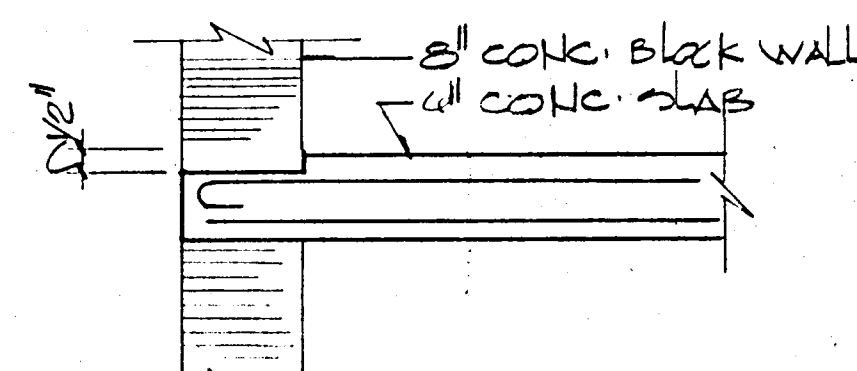
TYPICAL BAR DIAGRAM-FLAT SLABS
(UNLESS OTHERWISE NOTED)



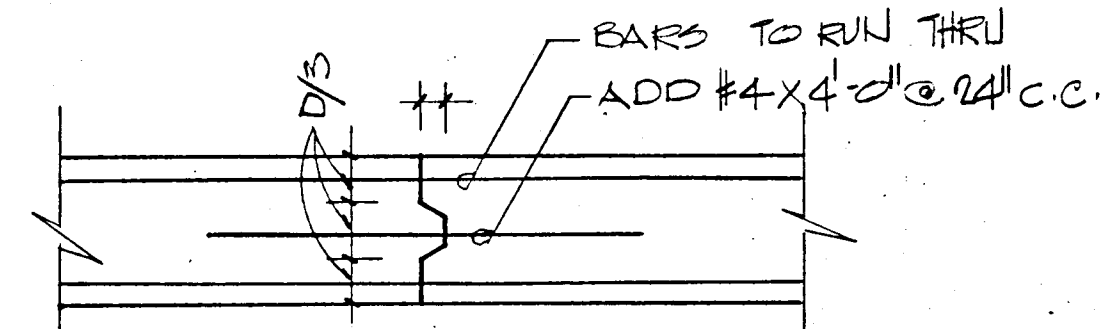
PARAPET DETAIL (TYPICAL)



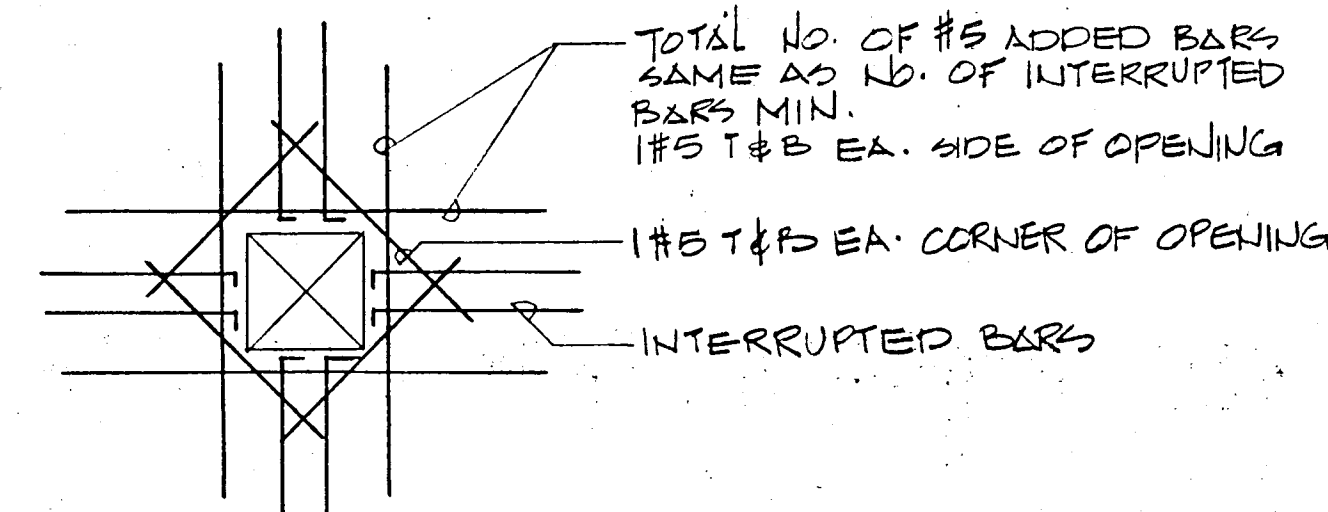
MASONRY ANCHORAGE DETAIL
NTS



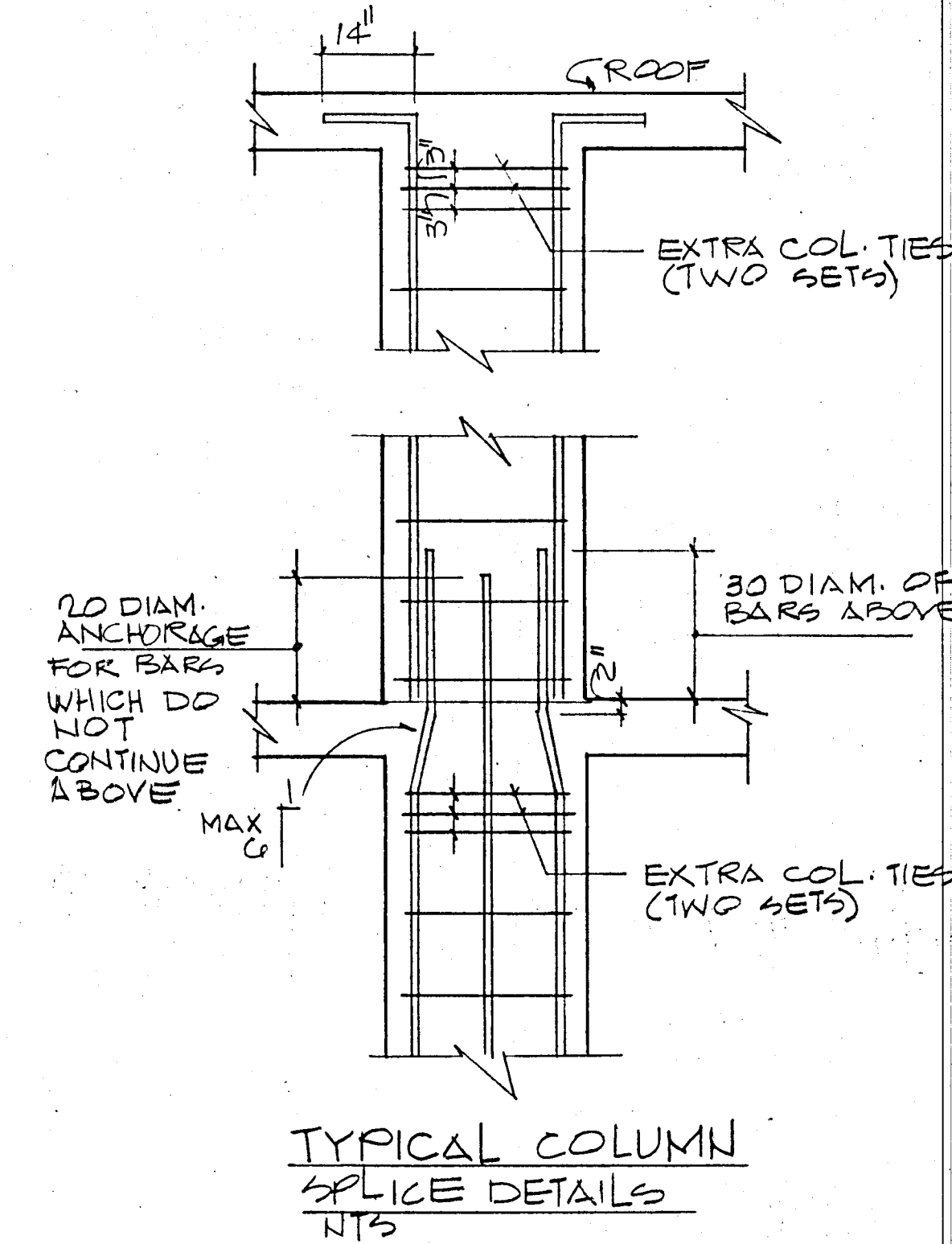
SLAB DEPRESSION
AT EXTERIOR WALLS



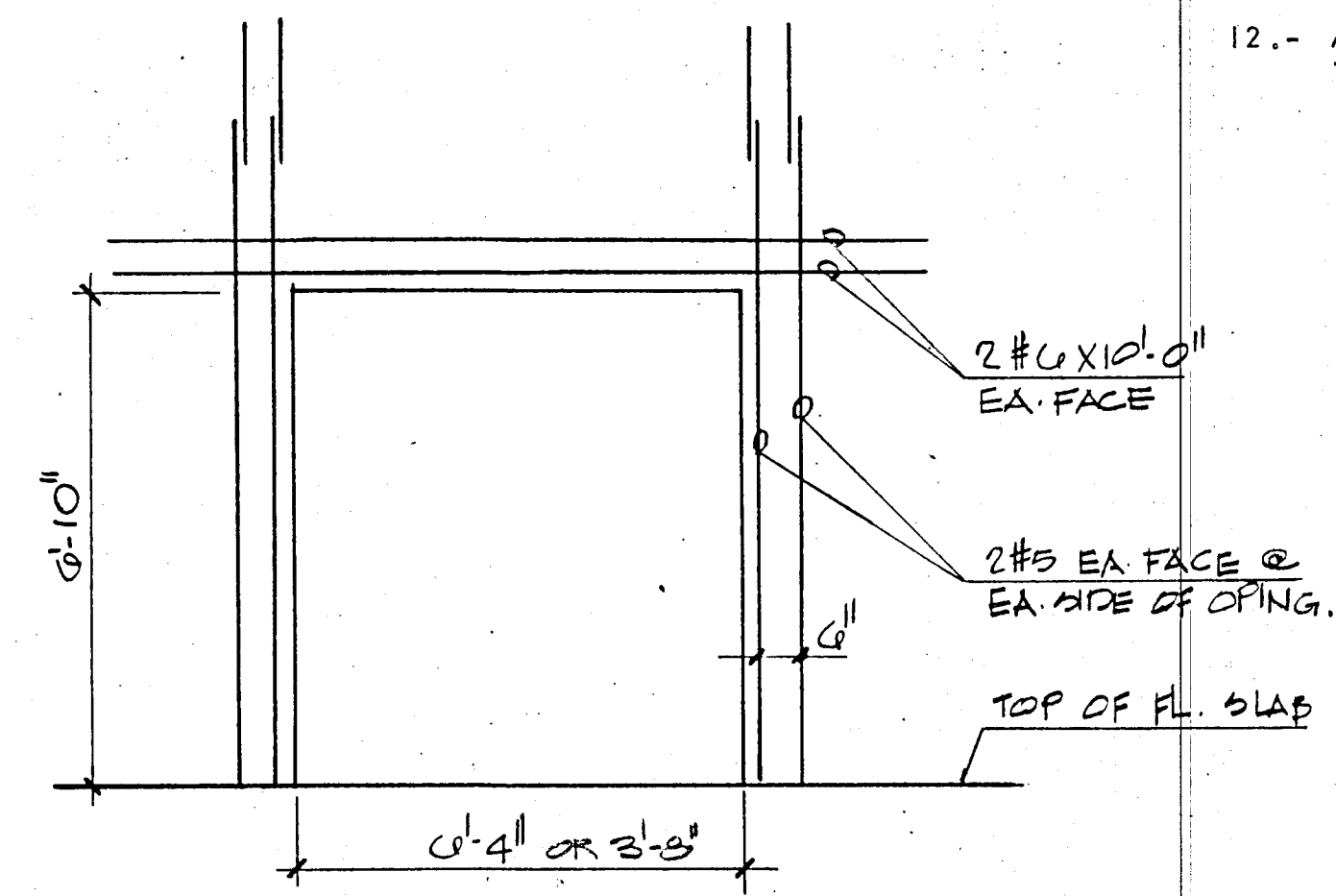
CONSTRUCTION JOINT DETAIL
NTS



SLAB OPENING DET



TYPICAL COLUMN
SPlice DETAILS
NTS



SECTION THRU DOOR OPENING
AT SHEAR WALL

GENERAL STRUCTURAL NOTES:-

- 1.- CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301-72 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" EXCEPT AS MODIFIED BY THE SUPPLEMENTAL REQUIREMENTS BELOW.
- 2.- CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH WORK.
- 3.- ALL PILES TO BE 14" x 14" PRECAST CONCRETE DRIVEN TO 50 TONS.
- 4.- CONTRACTOR SHALL COORDINATE WITH ALL MECHANICAL & ELECTRICAL TRADES ALL SLAB OPENINGS & ELEVATOR DIMENSIONS. LOCATION OF OPENINGS IN SLAB IN EXCESS OF 8" SHOULD BE SUBMITTED TO A/E FOR APPROVAL.
- 5.- REINFORCING BARS TO MEET ASTM A-615 GRADE 60, DETAILED AND PLACED IN ACCORDANCE WITH ACI-318-77, AND SFBC 1976 EDITION. REINFORCING TO BE HELD SECURELY IN POSITION WITH STANDARD ACCESSORIES DURING PLACING OF CONCRETE. WELDED WIRE FABRIC TO COMPLY WITH ASTM A-185.
- 6.- ALL CONCRETE STRENGTH TO BE AS SHOWN ON PLANS. IF NOT OTHERWISE SPECIFIED F'C = 3,000 PSI.
- 7.- VERTICAL CONSTRUCTION JOINTS, USING APPROVED BULKHEADS, CAN BE MADE AT CENTER OF BEAM OR SLAB IF REQUIRED. NO HORIZONTAL CONSTRUCTION JOINTS SHALL BE MADE IN BEAMS OR SLABS.
- 8.- SEE ARCHITECTURAL DRAWINGS FOR ELEVATIONS.
- 9.- TIE BEAMS (MARKED T.B.) REFER TO 8" X 12 INCHES TIE BEAMS REINFORCED WITH 2 #5 TOP AND 2 #5 BOT. TIE COLUMNS (MARKED T.C.) ARE 8" X 12 INCHES TIE COLUMNS REINFORCED WITH 4 #5 BARS AND #2 TIES SPACED AT 12 INCHES O.C.
- 10.- REINFORCING BAR SPLICED, WHERE REQUIRED SHALL BE DETAILED AND MADE IN ACCORDANCE WITH AC-318-77.
- 11.- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL ORDINANCES.
- 12.- ALL PRECAST PRESTRESSED UNITS TO BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH APPLICABLE ACI STANDARDS.

FLAT PLATE SECTIONS
AND DETAILS
NTS

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

133 S.E. 14TH LA.

CHAMPLAIN TOWERS SOUTH

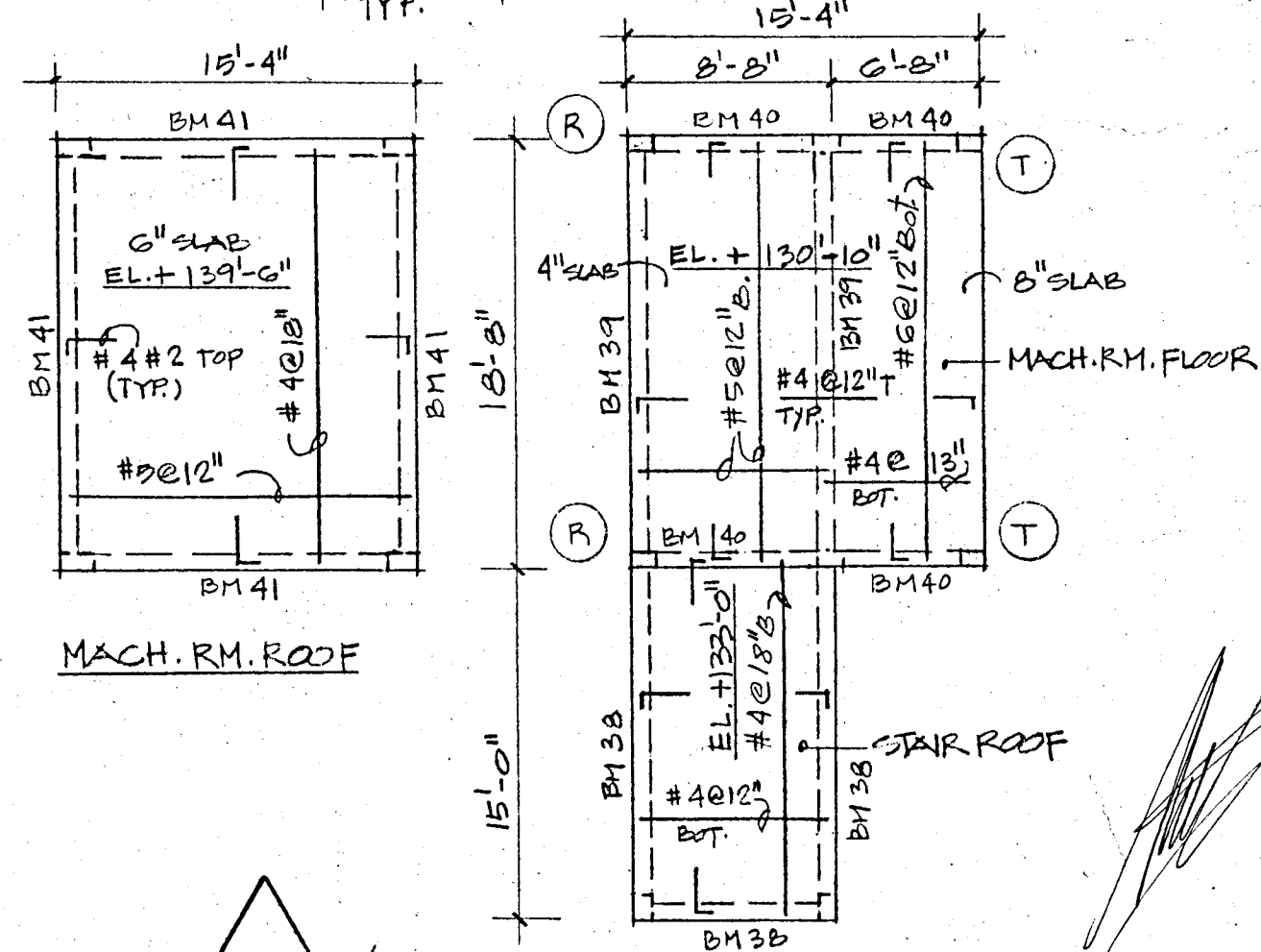
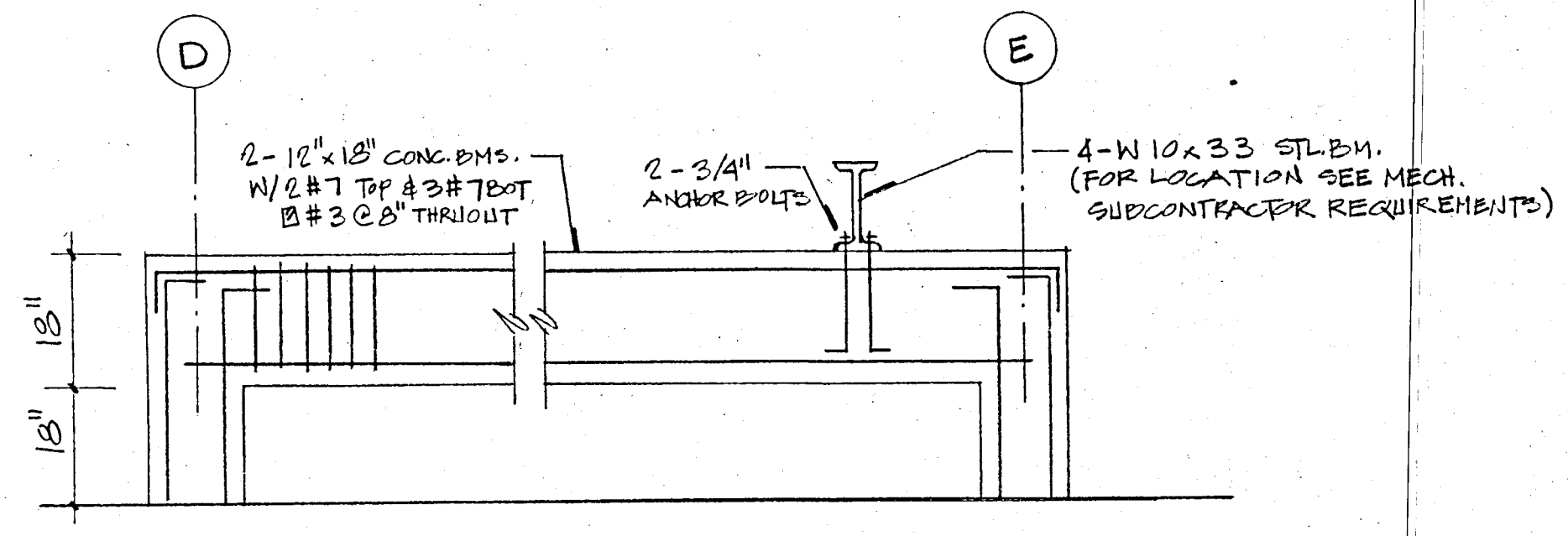
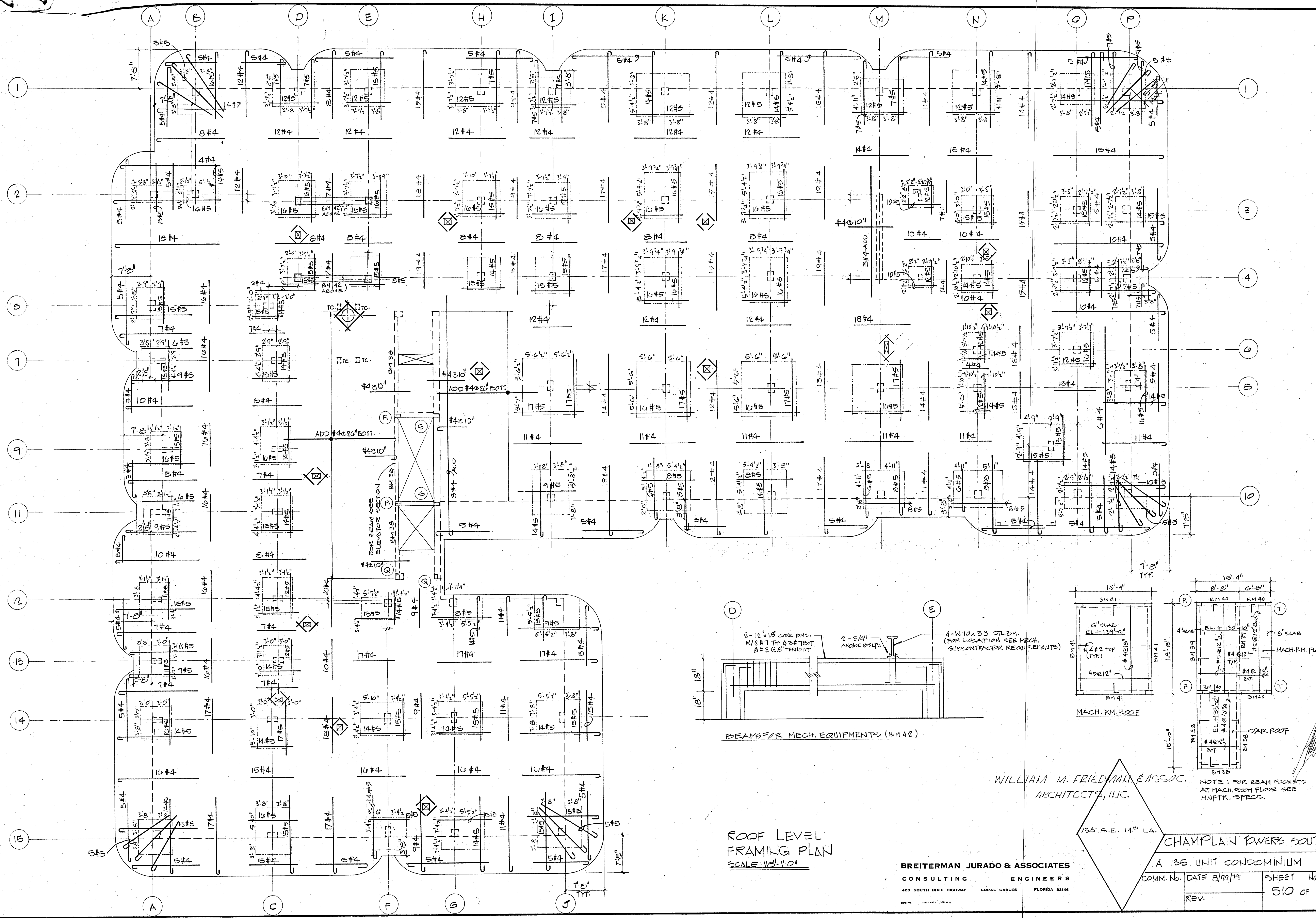
A 135 UNIT CONDOMINIUM

COMM. NO. DATE 8/22/79

SHEET NO.

REV.

511 OF 14



ROOF LEVEL
FRAMING PLAN
SCALE: 1/8" = 1'-0"

WILLIAM M. FRIEDMAN & ASSOC.
ARCHITECTS, INC.

138 S.E. 14th LA.

CHAMPLAIN POWERS SOUTH

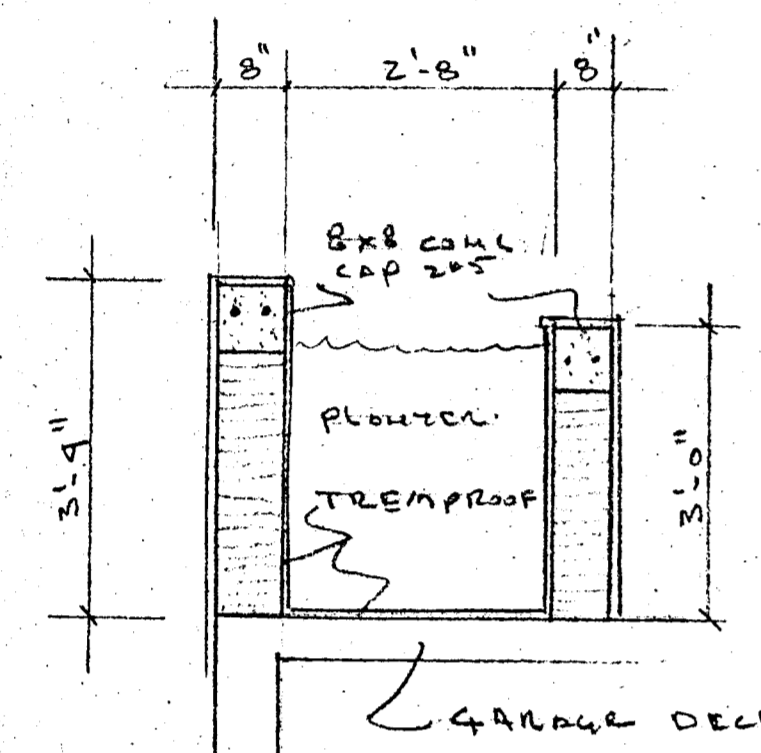
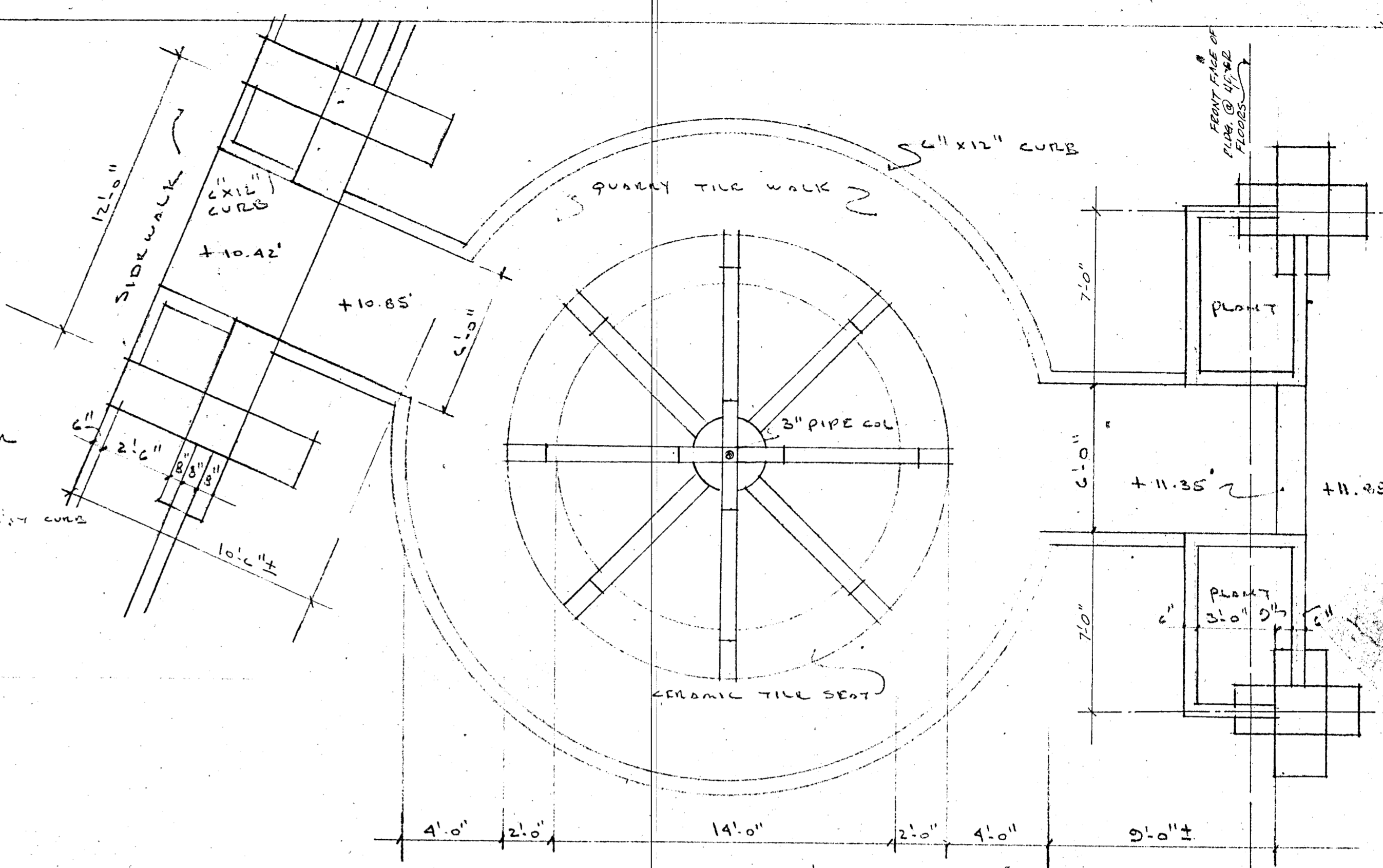
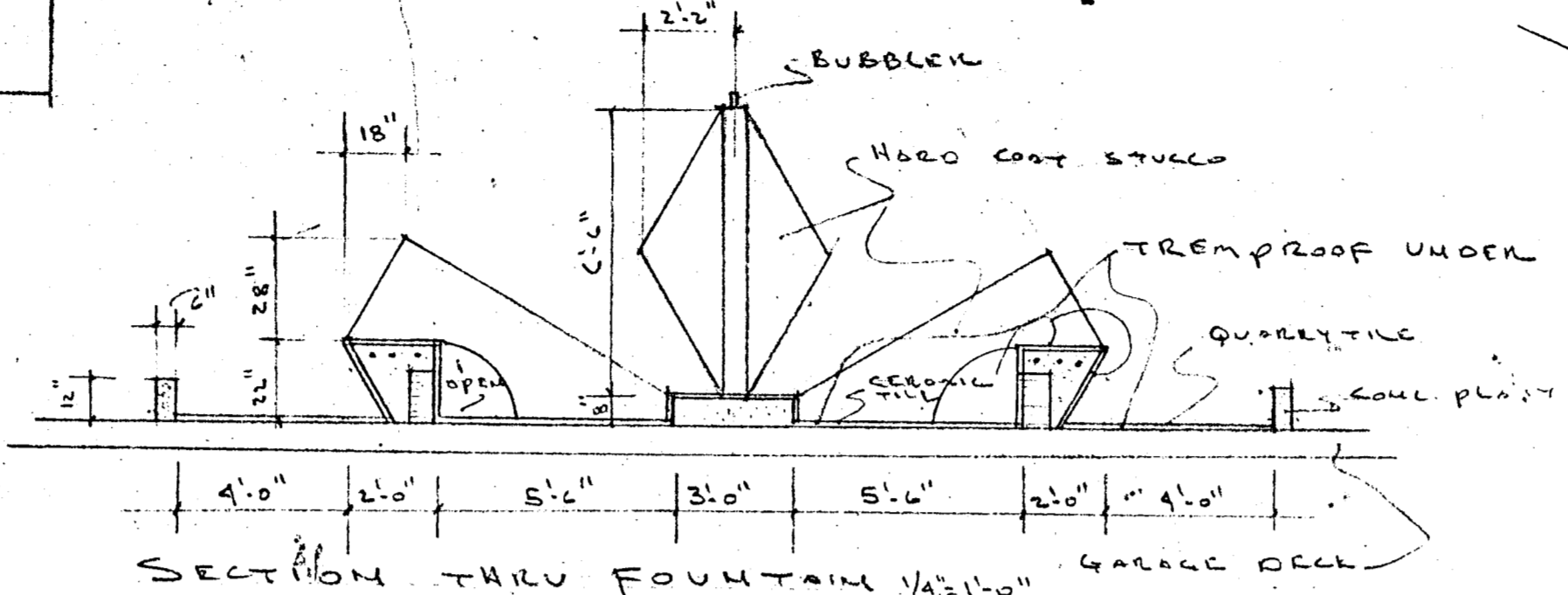
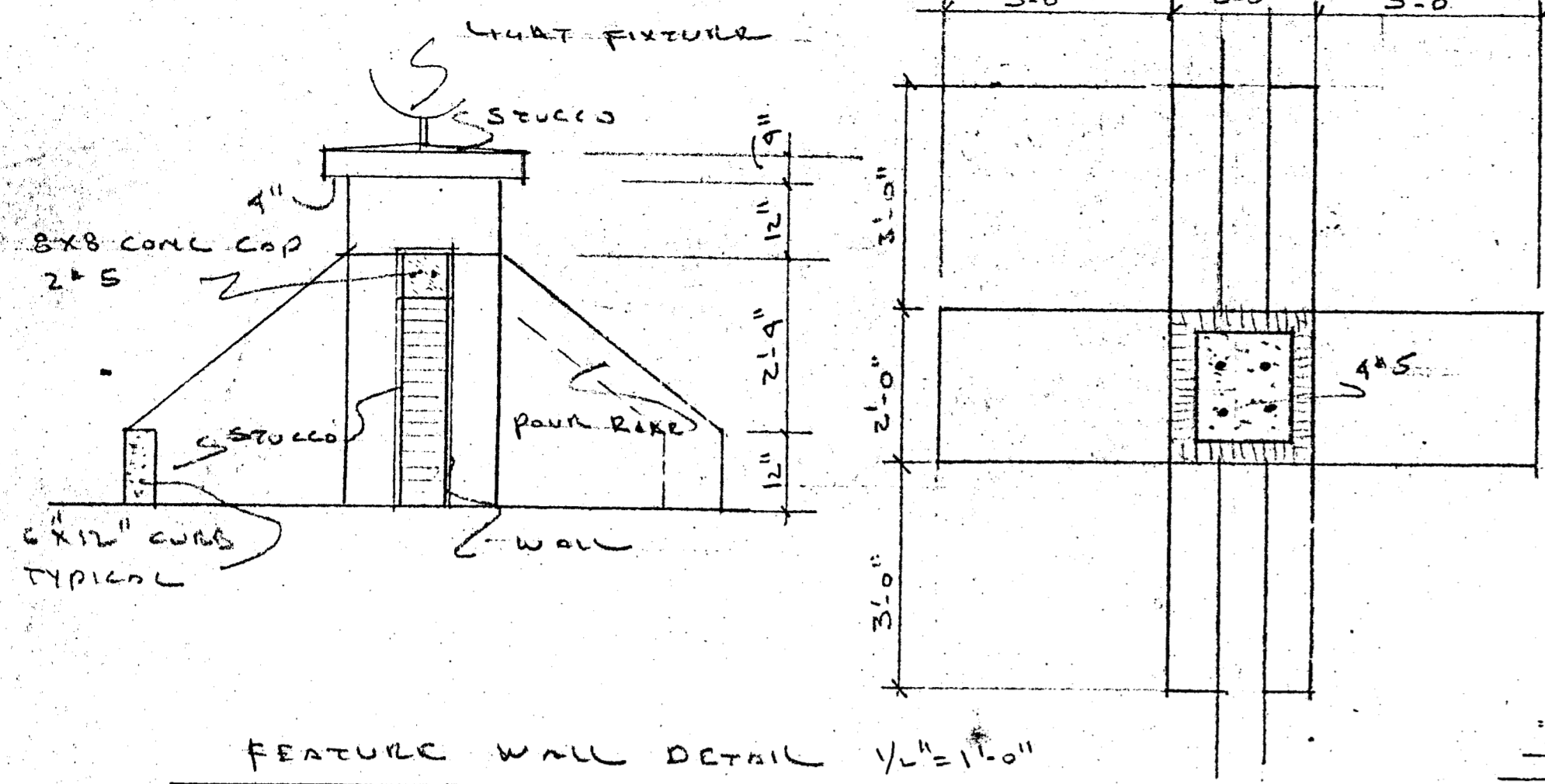
A 135 UNIT CONDOMINIUM

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

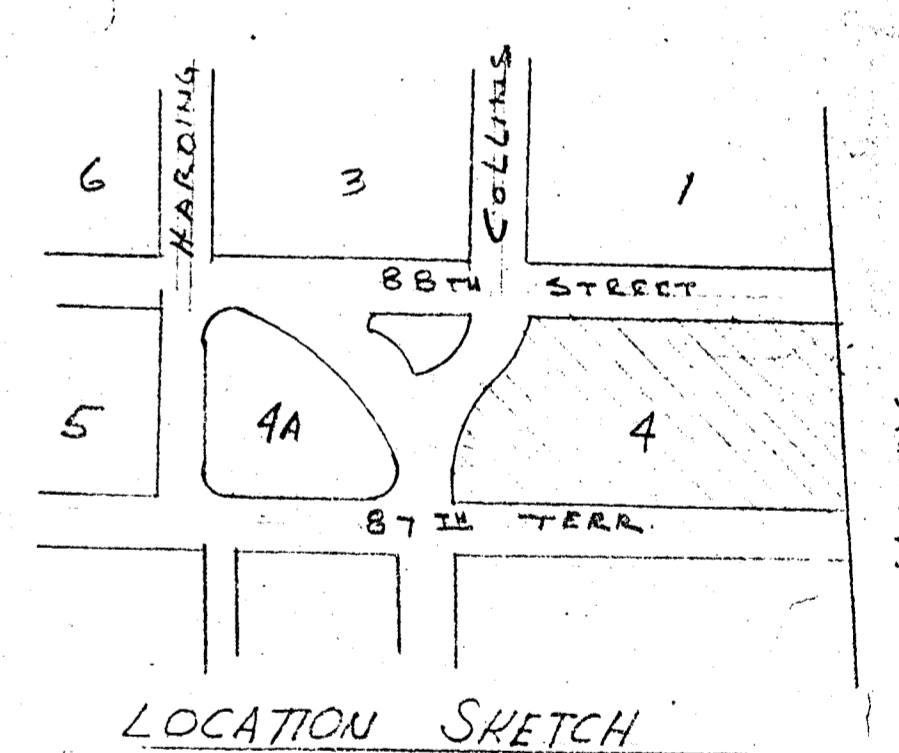
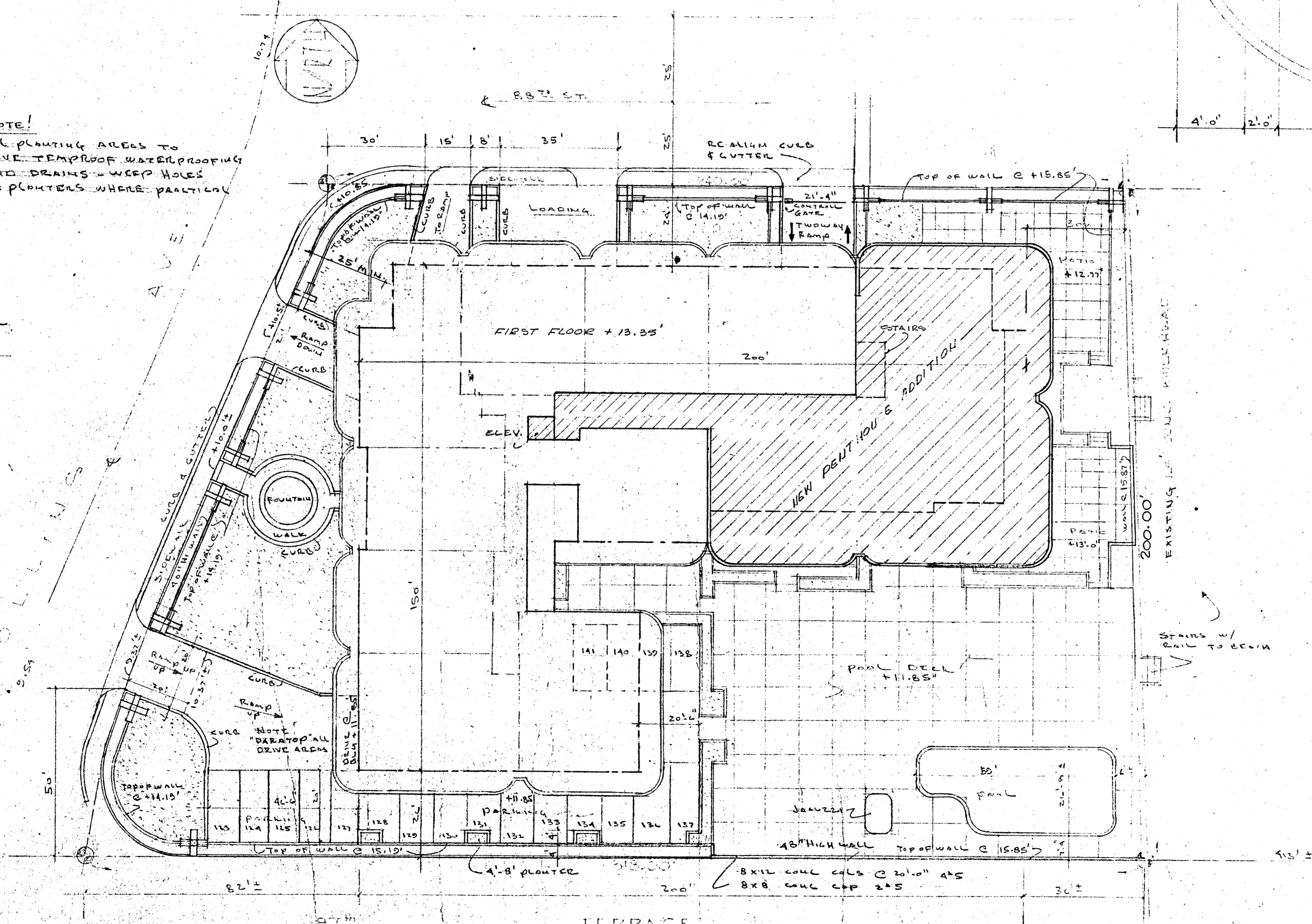
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SHEET NO. 510 OF 14

REV.

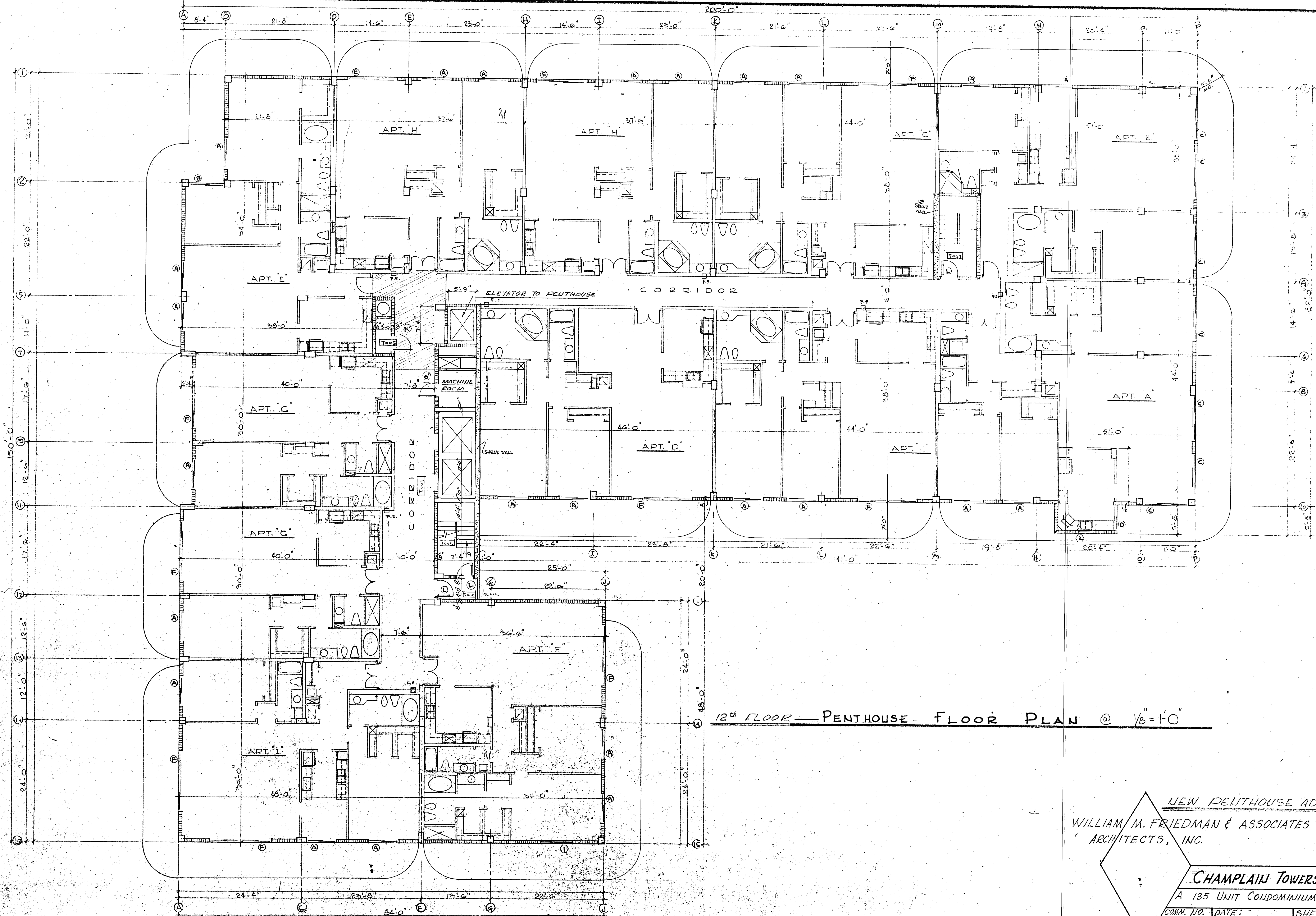


NOTE!
ALL PLANTING AREAS TO
HAVE TREMPROOF WATERPROOFING
AND DRAINS - WEAP HOLES
IN PLANTERS WHERE PRACTICAL



LEGAL
BLOCK 4
2ND AMENDED PLAT OF
HOLMONDY BEACH
SUPERIOR OCEAN F.D.

NEW PENTHOUSE ADDITION
 WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC.
 138 S.E. 14th LANE
 3588044
 CHAMPLAIN TOWERS SOUTH
 8777 COLLINS AVE.
 A 135 UNIT CONDOMINIUM
 COMM. No. 79030 DATE: 8/20/79 SHEET 1 OF 9
 REVISED: 5/14/80
 11/27/79

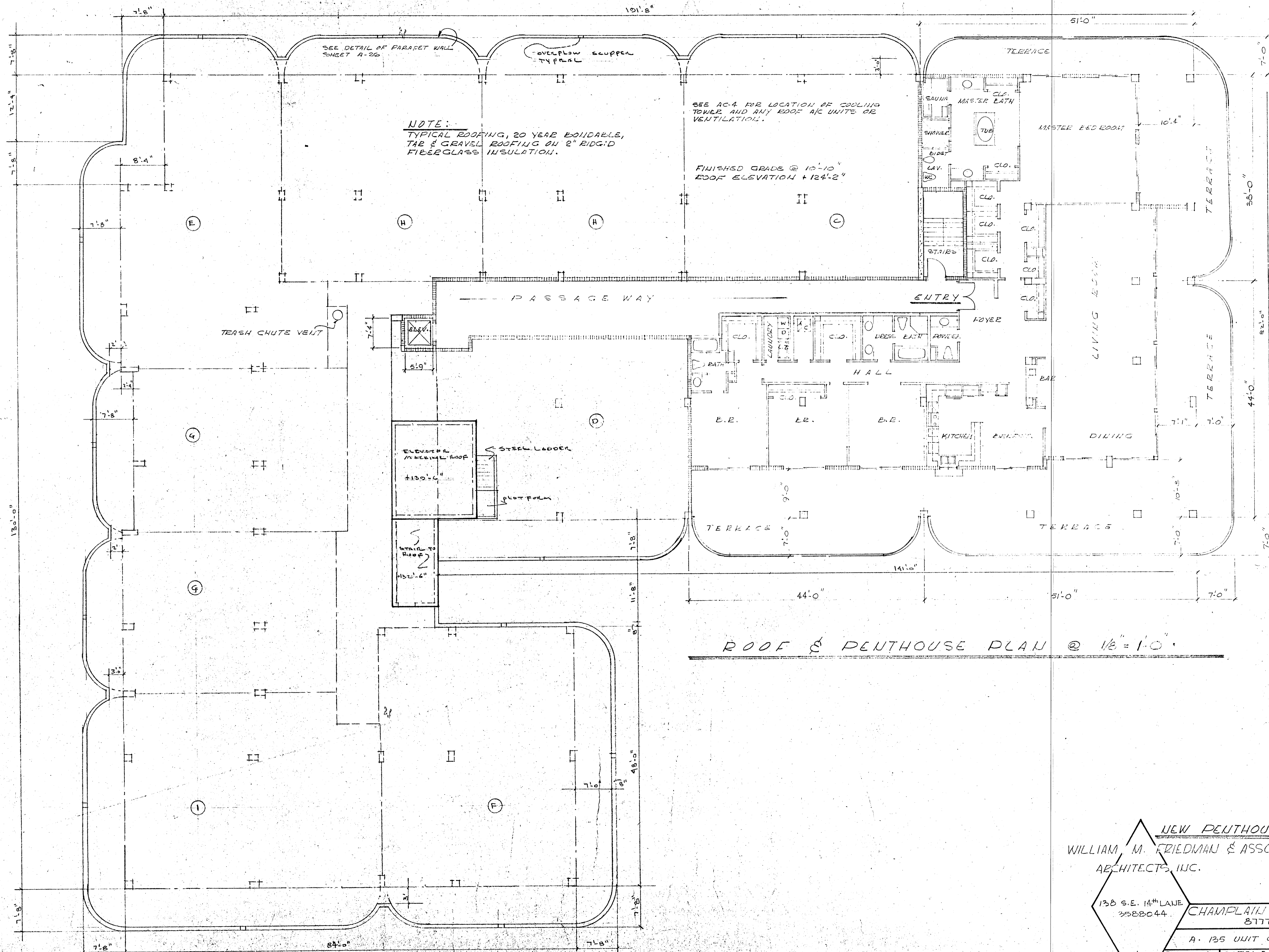


12th FLOOR — PENTHOUSE FLOOR PLAN @ 1/8" = 1'-0"

NEW PENTHOUSE ADDITION
 WILLIAM M. FRIEDMAN & ASSOCIATES
 ARCHITECTS, INC.

CHAMPLAIN TOWERS SOUTH
 A 135 UNIT CONDOMINIUM

COMM. NO.	DATE:	SHEET
	5/14/80	2



NOTE:
 TYPICAL ROOFING, 20 YEAR BONDABLE,
 TAB & GRAVEL ROOFING ON 2" RIGID
 FIBERGLASS INSULATION.

SEE AC-4 FOR LOCATION OF COOLING
 TOWER AND ANY EOOD A/C UNITS OR
 VENTILATION.

FINISHED GRADE @ 10'-10"
 EOOD ELEVATION +124'-2"

ROOF & PENTHOUSE PLAN @ 1/8" = 1'-0"

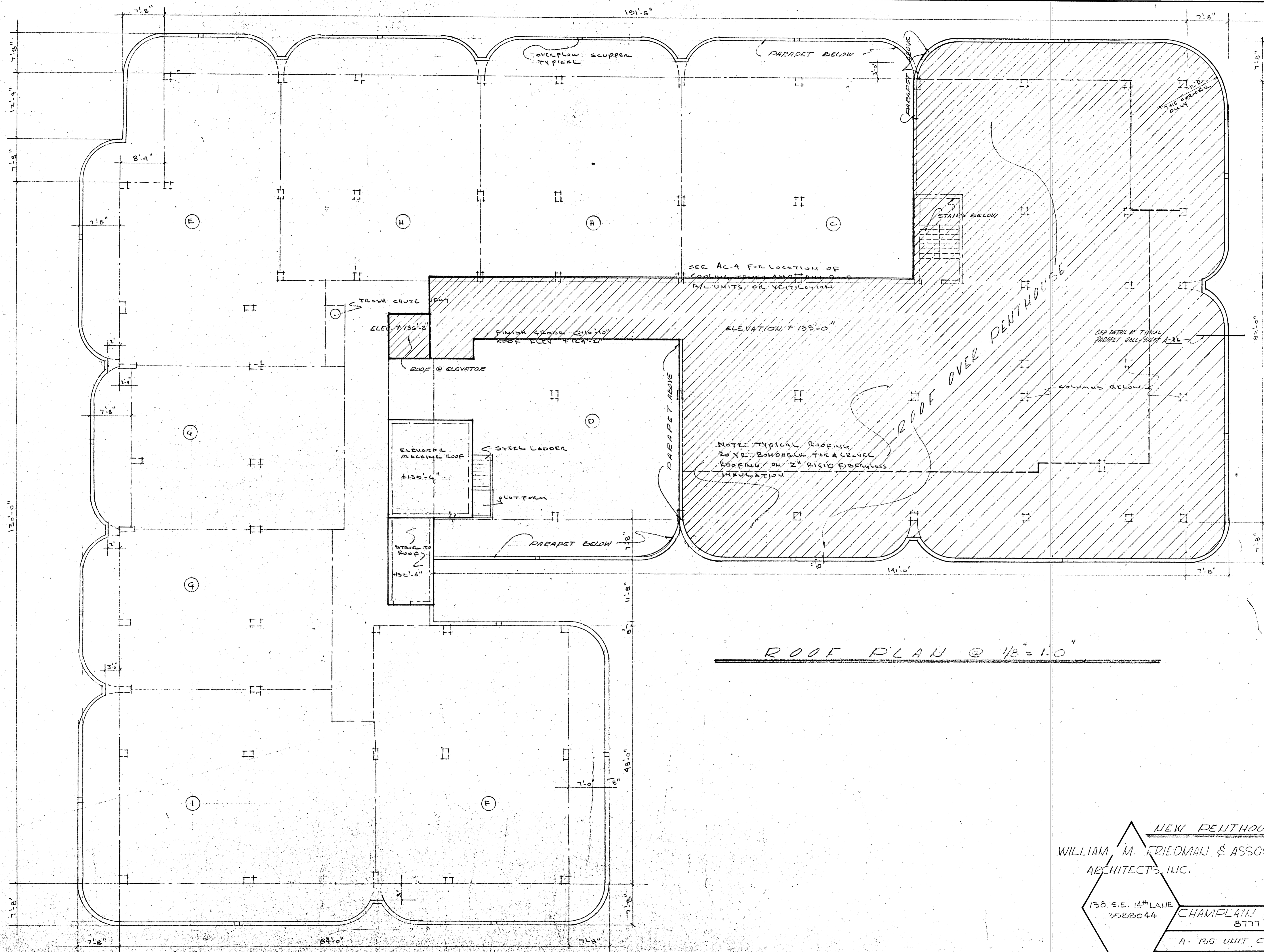
NEW PENTHOUSE ADDITION
 WILLIAM M. FRIEDMAN & ASSOCIATES
 ARCHITECTS, INC.

138 S.E. 14TH LANE
 3588044

CHAMPLAIN TOWERS SOUTH
 8777 COLLINS AVE

A. 135 UNIT CONDOMINIUM

COMM. No. 79030	DATE: 8/20/79	SHE 5
REV. 11/27/79	5/14/80	3



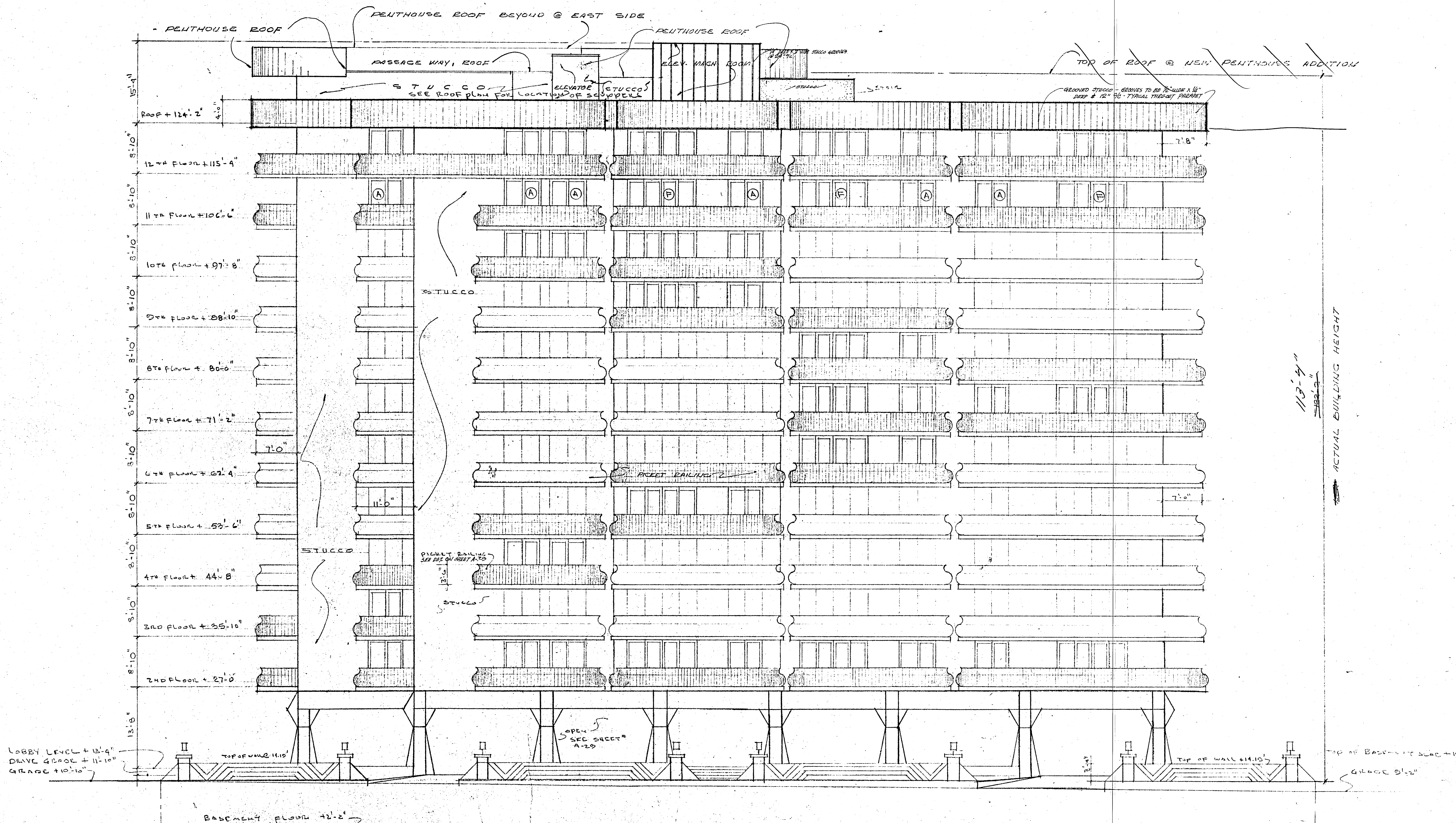
ROOF PLAN @ 1/8" = 1'-0"

NEW PENTHOUSE ADDITION
 WILLIAM M. FRIEDMAN & ASSOCIATES
 ARCHITECTS, INC. *W.M.F.*

138 S.E. 14TH LANE
 3588044

CHAMPLAIN TOWERS SOUTH
 8777 COLLINS AVE.
 A 135 UNIT CONDOMINIUM

COMM. NO. 79030	DATE: 8/20/79	SHEET.
	REV. 11/27/79 5/14/80	4 OF 9



COLLINS AVE ELEVATION
1/8" = 1'-0"

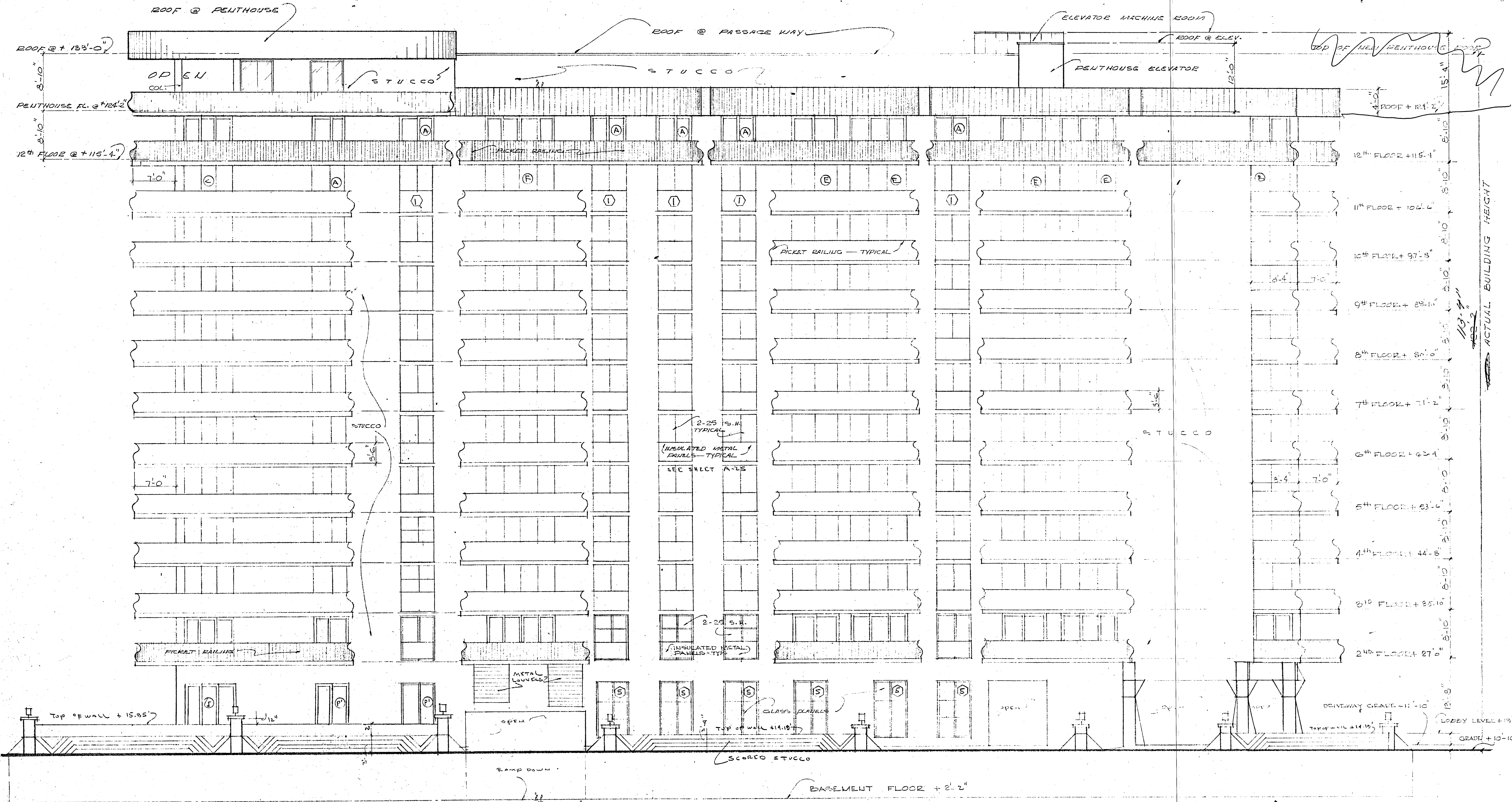
NEW PENTHOUSE ADDITION

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC. *Wmf*

138 S.E. 14TH LANE
3368044

CHAMPLAIN TOWERS SOUTH
8777 COLLINS AVE.
A: 135 UNIT CONDOMINIUM

COMM. No. 79030	DATE: 8/20/79	SHEET
	REVISED: 5/14/80 11/27/79	5 OF 9



NORTH ELEVATION 1/3" = 1'-0"

NEW PENTHOUSE ADDITION

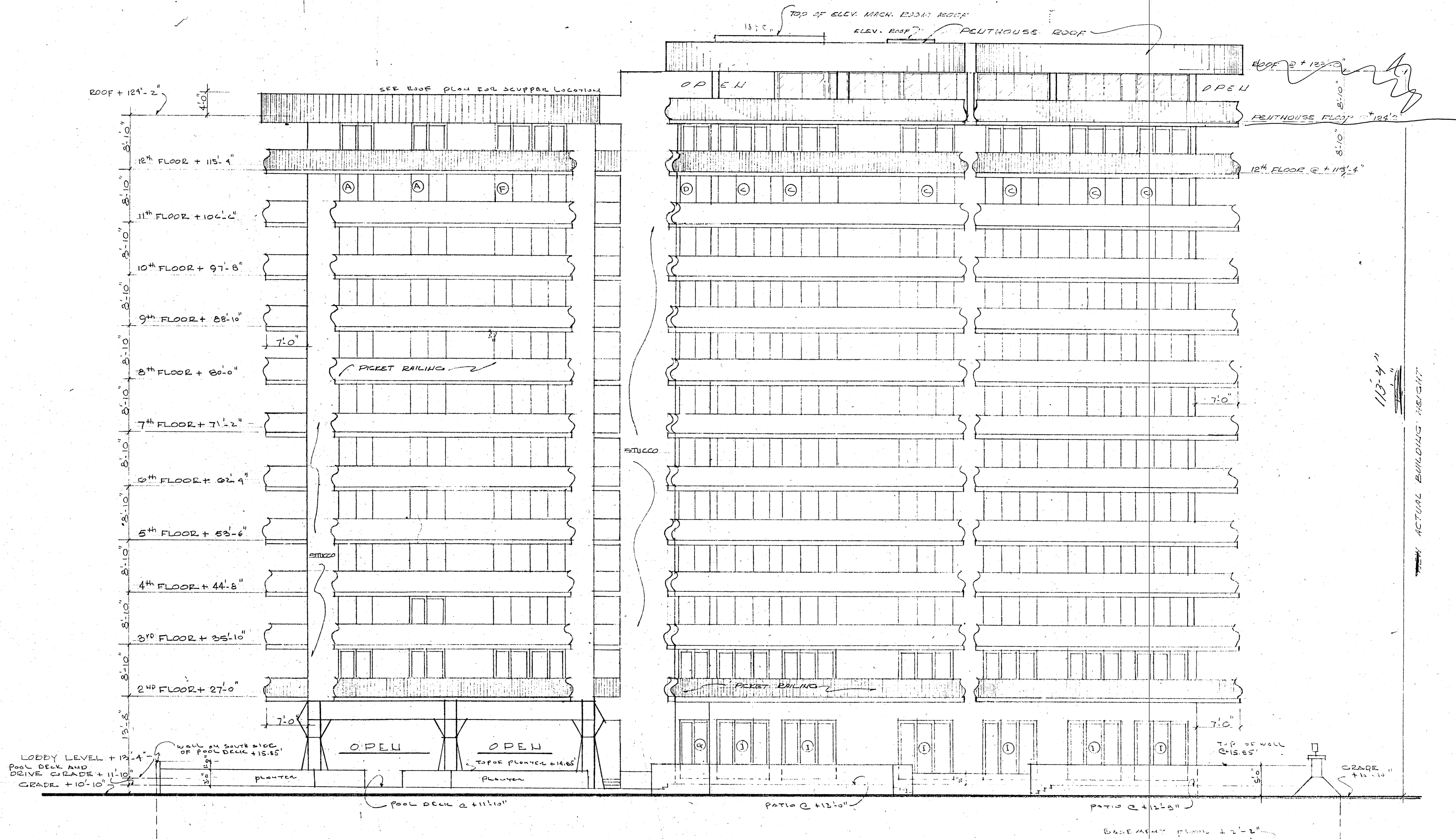
WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS SOUTH
8777 COLLINS AVE.
A. 135 UNIT CONDOMINIUM

COMM. No. 79030	DATE: 3/20/79	SHEET 6 OF 9
REVISED: 5/14/80 11/27/79		

ACTUAL BUILDING HEIGHT
113'-4"



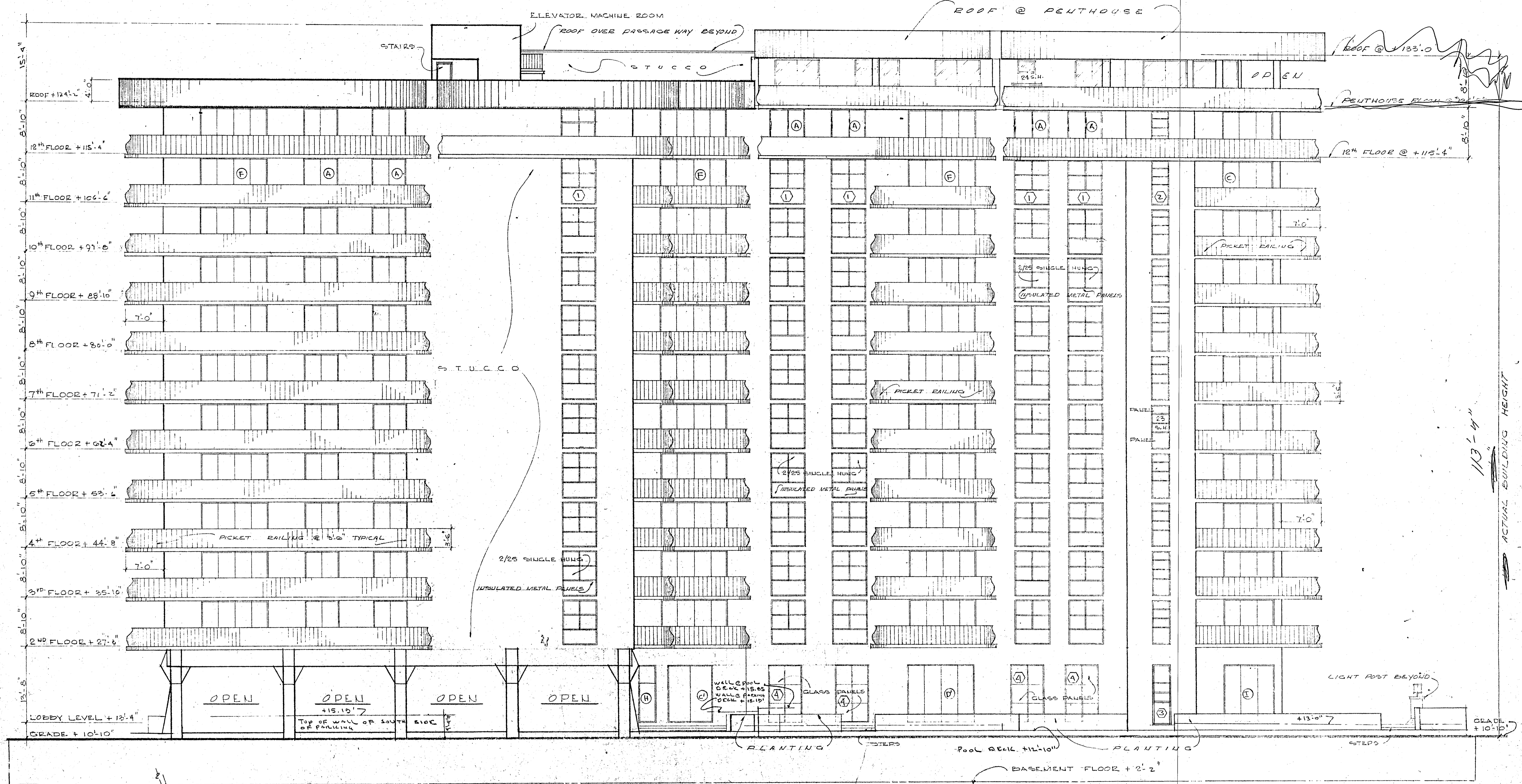
EAST ELEVATION 1/8" = 1'-0"

NEW PENTHOUSE ADDITION
 WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC. *Wmf*

138 S.E. 14th LANE
 3588044

CHAMPLAIN TOWERS SOUTH
 3777 COLLINS AVE.
 A-135 UNIT, CONDOMINIUM

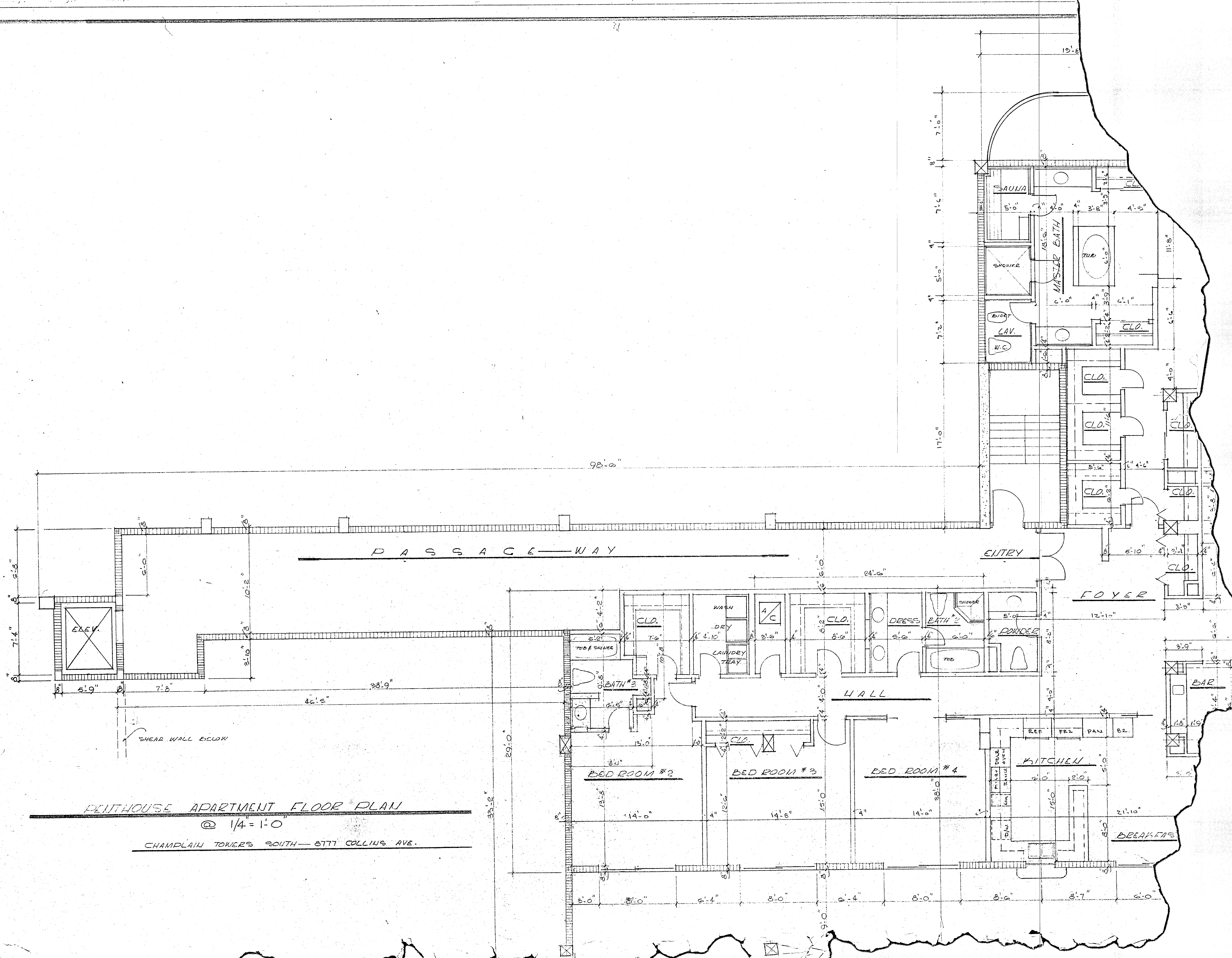
COMM. No. 19030 DATE: 8/20/79 SHEET 7 OF 9
 REVISED: 6/14/80
 11/27/79



SOUTH ELEVATION @ 1/8" = 1'-0"

NEW PENTHOUSE ADDITION
 WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC.

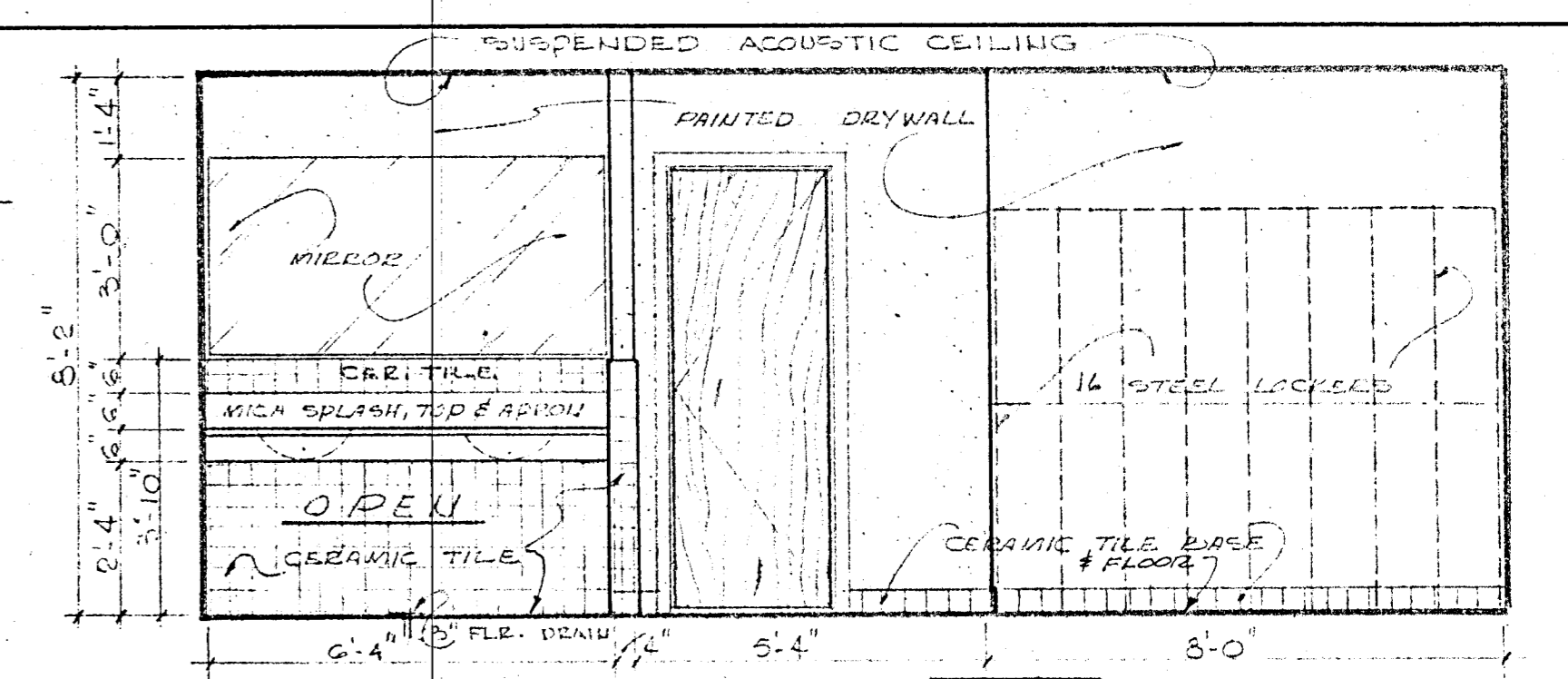
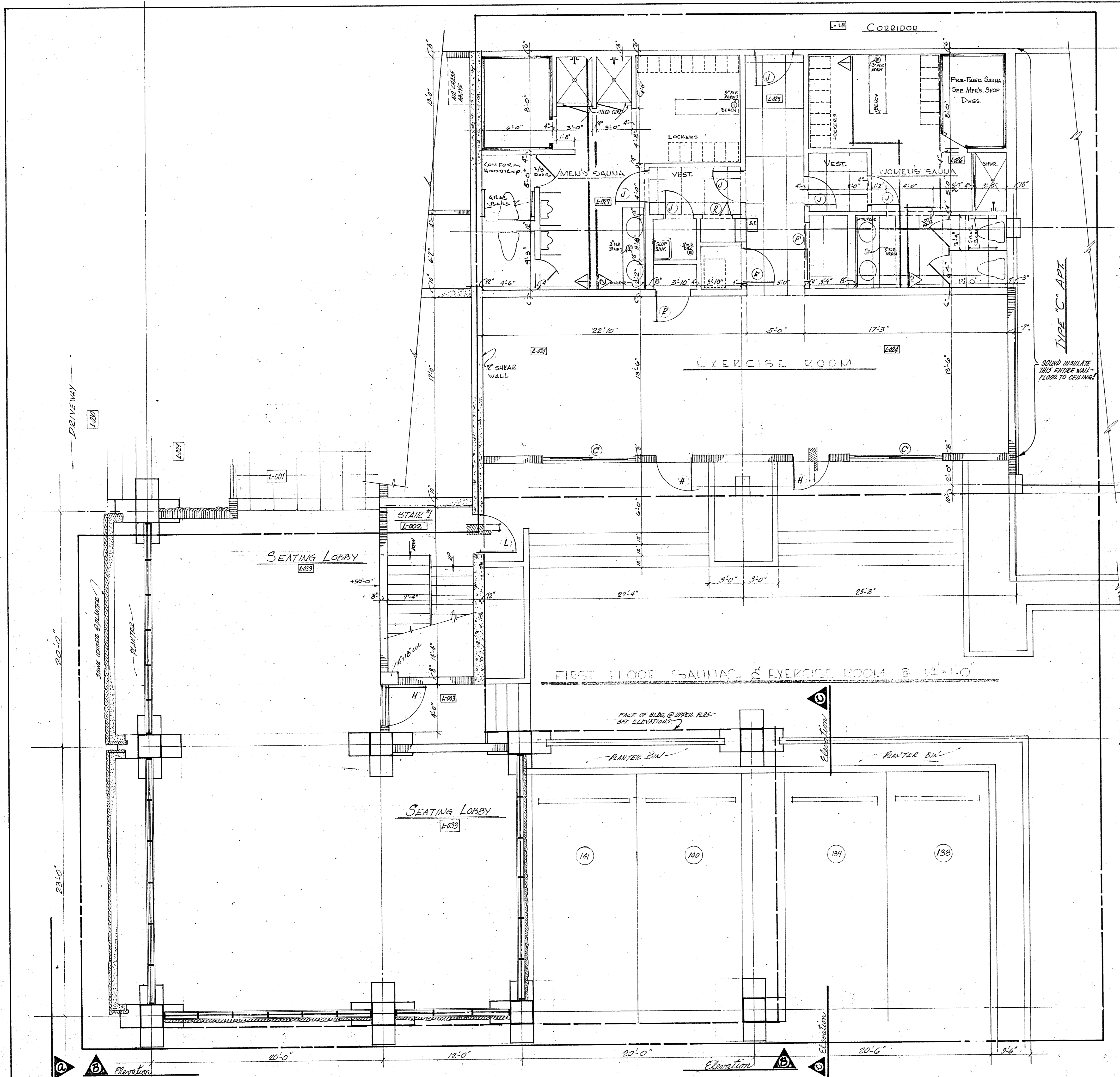
138 S.E. 14th LANE
 3588044
 CHAMPLAIN TOWERS SOUTH
 8777 COLLING AVE.
 A - 126 UNIT CONDOMINIUM
 COMM. No. 79030 DATE: 8/20/79 SHEET
 REVISED: 11/27/79 5/14/80 8 OF 9



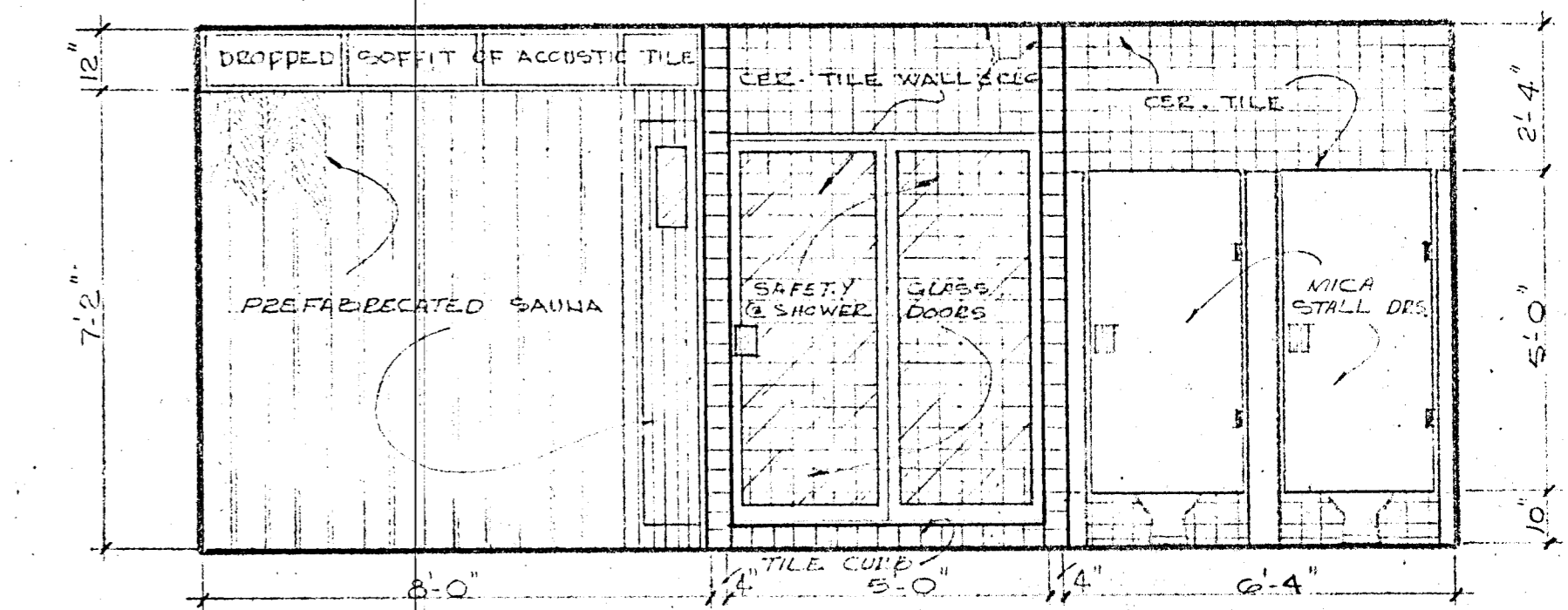
PENTHOUSE APARTMENT FLOOR PLAN

@ 1/4" = 1'-0"

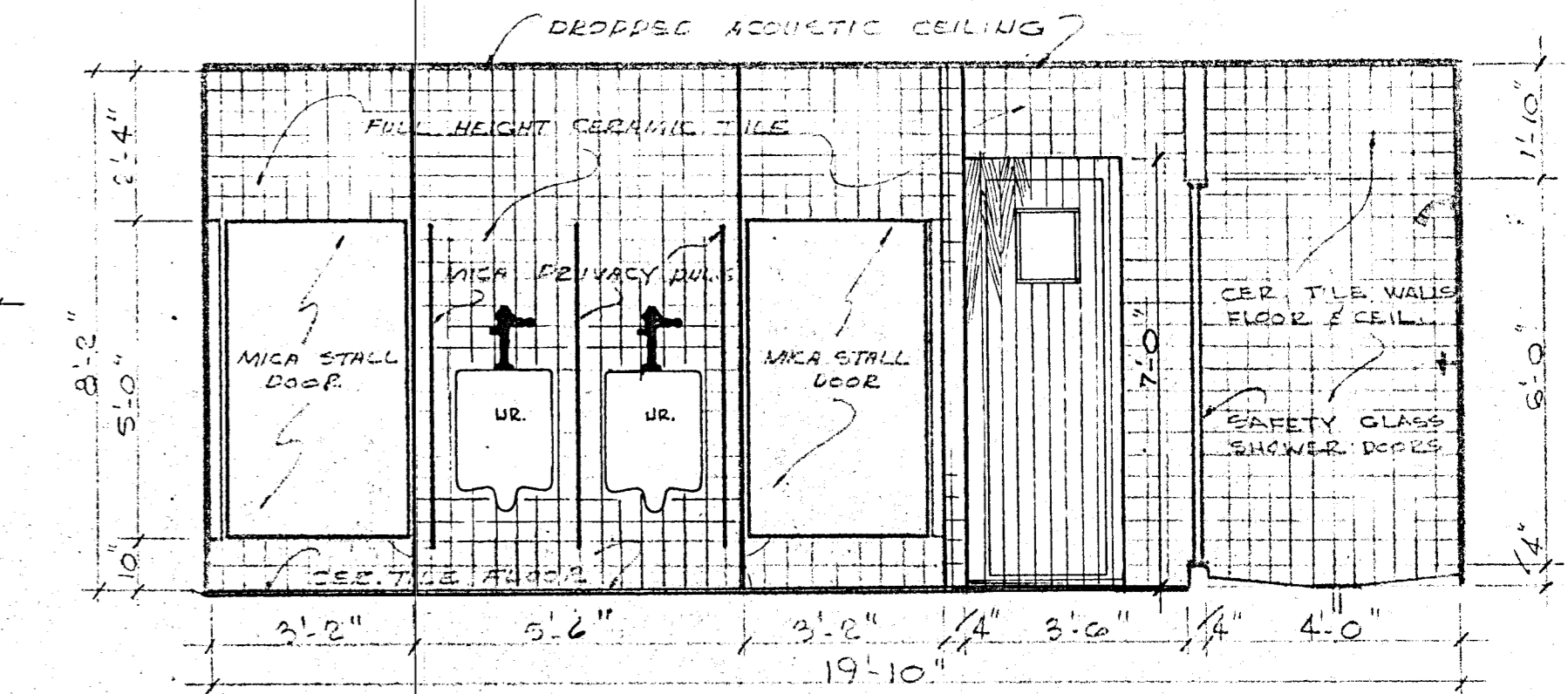
CHAMPLAIN TOWERS SOUTH — 8777 COLLINS AVE.



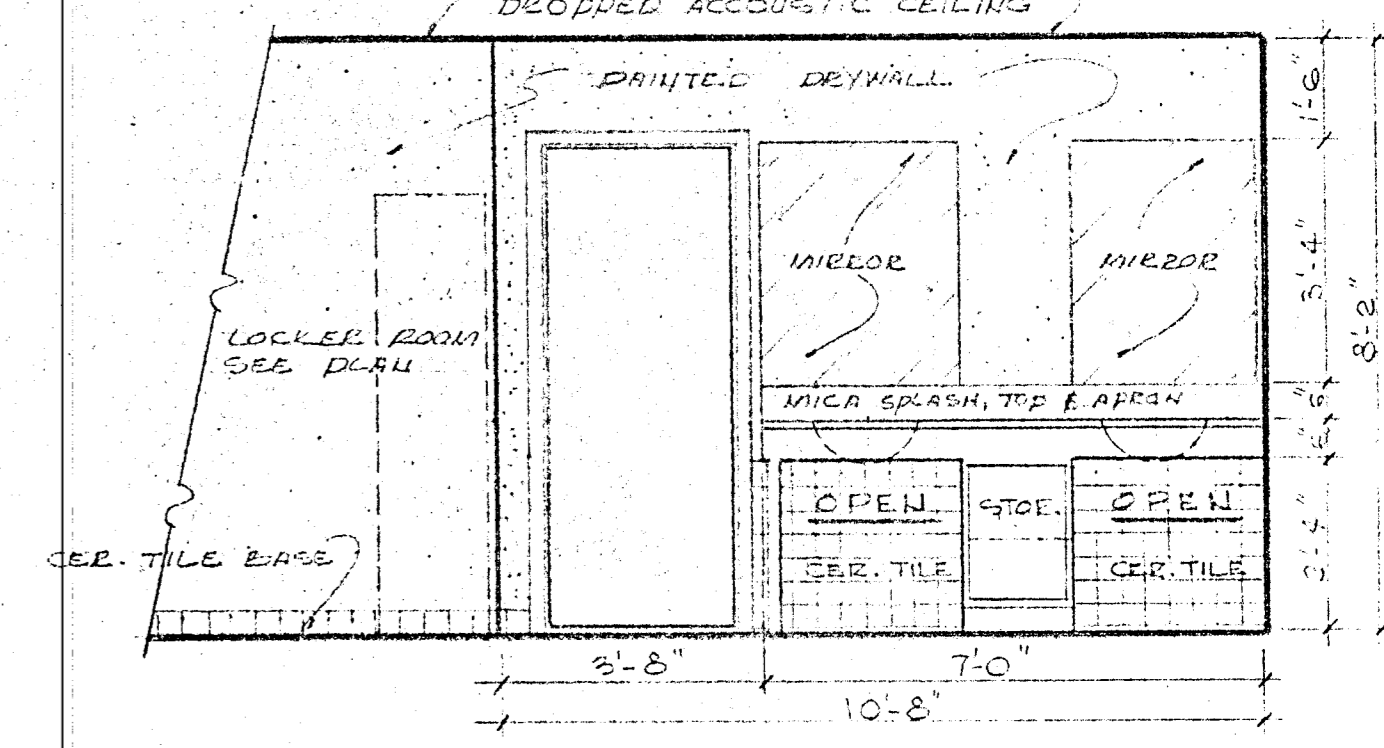
WOMEN'S SAUNA L-026
DETAIL ELEVATION No. - A @ 3/8"=1'-0"



WOMEN'S SAUNA L-026
DETAIL ELEVATION No. - B @ 3/8"=1'-0"



MEN'S SAUNA L-027
DETAIL ELEVATION No. - A @ 3/8"=1'-0"



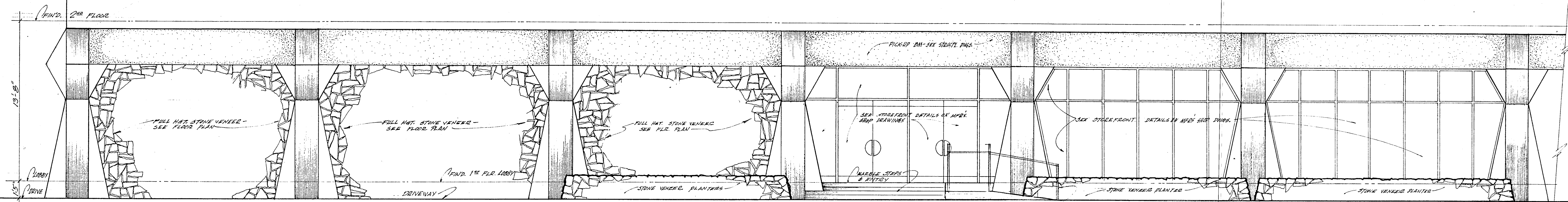
MEN'S SAUNA L-027
DETAIL ELEVATION No. - B @ 3/8"=1'-0"

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

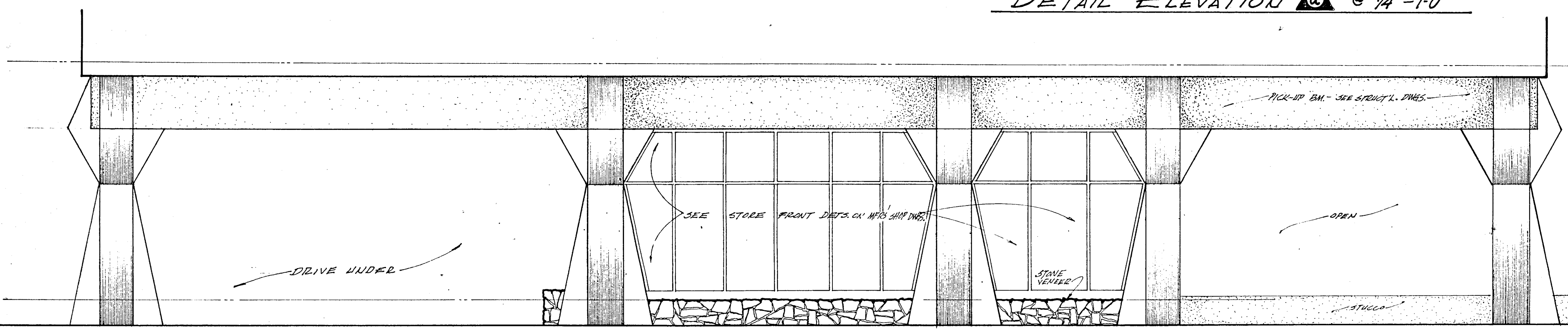
128 S.E. 14TH LANE
3558044

CHAMPLAIN TOWERS SOUTH
8777 COLIUS AVE.
A 125 UNIT CONDOMINIUM

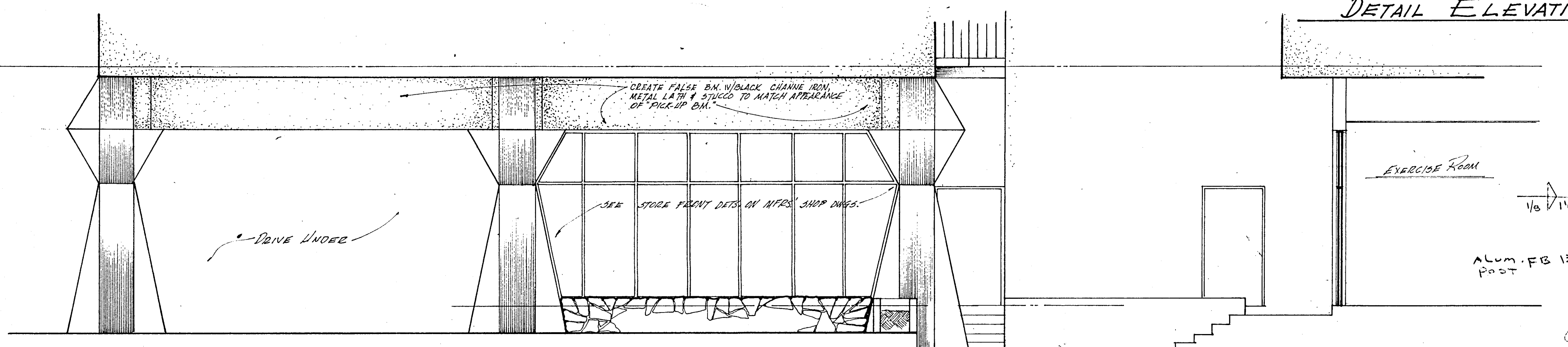
COMM. No. DATE: *[Signature]* SHEET
REV. 28 OF 30



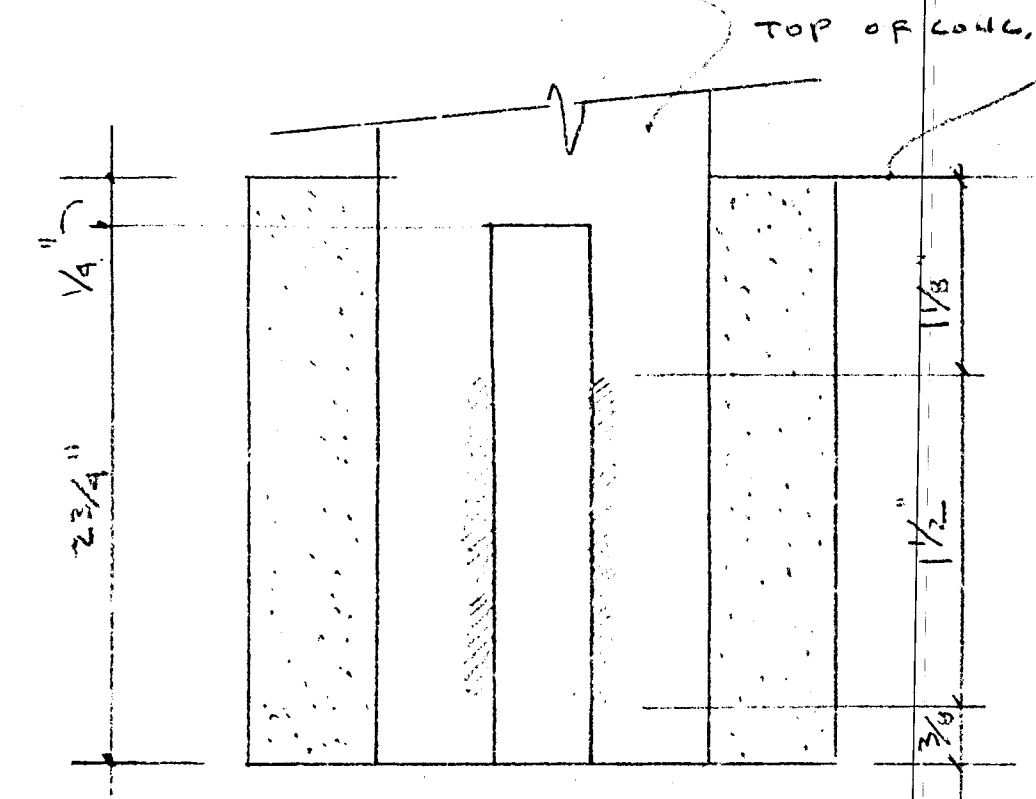
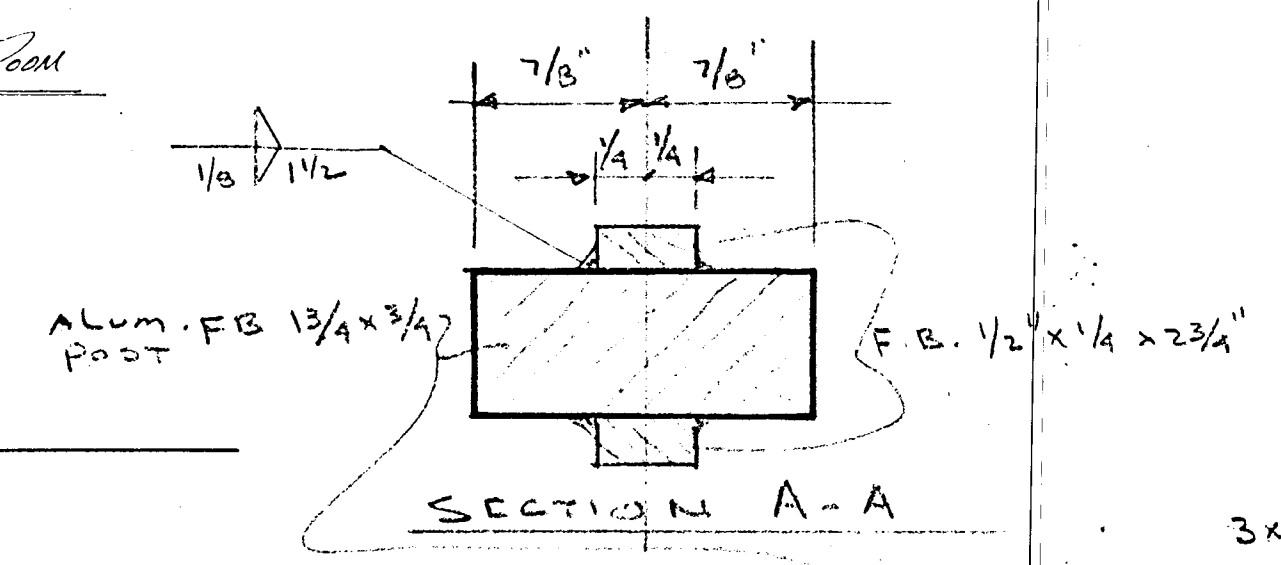
DETAIL ELEVATION **(A)** @ 1/4" = 1'-0"



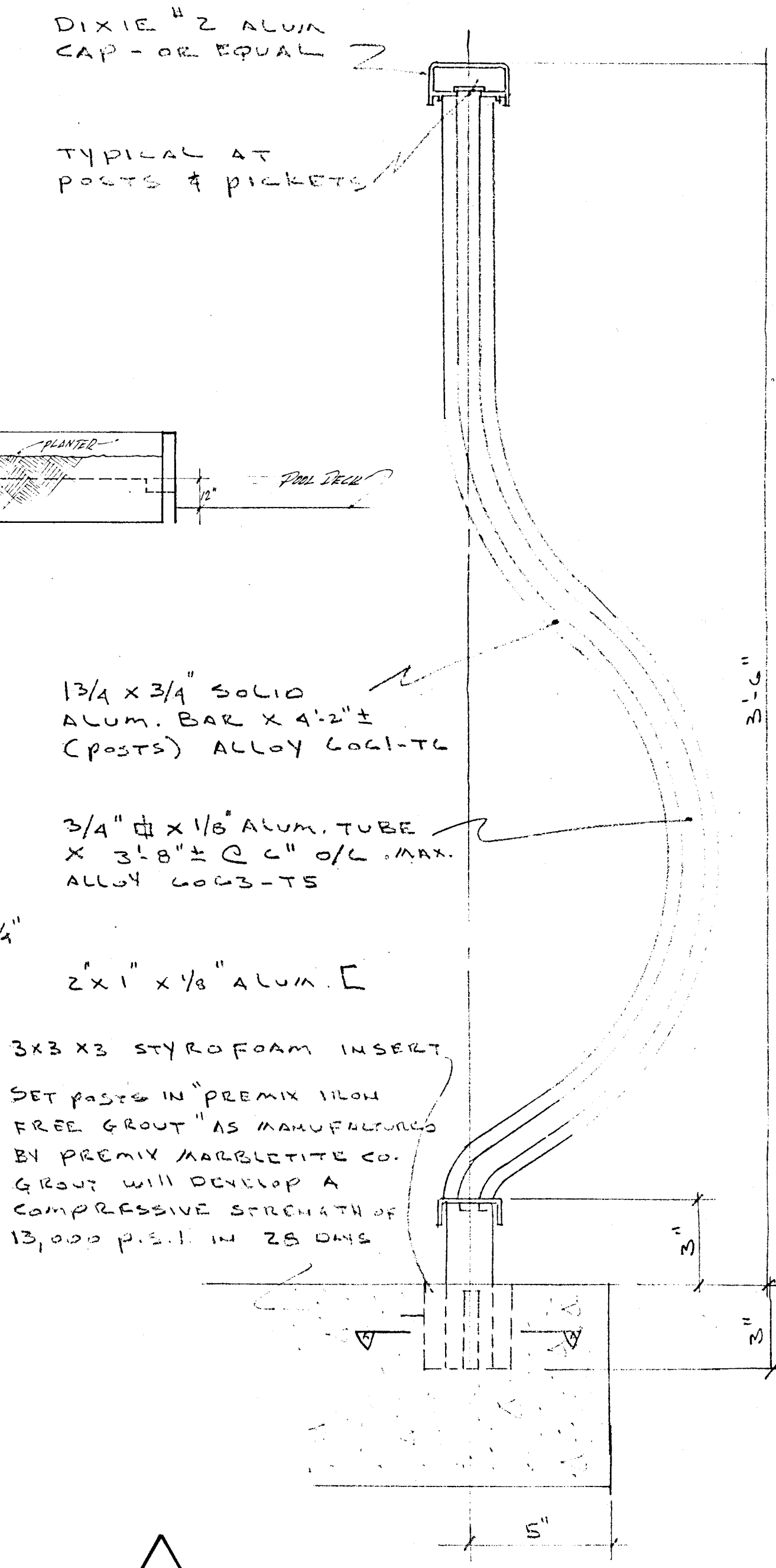
DETAIL ELEVATION **(B)** @ 1/4" = 1'-0"



DETAIL ELEVATION **(C)** @ 1/4" = 1'-0"



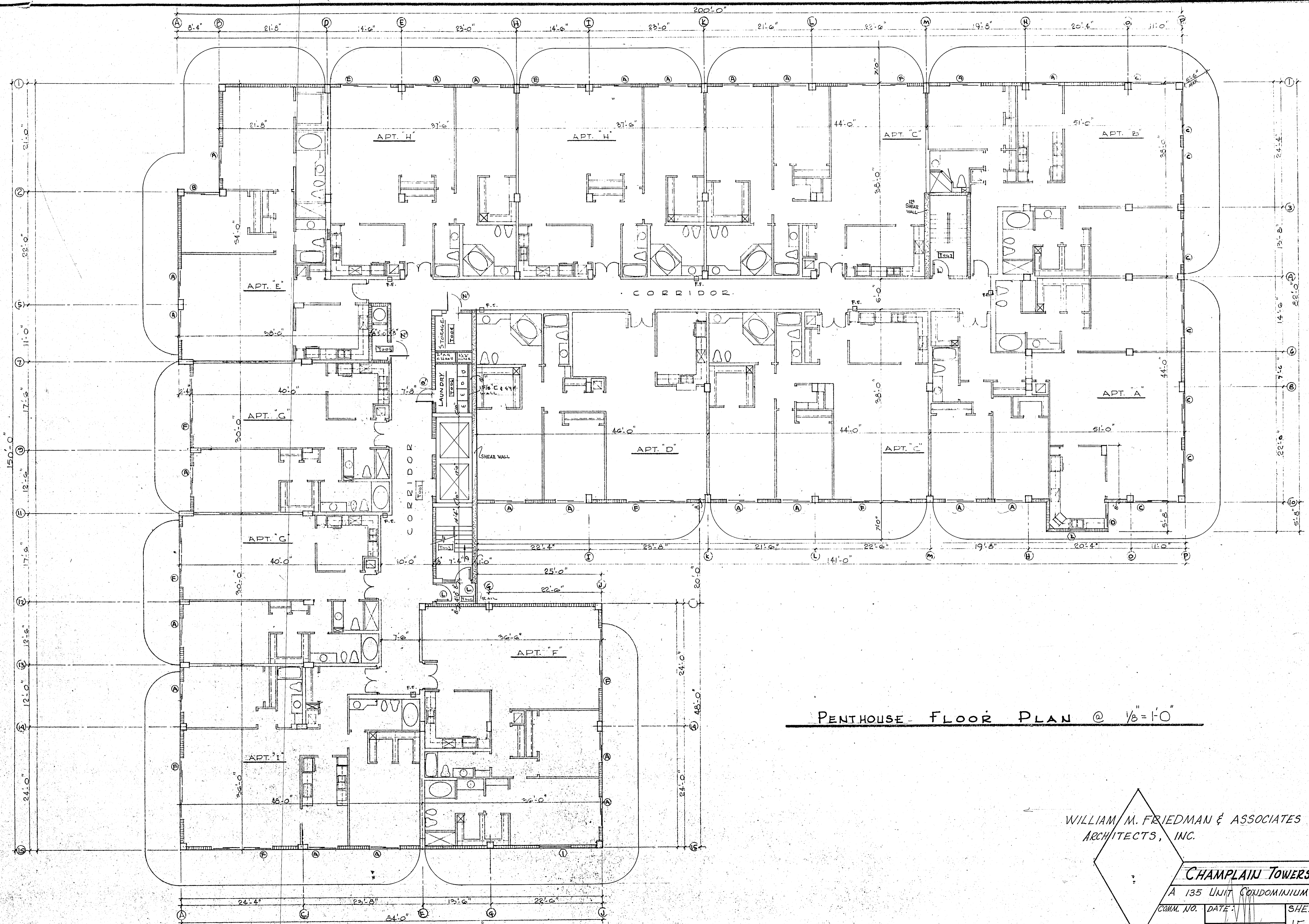
RAIL POST FULLSIZE
RAILING DETAILS



TYPICAL SECTION
3" = 1'-0"

WILLIAM M. FEINDMAN
& ASSOCIATES ARCHITECTS, INC.

138 S.E. 16TH LANE
3323014
CHANDLER TOWER'S SOUTH
8771 COLLINS BLVD.
H. P. ...
COMM. No. ...
REV. ...
29 OF 30



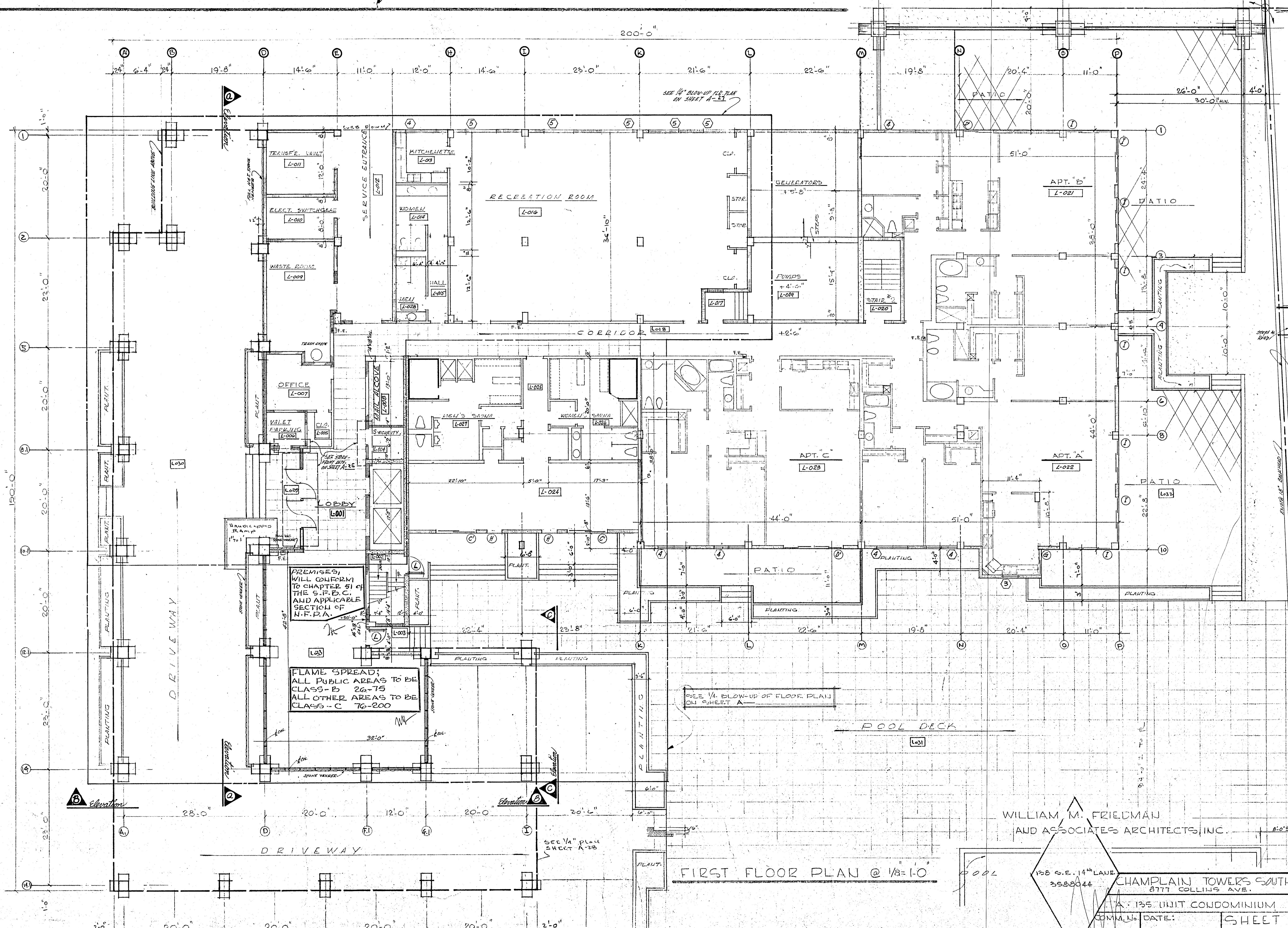
PENTHOUSE FLOOR PLAN @ 1/8"=1'-0"

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

CHAMPLAIN TOWERS SOUTH

A 135 UNIT CONDOMINIUM

COMM. NO.	DATE:	SHEET NO.
		15 of 30
REVISIONS:		



PREMISES WILL CONFORM TO CHAPTER 51 OF THE S.F.P.C. AND APPLICABLE SECTION OF N.F.P.A.

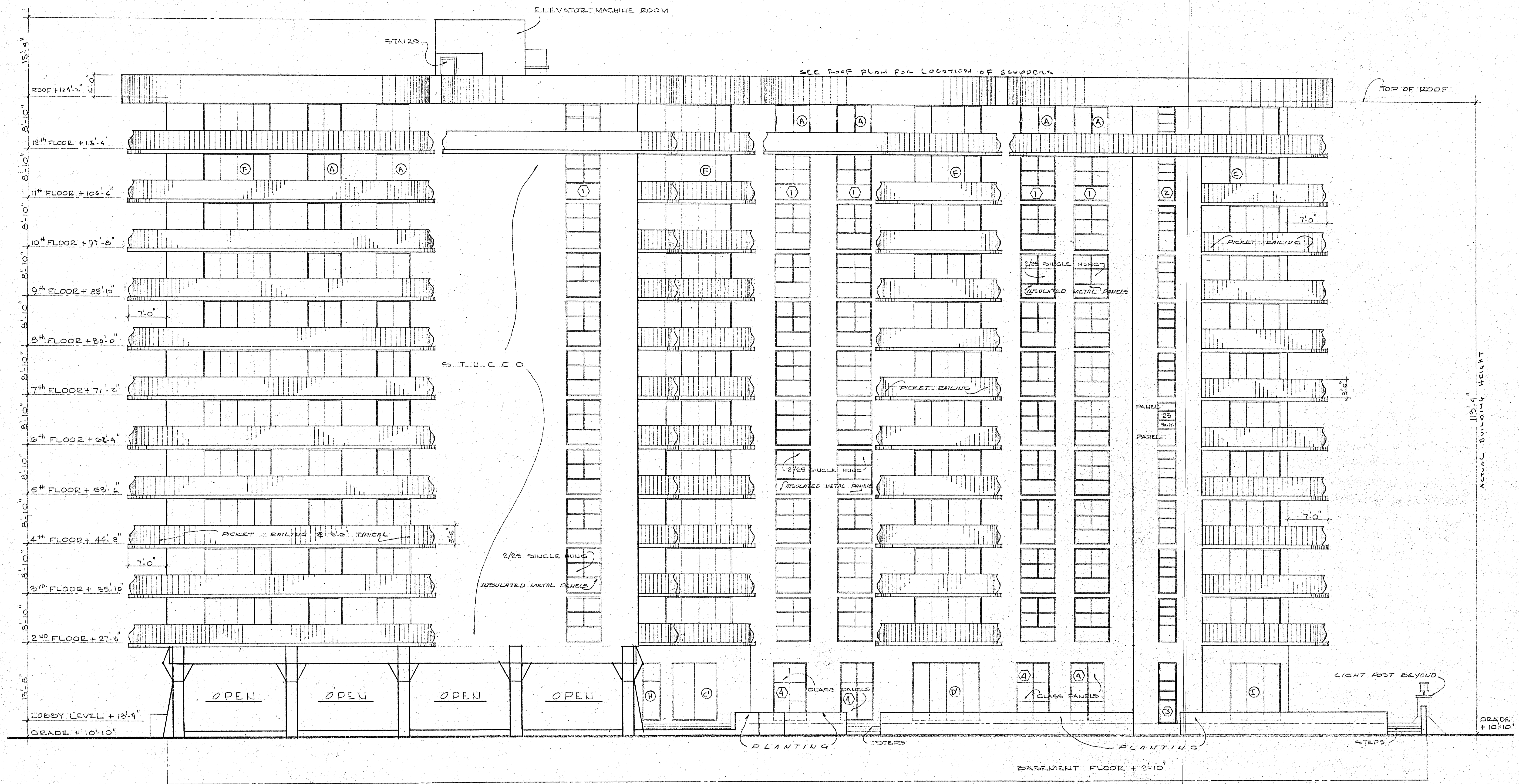
FLAME SPREAD; ALL PUBLIC AREAS TO BE CLASS-B 20-75 ALL OTHER AREAS TO BE CLASS-C 76-200

FIRST FLOOR PLAN @ 1/8" = 1'-0"

WILLIAM M. FRIEDMAN AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14TH LAKE 3528044 CHAMPLAIN TOWERS SOUTH 8777 COLLINGS AVENUE.

COMM. NO. DATE:	SHEET
REV:	13 OF 30



SOUTH ELEVATION @ 1/8" = 1'-0"

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

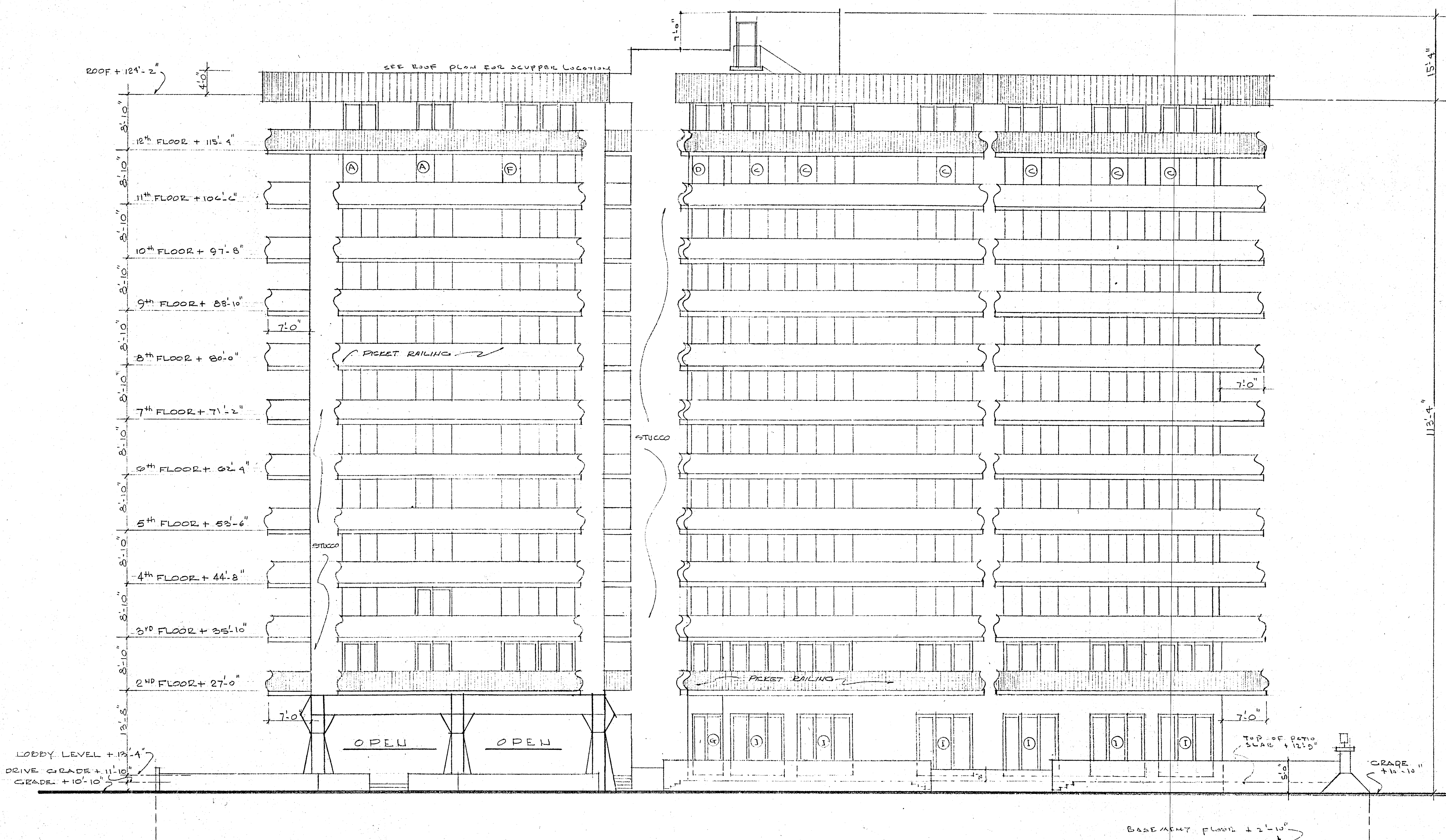
138 S.E. 14th LAKE
3588014

CHAMPLAIN TOWERS SOUTH
8777 COLLINS AVE.

A 135 UNIT CONDOMINIUM

COMM. NO. DATE: SHEET

REVISED: TITLE OF 30



EAST ELEVATION 1/8" = 1'-0"

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14th LANE
3588044

CHAMPLAIN TOWERS SOUTH
8777 COLLINS AVE.
A-135 UNIT CONDOMINIUM

COMM. No.	DATE:	SHEET
REVISID:	10 OF 30	

Section 16, Article 3

- A. (cont'd) contractor shall place upon the job a qualified foreman who shall remain on the job continually through the regular working hours during periods when electrical work is in progress. Only experienced, qualified workmen shall be employed.
 - B. This contractor shall cooperate with all other contractors on the job and shall install his work as fast as progress of the balance of the work will permit.
 - C. This contractor is to be responsible for the actions of his employees and for the compliance with all laws and ordinances governing his work. He shall lay out lines for conduit sleeves, locate wall chases, etc., in ample time so that all coordination with other trades will be accomplished without necessity for cutting and patching. He shall at all times take proper precaution to protect his work from damage and disfigurement.
 - D. The complete electrical system shall conform to all laws, ordinances and regulations of Municipal, County or state bodies, and the Florida Power and Light Co. and the individuals having legal authority to supervise the work. In general, the regulations of the National Board of Fire Underwriters and Rating Bureaus shall be strictly adhered to, except where those regulations conflict with regulations of the utility companies and local codes, which shall take precedence.
 - E. The contractor shall obtain all permits for work under this contract, shall pay all expenses in connection therewith, and shall furnish certificates of inspection.
 - F. The contractor shall provide all necessary instruments, special apparatus, and expert service to make all tests required to show that the system is absolutely clear of grounds, short circuits, and is properly installed to meet the intent and requirements of these specifications.
 - G. The Electrical Contractor shall guarantee all workmanship and materials covered by these specifications for a period of one year after acceptance, and shall make good all defects, either labor or materials, discovered within the one year period, without additional charge over and above the bid price.
 - H. It shall be the responsibility of the bidders to visit the site of the work, and to acquaint themselves with all available information regarding service facilities. Failure of the bidders to inform themselves fully of the conditions will not entitle them to an extra charge over and above the bid price.
- I. Conductor Installation:
- 1) No joints or taps will be allowed in feeder runs under any conditions.
 - 2) Conductor sizes specified are minimum sizes, and shall not be decreased.
 - 3) Insulation resistance of joists shall be equal to or greater than that of the wire.
 - 4) Changes in equipment furnished by others may necessitate changes in wire size. In such cases the contractor shall increase wire sizes accordingly.
 - 5) No conductors shall be installed until all rough work by other trades is complete, and roof is in place.
 - 6) For branch circuits, no wire smaller than 14 AWG shall be used, and for home runs in excess of 100 feet, # 10 AWG shall be used.
 - 7) For control wiring of motor circuits, contractors and pilot devices, # 14 AWG wire may be used.
 - 8) Wire insulation shall be colored, using three colors and white to indicate the phases; white shall be used for the neutral.

ART. IV Raceways

- A. All conductors shall be contained in raceways. All raceways shall be run concealed unless specifically noted otherwise on the plans. Do not pierce any structural member without the written permission of the architect.
- B. All underground conduit runs shall have two protective coats of Koppers Bitumastic #50 brush applied, undiluted, before backfilling.

ART. V Outlet Boxes, covers and plates

- A. Outlet boxes shall be of the sizes and types to properly accommodate the size and number of conductors and raceways which enter them. Boxes shall be selected to suit the particular devices to be installed.
- B. Mount all boxes so that all covers and plates will finish flush with the wall or other finished surfaces. Properly center outlets in paneling or other architectural features as indicated on the architectural plans, and clear trims and corners by at least four (4") inches where possible.
- C. Close all outlets during rough construction, and during plastering and concreting, with kraft paper excelsior, or clip on blank plates.
- D. Symbols on drawings show approximate locations only. Unless exact locations are specified on architectural plans and elevations, consult architect for instructions before proceeding.
- E. All fixture outlet boxes shall be equipped with "no-bolt" type of fixture studs of sufficient size to support fixture and device loads.
- F. Suitable bar hangers shall be used throughout the work, as wooden supports, strips, or other makeshift devices will not be permitted.
- G. Unless specifically noted otherwise, all wall outlets shall be mounted as follows, measurements being made from the finished floor to the center of the outlet box.
 - 1) Switches - 4' - 0"
 - 2) Receptacles - 1' - 0"
 - 3) Bracket Outlets - 7' - 6"
 - 4) Flush Panels (to center of can) - 5'0"
 - 5) Surface panels and Main Switch, (to center) - 5'0"

ART. VI Panels and Safety Switches

- A. All panels and safety switches shall be fastened rigidly to the structure or to backing boards
- B. All safety switches mounted in groups shall be plainly marked to indicate their function.
- C. All panels shall be equipped with directory frames, and typewritten directory cards shall be inserted to indicate the function of all circuits.
- D. Backing boards, where required, shall be 3/4" thick exterior plywood rigidly fastened to 2 x 4 lumber fastened flat to the wall with machine bolts and lead inserts (concrete nails are not acceptable). Backing boards shall be given two coats of flat black paint.
- E. Panel board boxes shall be given two coats of zinc chromate primer before installation

ART. VII Service - Service to the building shall be underground for power from utility company facilities. Service to the building will be shown on electrical plans.

SECTION #17 DRIVEWAY AND RAMP SEALERS

ART. I WORK REQUIRED

- A. SEAL ALL CONCRETE DRIVEWAYS
- B. SEAL AND NON-SKID RAMP
- C. PAINT ALL PARKING STRIPES
- D. INSTALL PRECAST PARKING BUMPERS

ART. II MATERIALS

- A. DARATOP BASE AND FINISH COAT
- B. DARATOP NON-SKID TOPPING
- C. STRIPING PAINT
- D. PRECAST CONCRETE PARKING BUMPERS

ART. III EXECUTION OF WORK

- A. DARATOP CURING AND SEALING SYSTEM, BY W.R. GRACE & CO., SHALL BE APPLIED IN ACCORDANCE TO THE MANUFACTURES SPECIFICATION.
- B. AREAS CAN BE OPENED TO TRAFFIC 24 HOURS AFTER THE APPLICATION OF THE BASE COAT. FINISH COAT CAN BE APPLIED AFTER OTHER TRADES HAVE COMPLETED THEIR WORK. IF SO THE AREA MUST BE CLEANED AS DIRECTED BY MANUFACTURER.
- C. DARATOP RAMP TOPPING AND SEALING SYSTEM, BY W.R. GRACE & CO., SHALL BE APPLIED IN ACCORDANCE TO THE MANUFACTURES SPECIFICATION.
- D. RAMP SHOULD NOT BE OPEN TO TRAFFIC FOR AT LEAST 48 HOURS AFTER THE APPLICATION OF RAMP TOPPING.
- E. STRIPING PAINT SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURES SPECIFICATION. ALL SURFACES SHALL BE DRY AND CLEAN.
- F. INSTALL PRECAST CONCRETE PARKING BUMPERS AFTER PAINT STRIPING. BUMPERS TO ANCHORED WITH MASTIC.

SECTION 18 CLEAN-UP, TRASH REMOVAL, & PATCH UP WORK

- ART. I The general contractor is responsible for the daily removal of all trash and debris, either caused by him or his sub-contractors.
- ART. II Before final inspection is given by the architect for final payment, he must have all foreign matter, trash, debris, etc., removed from the premises, and pay for all labor and equipment involved in such clean-up also, the structure is to be left in a neat, broom clean and acceptable manner.
- ART. III Patch up work consists of any revision, alterations and additions to existing structure, incidental to the performance of his work on the new structure and outlined on the specifications and plans.

SECTION 19 PLUMBING

ART. I Scope of Work

- A. Provide all equipment, materials and labor required to construct a complete plumbing system according to these plans and specifications and comply with all codes. The major items included in this work as follows:
 - 1) water heater
 - 2) sanitary waste and soil piping
 - 3) condensate piping
 - 4) cold and hot water piping
 - 5) specialties
 - 6) Clean-outs
 - 7) Sleeves and Escutheons
 - 8) Flashings
 - 9) Floor Drains
 - 10) Plumbing fixtures
 - 11) Excavation and backfilling
 - 12) Tests and balancing
 - 13) Cleaning up
 - 14) Guarantee
 - 15) Piping for air cond. as required

ART. II Materials and Equipment

- A. All equipment and materials furnished under this contract is to be the best quality available in each grade or class.
- B. All equipment and materials will be installed in strict accordance with the manufacturers recommendations.

ART. III Sanitary Waste and Soil Piping

- A. All piping shall be service weight cast iron including fittings with cast lead and oakum joints.
- B. All piping shall be installed with a 1/8" per 1' pitch. Piping within building shall be supported with approved pipe hangers 5' on center max. Underground piping shall be continuously supported upon the bottom of the trench.
- C. All cast iron soil pipe and fittings shall be coated inside and outside with a mixture of hot tar and oil.

ART. IV Condensate Piping - Supply and run connect a 1" A.C. Cond. safe waste as shown.

ART. V Cold and Hot Water Piping

- A. Copper and Galvanized piping of approved types to be used.
- B. All piping inside building will be supported with approved pipe hangers 10 feet o.c.

SECTION 19 PLUMBING (continued)

ART V (cont'd)

- B. (cont'd) max. Underslab piping on trench bottom.

ART. VI Specialties - Install 3/4" "Crane" #8.340 brass hose bibs - see plan

ART. VII Cleanouts - Provide approved cleanouts with brass plugs and access panel as shown on riser diagram.

ART. VIII Sleeves and Escutheons - Provide standard weight galv. steel pipe sleeves where piping passes through concrete, block or walls. Sleeves through slab shall extend 3/8" above finished floor. Provide escutcheon plates (brushed chrome plated) at above locations.

ART. IX Flashings - all vent pipes through roof shall be flashed with 4 lb. lead sheet furnished by this contractor, installed by roofer.

ART. X Floor Drains - Josam 3" with cast iron body and deep seal P-trap, brass grate

ART. XI Plumbing fixtures - see mechanical plan - AMERICAN STANDARD; CRANE OR KOHLER

ART. XII Co-ordinator of Work

- A. This contractor is responsible for the full coordination of his work with all other contractors.
- B. This contractor shall furnish the general contractor with all data and dimensions for the installation of his work.

ART. XIII Excavation and backfilling - This contractor shall do all excavation and backfilling required for his work and only to the depth and width necessary for the proper installation of the work. Excess excavation shall be filled to the proper levels and well compacted as directed

ART. XIV Tests and Balancing

- A. All piping will pass the following pressure tests for 2 hours
 - 1) Sanitary piping: 5PSI - Hydrostatic
 - 2) Hot and Cold Water: 100 PSI - Hydrostatic
- B. Plumbing contractor to make all tests as Codes require

ART. XV Cleaning-up - Upon completion of this installation this contractor shall clean all dirt, grease, oil and rust from all his installation.

ART. XVI Guarantee - This contractor shall furnish the owner with a written guarantee, that the complete plumbing system is without fault in materials or workmanship; and that any defects in either or both shall be corrected promptly and without cost to the owner or general contractor. This guarantee is to be for 1 year from the date of acceptance by the owner of the installation.

SECTION 20 CERAMIC TILE

ART. I Work Required

- A. Preparation
- B. Setting
- C. Grouting and Painting

ART. II Materials

- A. 3/4" x 3/4" matte floor tile
- B. 4" x 8" stoneware tile - hard molded
- C. 3/4" x 3/4" Glazed "JO" tile
- D. Portland Cement
- E. Sand, free from clay, alkali, organic matter
- F. Metal Lath for furred surfaces
- G. Standard Sill tile all windows.

ART. III Execution of Work

- A. Preparation of floor areas to receive tile - Clean, wet and sprinkle with dry cement before applying setting band.
- B. Set, grout and clean tile in accordance with T.M.A.B.S. -k300. Protect all finishes.
- C. Use bull nose and cove where required
- E. All colors to be selected by owner or architect.

SECTION 21 WINDOWS & GLASS DOORS

SCOPE

Supply and install windows and glass doors as shown on the plan. Windows and doors to have aluminum frame complete with screen and hardware. All windows and doors to meet Dade County Building Standards.

SECTION 22 LANDSCAPING

SCOPE

Include furnishing all materials, equipment, and labor necessary for planting trees, shrubs, ground covers and lawns, maintenance, guarantee and replacement of plant materials and related items required to complete the work. Contractor shall submit detailed landscaping plan to owner for approval.

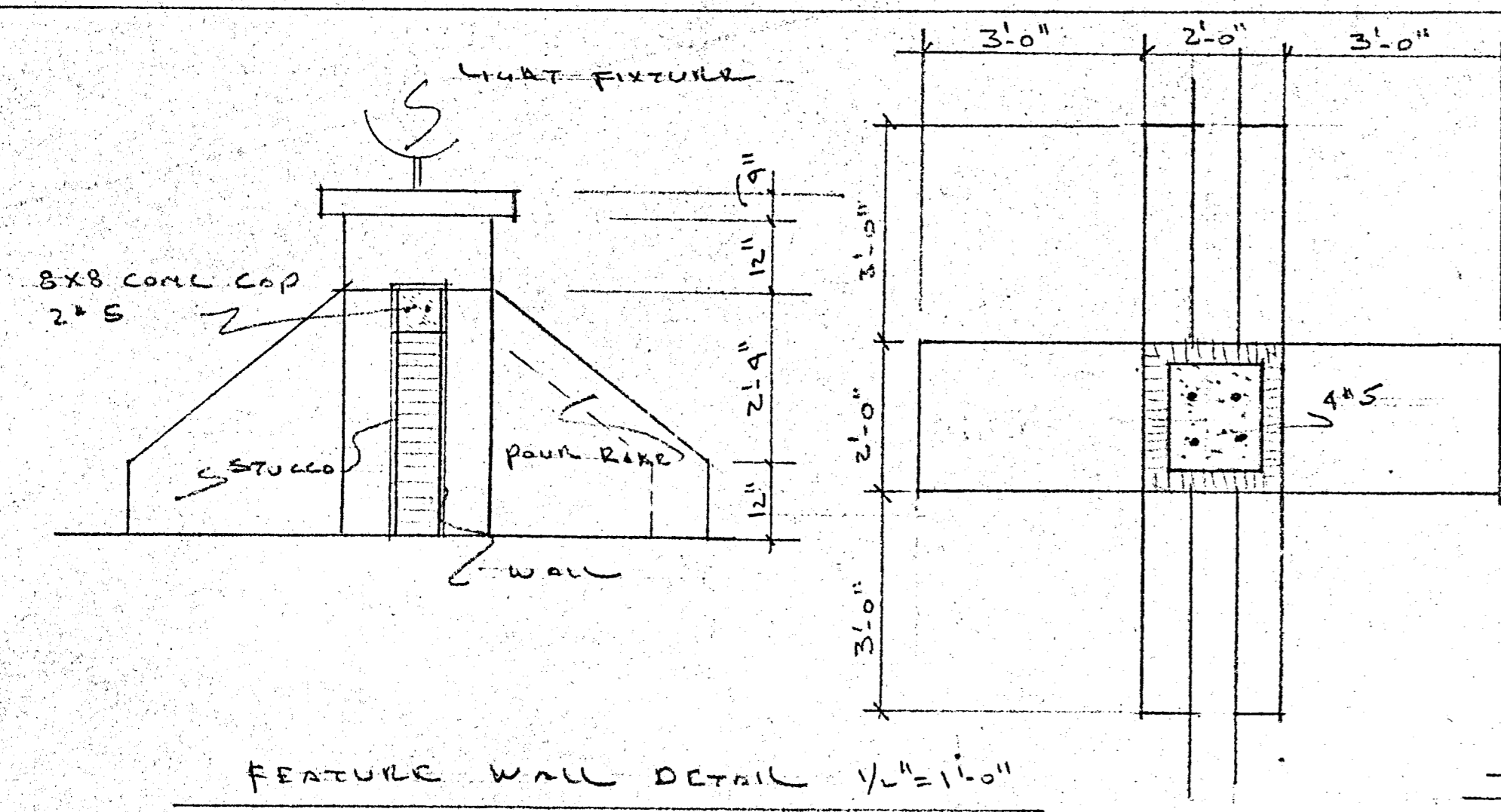
WILLIAM M. FRIEDMAN & ASSOCIATES

ARCHITECTS, INC.
138 S.E. 14th Lane
3588044

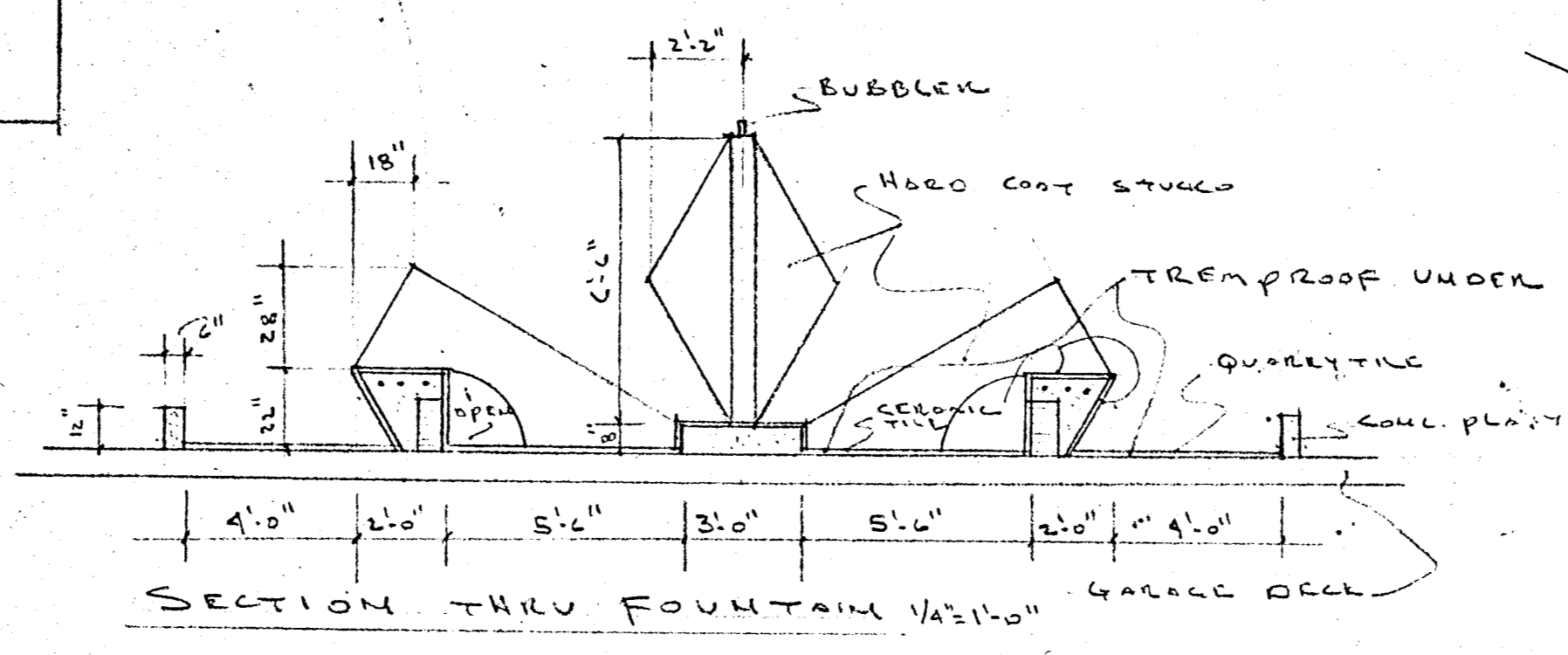
CHAMPLAIN TOWERS SOUTH
3777 COLLINS AVE.

A: 135 UNIT CONDOMINIUM

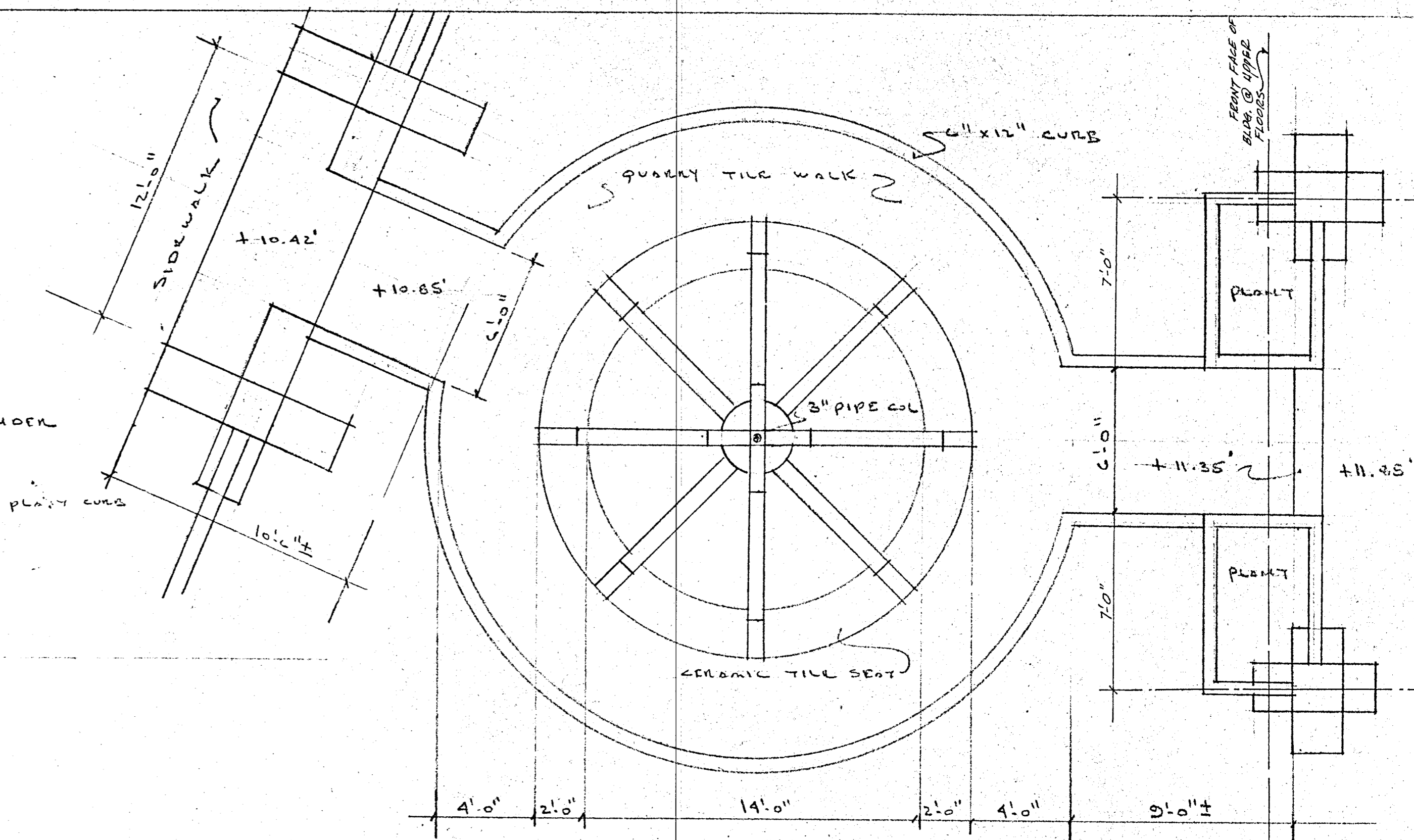
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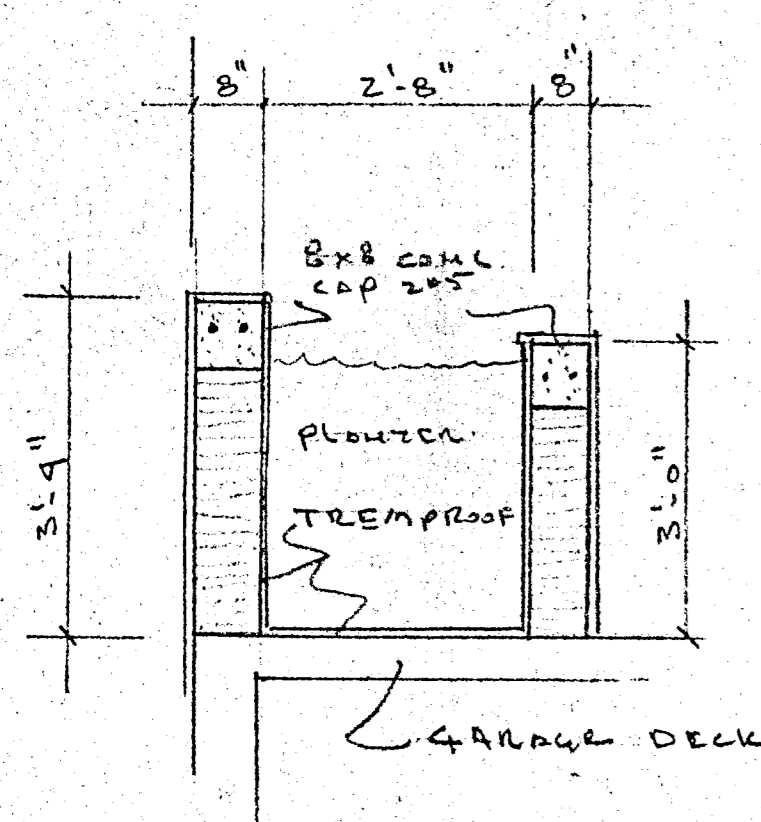
FEATURE WALL DETAIL 1/4"=1'-0"



SECTION THRU FOUNTAIN 1/4"=1'-0"

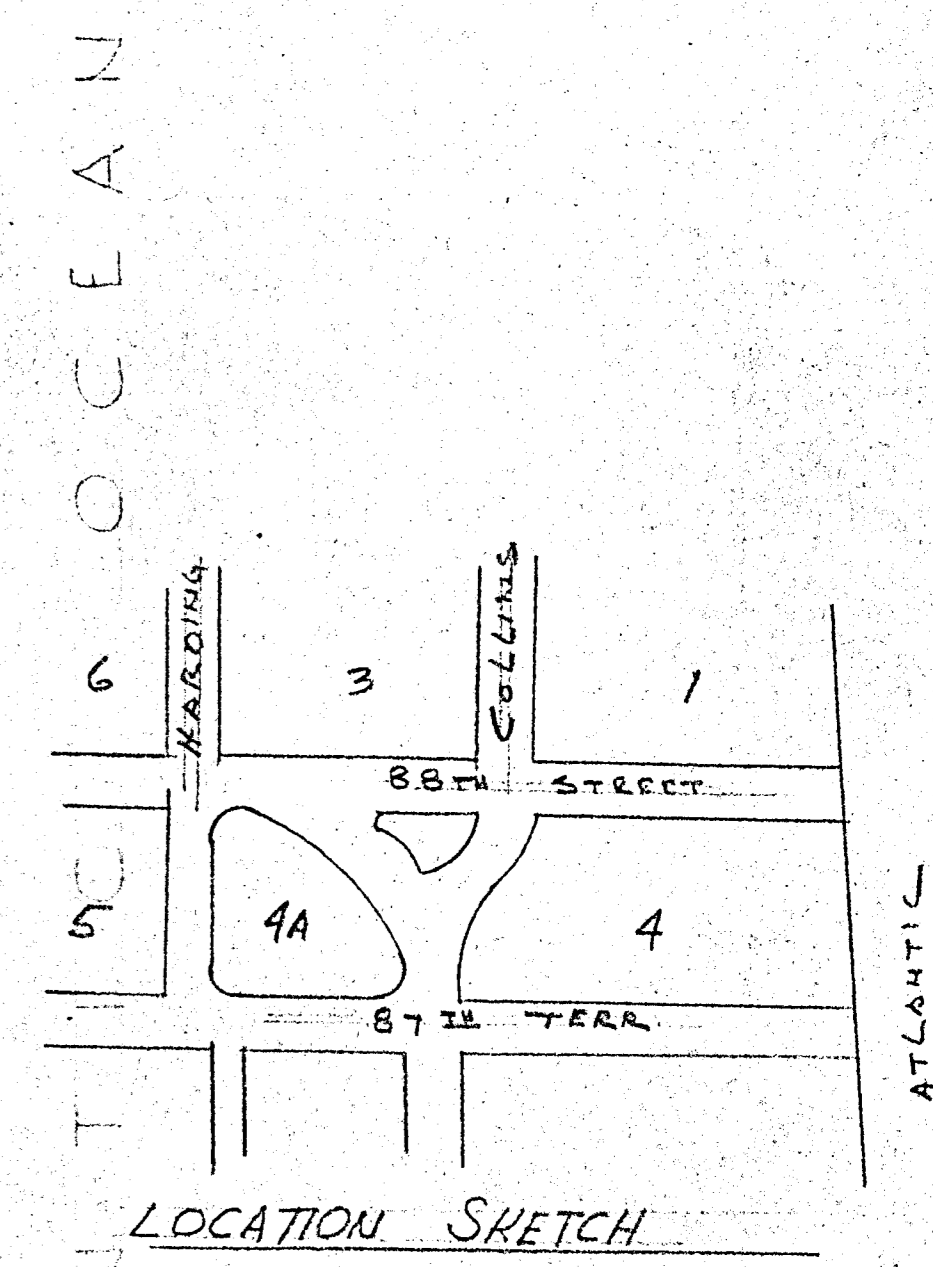
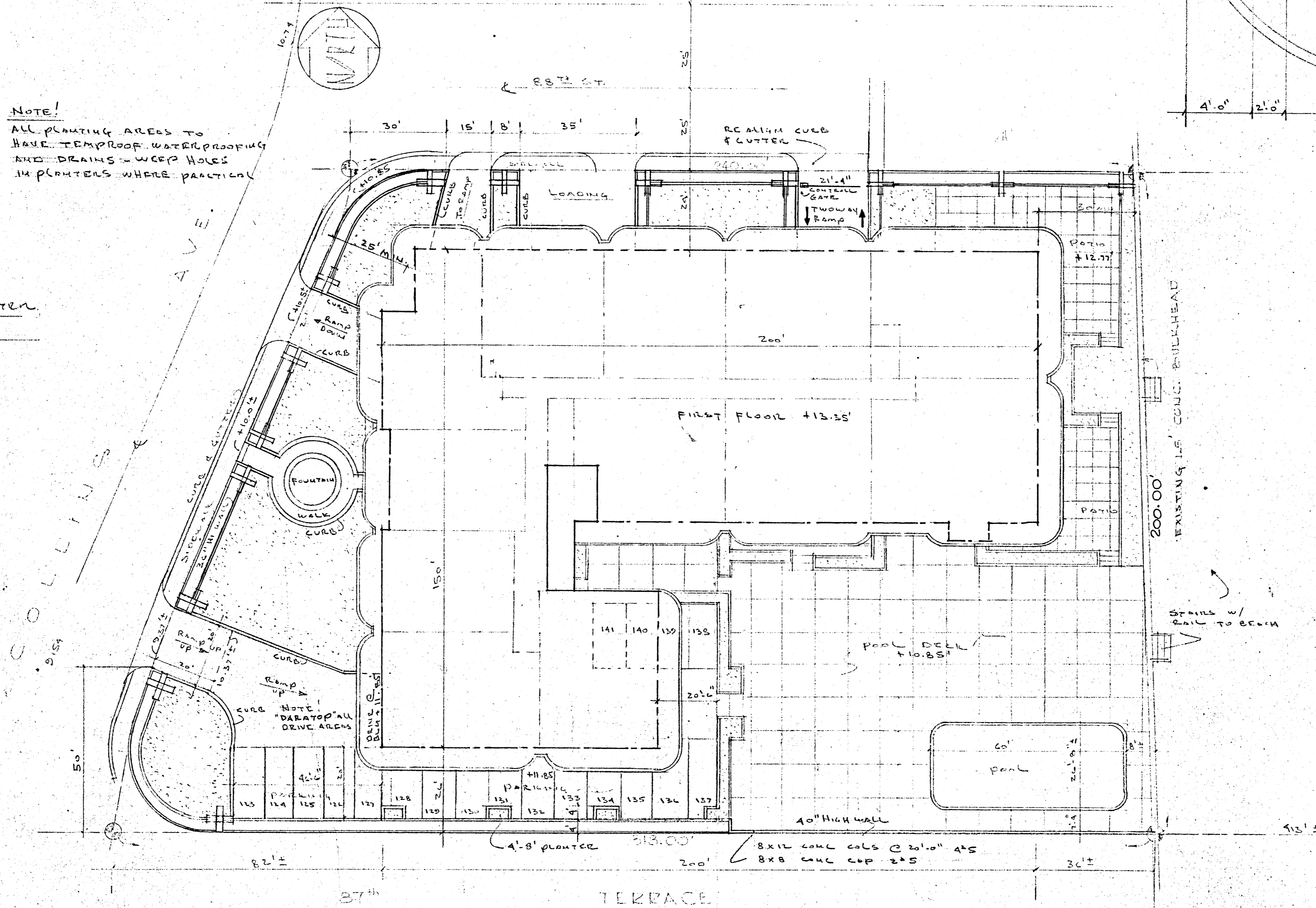


FOUNTAIN PLAN 1/4"=1'-0"



SECTION THRU 4x8 planter 1/2"=1'-0"

NOTE!
ALL PLANTING AREAS TO HAVE TEMPROOF, WATERPROOFING AND DRAINS - WEEP HOLES IN PLANTERS WHERE PRACTICAL



LOCATION SKETCH

LEGAL
BLOCK 4
2ND AMENDED PLAT OF
NORMAN BY BEACH
SULFSIDE, DADE, FLA.

SITE PLAN @ 1"=20'

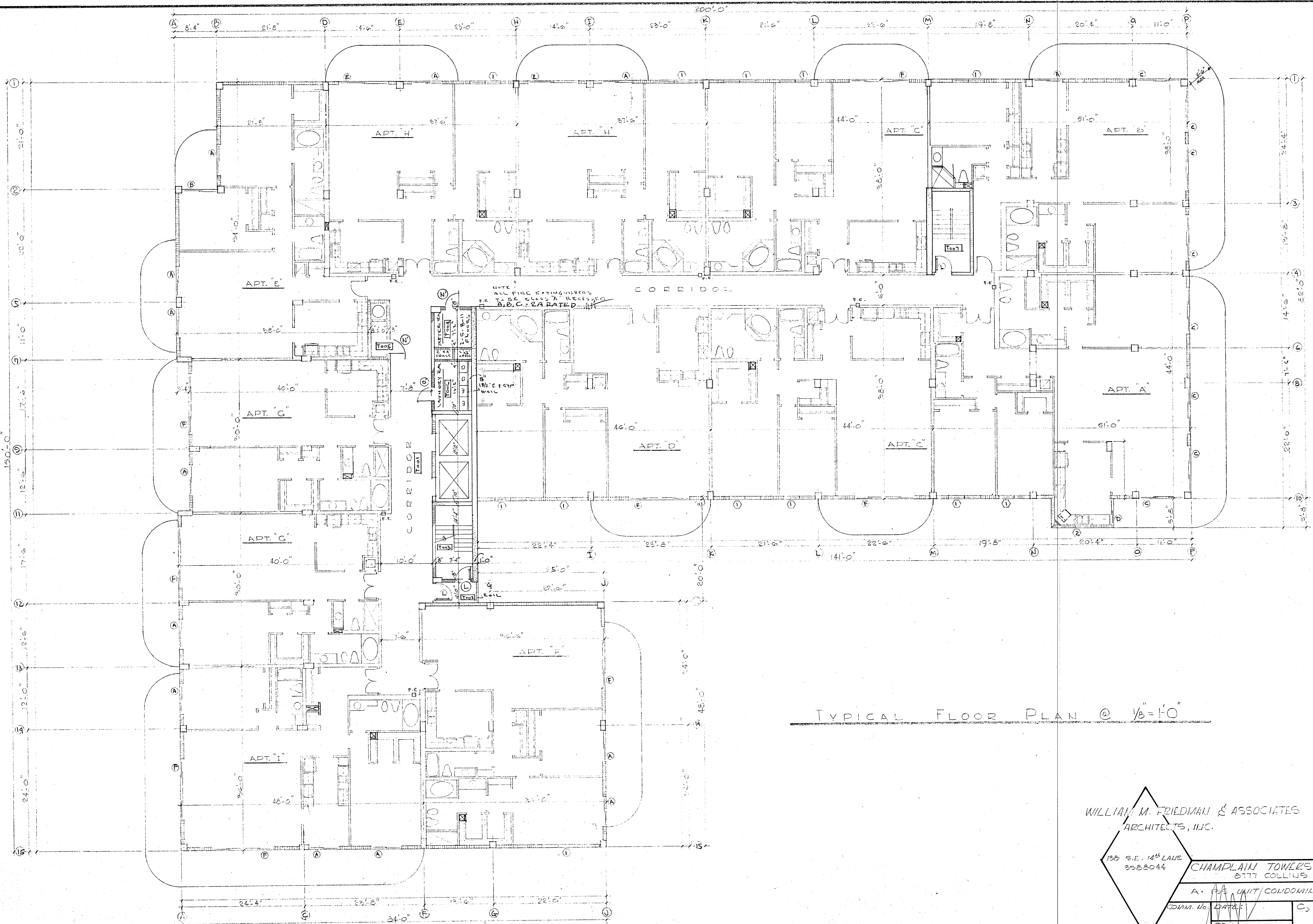
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AND ASSOCIATES ARCHITECTS, INC.

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8777 COLLINS AVE.

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COMM. No. DATE: SHEET
REVISED: 6 OF 30



TYPICAL FLOOR PLAN @ 1/8"=1'-0"

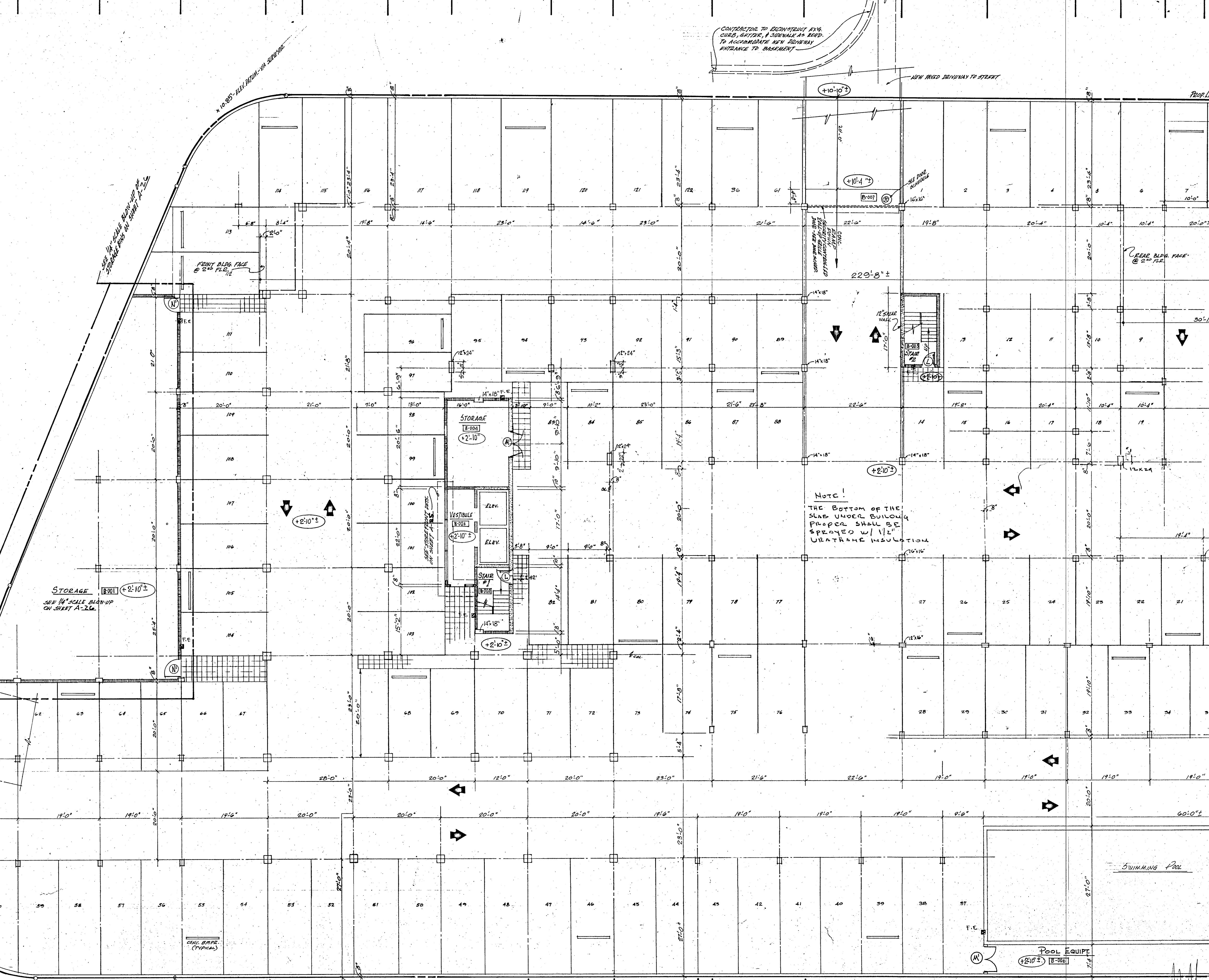
WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

130 S.E. 14 th LAKE 3028044		CHAMPLAIN TOWERS SOUTH 8777 COLLINGS AVE.	
A. 103 UNIT CONDOMINIUM			
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R S T A B D E H I K L M N O P Q

1 2 5 8 10 11 12 14 15

1 3 4 6 8 10 11 13



CONTRACTOR TO DEMONSTRATE AND
CHECK, REPAIR, & REFINISH AS NECESSARY
TO ACCOMMODATE NEW DRIVEWAY
ENTRANCE TO BASEMENT

NEW PAVED DRIVEWAY TO STREET

SEE 1/4" SCALE BLU-CHIP
DRAWING ON SHEET A-26

FRONT BLDG. FACE
@ 2nd FLOOR

REAR BLDG. FACE
@ 2nd FLOOR

STORAGE
SEE 1/4" SCALE BLU-CHIP
ON SHEET A-26

NOTE!
THE BOTTOM OF THE
SLAB UNDER BUILDING
PROPER SHALL BE
SPRAYED W/ 1/2"
URATHANE INSULATION

CONCRETE ABOVE SEE
SITE PLAN

18" CONC. BLIND W/ WOOD
PROP. LINE

GARAGE LEVEL FLOOR PLAN @ 3/32" = 1'-0"

CONC. COLUMN SIZES	
□ 24" x 24"	□ 12" x 16"
□ 16" x 16"	□ 12" x 24"
□ 14" x 18"	

WILLIAM M. FRIEDMAN & ASSOC.
ARCHITECTS, INC.
138 S. E. 14th LA.
3328044
CHAMPLAIN TOWERS
SOUTH
SHEET 12 OF 30 DATE:

(section 9 - vinyl asbestos tile (cont))
ART. III Execution of Work

- A. Inspect and level floor
- B. Apply cement in accordance with manufacturers specifications.
- C. Install tile in strict accordance with manufacturer's specifications

SECTION 10 INSULATION

ART. I Scope

- A. Supply and install rock wool bats in partitions where shown on plans. All walls that have insulation to have lathing attached with resilient clips.
- B. All roof areas to have 2" thick board type insulation to be installed in accordance with manufacturers specifications under roofing. **NOTE: SEE PLANS FOR ALL INSULATION.**

SECTION 11 WOOD DOORS AND MILLWORK

ART. 1

- A. Door frames and trim, etc.
- B. Doors
- C. Wood preservative treatment
- D. The following are included under the other sections:
 - 1) Installation of millwork, Section 5
 - 2) Finishing, Section 15

ART. 2 Materials

- A. Lumber shall be sound, thoroughly seasoned and shall be in accord with the lumber manufacturing association's grading rules as herein specified or approved equal and shall be selected to eliminate objectional defects.
- B. Lumber type and grade:
 - 1) Exterior trim and frame - "B" grade pine, or "B" or btr. V.G. Fin. Doug. Fir.
 - 2) Interior frames, trim, etc., - clear Poplar or white pine, shop grade selected
- C. Doors = see door schedule
 - 1) Flush type hollow core interior doors.
 - 2) Flush type solid - Exterior as selected.

ART. 3 Wood Preservative: Woodlife, as distributed by A. H. Ramsey and Sons, Inc. or approved equal.

SECTION 12 LATHING, PLASTERING AND STUCCO

ART. 1 Work Required

- A. Gypsum Lathing
- B. Plastering - Lime
- C. Stucco

ART. 2 Materials

- A. All manufactured materials delivered in original packages, containers or bundles bearing the name of the manufacturer and brand.
- B. All cementitious materials must be kept dry until ready for use - must be kept off the ground, under cover and away from sweating walls and damp surfaces.
- C. Sand - Standard specifications of the ASTM CC35, latest addition.
- D. Water: City
- E. Gypsum Plaster - Fed. Spec. SS-P-402 type N, Fibered and unfiltered.
- F. Masonry Cement - Fed. Spec. SS-C-181-8 type 1
- G. Portland Cement - Fed. Spec. SS-C-192 Type 1 Domestic
- H. Waterproofing - Section #1 by SEC Manufacturing Co. or approved equal.
- I. Metal Lath - Fed. Spec. QQ B 101C, Type F expanded metal
- J. Gypsum lath - Fed. Spec. SS-P-431d, 3/8" thick
- K. Corner beads - zinc, small nose, expanded type.

ART. 3 Execution of Work

- A. Preparation for lathing - ceiling - apply wood furring strips 1x3 16" O.C.
- B. Lathing Gypsum for ceilings
 - 1) Gypsum lath nailed to furring strips, 5 lath nails each contact point.
 - 2) Transverse joints between lath breaker. Lath shall not be butted tightly together or more than 1/4" apart.
- C. Gypsum Lath on Wood Framing
 - 1) Gypsum lath laid with long dimension across supports and nailed to wood - 4 lath nails at each support.
 - 2) Staggered vertical joists - Lath not butted tightly together more than 1/4" apart.
- D. Lathing General
 - 1) Corner beads at all external corners of plastered surfaces.
 - 2) Apply wire lath on each surface at internal corners.
- E. Plastering
 - 1) General - Material which is partially set shall not be re-tempered or used. Caked or lumpy material shall not be used. The mixer or mixing box and tools to be thoroughly cleaned of all set or hardened material before material for a new batch is loaded.

- 2) Concrete surfaces shall have sufficient roughness to provide proper bond. If surfaces are not rough they shall be hacked or bush hammered, or a dash coat of cement grout, composed of 1 part cement to 1 1/2 parts sand mixed to a mushy consistency shall be used.
- 3) All masonry surfaces broomed off and evenly wetted, not saturated, immediately before the plaster is applied.
- 4) Gypsum Plaster - Brown - 1 part gypsum neat plaster and not more than 3 parts sand, by weight, well rodded, screeded and floated with all angles, true, straight and plumb, and just back of the grounds. First coat on gypsum lath.
- 5) Finish coat on gypsum plaster. Lime putty and gauging plaster troweled to a dense hard, smooth surface. Surface face shall be rod and be even with grounds.
- 6) Stucco on masonry - Scratch coat - 1 part portland cement, 1 part masonry cement mixed with a minimum of 5 parts to a maximum of 6 parts sand. Apply with sufficient pressure to form a good bond, fill out low places, double back to produce uniform surface. Scratch uniformly.
- 7) Final coat - shall be gauged with integral waterproofing 1 qt. to 1 bag cement, float texture finish min. 1/2" thick but applied in sufficient thickness to provide level surface.
- 8) Preparation for tile work - scratch coat over masonry window sills to receive tile & bedgrout.

SECTION 13 CAULKING & WEATHERSTRIPPING

ART. I Work Required

- A. Caulking of all exterior openings
- B. Thresholds and weatherstripping

ART. II Materials

- A. weatherstripping - doors - Quaker City #538 Spring Aluminum or approved equal
- B. Aluminum thresholds of an approved type and manufacture
- C. Meeting strip on door at threshold, aluminum as approved
- D. Caulking of an approved type and manufacture.

ART. III Execution of Work

- A. Clean all spaces and areas to receive caulking thoroughly.
- B. Joints to be 1/2" deep and 3/8" wide.
- C. Apply caulking so that joint will not trap water, and provide an outward pitch for bottom joints.
- D. Use knife grade for horizontal joints and gungrade for vertical joints.
- E. Point joints neatly with coving tool and remove excess material.

SECTION 14 ROUGH HARDWARE

ART. I Work Required

- A. Door hinges, nails, screws, etc.
- B. Structural steel anchors, bolts, etc. covered in sections 7 and 5

ART. II Materials - Domestic manufactured of an approved size and grade

ART. III Execution of work

- A. All hardware connections and installations are to be done in a neat and skilled workmanlike manner
- B. Hinges to be shop prime coated before installation.

ART. IV LOCKS - All locks and knobs to be Schlage - Tulip design, aluminum polished finish, master keyed throughout.

ART. V Schedule - Finish hardware schedule to be submitted to owner for approval.

SECTION 15 PAINTING

ART. I Work Required

- A. Exterior Woodwork
- B. Exterior Metalwork
- C. Interior Plaster (walls)
- D. Interior woodwork and doors
- E. Interior metal work
- F. Interior galvanized and primed hardware
- G. Painting or finishing of the following not required:
 - 1) Aluminum work
 - 2) Other surfaces which come pre-finished
 - 3) Interior structural steel covered in section "5"

ART. II Materials

- A. Putty - 10% white lead
- B. Sandpaper etc., as required and approved
- C. All paint materials in and out "Devoe" or approved equal as scheduled in "Execution of Work" below.

ART. III Execution of Work

- A. Workmanship - All materials shall be applied by skilled mechanics and shall be evenly and smoothly flowed on, leaving no superfluous material, sags or runs.
- B. All work shall be clean cut and all dividing lines that separate colors shall be straight.
- C. All surfaces not to be painted are to be left clean and free from paint.
- D. Storage and mixing of paints shall be confined to one room or one specified area of building.

- E. All materials used on the job by painting contractor shall be delivered to the job in original sealed containers by the vendor, and it shall be the responsibility of the painting contractor that material in these packages is as labeled.
- F. Mineral Spirits shall not be used as a reducer and no mineral spirits shall be kept on the job, except in the paint room for cleaning purposes only.
- G. All colors of finish coats are to be selected by the owner.
- H. Application
 - 1) With the exception of primer sealers, all individual coats of paint shall be applied in such manner as to give full coverage.
 - 2) The term full coverage shall mean applying paint over all surfaces in a manner which gives uniform color and sufficient density that it is opaque and all paints shall be applied in this manner.
 - 3) All wood and metal surfaces are to be sanded smooth between each coat of paint material applied. This does not apply to exterior house paint.
 - 4) The term "smooth", shall mean free from all roughness, ridges and projections on the surface.
 - 5) In the case of surfaces where pitch or resin has leaked through, same shall be removed and surface affected shall receive a heavy coat of approved shellac prior to the application of other paint materials.
 - 6) All areas to be caulked shall be back primed with 2 coats of approved stucco oil paint prior to the application of any caulking.
 - 7) All nail holes, cracks and other cavities shall be primed with an approved wood primer and then puttied flush with original surface.
 - 8) Application
 - a) Exterior woodwork - three coats, first coat - Devoe All weather house paint undercoat. Second and third coats: Devoe All-weather House Paint Top Coat.
 - b) Exterior metal work: Galvanized surfaces - 2 coats First coat - Devoe Zinc Dust Primer Second coat - Devoe All Weather House Paint Top Coat
 - c) Interior - Plaster walls receive paint at this time. Do entire interior plastered surfaces including ceilings. 3 coat work as follows: First coat: Devoe #8010 primer and sealer, white Second Coat: Devoe # 8030 enamel undercoat, white Third coat: Devoe Velour white gloss enamel
 - d) Interior woodwork - 2 coats First coat - Devoe # 8030 Enamel undercoat Second Coat - Devoe Valour Alkyd Flat Enamel
 - e) Interior Galvanized and Primed Steel exposed 2 coats - same as section (d) All work shall be left in a clean and workmanlike manner and left free of all defects Inspection by owner is to be made with painting contractor present before general contractor is authorized to pay painting contractor on his final requisition.

SECTION 16 ELECTRICAL WIRING

ART. I Scope of work

- A. The applicable portions of the instructions, ladders and of general conditions shall be included herein
- B. The work of the electrical contractor shall consist of furnishing and installing all equipment and materials for a complete operating electrical system as shown on the plans, and as described in these specifications. The work shall include, but is not restricted to the following items:
 - 1) A temporary electrical service as required for all trades during construction as required by the general contractor.
 - 2) A complete secondary wiring system from point of service to and through main switch distribution panels, branch panels, to and including all outlets and devices.
 - 3) Secondary conduit and cable from the Florida Power and Light Company pole to the distribution center.
 - 4) Connection of all motors, starters and controls, and all other electrical work incidental to other trades for a complete working installation of their electrically driven equipment. This contractor is to furnish all materials beyond the disconnecting means to affect the connection of starters, controllers and motors furnished by others.
 - 5) Cutting, patching, excavating and backfilling.
 - 6) Fees, permits, inspections, tests, service and guarantee.
 - 7) Installing and lamping of fixtures furnished by this sub-contractor.

ART. II Materials

- A. General - Electrical materials and appliances of types for which there are Underwriter's Laboratories standard requirements shall have labels attached signifying compliance with such requirements. Where materials do not bear such a label, a certificate of compliance shall be furnished if requested. All materials shall be new and of the quality noted herein.
- B. Conductors - Lighting and power conductors
 - 1) shall be hard drawn copper, 90% conductivity, 600 volt type TW insulation for general use, unless otherwise indicated.
 - 2) Type RH-RW shall be used in lieu of type TW for "Trapped" runs.
- C. Raceways - all conductors shall be contained in raceways. All raceways shall be hot-dipped galvanized as by Allied Tube. Rigid heavy wall conduit shall be used where raceways are run exposed to weather, concealed in masonry, under concrete or under ground. Electro-mechanical tubing (EMT) may be used for all purposes except as noted. All connections to motors or other vibrating equipment shall be made with Greenfield Cable.
- D. Outlet boxes - outlet boxes shall be galvanized or electroplated stamped steel, 2 1/2 x 4 x 1 1/2" deep, except where larger boxes are required by code, by virtue of conductor size, number of conductors, or where required by the size of the device to be installed.
- E. Wiring Devices - wiring devices shall be furnished as shown on the plans and listed in the "Symbol List"
- F. Panelboards shall be as called for on the plans. All panels shall be single door construction with snap latch.
- G. Safety switches shall be as listed on the plans. Enclosures conform to location.

ART. III Execution of work

- A. All work necessary to complete this installation as intended by these specifications and the drawings, shall be executed in the most thorough, neat and workmanlike manner. The electrical

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ARCHITECTS, INC.

135 S. E. 14TH LANE
3558044 CHAMPLAIN TOWERS SOUTH
877 COLLINS AVE.

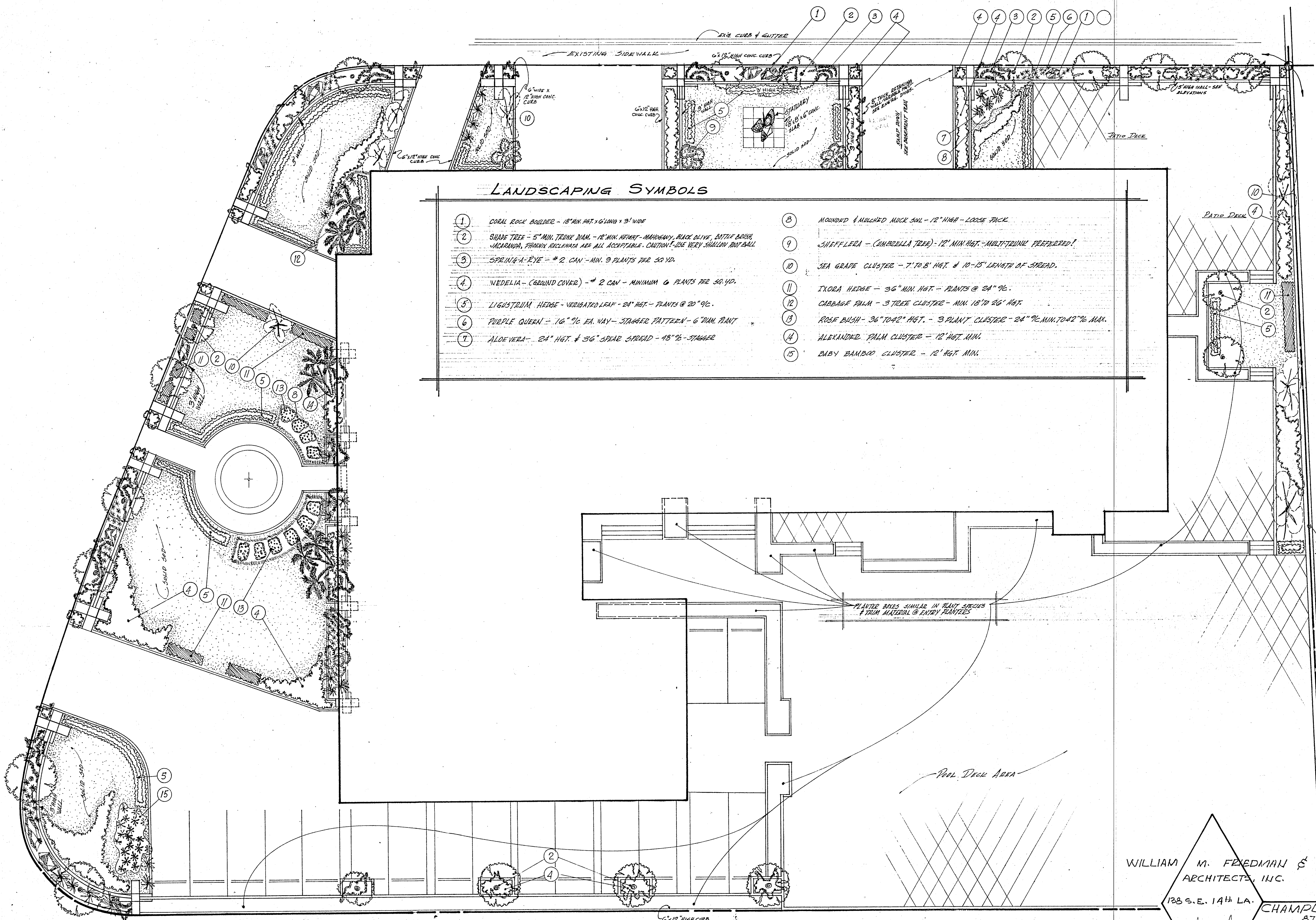
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3 OF 30



LANDSCAPING SYMBOLS

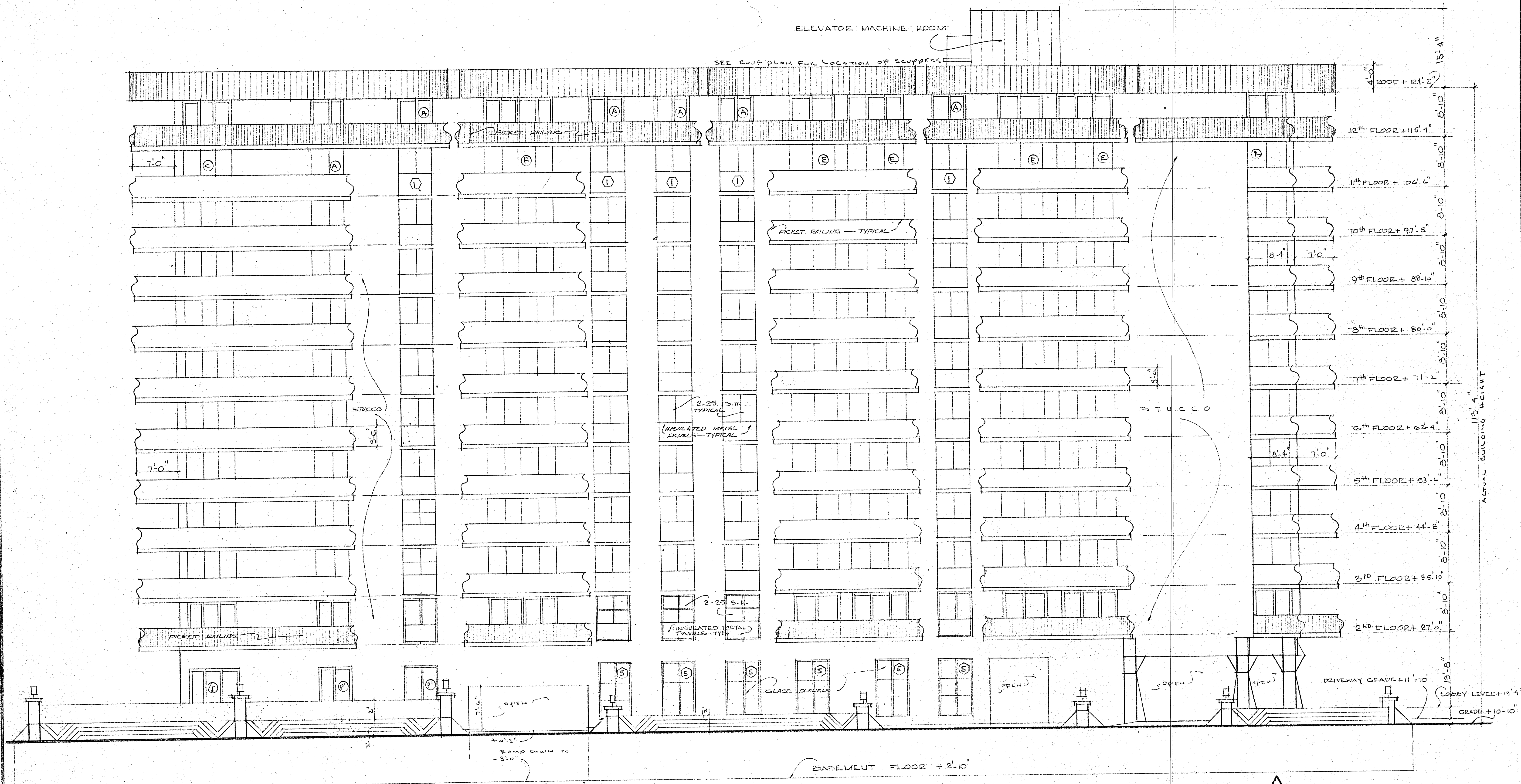
- | | | | |
|---|--|---|--|
| ① | CORAL ROCK BOULDER - 18" MIN. HGT. x 6' LONG x 3' WIDE | ⑧ | MOUNDING & MULCHED MULCH SAIL - 12" HIGH - LOOSE PACK |
| ② | SHADE TREE - 5" MIN. TRUNK DIAM. - 12" MIN. HEIGHT - MANDARIN, BLACK OLIVE, BUTTE BUSH, JACARANDA, PHACELIA REPLENATA ARE ALL ACCEPTABLE. CAUTION - USE VERY SHALLOW ROOT BALL | ⑨ | SHIEFFLERA - (UMBRELLA TREE) - 12" MIN. HGT. - MULTI-TRUNK PREFERRED! |
| ③ | SPRING-A-LYE - # 2 CAN - MIN. 3 PLANTS PER 50 YD. | ⑩ | SEA GRAPE CLUSTER - 7' TO 8' HGT. & 10'-15' LENGTH OF SPREAD. |
| ④ | WEDELIA - (GROUND COVER) - # 2 CAN - MINIMUM 6 PLANTS PER 50 YD. | ⑪ | IXORA HEDGE - 36" MIN. HGT. - PLANTS @ 24" OC. |
| ⑤ | LIGUSTRUM HEDGE - VERBATED LEAF - 24" HGT. - PLANTS @ 20" OC. | ⑫ | CABBAGE PALM - 3 TREE CLUSTER - MIN 18" TO 26" HGT. |
| ⑥ | PURPLE QUEEN - 16" OC EA. WAY - STAGGER PATTERN - 6" DIAM. PLANT | ⑬ | ROSE BUSH - 36" TO 42" HGT. - 3 PLANT CLUSTER - 24" OC. MIN. TO 42" OC. MAX. |
| ⑦ | ALOE VERA - 24" HGT. & 36" SPREAD - 48" OC. - STAGGER | ⑭ | ALEXANDER PALM CLUSTER - 12" HGT. MIN. |
| | | ⑮ | BABY BAMBOO CLUSTER - 12" HGT. MIN. |

LANDSCAPE PLAN @ 3/32" = 1'-0"

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NORTH ELEVATION 1/8" = 1'-0"

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8777 COLLINS AVE.
A-135 UNIT CONDOMINIUM

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CHAMPLAIN

TOWERS

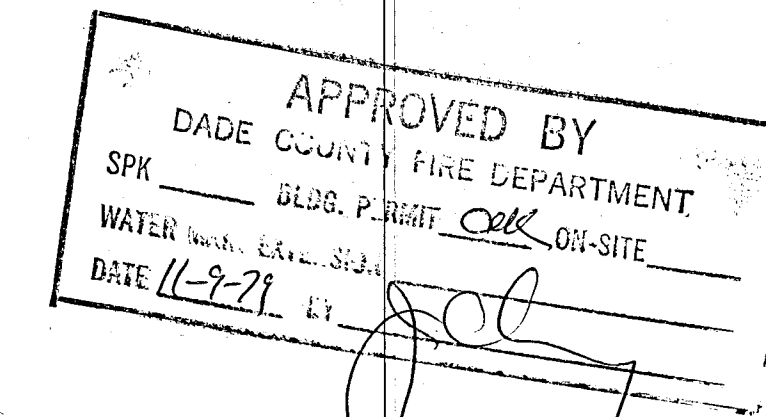
SOUTH

A Development Of
Toronto Enterprises

8777 Collins Avenue
Surfside, Florida

Joe Miller
932-9100
866-7777

135 UNIT CONDOMINIUM			
UNIT	Number	sq ft	type
A	12	2242	3-2
B	12	1794	2-2
C	23	1673	2-2
D	11	1748	2-2
E	11	1590	2-2
F	11	1728	2-2
G	22	1200	1-2
H	22	1425	1-1c-2
I	11	1728	2-2



FIRE APPROVAL
REQUIRED FOR C.O.

WILLIAM M. FRIEDMAN
ARCHITECT

SERGIO BREITERMAN
ENGINEER

FLORIDA ENGINEERING SERVICES

ARCHITECTURAL

A-1 COVER SHEET AND INDEX
A-2 SPECIFICATIONS
A-3 SPECIFICATIONS
A-4 SPECIFICATIONS
A-5 SPECIFICATIONS
A-6 SITE PLAN & FOUNTAIN DET.
A-7 LANDSCAPE PLAN
A-8 WEST ELEVATION
A-9 NORTH ELEVATION
A-10 EAST ELEVATION
A-11 SOUTH ELEVATION
A-12 GARAGE & BASEMENT PLAN
A-13 FIRST FLOOR PLAN
A-14 TYPICAL FLOOR PLAN
A-15 PENT HOUSE FLOOR PLAN
A-16 ROOF PLAN
A-17 1/4" TYPICAL UNIT — "C" & "B"
A-18 1/4" TYPICAL UNIT — "A"
A-19 1/4" TYPICAL UNIT — "F"
A-20 1/4" TYPICAL UNIT — "D"
A-21 1/4" TYPICAL UNIT — "I"

A-22 ROOM FINISH SCHEDULE
A-23 DOOR FINISH SCHEDULE
A-24 DOOR FINISH SCHEDULE
A-25 DOOR FINISH SCHEDULE
A-26 GARAGE STORAGE & DETAILS
A-27 1/4" FIRST FLOOR PLAN
A-28 1/4" FIRST FLOOR PLAN
A-29 UNDER DRIVE ELEV. & RAILING DET.
A-30 STAIRWELLS, ELEV. & TRASH CHUTE

STRUCTURAL

S-1 FOUNDATION
S-2 GARAGE SLAB
S-3 LOBBY FLOOR
S-4 SECOND FLOOR
S-5 TYPICAL
S-6 PENT HOUSE
S-7 ROOF
S-8 COLUMN SCHEDULE & BEAM SCHEDULE

ELECTRICAL

E-1 SITE PLAN
E-2 GARAGE PLAN
E-3 LOBBY PLAN
E-4 TYPICAL
E-5 ROOF
E-6 1/4" TYPICAL UNIT — "A" & "B"
E-7 1/4" TYPICAL UNIT — "C" & "D"
E-8 1/4" TYPICAL UNIT — "E", "F" & "G"
E-9 1/4" TYPICAL UNIT — "H" & "I"
E-10 ELECTRICAL SCHEDULE
E-11 T.V., TELEPHONE, & FIRE ALARM RISEZ.

PLUMBING

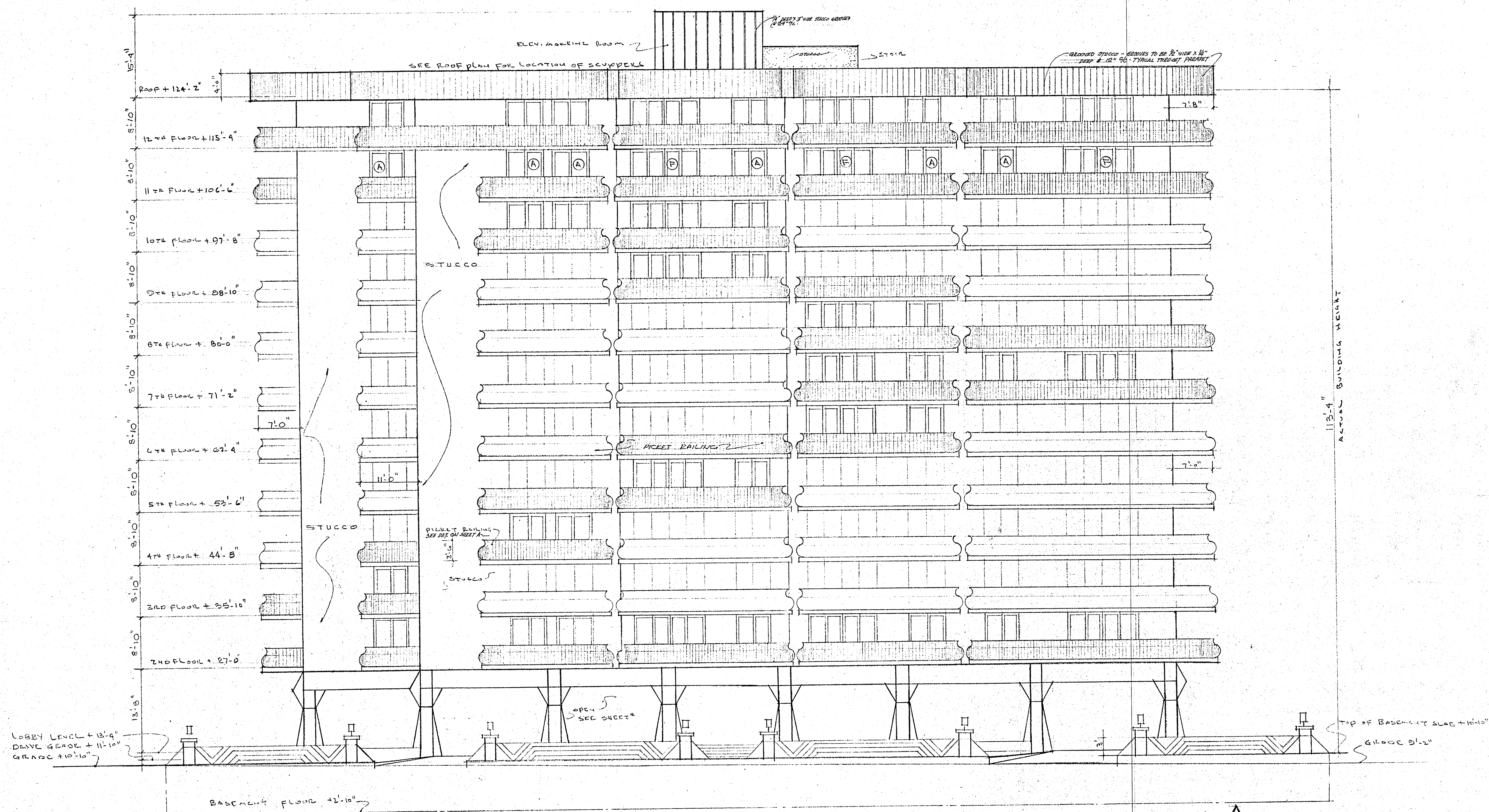
P-1 SITE PLAN
P-2 GARAGE PLAN
P-3 LOBBY
P-4 TYPICAL
P-5 ROOF
P-6 1/4" TYPICAL UNIT — "A" & "B"
P-7 1/4" TYPICAL UNIT — "C" & "D"
P-8 1/4" TYPICAL UNIT — "E", "F" & "G"
P-9 1/4" TYPICAL UNIT — "H" & "I"
P-10 PLUMBING RISEZS

SPRINKLERS

SP 1 GARAGE PLAN
SP 2 LOBBY PLAN
SP 3 TYPICAL
SP 4 RISEZS & NOTES
SP 5

AIR CONDITIONING

AC-1 GARAGE PLAN
AC-2 LOBBY PLAN
AC-3 TYPICAL
AC-4 ROOF
AC-5 1/4" TYPICAL UNIT — "A" & "B"
AC-6 1/4" TYPICAL UNIT — "C" & "D"
AC-7 1/4" TYPICAL UNIT — "E", "F" & "G"
AC-8 1/4" TYPICAL UNIT — "H" & "I"
AC-9 SCHEDULE & DETAILS



COLLINS AVE ELEVATION
1/8" = 1'-0"

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REVISED:		8 OF 30

SPECIFICATIONS

SECTION I DESCRIPTION OF CONTRACT DOCUMENTS & GENERAL CONDITIONS

ART. I

- A. A.I.A. Form A 1 - "Agreement between contractors and owner" Fifth Addition 5 Pages
B. Drawings and plans by the Architect - as prepared by WILLIAM FRIEDMAN & ASSOCIATES ARCHITECT'S INC.
C. These specifications as prepared by the architect and all subsequent addenda agreed to by owner and contractor in writing.
D. All shop and fabrication drawings approved by the architect or engineer pertaining to the various sub-contractors and material suppliers engaged by the contractor.
E. Certified Survey Certificate
F. All sub-contractors will be held responsible for examination of construction or surfaces on which their work is to be applied or to which it connects and report, in writing, to the architect of any conditions which exist that may affect the quality of their work.
G. Where manufacturers names are set forth in these specifications, they are used to set a standard of quality and finish and are not intended as specifying the particular manufacturer to the exclusion of any others.

SECTION II SUPPLEMENTARY GENERAL CONDITIONS

- A. Bids: The owner reserves the right to reject any or all bids.
B. Scope of Specifications, Codes, Ordinances and Legal Requirements
1) Particular attention is called to the fact as it covers and affects the work included under these headings and no attempt has been made to duplicate any of the information or to enumerate the requirements covered by codes, ordinances or other legal requirements.
2) Special attention is called to the fact that, while these specifications follow the general classes of building work, the various headings do not necessarily include all the work to be done by the tradesmen under the said headings and each sub-contractor should therefore examine the entire plans and specifications carefully.
C. Cleaning
1) Remove rubbish and debris daily.
2) Leave job clean upon completion of work including cleaning of hardware fixtures and removal of stains, dust, dirt, and paint. Windows shall be washed by professional window cleaner.
3) Remove all temporary construction.
D. Dimensions: General contractor shall be responsible for the accuracy of layout and all dimensions. Any discrepancies must be reported to the architect before commencing actual construction.
E. Materials: shall be new, of quality specified, delivered in ample supply to prevent delay of the work. Substitutions shall require prior approval by the architect or owner.
F. Manufacturer's Directions: For the applications, installations, and methods shall be followed and are herewith made a part of this specifications. All manufacturer's guarantees, warranties underwriters certificates, shall be properly filed and delivered to the architect upon completion of work.
G. Permits: The general contractor shall secure and pay for building permit and other lawful fees. The general contractor shall secure certificates of inspection and occupancy from authorities having jurisdiction and deliver them to the owner upon completion of work. Inspection fees and reports as required by building authorities shall be paid for by the general contractor.
H. Workmanship: By skilled mechanics under supervision of a competent foreman acceptable to the architect and in accordance with best trade practices.
I. Specifications listings do not limit scope of work, other items shown, or noted on drawings or mentioned elsewhere in specifications, are also to be included.

SECTION III EXCAVATION AND PREPARATION OF SITE

ART. I

- A. Removal or relocation of all utility items necessitated by construction is the responsibility of the contractor.
B. Excavate to levels shown for grade beams, slabs and footings, etc. Clean all bottoms before pouring concrete.
C. Fill and backfill to final finish grades and bottoms of slabs.
D. Plumbing and electrical contractors to excavate and backfill as required for their work.
E. Brace and shore as conditions require. Contractors shall protect adjacent structures and foundations from damage and shall be responsible for any damage to adjacent structures or properties.
F. Fill for slabs: Whenever concrete slabs are shown on the drawings occurring on ground floor fill shall be well compacted - gravel and sand flooded to prevent undue settlement.

SECTION IV CONCRETE AND MASONRY

ART. I Work Included

- A. Cement integral concrete finished as noted on drawings.
B. Reinforced concrete footings, columns, beams, and slabs, including all reinforcing steel and mesh and setting chairs, supports, dowels, inserts and anchors.
C. Concrete block walls, and simulated brick on concrete block as indicated on drawings.
D. Approved admix waterproofing in concrete slab on ground.
E. Concrete curbs at parking area, as shown on site plan.
F. Check all openings at slabs for pipe and duct installations.

ART. II Materials

- A. Concrete Block - ASTM Spec. C-90 Cured 28 Days; 3 Core 8x8x16 blocks. Special blocks for jambs, corners, etc. 2 cell block may be substituted.
B. Portland Cement - ASTM Spec. C-150-44 for Type 1 Cement.
C. Sand - clean, coarse, washed, free from clay, loam or chemical salts.
D. Rock - crushed stone or gravel, well graded, clean, free from shale or other soft materials.
E. Lime - STM Spec. C-207-46T
F. Water - city water
G. Wire Mesh - ASTM Spec. A-82
H. Reinforcing Steel - Domestic, Intermediate grade deformed bars rolled from new billet steel. ASTM - Spec. A-15 deformation Spec. ASTM A-305-49. Refer to notes on structural plans.

ART. III Methods and Workmanship - Concrete and Masonry

- A. Minimum strength concrete for this structure shall be 2500 lbs. per PSI in 28 days and as specified on engineering plans.
B. Storing - in a weather-tight enclosure. Hardened or partially set cement shall not be used in structure and will immediately be moved from the site.
C. Forms - shall be made to conform to the shape size and dimensions of the members shown on the plans. They shall be properly braced and tied to maintain shape and size and insure safety. They shall be tight to prevent leakage of mortar. Temporary access panels shall be provided at the base of all columns to permit cleaning and inspection of same. Forms shall not be stripped until concrete has developed two-thirds of its required strength and not less than four (4) days after placing at columns or slabs; also not less than seven (7) days under cantilever slabs with high early concrete.
D. Reinforcing - shall be free of all mill and rust scale before placing, shall conform to dimensions indicated on the plans and shall be secured with annealed wire, 16 ga. or larger, or suitable clips of shain.
E. Water Cement Ratio and Mix - The proportioning of materials shall be based on the requirements of a plastic and workable mix. Concrete deliveries not conforming to specifications requirements shall be rejected and removed from the project. Water shall not be added to mixed concrete after the truck leaves the batching plant, except with specific direction of the engineer. Each load of concrete is to be examined by a competent observer representing the general contractor and, if found to be of a slump nor within range acceptable, shall be rejected as unfit for use on this project.
F. Mixing - For not less than one minute after all materials are in the drum of an approved batch mixer. For not more than 90 min. stay in transit mixer truck from loading to time of being unloaded.
G. Shop Drawings - Engineers approval of steel shop and placing drawings prior to fabrication and placing. Officially approved prints of these drawings shall be used on the job for actual work, and work shall not proceed without same.
H. Protecting and Curing - Protecting exposed surfaces from premature drying and keep damp for five days. The method selected shall ensure the continuous wetting without alternate wetting and drying of art areas during the five day period.
I. Patching - Defective concrete or concrete out of alignment shall be considered as not conforming to the intent of these specifications and shall be removed, at the contractor's expense, and replaced unless the architect approves patching the areas. This patching to be done in accordance with the architect's directions. Gunite method patching shall be used where directed by the engineer to correct honeycombing or voids at which reinforcing bars are exposed in minor areas. Cut out defective work to solid concrete as directed and obtain architect's inspection and approval before patching.
J. Anchorage - Set bolt anchors as required. Build in hangers, inserts, ties, nailing strips, blocking, slots and keys, required to secure the work of other trades.
K. Exposed Concrete - Remove fins, patch all holes and rub to even plane.
L. Finished Concrete Floors - At interior spaces generally, provide integral finish level and smooth, by mechanical and/or hand troweling on top of concrete slab following placement. Provide proper slopes for drainage.
M. 1) General Work shall be plumb, true and accurate to dimensions shown. Blocks shall be set in running bond and intersections bonded or keyed with wall ties. Blocks shall be cut accurately to fit around pipes, ducts and openings and voids slushed full. All joints full 3/8" wide and struck flush.
2) Mortar-For Concrete Block: Cement Lime mortar - 1:1:6

ART. IV Exterior Sidewalks - shall be installed as shown on drawings as to thickness, reinforcing and slopes. Brush finish surfaces throughout with all outside corners rounded.

SECTION 5 CARPENTRY

ART. I Work Included

- A. Forms, Centering, bracing for concrete work including below grade.
B. Framing for work of all trades
C. Nailing strips, grounds, blocking, and furring for all pipes and ducts.
D. Wood stud partitions, plates.
E. Wood bucks for doors, windows, panels, etc. as required.
F. Rough and builders hardware including nails, bolts, nuts, anchors, screws, etc. as required and not specifically called for under other divisions.
G. Set finish hardware.
H. Set door frames and doors where scheduled.
I. Do incidental work as necessary to complete the building.

ART. II Materials

- A. Rough Carpentry lumber: No. 2 common lf or Douglas Fir unless otherwise shown on plan.
B. All wood throughout in contact with concrete shall be pressure treated or dipped in "Woodlife" minimum of 20 minutes, by approved treating plant.

ART. III Workmanship: by skilled mechanics under the supervision of a competent foreman acceptable to the architect.

SECTION 6 WATERPROOFING AND DAMPROOFING

ART. I

- A. All ground slabs to receive approved ad-mixtures at mixing plant in quantities as specified by the manufacturer.
B. Flashings, etc. as set out in "Roofing and Sheet Metal".

SECTION 7 STRUCTURAL STEEL

ART. I

- A. Scope of Work: Supply all labor, tools, materials and equipment required for the fabrication and erection of all angle lintels, plates and all structural steel shapes shown on the plans & the bolts therefor.
B. Shop Drawings: The contractor shall furnish shop drawings to the engineer for approval before fabrication or any structural steel.
C. Materials - All steel shall conform to ASTM Spec. A-7 for Structural Steel of most recent adoption.
D. Fabrication and Erection of the structural steel shall be done in accordance with the A. I. S. C. "Specification for Fabrication and Erection" of most recent issue.
E. Painting - all structural steel shall receive two shop coats of red lead paint. All field welds and damages to the shop coat shall be painted in the field by this sub-contractor.

SECTION 8 ROOFING & SHEET METAL

ART. I Scope of Work:

- A. Built up Roofing
B. Sheet metal flashing and counter flashing.
C. Pitch pans or lead sleeves for all vent stacks and other installation.
D. Metal leaders, heads and overflow scuppers

ART. II Materials:

- A. All roofing materials shall be delivered on site in original packages, bearing manufacturer's labels and shall be Barrett Division, Allied Chemical and Dye Corp., or approved equal.
B. Roofing felt - Barrett, or approved equal 15 lb. felt
C. Asphalt - Barrett, or approved equal
D. Plastic cement - Barrett Elastigum or approved equal
E. Sheet metal - galvanized or .032 sheet aluminum
F. Nails - metal to concrete - 3/4" concrete nails
G. Solder - 90% lead, 50% in new metals.
H. Gravel-Hard, thoroughly washed, dr. free from dirt and range in size 1/4 to 3/8".

ART. III Execution of Work: General

- A. Asphalt shall not be heated above 400 degrees F. and shall be applied between 350 and 375 degrees F.
B. One hundred sixty (160) pounds of asphalt shall be used for construction each (100) one hundred square feet of completed roof.
C. Felts so laid as to be free from wrinkles and buckles so that no pronounced ridges are formed at laps.
D. Mappings of pitch shall be used between plies and shall uniformly cover the entire lapped surfaces so that in no place felt touches felt.
E. Installation of 4 ply built up roof areas shall conform to Barrett's specifications for 10 years Bondable roofs. If bond is required owner is to pay for bond at the rate of \$1.75 per 100 sq. ft. of roof areas.
F. For roof decks:
1) Over entire surface lay 4 plies of tarred felt, lapping each sheet 27 1/2" over preceding one.
2) Over entire surface, pour a flood coat of asphalt and while hot imbed not less than 200 lbs. of gravel for each 100 sq. ft. of roof area.
3) Under all flashings, reinforce with 4 additional plies of tarred felt feathered up side and out the roof deck 6", 7", 8" and 9" in both directions. The first layer reinforcing felts shall be imbedded in pitch and all layers including the top layer shall be covered with heavy uniform layer of pitch base plastic.
4) Set all stack and vent lead flashings as supplied by plumbing contractor.
5) Install scupper drains and down spouts with adjacent flashing as described in plans at locations shown.

SECTION 9 VINYL ASBESTOS TILE

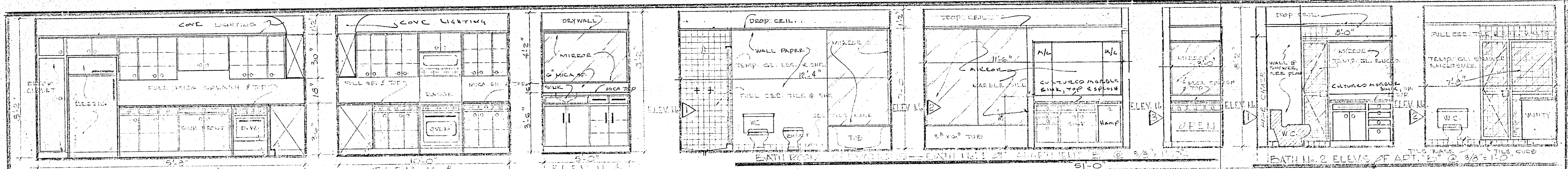
ART. I Work Required

- A. Install Tile
B. Surface preparation

ART. II Materials

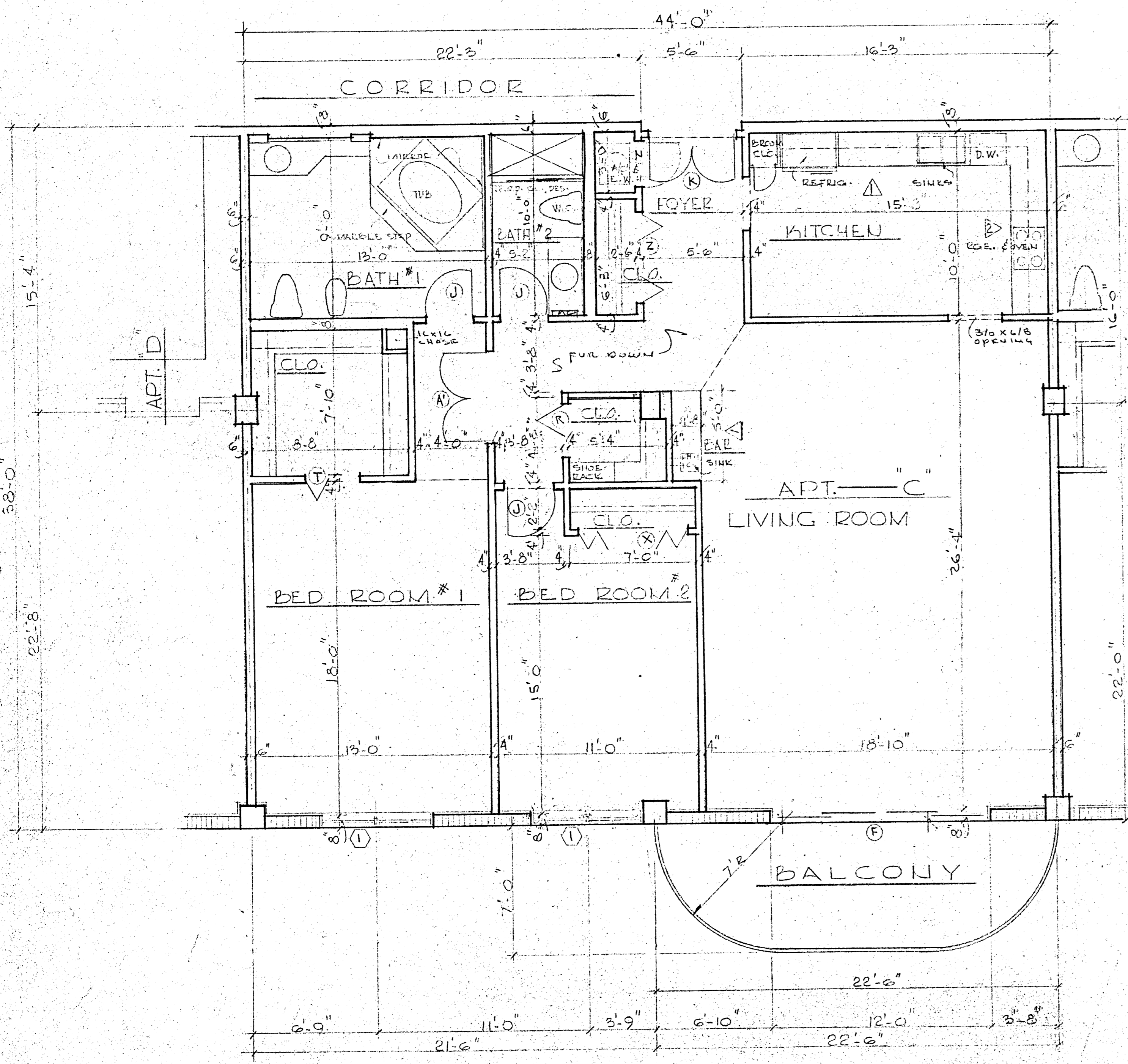
- A. Vinyl asbestos plastic tile 1/8" by John Mansville or American Biltrite. All colors to be selected by owner or architect.
B. 4" or 6" cover base
C. Mastic

Architect's stamp: WILLIAM M. FRIEDMAN & ASSOCIATES ARCHITECTS, INC. 138 S.E. 14th LANE 3588044 CHAMPLAIN TOWERS SOUTH 8777 COLLINS AVE. 138 UNIT CONDOMINIUM COMM. No. DATE: SHEET 2 OF 30

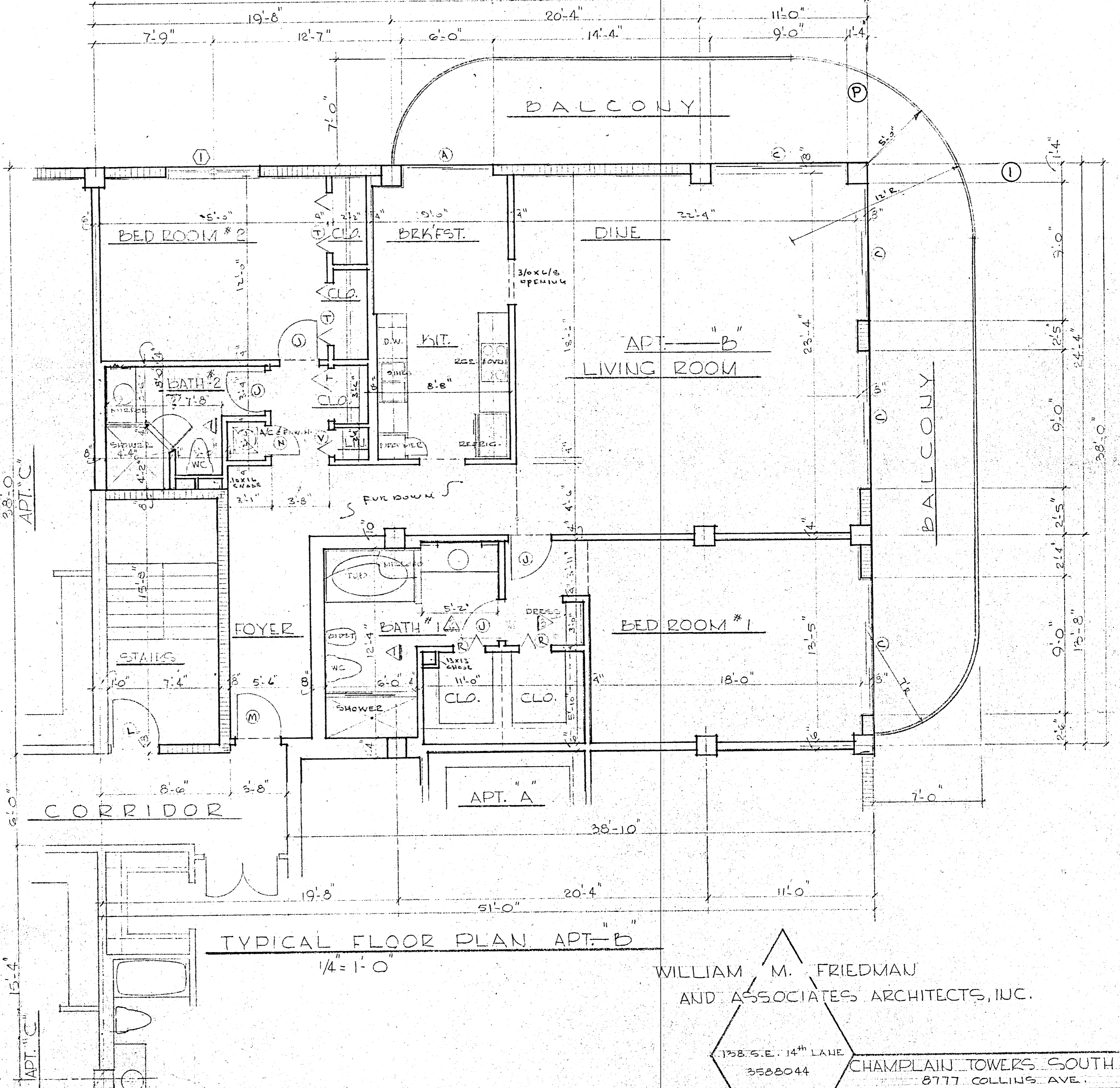


KITCHEN ELEVATIONS OF APARTMENT "C" @ 3/8" = 1'-0"

NOTES:
 BATHS No. 1 & No. 2 OF APT. "C" SIMILAR TO BATHS No. 1 & 2 OF APT. "D" SEE SHT. No. 20 OF 30
 KITCHEN ELEVATIONS OF "C" SIMILAR TO KITCHEN ELEV. 5 OF APT. "I" SEE SHT. No. 21 OF 30



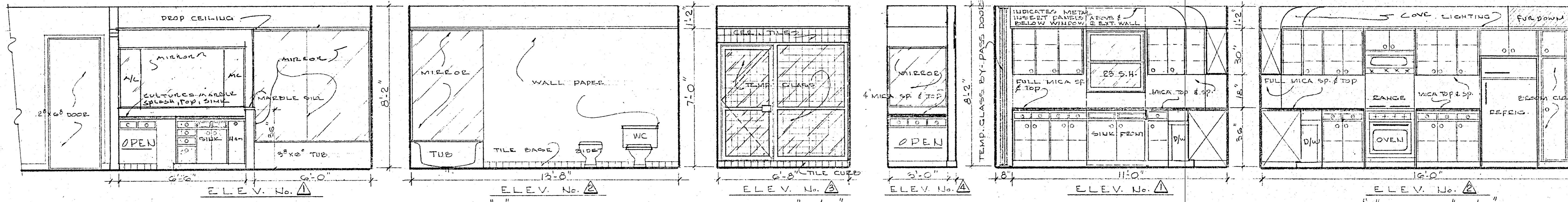
TYPICAL FLOOR PLAN APT. "C" @ 1/4" = 1'-0"



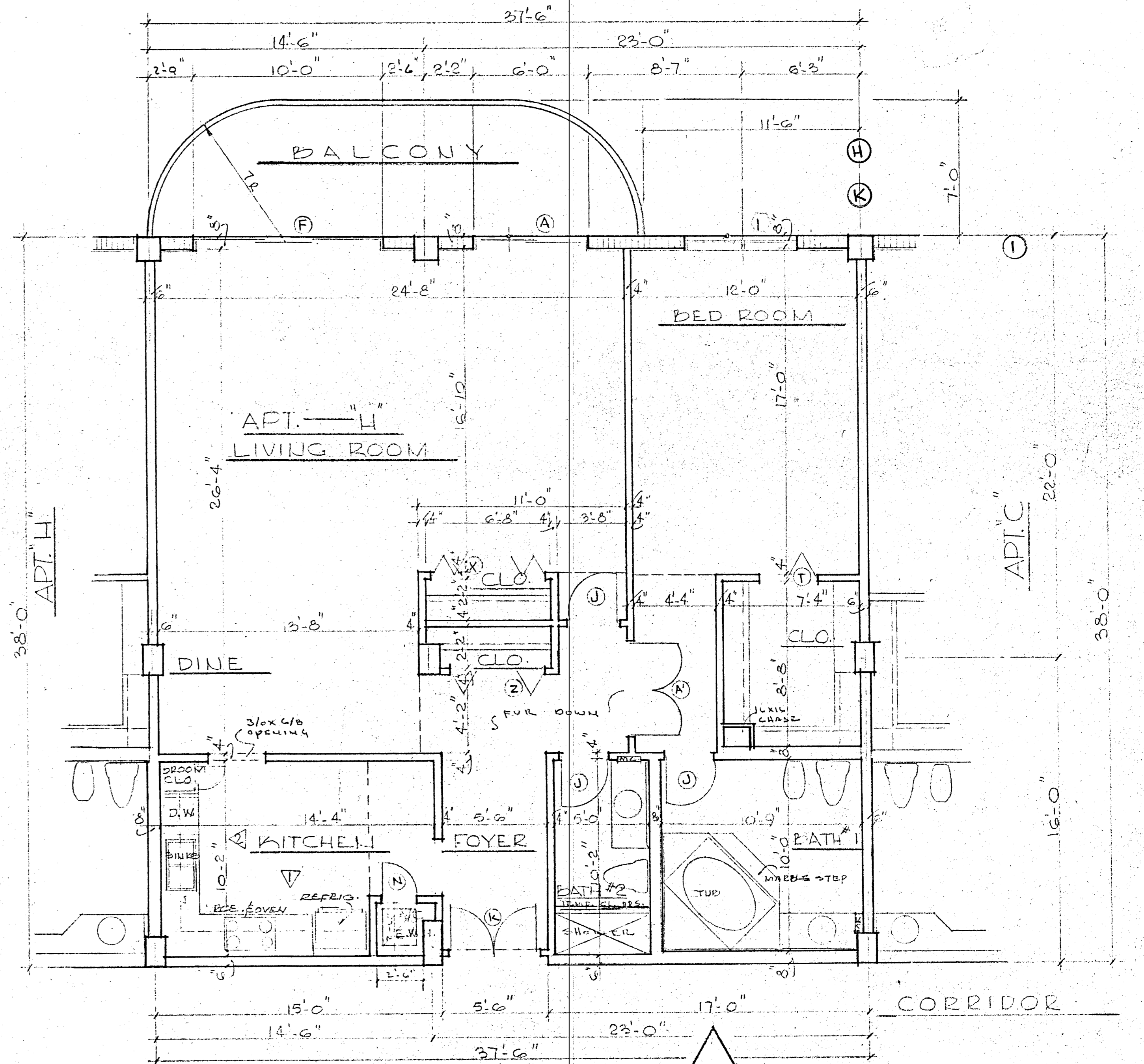
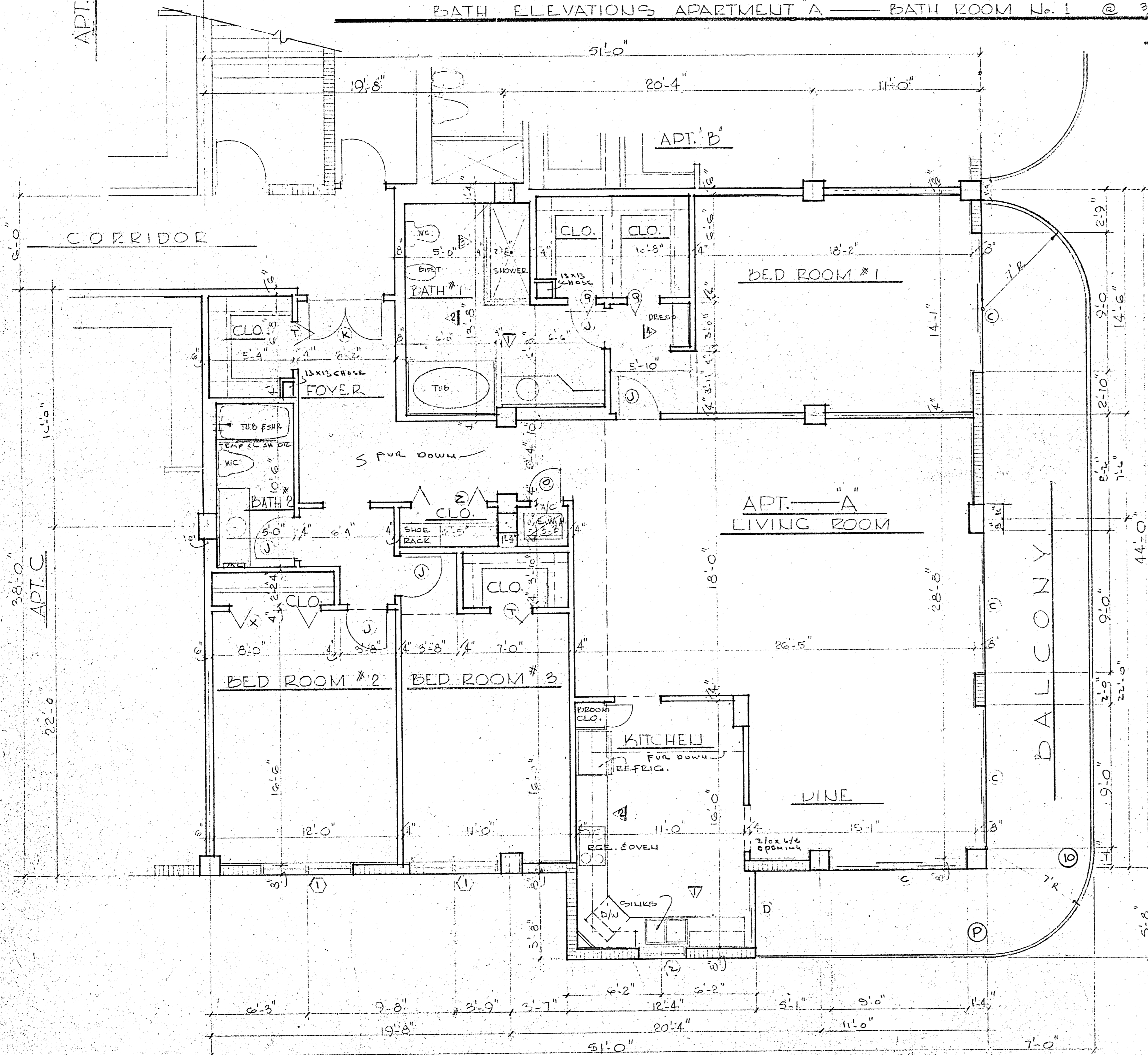
TYPICAL FLOOR PLAN APT. "B"
 1/4" = 1'-0"

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 COMM. No. DATE: SHEET
 REV. 17 OF 30

APT. C

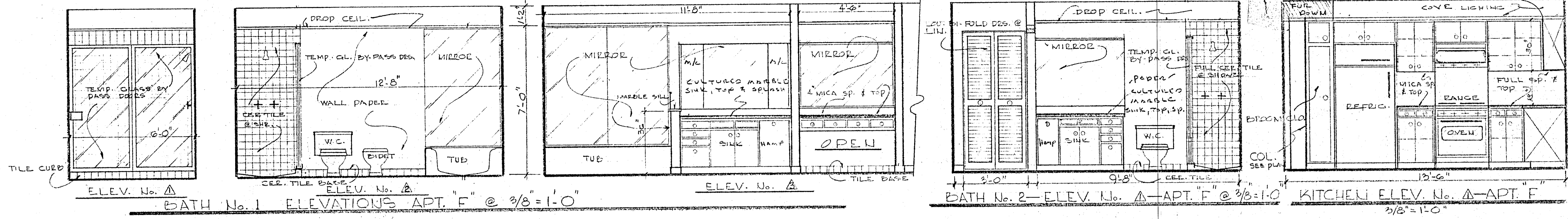


NOTES:
 ELEVATIONS FOR BATH No. 2 OF APARTMENT "A" — SIMILAR TO ELEV. OF BATH No. 1 OF APT. D — SEE SHT. 1627-430
 ELEVATIONS FOR BATH No. 1 & 2 OF APARTMENT "H" — SIMILAR TO ELEV. OF BATHS No. 1 & 2 OF APT. D — SEE SHT. 1627-430
 SEE SHEET No. 27 FOR KITCHEN ELEVATIONS OF APARTMENT "H".

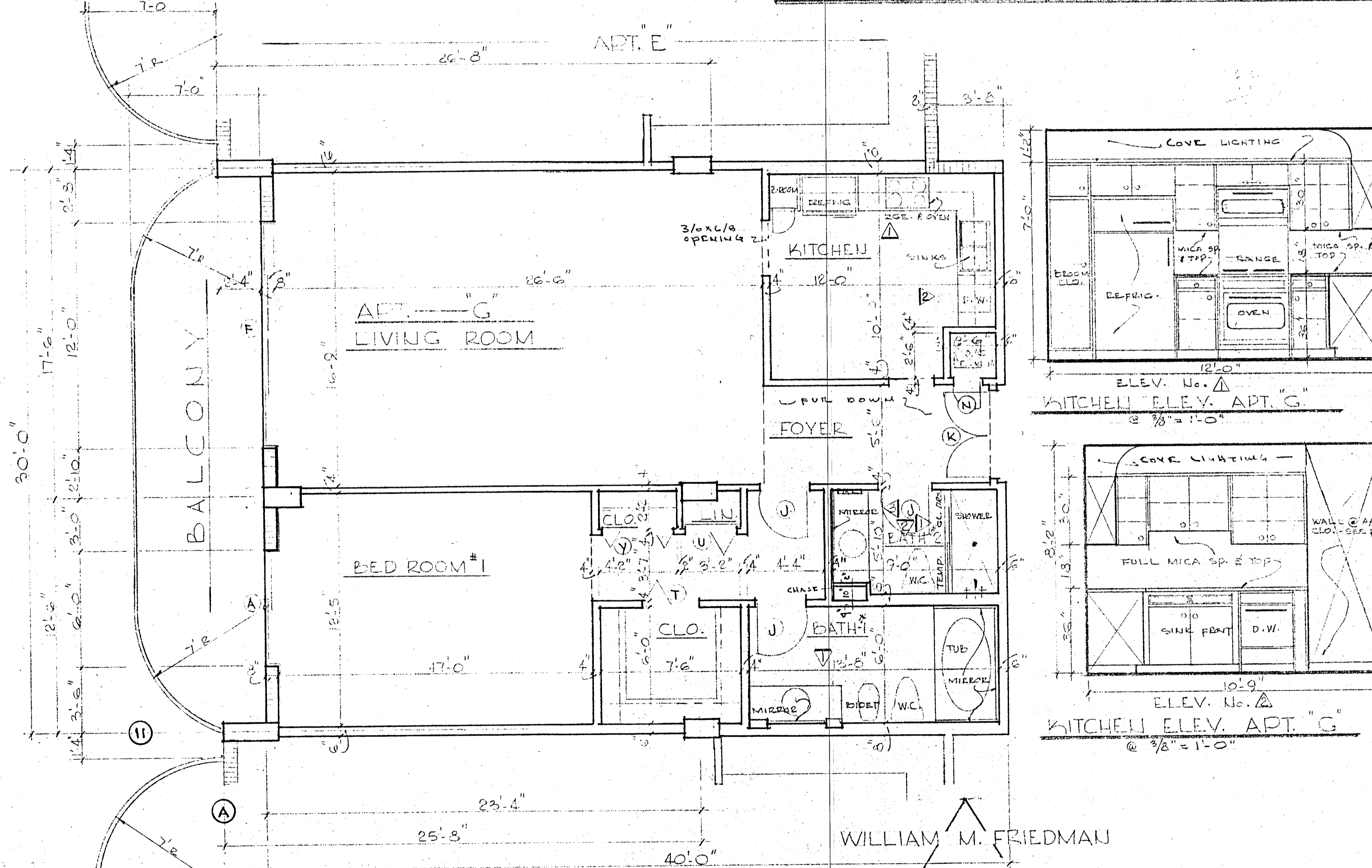
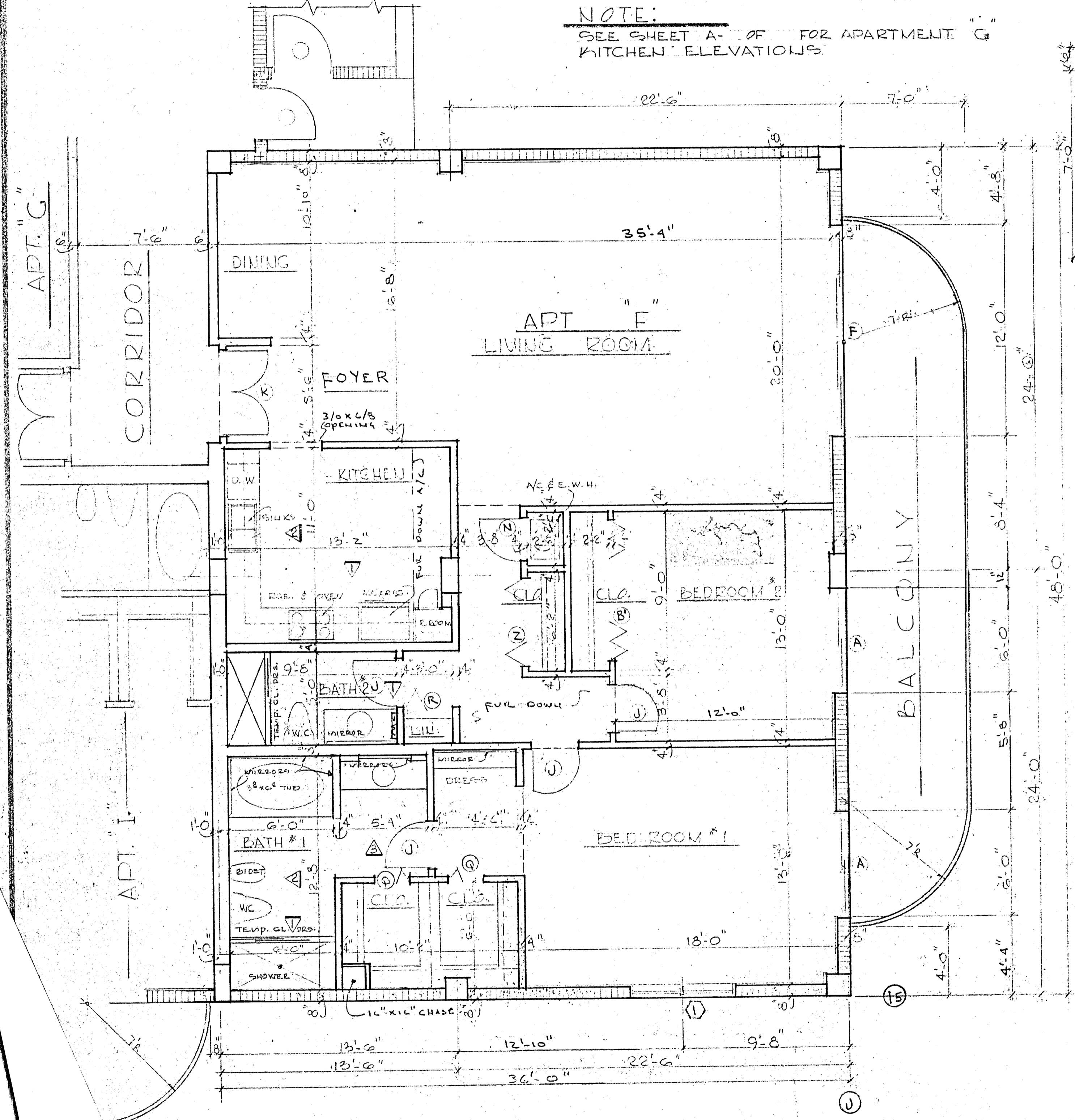
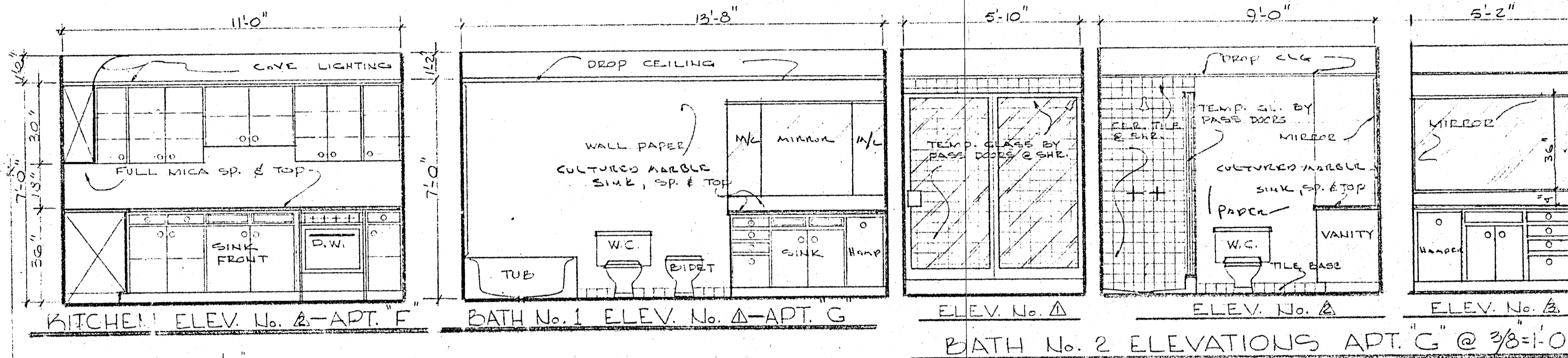


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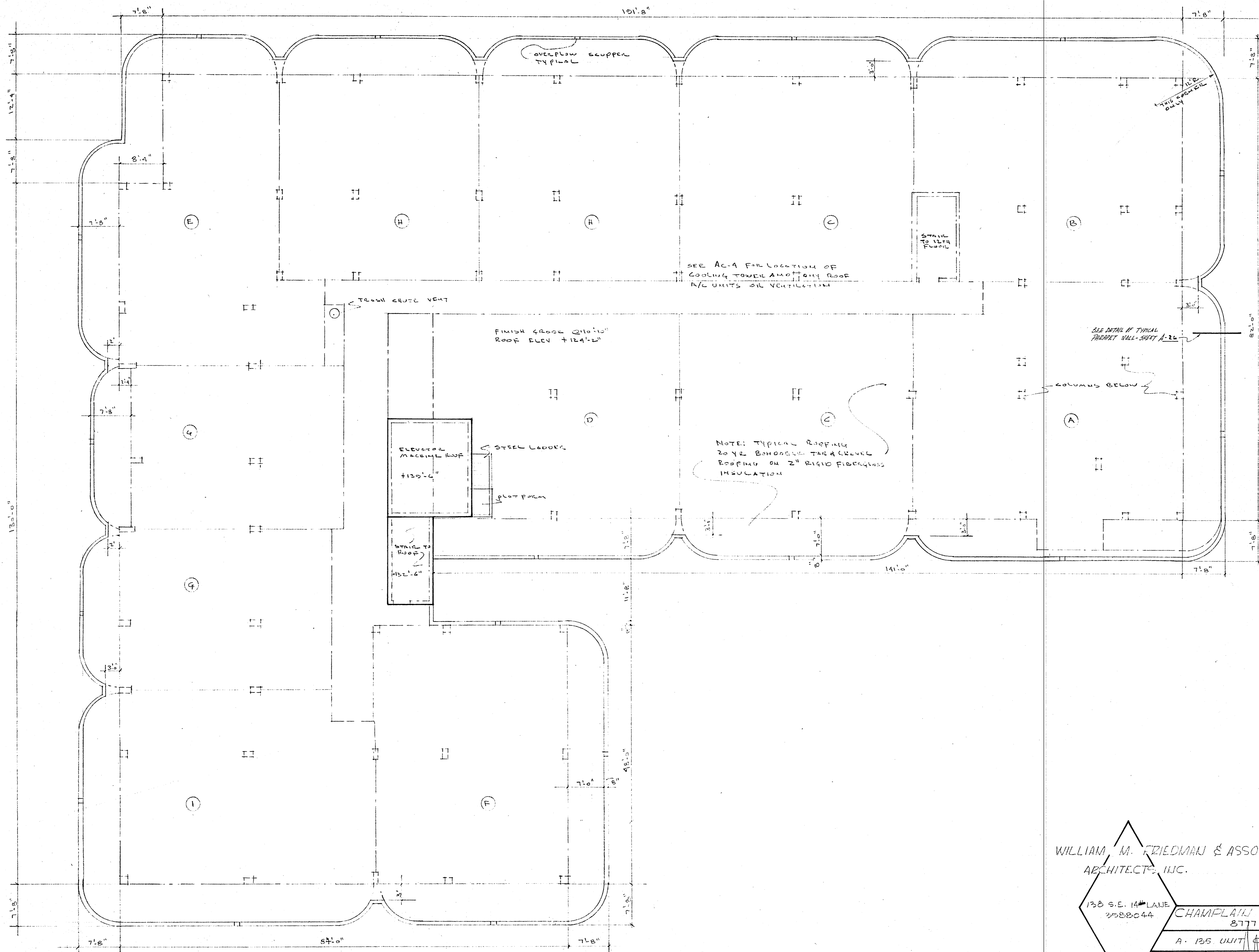
138 S.E. 14th LANE
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 REV. 13 OF 30



NOTE:
SEE SHEET A- OF FOR APARTMENT G
KITCHEN ELEVATIONS.



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REV. 19 OF 30



ROOF PLAN
1/8" = 1'-0"

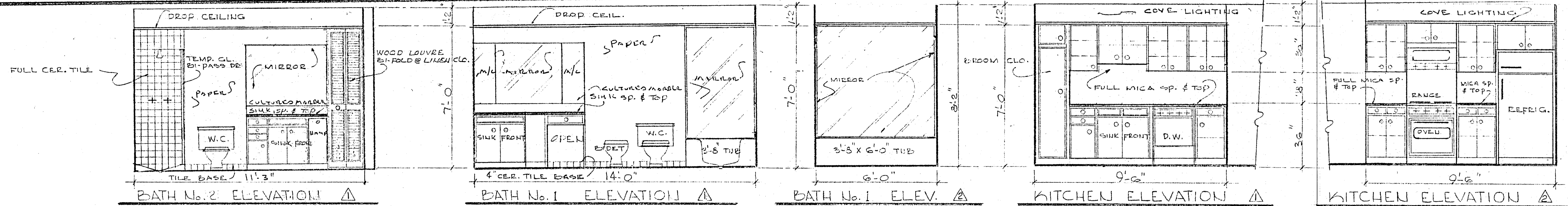
WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

138 S.E. 14TH LANE
3328044

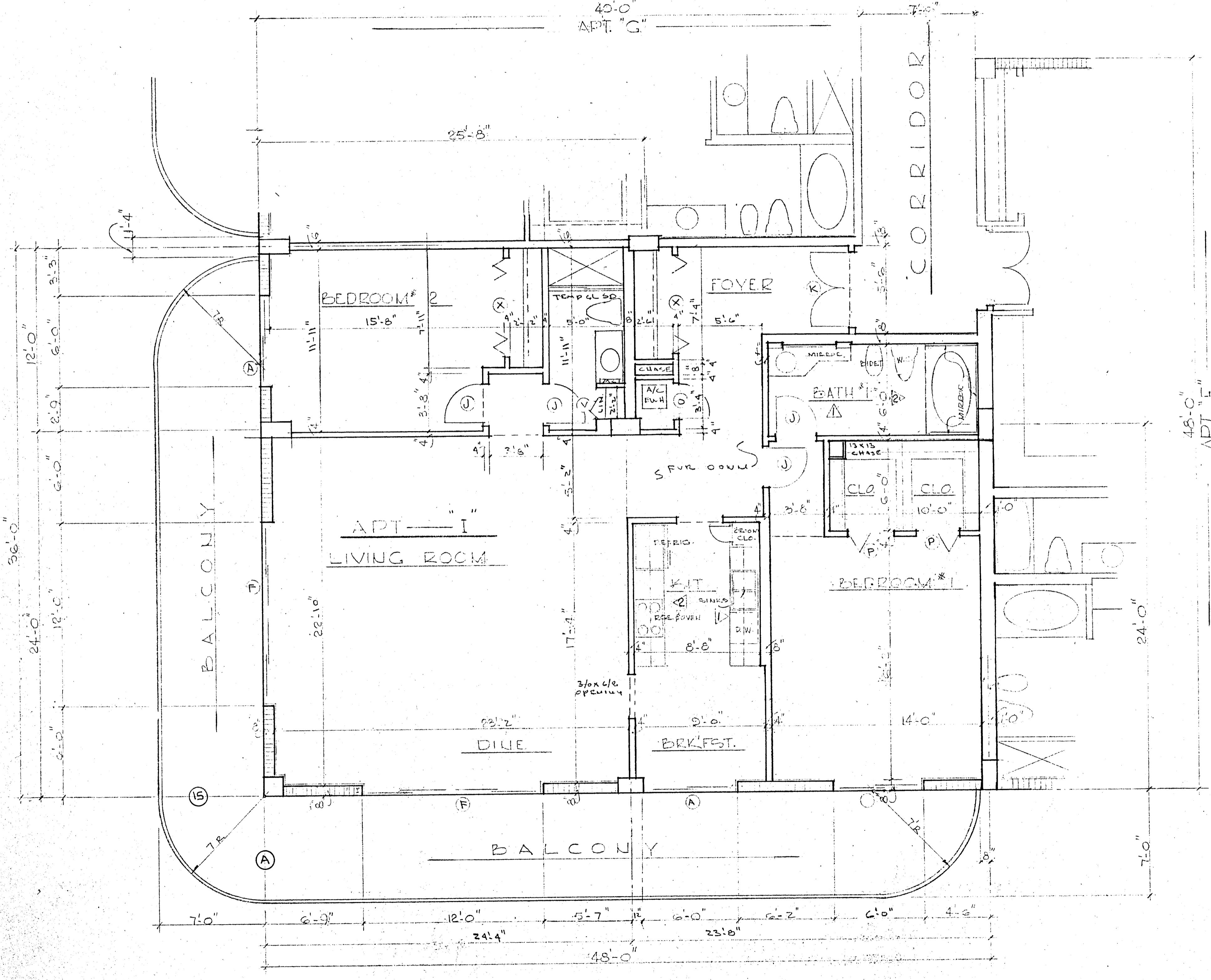
CHAMPLAIN TOWERS SOUTH
8777 COLLINS AVE.

A - 135 UNIT CONDOMINIUM

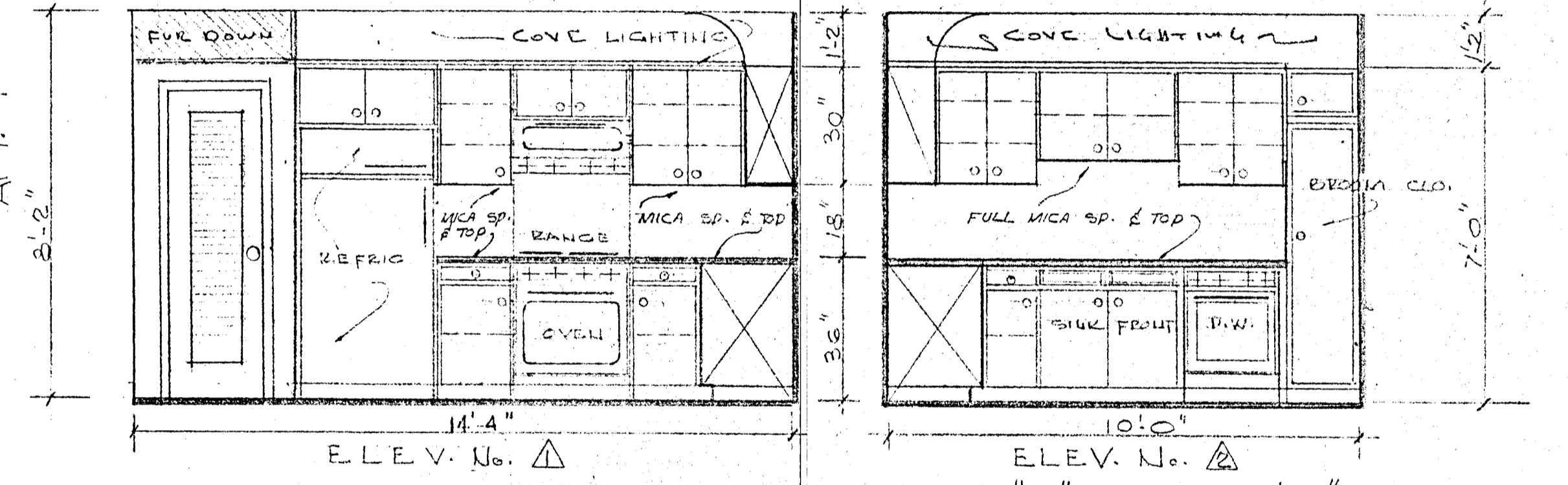
COMM. No.	DATE:	SHEET
		16 OF 30



INTERIOR ELEVATIONS APARTMENT "I" @ 3/8" = 1'-0"



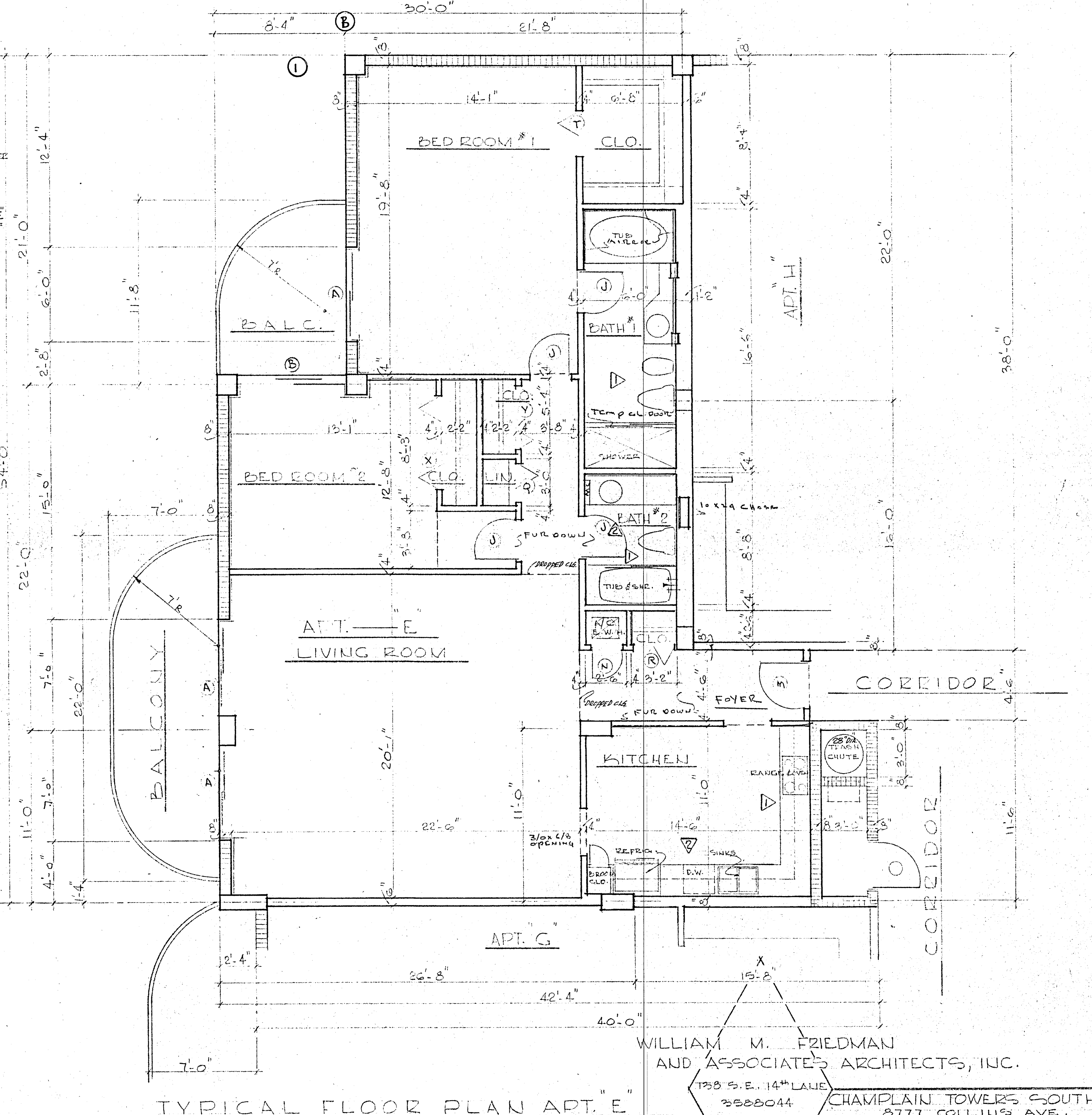
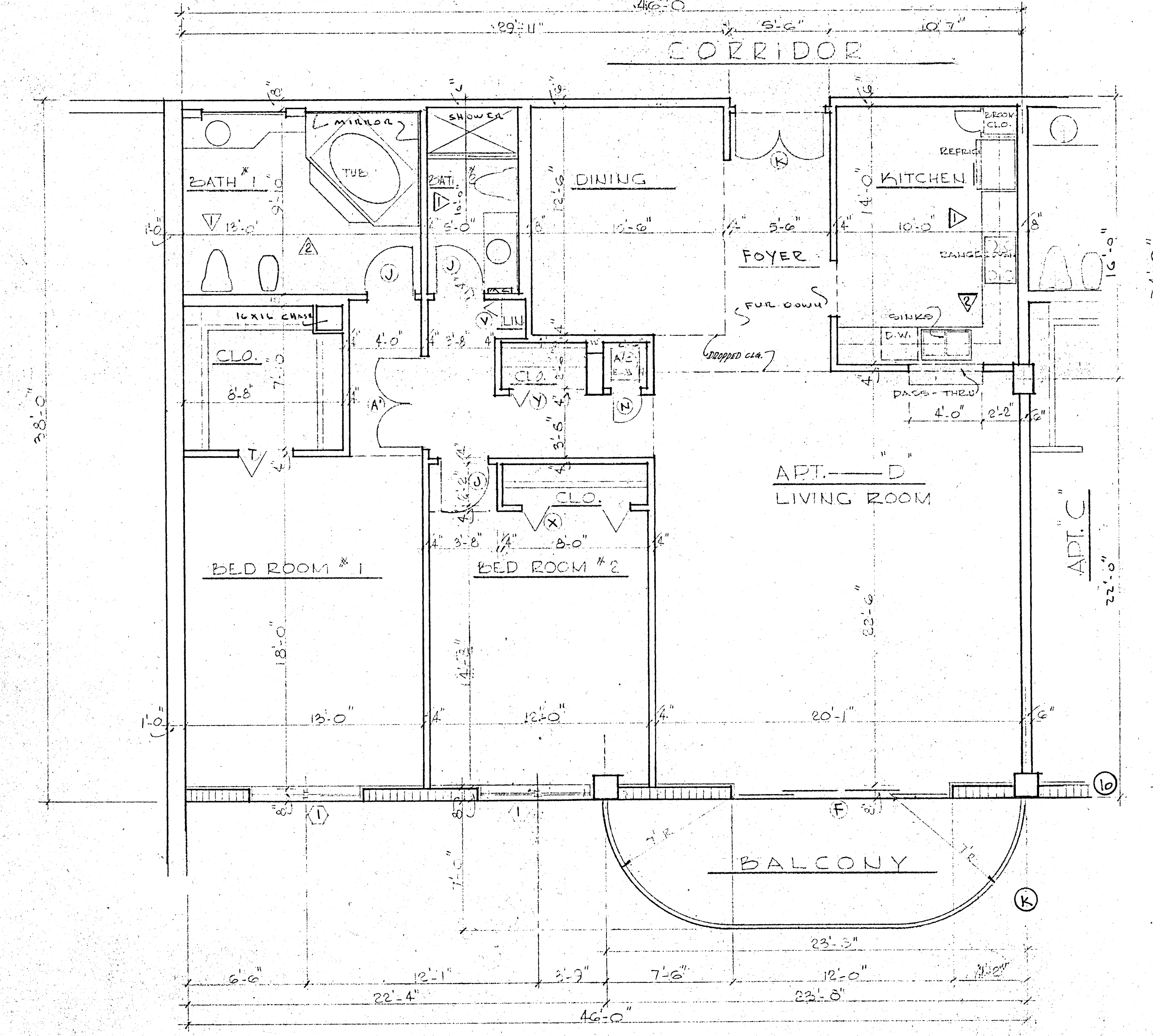
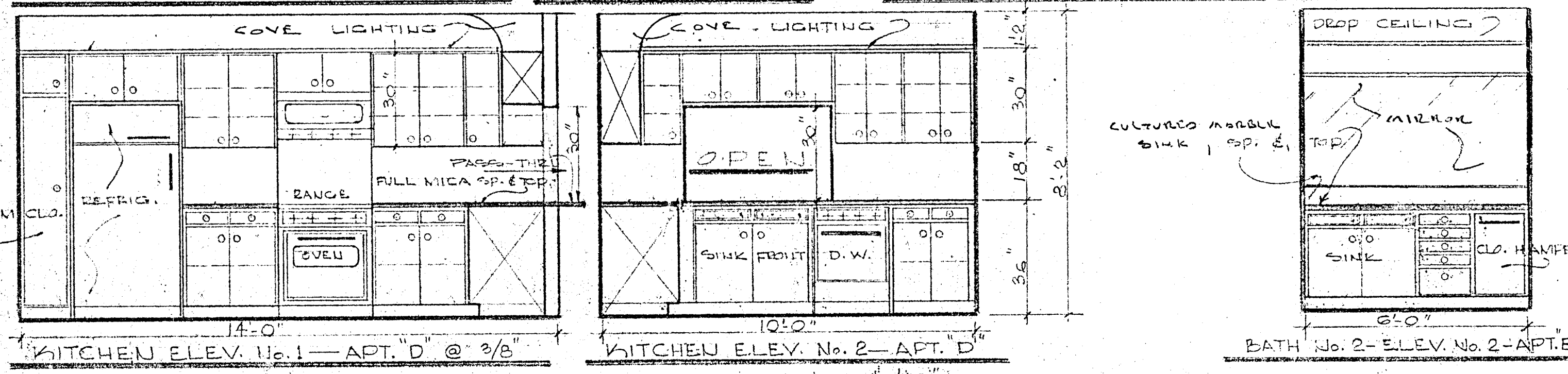
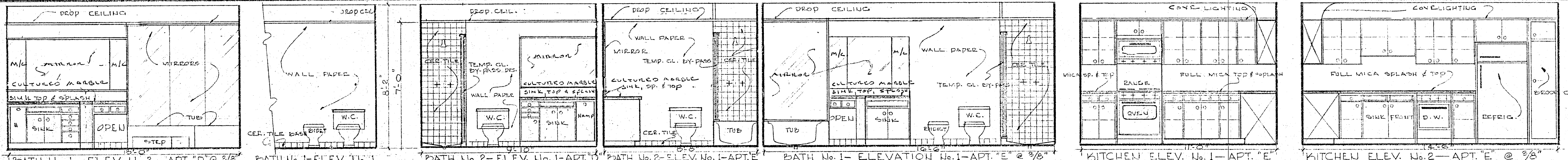
TYPICAL FLOOR PLAN APT. "I" @ 1/4" = 1'-0"



KITCHEN ELEVATIONS OF APARTMENT "H" @ 3/8" = 1'-0"
SEE FLOOR PLAN OF APT. "H" @ SHEET No. OF

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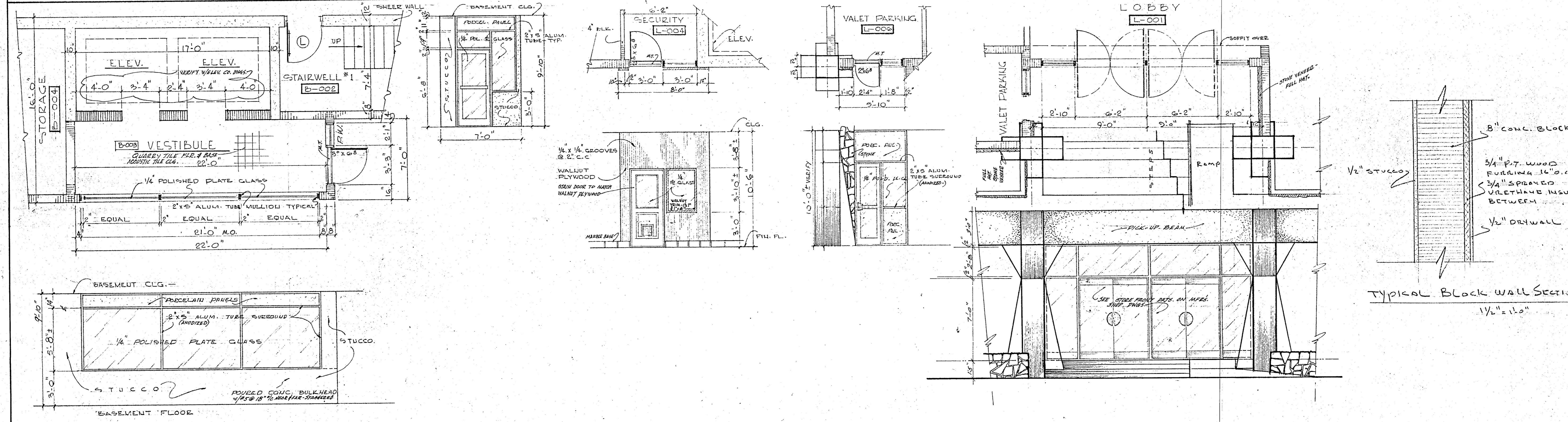
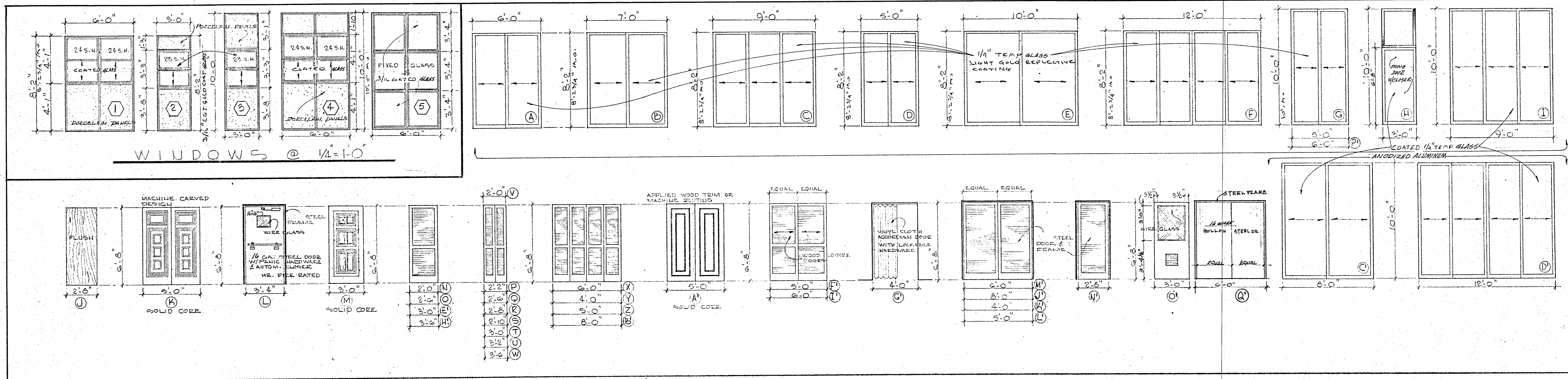
138 S.E. 14th LANE
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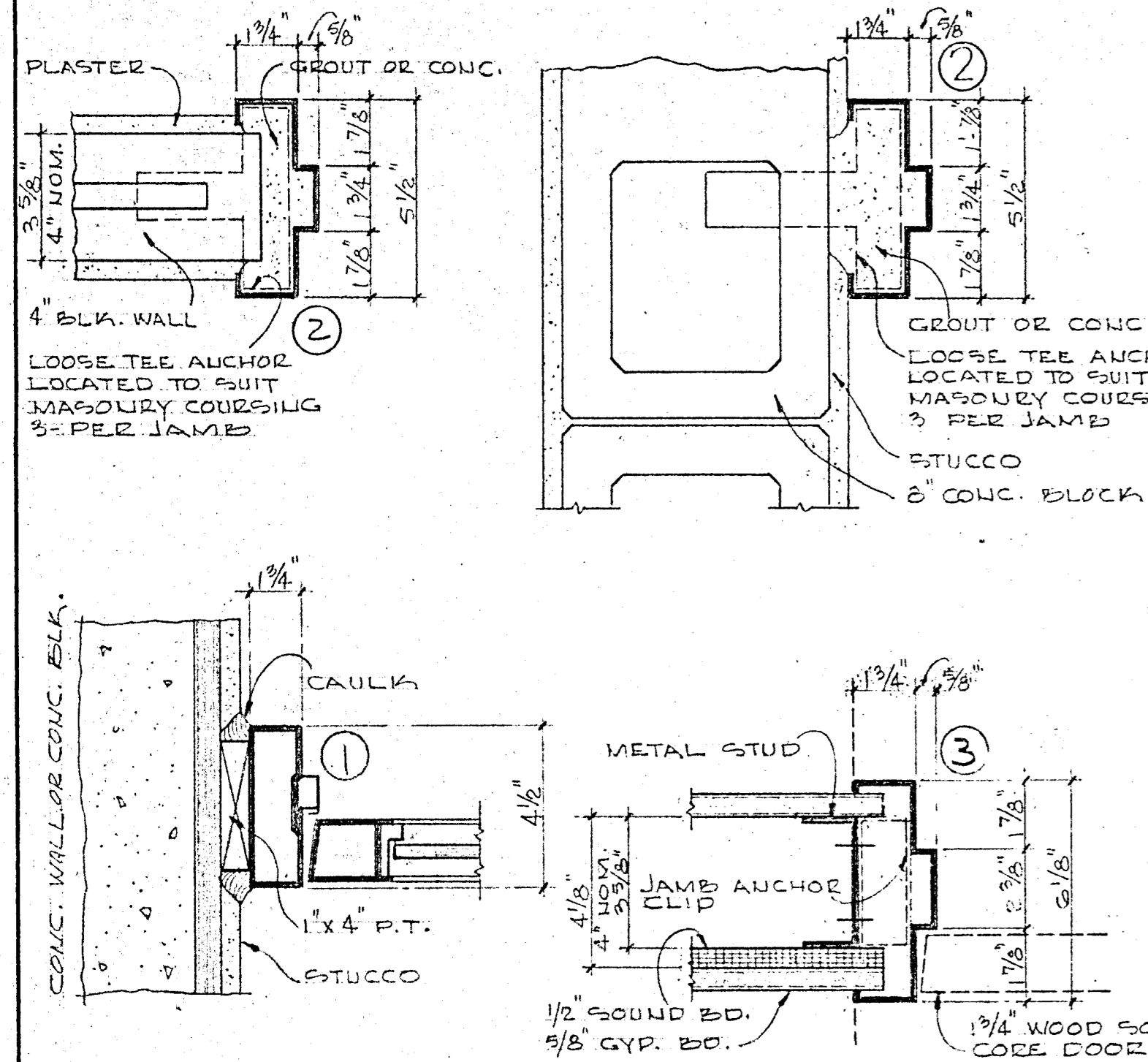
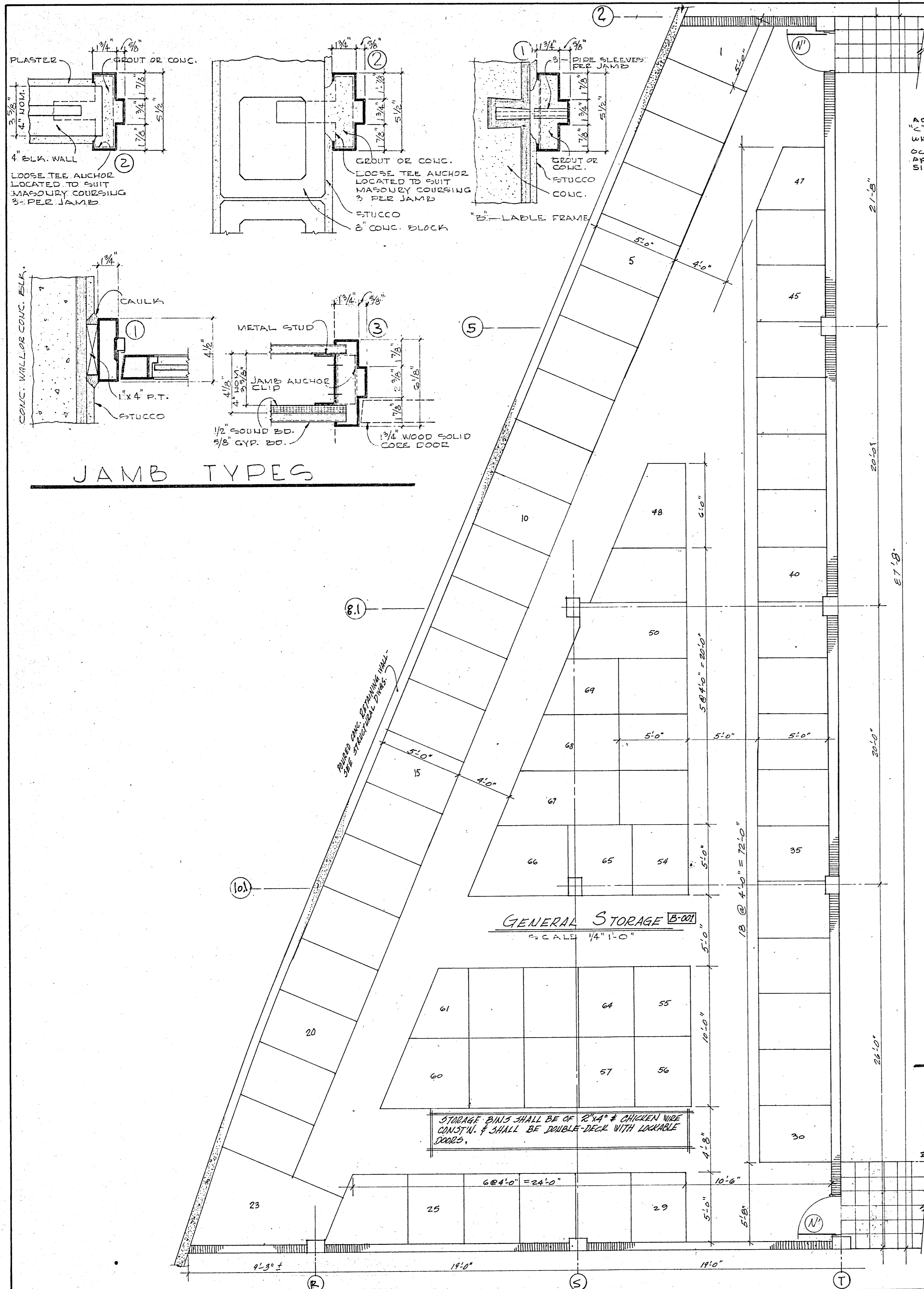
A 135' UNIT CO-OP DOMINIUM
COMM. No. DATE: SHEET
REV. 20 OF 30



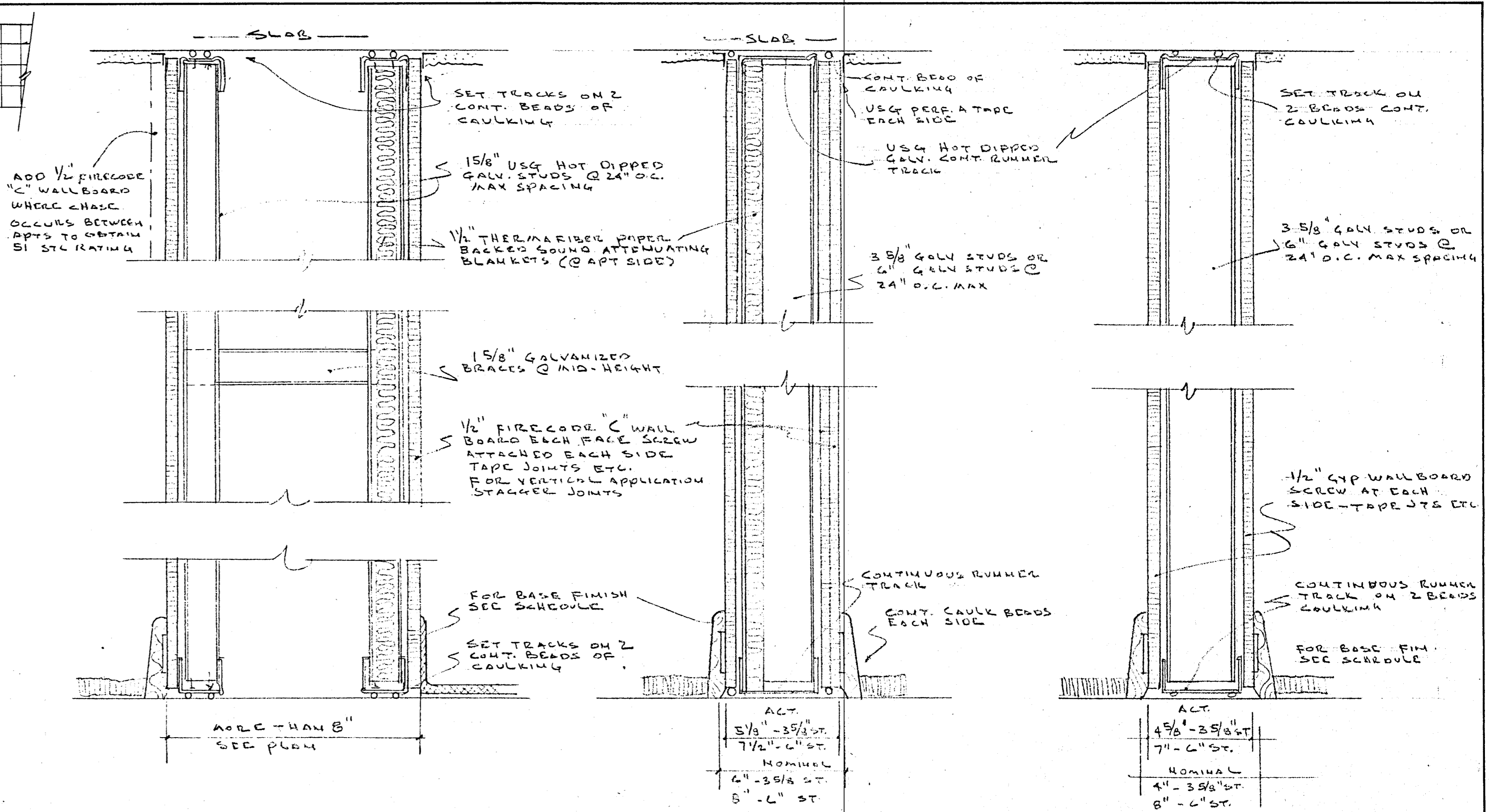
WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14TH LANE
2588044

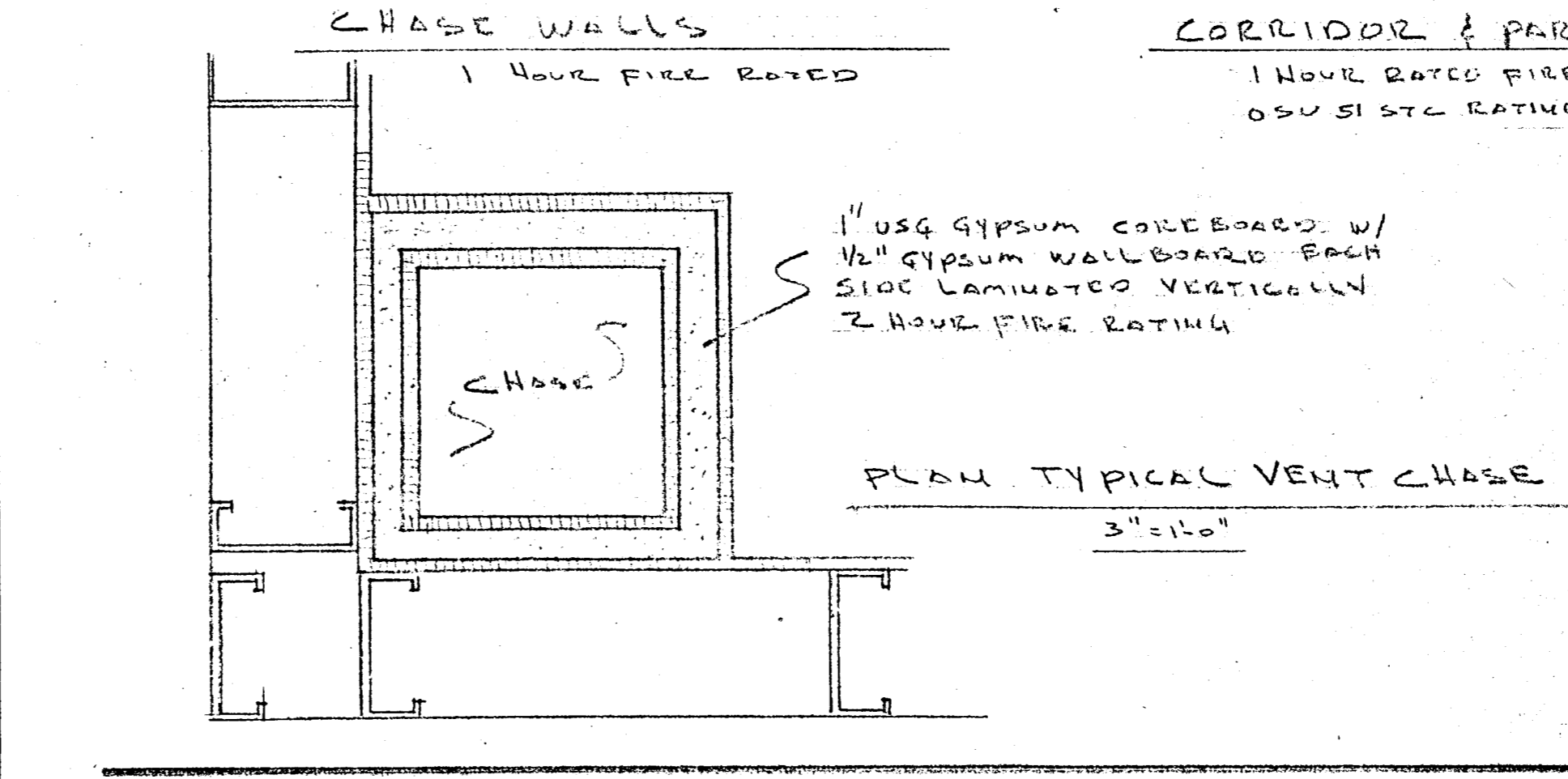
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8777 COLLINS AVE.
A. 135 UNIT CONDOMINIUM
COMM. No. DATE: SHEET
REV. 25 OF 30



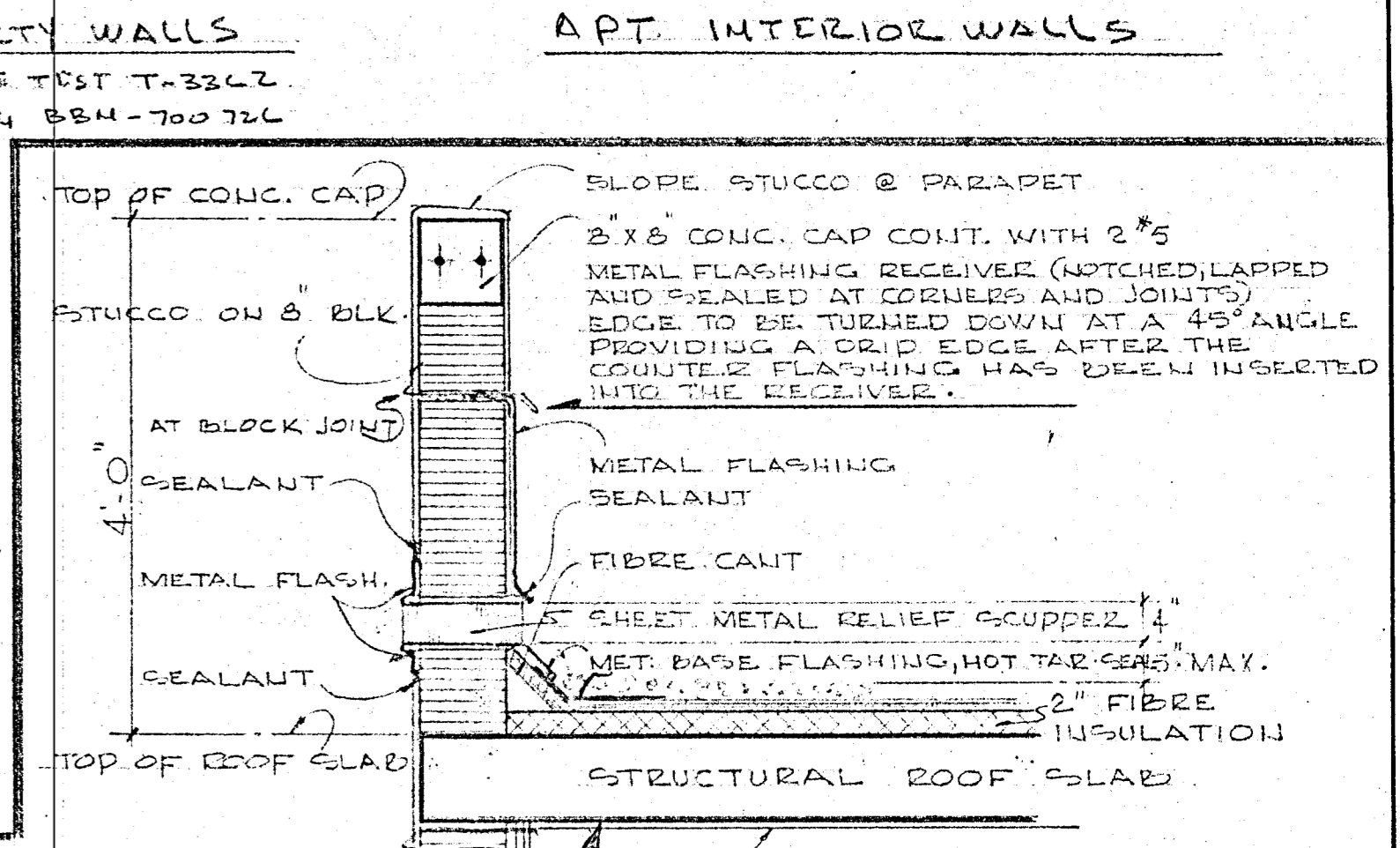
JAMB TYPES



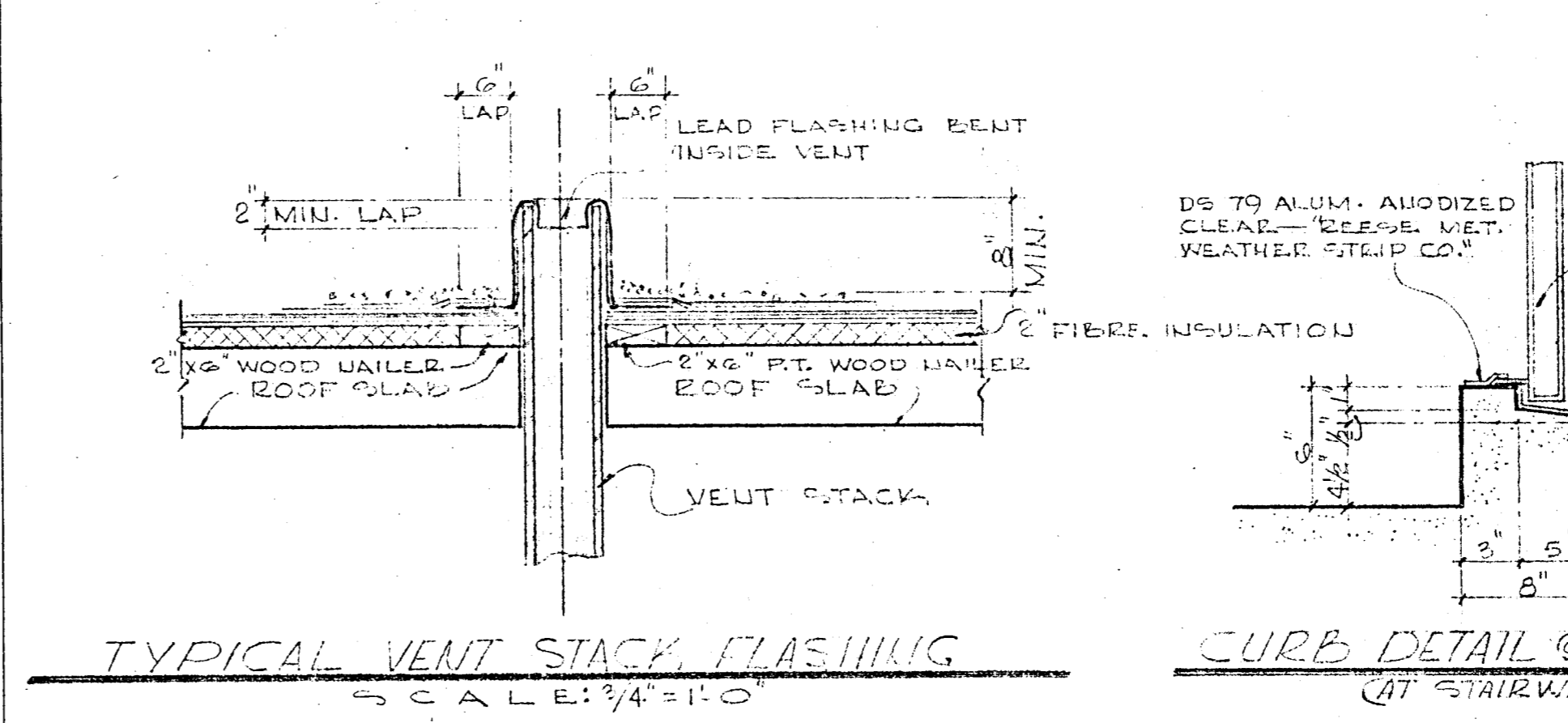
CORRIDOR & PARTY WALLS



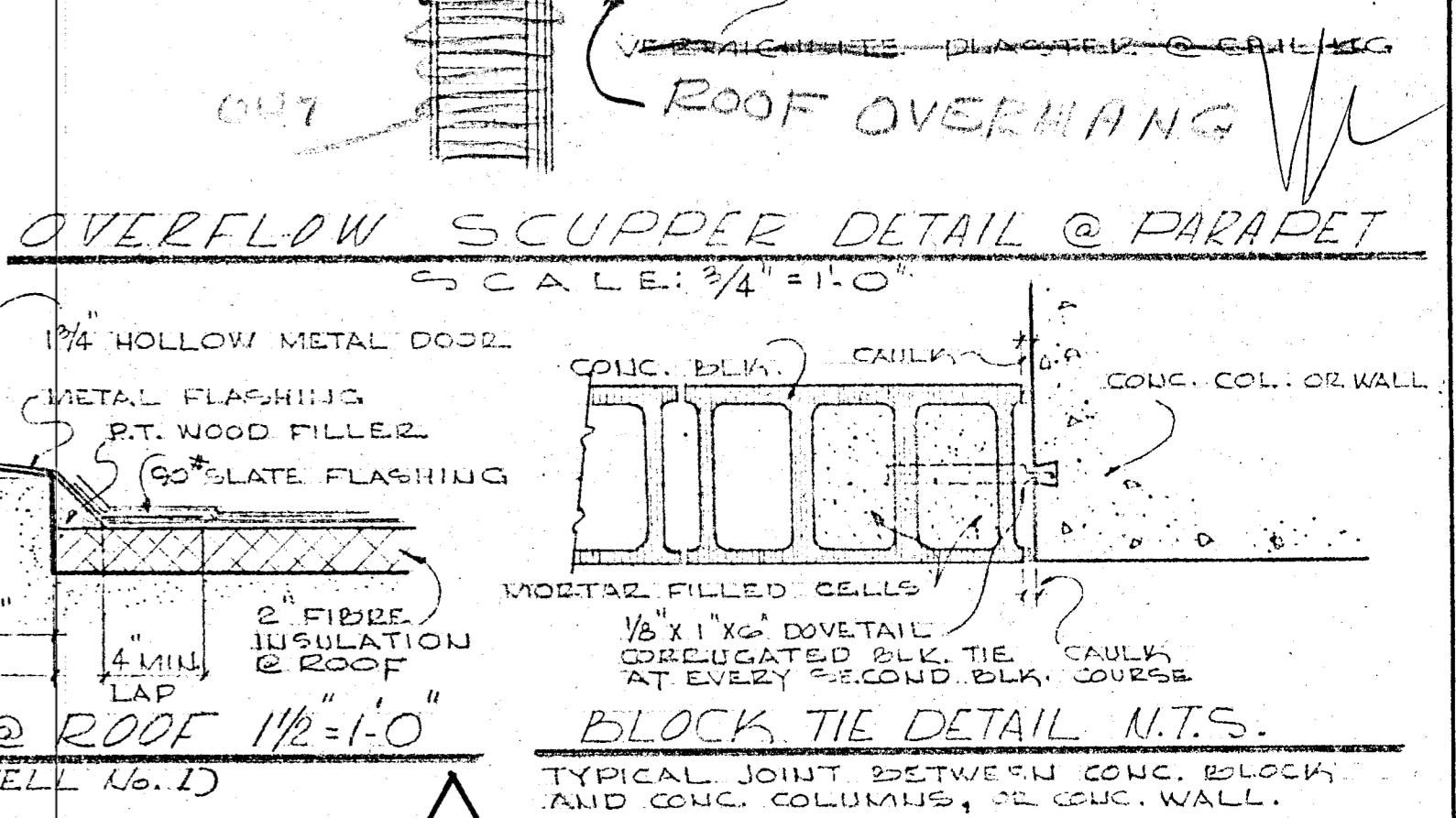
CHASE WALLS



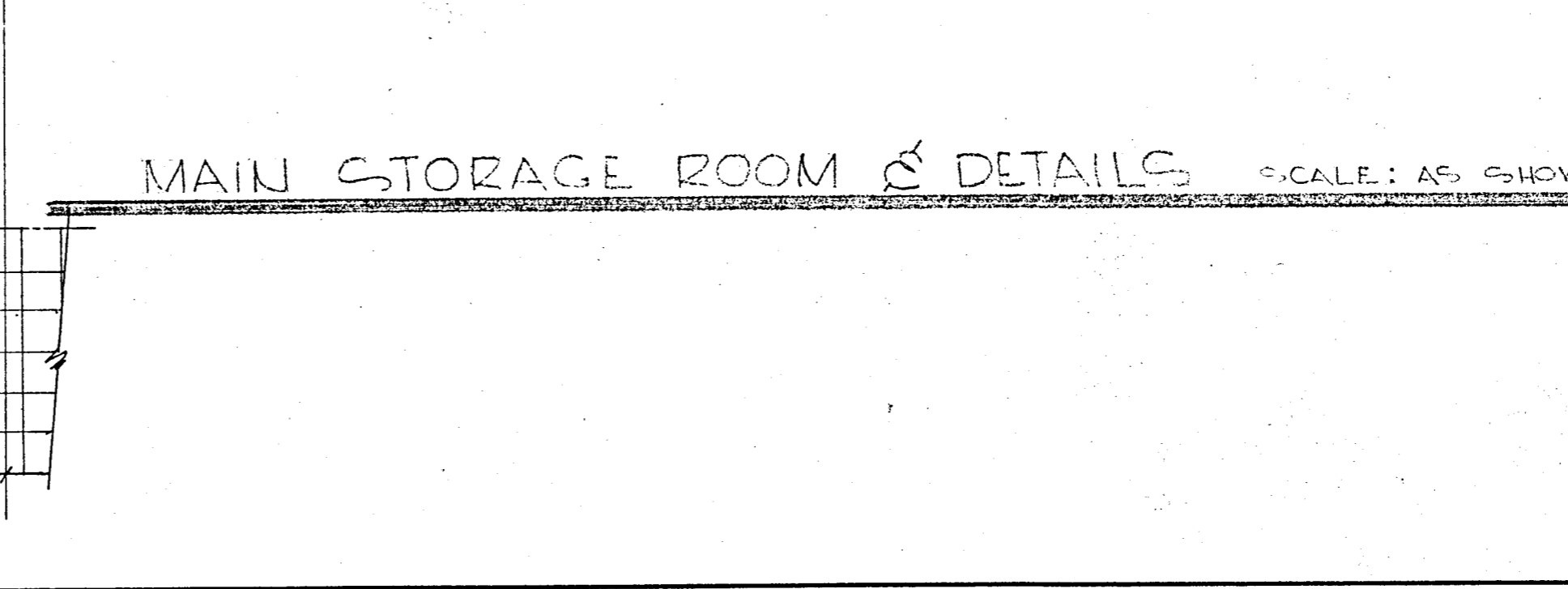
APT. INTERIOR WALLS



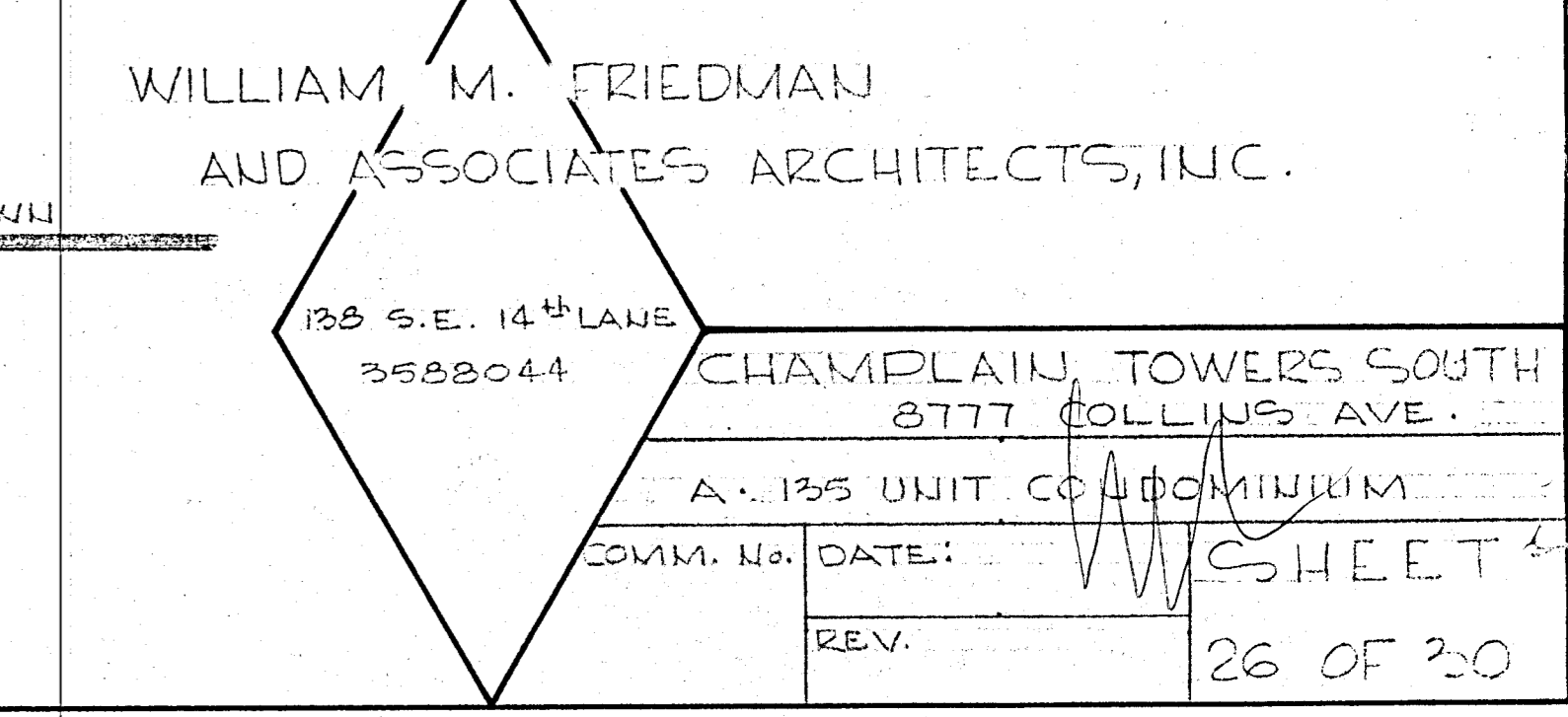
TYPICAL VENT STACK FLASHING



OVERFLOW SCUPPER DETAIL @ PARAPET



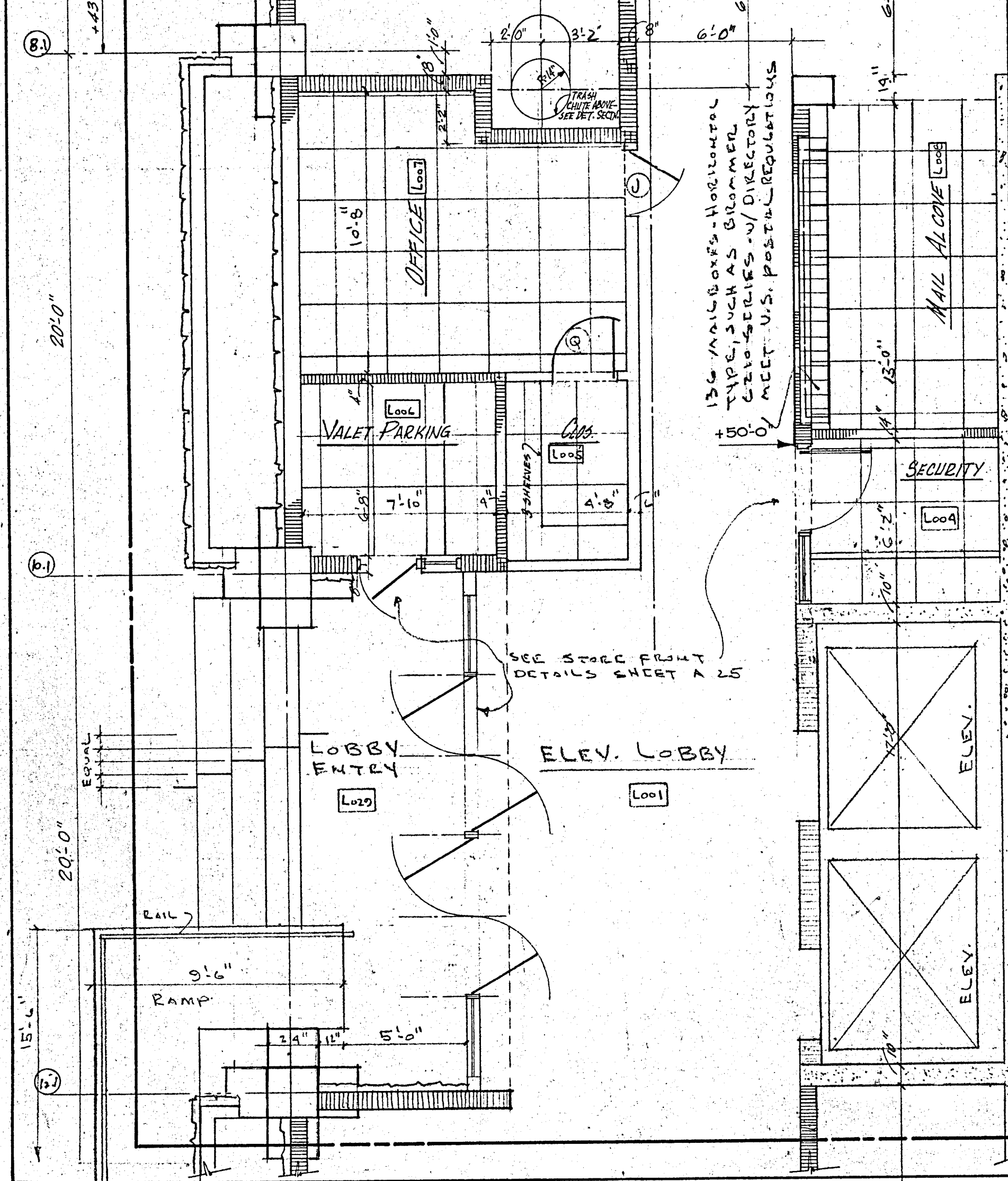
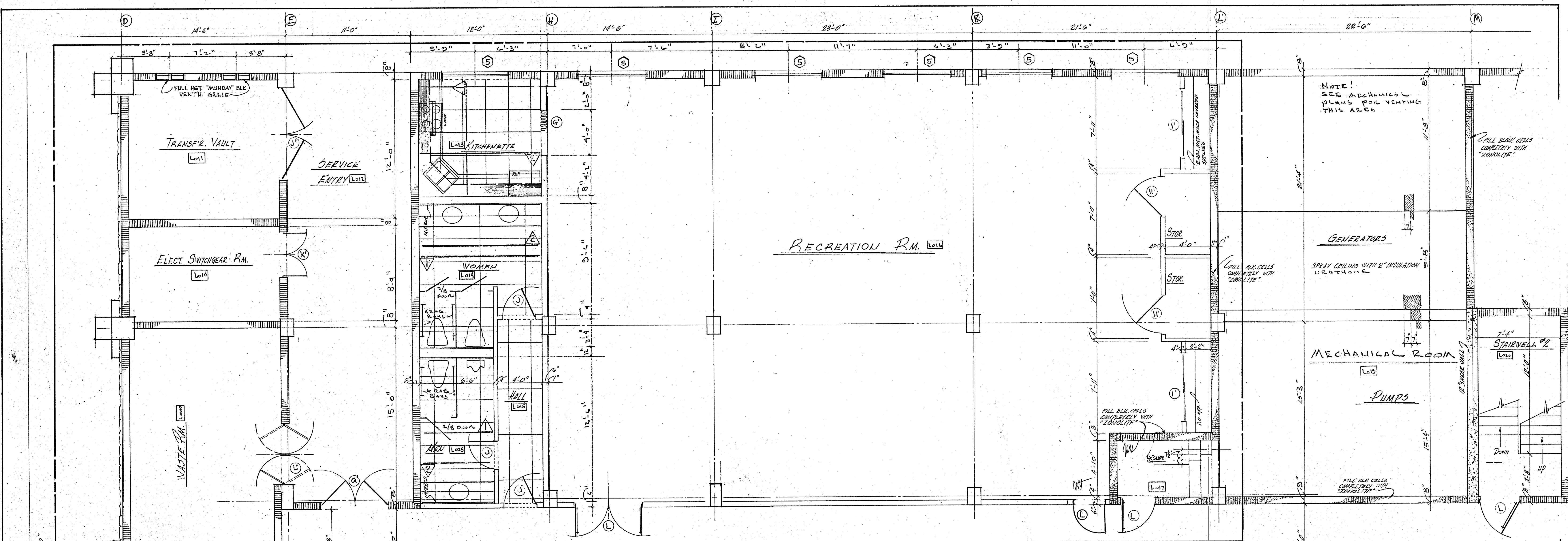
CURB DETAIL @ ROOF



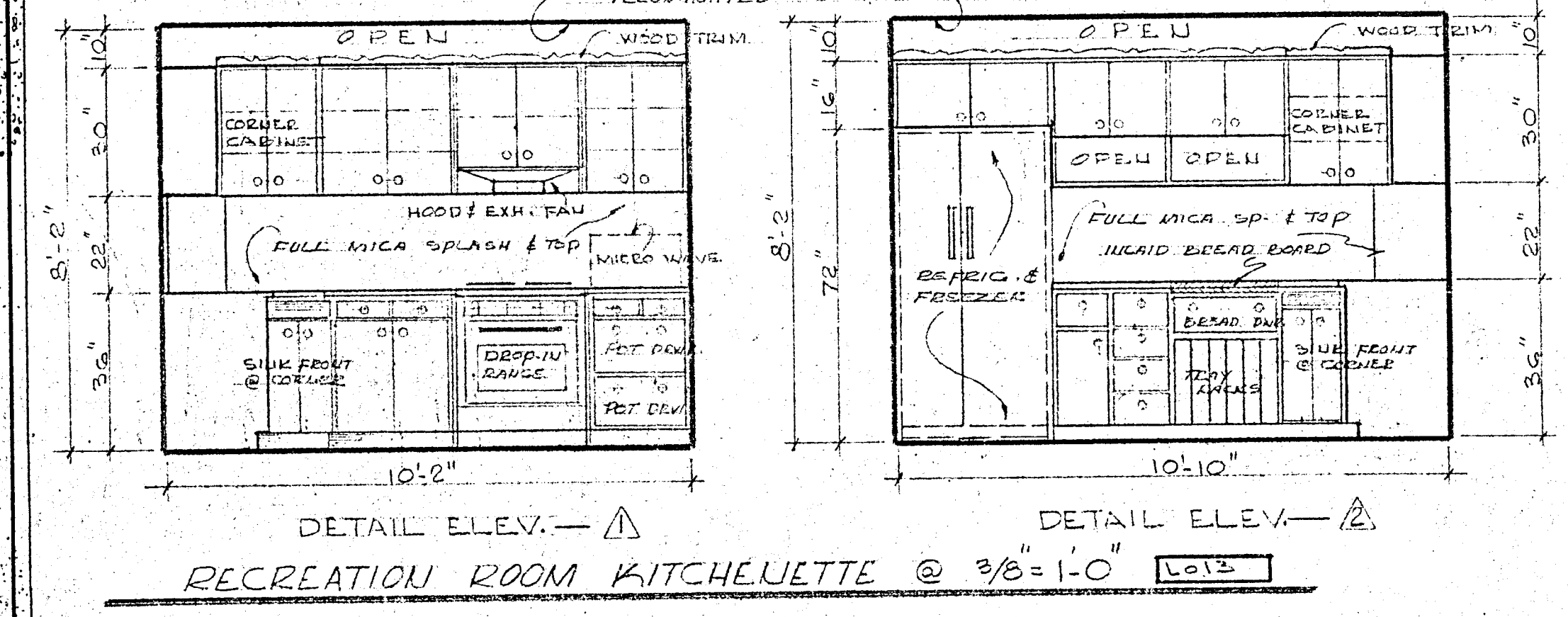
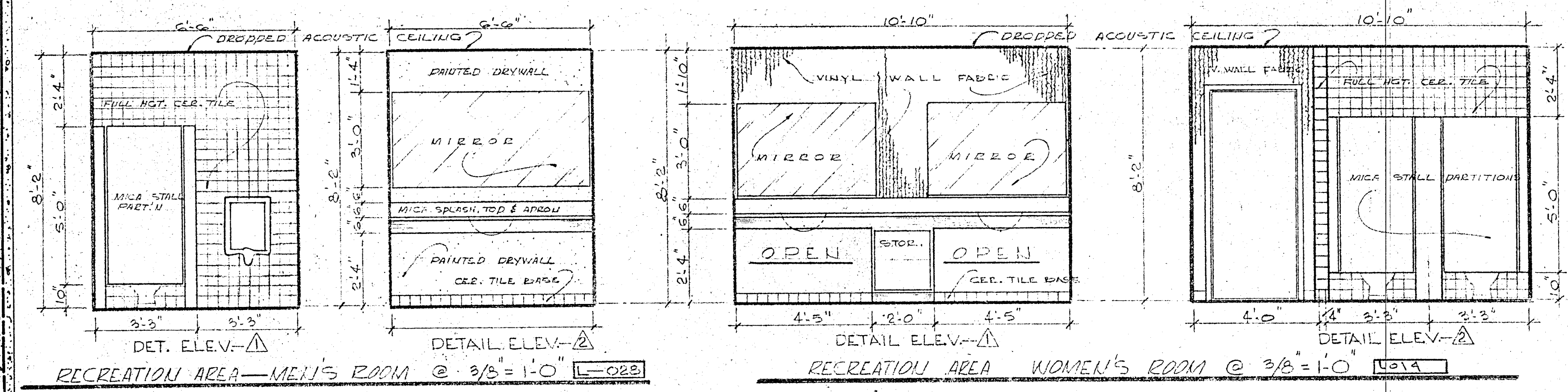
BLOCK TIE DETAIL

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3588044
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REV. 26 OF 30



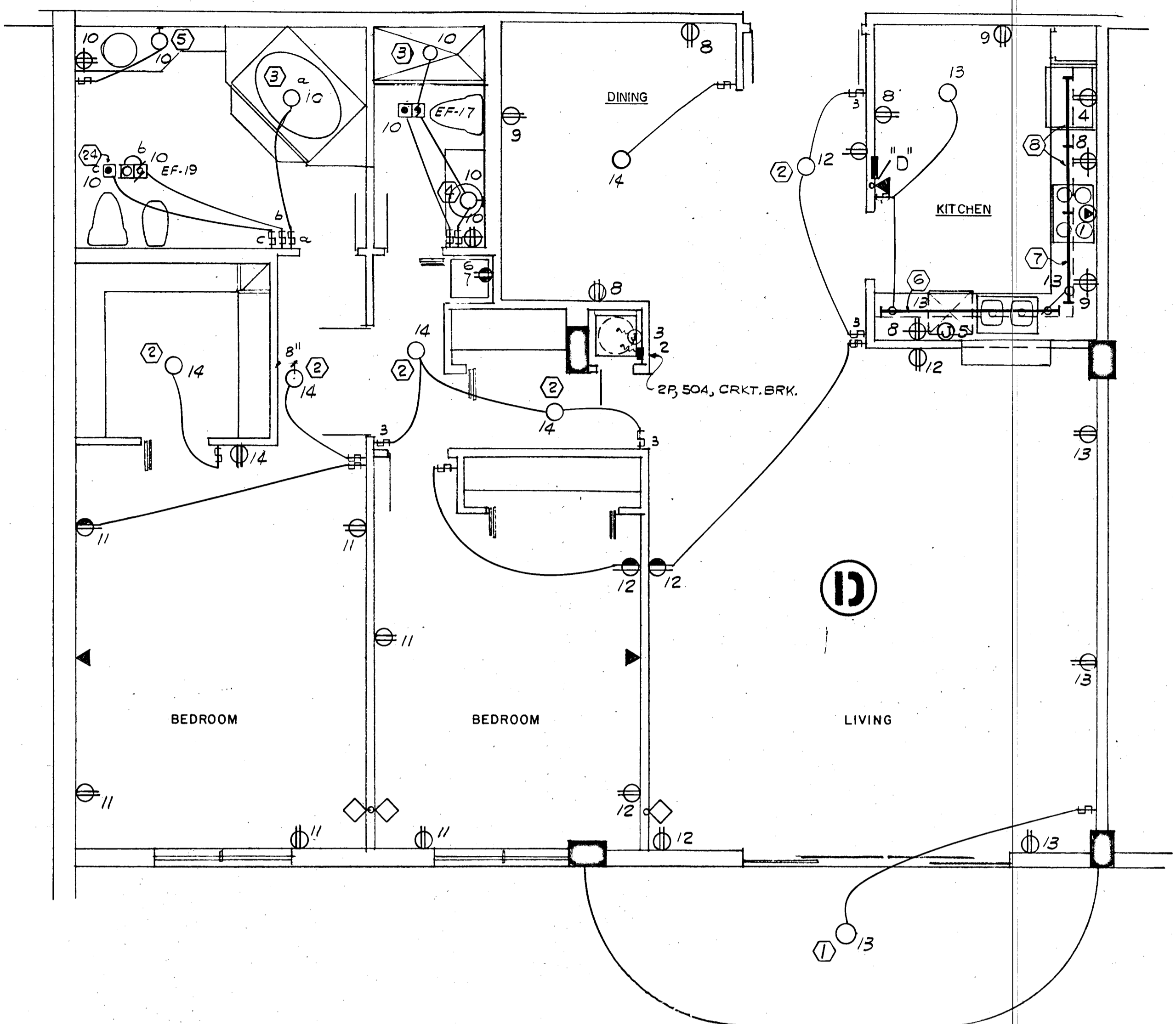
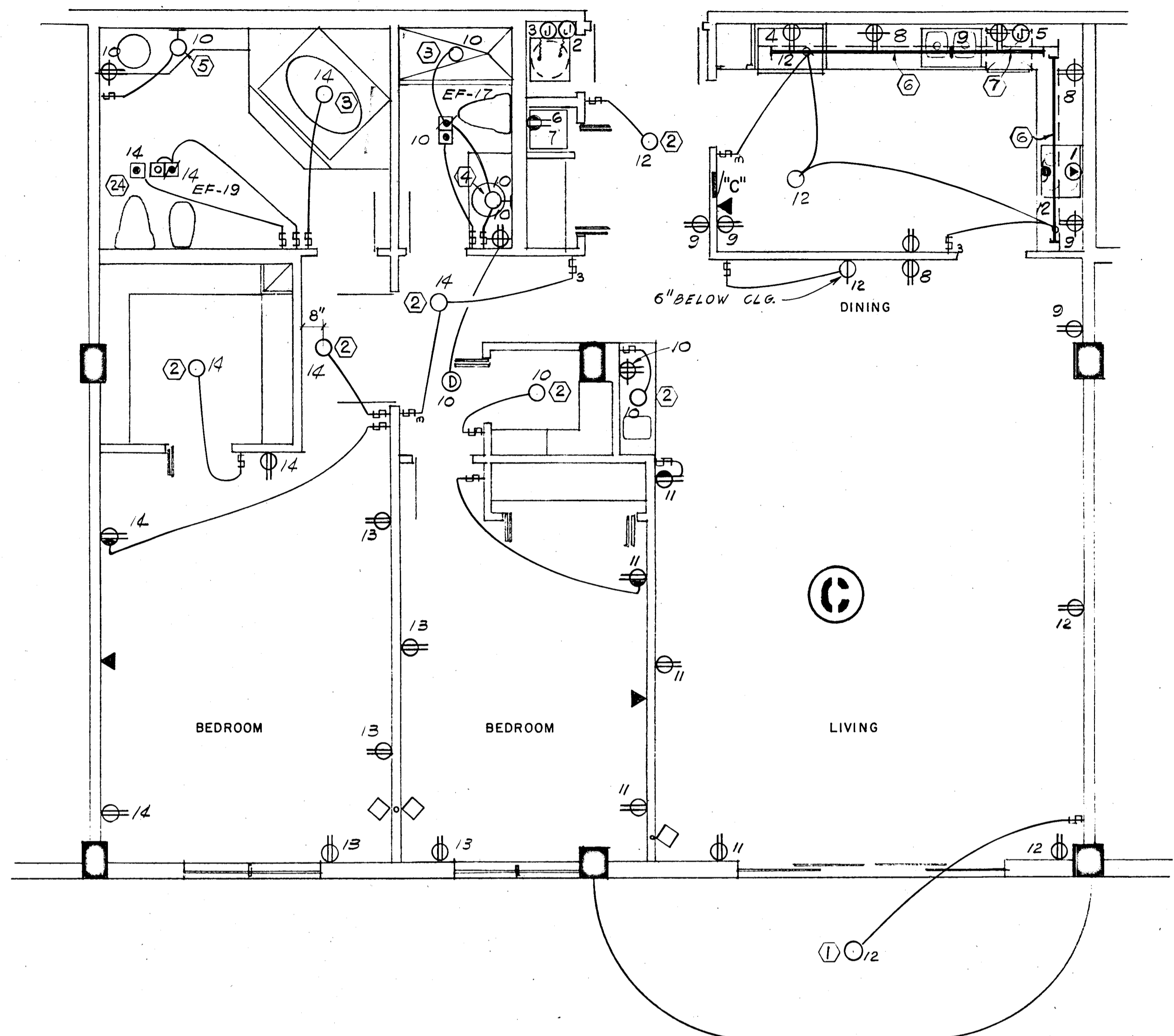
CORRIDOR
 FIRST FLOOR RECREATION, SERVICE & ELEVATOR LOBBY @ 1/4"=1'-0"



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 COMM. NO. DATE: SHEET
 REV. 27 OF 30



1700 SQ. FT x 3 WATTS = 5.1 KW

PANEL "C" & "D" 1Ø, 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	KW	
				LINE	NEUT.
1	2-50	6	RANGE	12.0	8.4
2	2-50	6	AIR COND. (HTR & A.H.U.)	8.2	---
3	2-30	10	WATER HEATER	4.5	---
4	1-20	12	REFRIGERATOR	0.7	0.7
5			DISH WASHER	1.2	1.2
6			DRYER (COMPACT-FUTURE)	1.8	1.8
7			WASHER (COMPACT-FUTURE)	0.9	0.9
8-9			SMALL APPLIANCES	3.0	3.0
10-14	1-15	14	LIGHTS & RECEPTACLES	5.1	5.1

* CIRC NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

FIRST 10.0 KW @ 100% ----- 10.0

NEXT 19.2 KW @ 40% ----- 7.6

AIR COND. (HEATING) ----- 5.5

TOTAL KW ----- 23.1

NEUTRAL

FIRST 3.0 KW @ 100% ----- 3.0

NEXT 9.4 KW @ 35% ----- 3.3

RANGE 12.0 KW @ 70% ----- 8.4

TOTAL KW ----- 14.7

WATTS TO AMPS (LINE) 23,100 - 208V = 111 AMPS

WATTS TO AMPS (NEUT.) 14,700 - 208V = 70 AMPS

FEEDER: 2# 2 & 1# 4 THW CU - 1 1/2"

• 7.5 KW x 65% = 4.8 KW + 0.7 KW A.H.U. = 5.5 KW

LIGHTING FIXTURE SCHEDULE

NO	MANUFACT.	CAT. NO.	LAMPS		VOLTAGE	MOUNTING	REMARKS	NO	MANUFACT.	CAT. NO.	LAMPS		VOLTAGE	MOUNTING	REMARKS
			NO	TYPE							NO	TYPE			
1	PRESCOLITE	9446	1	75WA19	120	SURFACE		17	MARKSTONE	761	1	75WA19		WALL	
2	MARKSTONE	1810	2	60WA19		SURFACE		18	KURT VERSEN	A7140	1	100WA19		RECESSED	
3	PROGRESS	P9610	1	60WA19		RECESSED		19	KURT VERSEN	R720-100208	1	E231 MERC. VAPOR	208	RECESSED	
4	PRESCOLITE	9320-8	8	25G16 1/2 C/W		WALL		20	KURT VERSEN	W4520	1	40WT-101F	120	RECESSED STEP LIGHT	
5	PRESCOLITE	9320-10	10	25G16 1/2 C/W		WALL		21	STONCO	DLL-2	1	150WA21	120	ON 10'-0" STEEL POLE	PROVIDE PRECAST CONCRETE BASE
6	LITHONIA	8TS140HRS	2	F40CW		SURFACE		22	STONCO	OLA18-101MM	1	100W MERC. VAPOR	208	ON 2'-0" 3" OD PIPE	
7		S140HRS	1	F40CW				23	STONCO	VCXL-116C	1	75WA19	120	ELEV. PLT WALL	
8		S130HRS	1	F30CW				24	HUTONE	9410	1	250WR/40	120	RECESSED	
9		S120TS	1	F20T12				25	LEVITTON	PORCELAIN RECEPT.	1	60WA19	120	SURFACE	
10		2G440A12	4	F40CW		RECESSED									
11		F OR G240A12	2	F40CW		RECESSED	VERIFY TYPE OF CEILING BEFORE PURCHASING OF FIXTURES.								
12		SC240A	2	F40CW		SURFACE									
13		ES1R	2	25W		SURFACE									
14		ES2R	2	25W		SURFACE									
15	PRESCOLITE	4085	1	75WA19		WALL									
16	MARKSTONE	751	1	75WA19		SURFACE									

WILLIAM M. FRIEDMAN AND ASSOCIATES ARCHITECTS, INC.
138 S.E. 14TH LANE 3588044

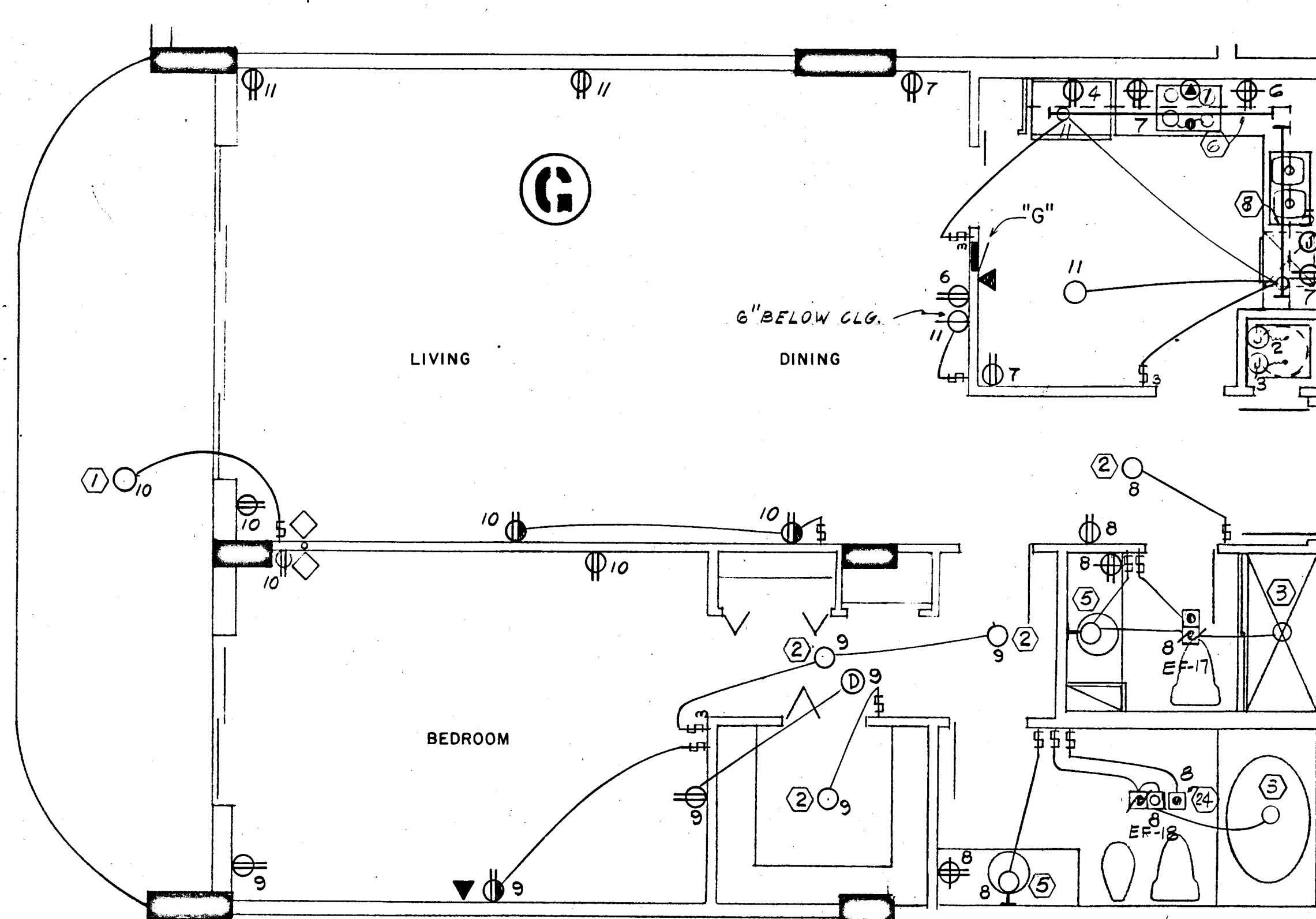
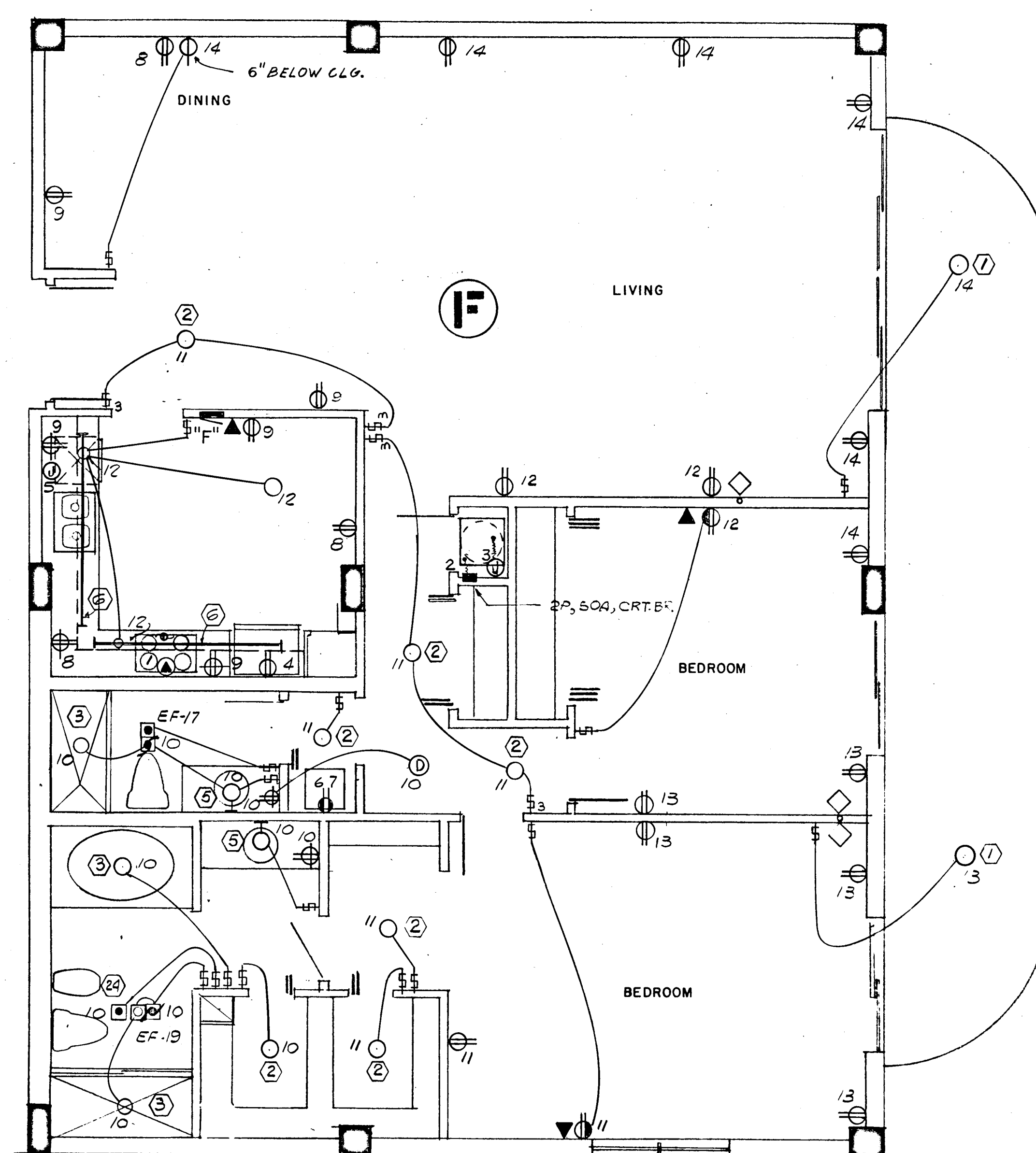
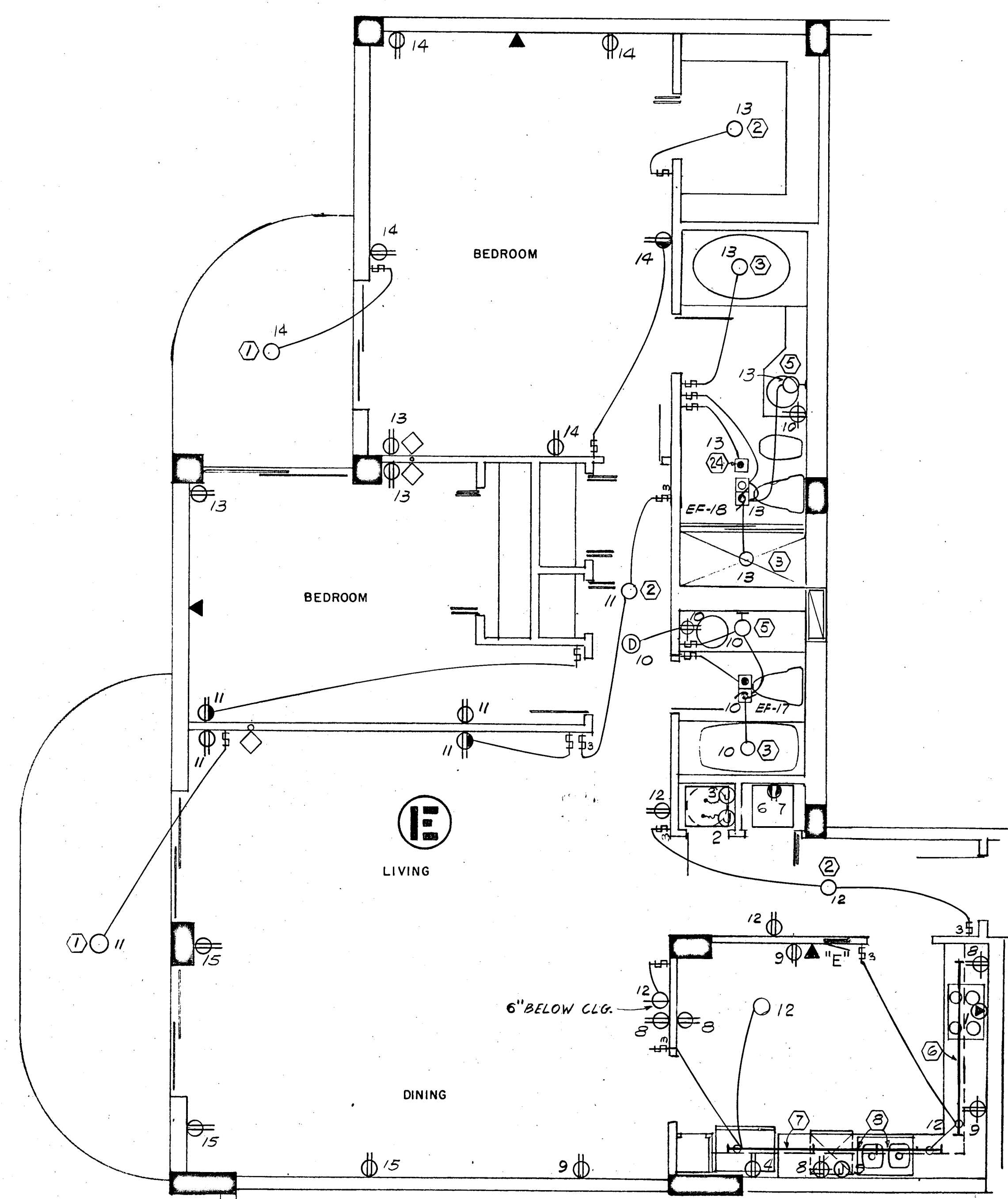
CHAMPLAIN TOWERS SOUTH

A- 135 UNIT CONDOMINIUM

COMM. No. DATE: 8-13-79 SHEET No. 17 of 11 SHEETS

FLORIDA ENGINEERING SERVICES
352 NE 167 STREET
MILWAUKEE, FLA 33152 945-4733

Steven Friedman
8/17/79



1170 SQ. FT x 3 WATTS = 3.5 KW

PANEL "G" 1Ø, 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	KW	
				LINE	NEUT.
1	2-50	6	RANGE	12.0	8.4
2	2-40	8	AIR COND.	5.3	---
3	2-30	10	WATER HEATER	4.5	---
4	1-20	12	REFRIGERATOR	0.7	0.7
5			DISH WASHER	1.2	1.2
6-7			SMALL APPLIANCES	3.0	3.0
*8-11	1-15	14	LIGHTS & RECEPTACLE	3.5	3.5

* CIR. NO. 8 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

FIRST 10.0 KW @ 100% ----- 10.0

NEXT 15.1 KW @ 40% ----- 6.0

AIR COND. (HEATING) ----- 4.3

TOTAL KW ----- 20.3

NEUTRAL

FIRST 3.0 KW @ 100% ----- 3.0

NEXT 5.4 KW @ 35% ----- 1.8

RANGE 12.0 KW @ 70% ----- 8.4

TOTAL KW ----- 13.2

WATTS TO AMPS (LINE) 20,300 ÷ 208V = 97 AMPS

WATTS TO AMPS (NEUT.) 13,200 ÷ 208V = 63 AMPS

FEEDER: 2# 3 & 1# 4 THW CU - 1½"

• 5.6 KW x 65% = 3.6 KW + 0.7 KW A.H.U. = 4.3 KW

1538 SQ. FT x 3 WATTS = 4.6 KW

PANEL "E" 1Ø, 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	KW	
				LINE	NEUT.
1	2-50	6	RANGE	12.0	8.4
2	2-50	6	AIR COND.	8.2	---
3	2-30	10	WATER HEATER	4.5	---
4	1-20	12	REFRIGERATOR	0.7	0.7
5			DISH WASHER	1.2	1.2
6			DRYER (COMPACT-FUTURE)	1.8	1.8
7			WASHER (COMPACT-FUTURE)	0.9	0.9
8-9			SMALL APPLIANCES	3.0	3.0
*10-15	1-15	14	LIGHTS & RECEPTABLES	4.6	4.6

* CIR. NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

FIRST 10.0 KW @ 100% ----- 10.0

NEXT 18.7 KW @ 40% ----- 7.4

AIR COND. (HEATING) ----- 5.5

TOTAL KW ----- 22.9

NEUTRAL

FIRST 3.0 KW @ 100% ----- 3.0

NEXT 9.2 KW @ 35% ----- 3.2

RANGE 12.0 KW @ 70% ----- 8.4

TOTAL KW ----- 14.6

WATTS TO AMPS (LINE) 22,900 ÷ 208V = 110 AMPS

WATTS TO AMPS (NEUT.) 14,600 ÷ 208V = 70 AMPS

FEEDER: 2# 2 & 1# 4 THW CU - 1½"

• 7.5 KW x 65% = 4.8 KW + 0.7 KW A.H.U. = 5.5 KW

1645 SQ. FT x 3 WATTS = 4.9 KW

PANEL "F" 1Ø, 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	KW	
				LINE	NEUT.
1	2-50	6	RANGE	12.0	8.4
2	2-50	6	AIR COND.	8.2	---
3	2-30	10	WATER HEATER	4.5	---
4	1-20	12	REFRIGERATOR	0.7	0.7
5			DISH WASHER	1.2	1.2
6			DRYER (COMPACT-FUTURE)	1.0	1.8
7			WASHER (COMPACT-FUTURE)	0.9	0.9
8-9			SMALL APPLIANCES	3.0	3.0
*10-14	1-15	14	LIGHTS & RECEPTABLES	4.9	4.9

* CIR. NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

FIRST 10.0 KW @ 100% ----- 10.0

NEXT 19.0 KW @ 40% ----- 7.6

AIR COND. (HEATING) ----- 5.5

TOTAL KW ----- 23.1

NEUTRAL

FIRST 3.0 KW @ 100% ----- 3.0

NEXT 9.5 KW @ 35% ----- 3.3

RANGE 12.0 KW @ 70% ----- 8.4

TOTAL KW ----- 14.7

WATTS TO AMPS (LINE) 23,100 - 208V = 111 AMPS

WATTS TO AMPS (NEUT.) 14,700 - 208V = 70 AMPS

FEEDER: 2# 2 & 1# 4 THW CU - 1½"

• 7.5 KW x 65% = 4.8 KW + 0.7 KW A.H.U. = 5.5 KW

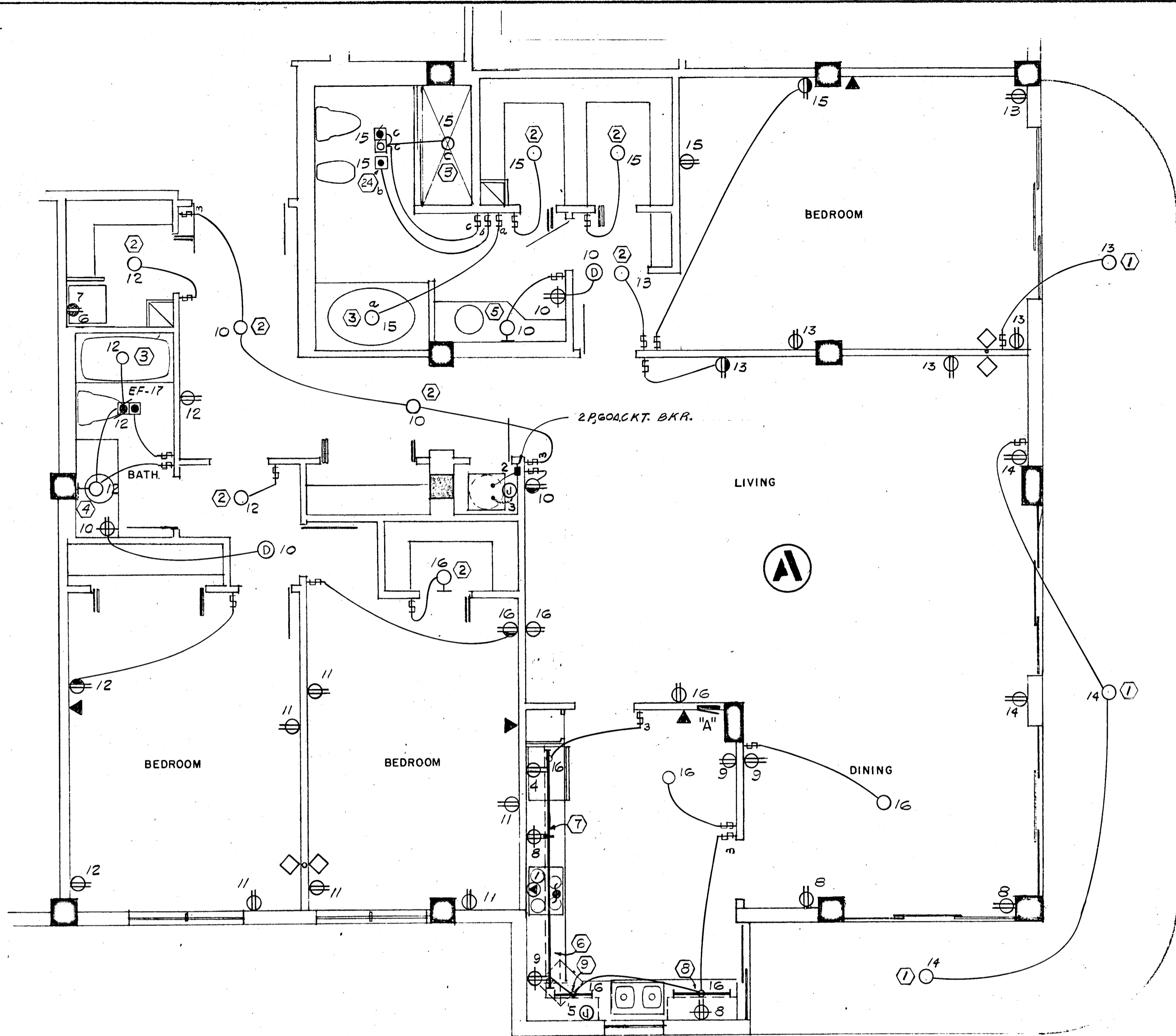
WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
158 S.E. 14TH LANE
3388044

CHAMPLAIN TOWERS SOUTH
A 135 UNIT CONDOMINIUM

FLORIDA ENGINEERING SERVICES
352 NE 167 STREET
MIAMI BEACH, FL 33162
945-4743

COMM. No. DATE: 8-13-79 SHEET No. 11 OF 11
REV. SHEETS

Salvo



2085 SQ. FT x 3 WATTS = 6.2 KW

18 3W 120/208V 125A, M.L.O.
FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	LINE	NEUT.	KW
1	2-50	6	RANGE	12.0	8.4	
2	2-60	6	AIR COND. (HTR & A.H.U.)	10.9	---	
3	2-30	10	WATER HEATER	4.5	---	
4	1-20	12	REFRIGERATOR	0.7	0.7	
5			DISH WASHER	1.2	1.2	
6			DRYER (COMPACT-FUTURE)	1.8	1.8	
7			WASHER (COMPACT-FUTURE)	0.9	0.9	
8-9			SMALL APPLIANCES	3.0	3.0	
10-16	1-15	14	LIGHTS & RECEPTACLES	6.2	6.2	

* CIRC NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

FIRST 10.0 KW @ 100%	10.0
NEXT 20.3 KW @ 40%	8.1
AIR COND. (HEATING)	7.4
TOTAL KW	25.5

NEUTRAL

FIRST 3.0 KW @ 100%	3.0
NEXT 11.0 KW @ 35%	3.8
RANGE 12.0 KW @ 70%	8.4
TOTAL KW	15.2

WATTS TO AMPS (LINE) 25,500 ÷ 208V = 122 AMPS
WATTS TO AMPS (NEUT.) 15,200 ÷ 208V = 73 AMPS
FEEDER: 2# 1 & 1# 4 THW CU - 1 1/2"

• 10 KW x 65% = 6.5 KW + 0.9 KW A.H.U. = 7.4 KW

2ND THRU 11TH FLOOR

1795 SQ. FT x 3 WATTS = 5.3 KW

18 3W 120/208V 125A, M.L.O.
FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	LINE	NEUT.	KW
1	2-50	6	RANGE	12.0	8.4	
2	2-50	6	AIR COND. (HTR & A.H.U.)	8.2	---	
3	2-30	10	WATER HEATER	4.5	---	
4	1-20	12	REFRIGERATOR	0.7	0.7	
5			DISH WASHER	1.2	1.2	
6			DRYER (COMPACT-FUTURE)	1.8	1.8	
7			WASHER (COMPACT-FUTURE)	0.9	0.9	
8-9			SMALL APPLIANCES	3.0	3.0	
10-15	1-15	14	LIGHTS & RECEPTACLES	5.3	5.3	

* CIRC NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

FIRST 10.0 KW @ 100%	10.0
NEXT 19.4 KW @ 40%	7.7
AIR COND. (HEATING)	5.5
TOTAL KW	23.2

NEUTRAL

FIRST 3.0 KW @ 100%	3.0
NEXT 9.9 KW @ 35%	3.4
RANGE 12.0 KW @ 70%	8.4
TOTAL KW	14.8

WATTS TO AMPS (LINE) 23,200 ÷ 208V = 111 AMPS
WATTS TO AMPS (NEUT.) 14,800 ÷ 208V = 71 AMPS
FEEDER: 2# 1 & 1# 4 THW CU - 1 1/2"

• 7.5 KW x 65% = 4.8 KW + 0.7 KW A.H.U. = 5.5 KW

LOBBY & 12TH FLOOR

1795 SQ. FT x 3 WATTS = 5.3 KW

18 3W 120/208V 125A, M.L.O.
FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	LINE	NEUT.	KW
1	2-50	6	RANGE	12.0	8.4	
2	2-60	6	AIR COND.	10.9	---	
3	2-30	10	WATER HEATER	4.5	---	
4	1-20	12	REFRIGERATOR	0.7	0.7	
5			DISH WASHER	1.2	1.2	
6			DRYER (COMPACT-FUTURE)	1.8	1.8	
7			WASHER (COMPACT-FUTURE)	0.9	0.9	
8-9			SMALL APPLIANCES	3.0	3.0	
10-15	1-15	14	LIGHTS & RECEPTACLES	6.2	6.2	

* CIRC NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

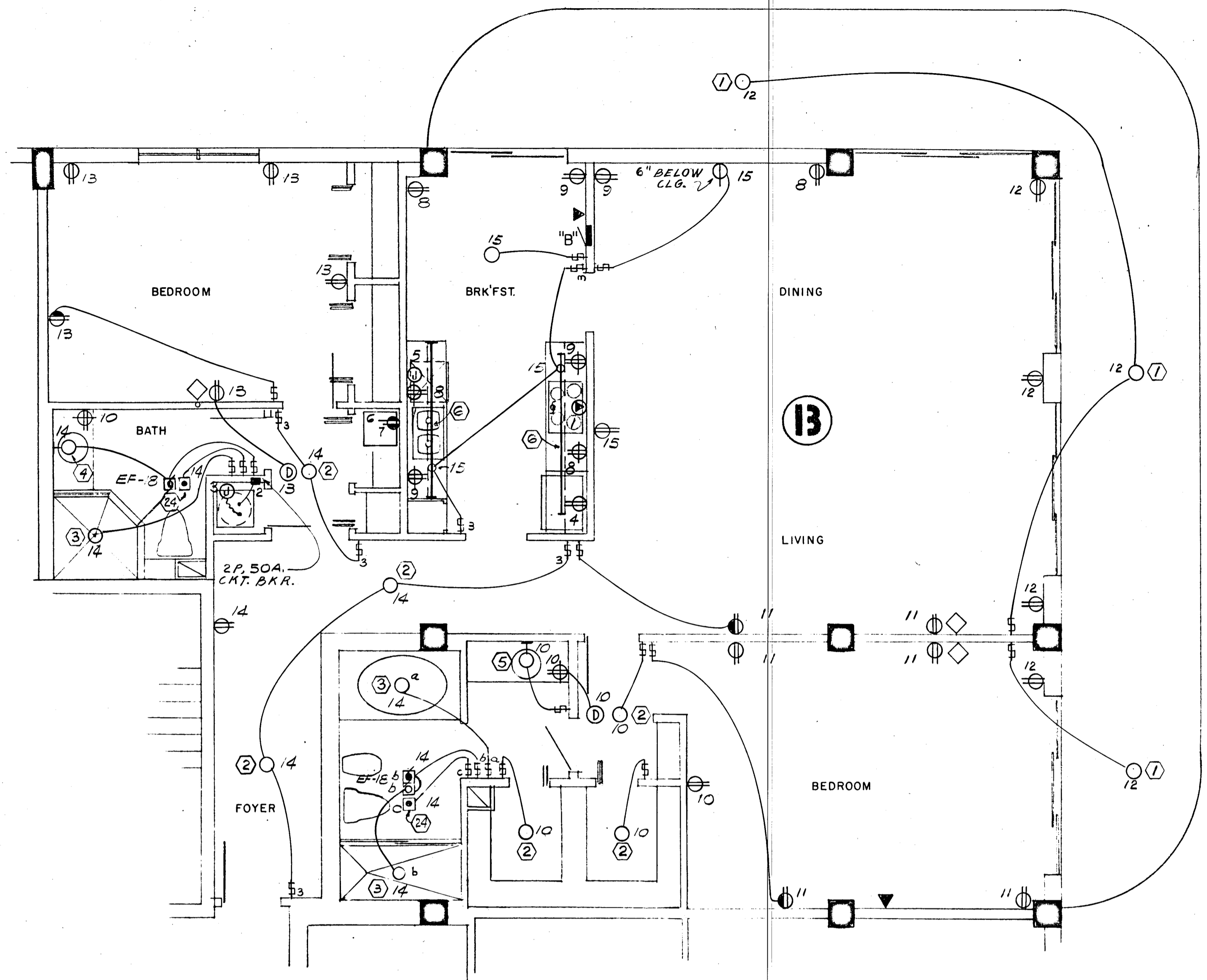
FIRST 10.0 KW @ 100%	10.0
NEXT 19.4 KW @ 40%	7.7
AIR COND. (HEATING)	7.4
TOTAL KW	25.1

NEUTRAL

FIRST 3.0 KW @ 100%	3.0
NEXT 9.9 KW @ 35%	3.4
RANGE 12.0 KW @ 70%	8.4
TOTAL KW	14.8

WATTS TO AMPS (LINE) 25,100 ÷ 208V = 120 AMPS
WATTS TO AMPS (NEUT.) 14,800 ÷ 208V = 71 AMPS
FEEDER: 2# 1 & 1# 4 THW CU - 1 1/2"

• 10 KW x 65% = 6.5 KW + 0.9 KW A.H.U. = 7.4 KW



WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14TH LANE
3558044

CHAMPLAIN TOWERS SOUTH

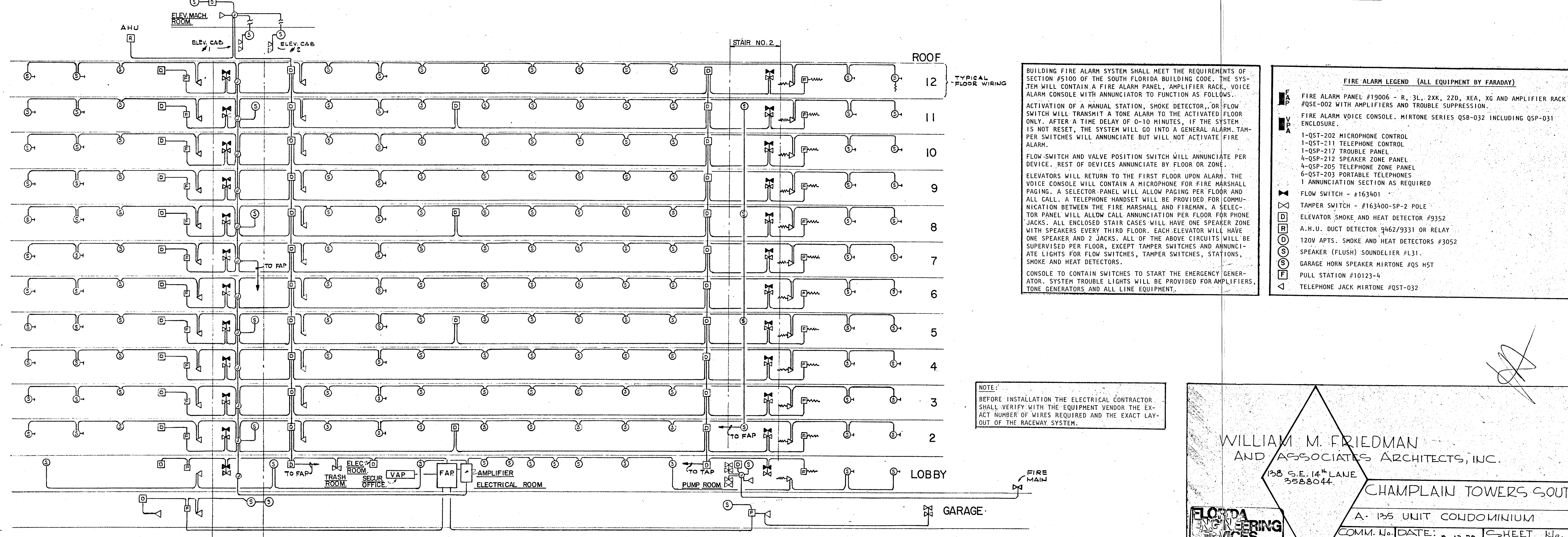
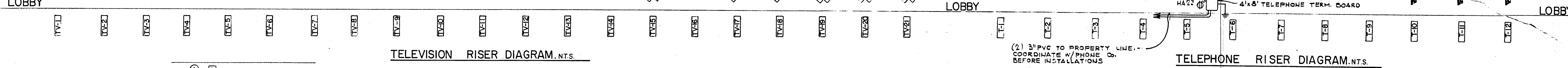
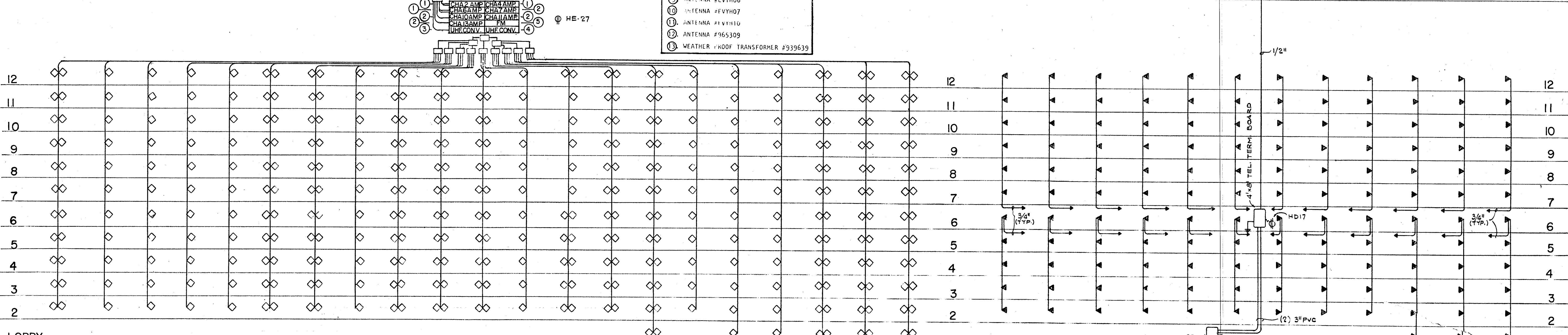
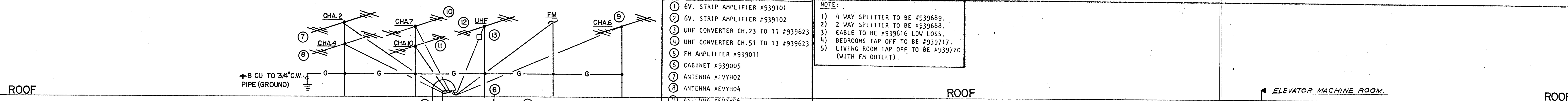
A-135 UNIT CONDOMINIUM

COMM. No. DATE: 8-13-79 SHEET No. 15 of 11

REV. SHEETS

FLORIDA ENGINEERING SERVICES
352 NE 167 STREET
MIAMI BCH, FLA 33132
945-4743

Selena Miller
8/13/79



BUILDING FIRE ALARM SYSTEM SHALL MEET THE REQUIREMENTS OF SECTION #5100 OF THE SOUTH FLORIDA BUILDING CODE. THE SYSTEM WILL CONTAIN A FIRE ALARM PANEL, AMPLIFIER RACK, VOICE ALARM CONSOLE WITH ANNUNCIATOR TO FUNCTION AS FOLLOWS.

ACTIVATION OF A MANUAL STATION, SMOKE DETECTOR, OR FLOW SWITCH WILL TRANSMIT A TONE ALARM TO THE ACTIVATED FLOOR ONLY. AFTER A TIME DELAY OF 0-10 MINUTES, IF THE SYSTEM IS NOT RESET, THE SYSTEM WILL GO INTO A GENERAL ALARM. TAMPER SWITCHES WILL ANNUNCIATE BUT WILL NOT ACTIVATE FIRE ALARM.

FLOW SWITCH AND VALVE POSITION SWITCH WILL ANNUNCIATE PER DEVICE. REST OF DEVICES ANNUNCIATE BY FLOOR OR ZONE.

ELEVATORS WILL RETURN TO THE FIRST FLOOR UPON ALARM. THE VOICE CONSOLE WILL CONTAIN A MICROPHONE FOR FIRE MARSHALL PAGING. A SELECTOR PANEL WILL ALLOW PAGING PER FLOOR AND ALL CALL. A TELEPHONE HANDSET WILL BE PROVIDED FOR COMMUNICATION BETWEEN THE FIRE MARSHALL AND FIREMAN. A SELECTOR PANEL WILL ALLOW CALL ANNUNCIATION PER FLOOR FOR PHONE JACKS. ALL ENCLOSED STAIR CASES WILL HAVE ONE SPEAKER ZONE WITH SPEAKERS EVERY THIRD FLOOR. EACH ELEVATOR WILL HAVE ONE SPEAKER AND 2 JACKS. ALL OF THE ABOVE CIRCUITS WILL BE SUPERVISED PER FLOOR, EXCEPT TAMPER SWITCHES AND ANNUNCIATE LIGHTS FOR FLOW SWITCHES, TAMPER SWITCHES, STATIONS, SMOKE AND HEAT DETECTORS.

CONSOLE TO CONTAIN SWITCHES TO START THE EMERGENCY GENERATOR. SYSTEM TROUBLE LIGHTS WILL BE PROVIDED FOR AMPLIFIERS, TONE GENERATORS AND ALL LINE EQUIPMENT.

FIRE ALARM LEGEND (ALL EQUIPMENT BY FARADAY)

FAP	FIRE ALARM PANEL #19006 - R, 3L, 2XK, 22D, XEA, XG AND AMPLIFIER RACK #05E-002 WITH AMPLIFIERS AND TROUBLE SUPPRESSION.
VAP	FIRE ALARM VOICE CONSOLE. MIRTONE SERIES QSB-032 INCLUDING QSP-031 ENCLOSURE.
1-QST-202	MICROPHONE CONTROL
1-QST-211	TELEPHONE CONTROL
1-QSP-217	TROUBLE PANEL
4-QSP-212	SPEAKER ZONE PANEL
4-QSP-205	TELEPHONE ZONE PANEL
6-QST-203	PORTABLE TELEPHONES
1	ANNUNCIATION SECTION AS REQUIRED
FS	FLOW SWITCH - #163401
TS	TAMPER SWITCH - #163400-SP-2 POLE
ED	ELEVATOR SMOKE AND HEAT DETECTOR #9352
A.H.U.	DUCT DETECTOR #462/9331 OR RELAY
120V	APTS. SMOKE AND HEAT DETECTORS #3052
S	SPEAKER (FLUSH) SOUNDELIER #L31.
G	GARAGE HORN SPEAKER MIRTONE #QS H5T
P	PULL STATION #10123-4
TJ	TELEPHONE JACK MIRTONE #QST-032

NOTE:
BEFORE INSTALLATION THE ELECTRICAL CONTRACTOR SHALL VERIFY WITH THE EQUIPMENT VENDOR THE EXACT NUMBER OF WIRES REQUIRED AND THE EXACT LAYOUT OF THE RACEWAY SYSTEM.

WILLIAM M. FRIEDMAN AND ASSOCIATES ARCHITECTS, INC.
138 S.E. 14TH LANE
3588044

FLORIDA ENGINEERING SERVICES
352 N.E. 167 STREET
MIRAMONTE BCH, FLA.
33132 945-4743

CHAMPLAIN TOWERS SOUTH
A-125 UNIT CONDOMINIUM
COMM. NO. DATE: 8-13-79 SHEET No. 11 OF 11

Signature: *William M. Friedman*
Date: 8/19/78

DEMAND CALCULATIONS. METER CENTER TYPE I. 15 APTS (2A+2B+3C+1D+1E+1F+2G+2H+1I) (2ND FL.). RANGES, AIR CONDITIONING, WATER HEATERS, etc.

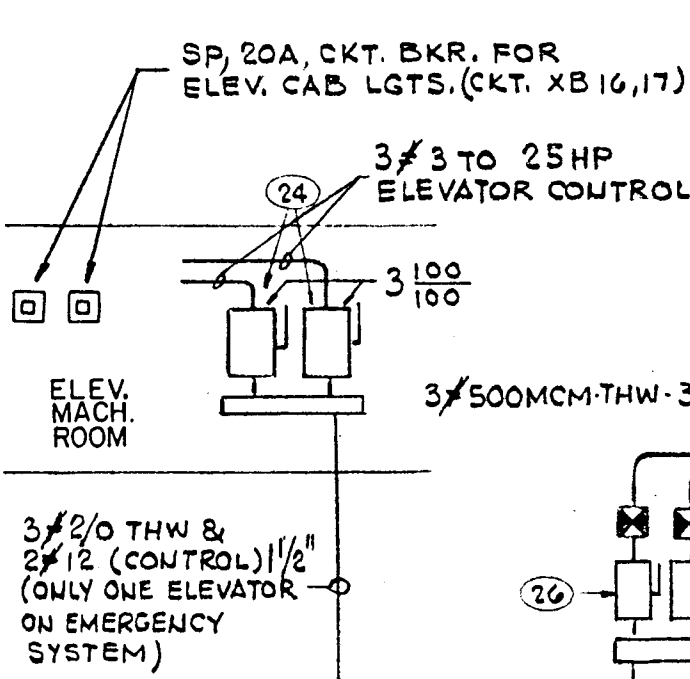
METER CENTER TYPE II. 24 APTS (2A+2B+4C+2D+2E+2F+4G+4H+2I) (3RD, 5TH, 7TH, 9TH, 11TH FL.). RANGES, AIR CONDITIONING, WATER HEATERS, etc.

SERVICE ENTRANCE CALCULATIONS. (1) METER CENTER I, (5) METER CENTER II. 2714 x 23 x 1000 = 1733 AMPS (NEUT.)

PANELBOARD "HDP". 30, 4W, 120/208V, 1200A, M.L.O. SURF. MTD. 50D. TYPE QMB. Table with columns for CKT, SWITCH, POLE RATING, FUSE, SERVING, LI, L2, L3, NEUT, AMPS.

PANEL "XA". 30, 4W, 120/208V, 100A, M.L.O. SURF. MTD. 50D. NO. 24 CKTS. Table with columns for CKT. NO., POLE BKR., WIRE, SERVING, WATTS.

ELECTRICAL EQUIPMENT SCHEDULE. #1 800A, 30, 4W, 120/208V, CIRCUIT BREAKER SQD EZM32800N. #2 600A, 30, 4W, 120/208V, CIRCUIT BREAKER SQD EZM32600N. #3 METER CENTER SQD EZM410-125 W/125A BRANCH BREAKERS.



PANELBOARD "EDP". 30, 4W, 120/208V, 400A, M.L.O. SURF. MTD. 50D. QMB. Table with columns for CKT, SWITCH, POLE RATING, FUSE, SERVING, L1, L2, L3, NEUT, AMPS.

PANEL "HA". 30, 4W, 120/208V, 225A, M.L.O. SURF. MTD. 50D. NO. TWO SECTIONS OF 24 CKTS EA. Table with columns for CKT. NO., POLE BKR., WIRE, SERVING, WATTS.

PANEL "HB". 30, 4W, 120/208V, 225A, M.L.O. SURF. MTD. 50D. NO. 42 CKTS. Table with columns for CKT. NO., POLE BKR., WIRE, SERVING, WATTS.

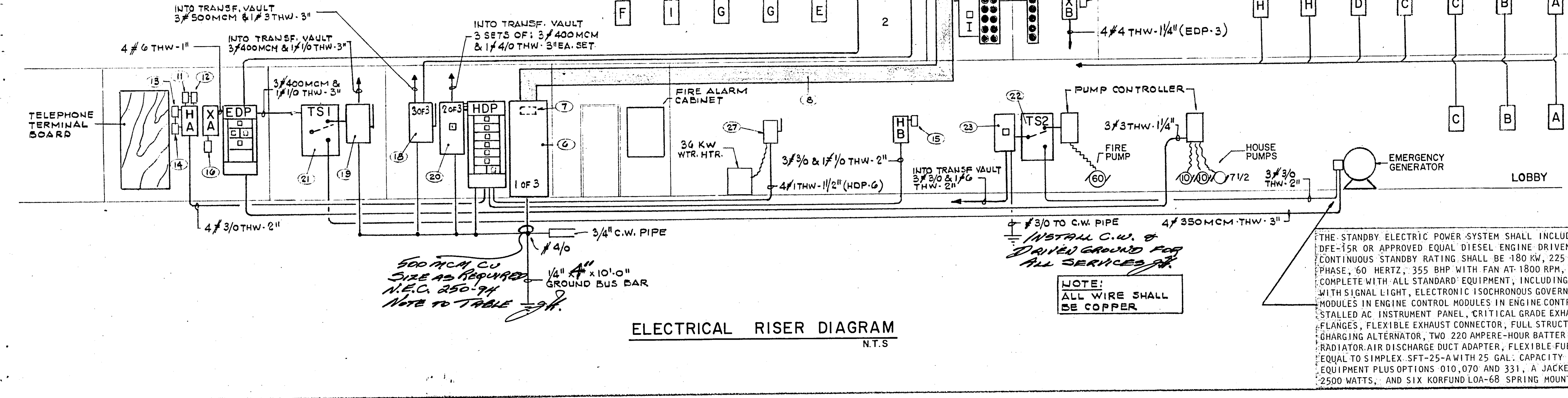
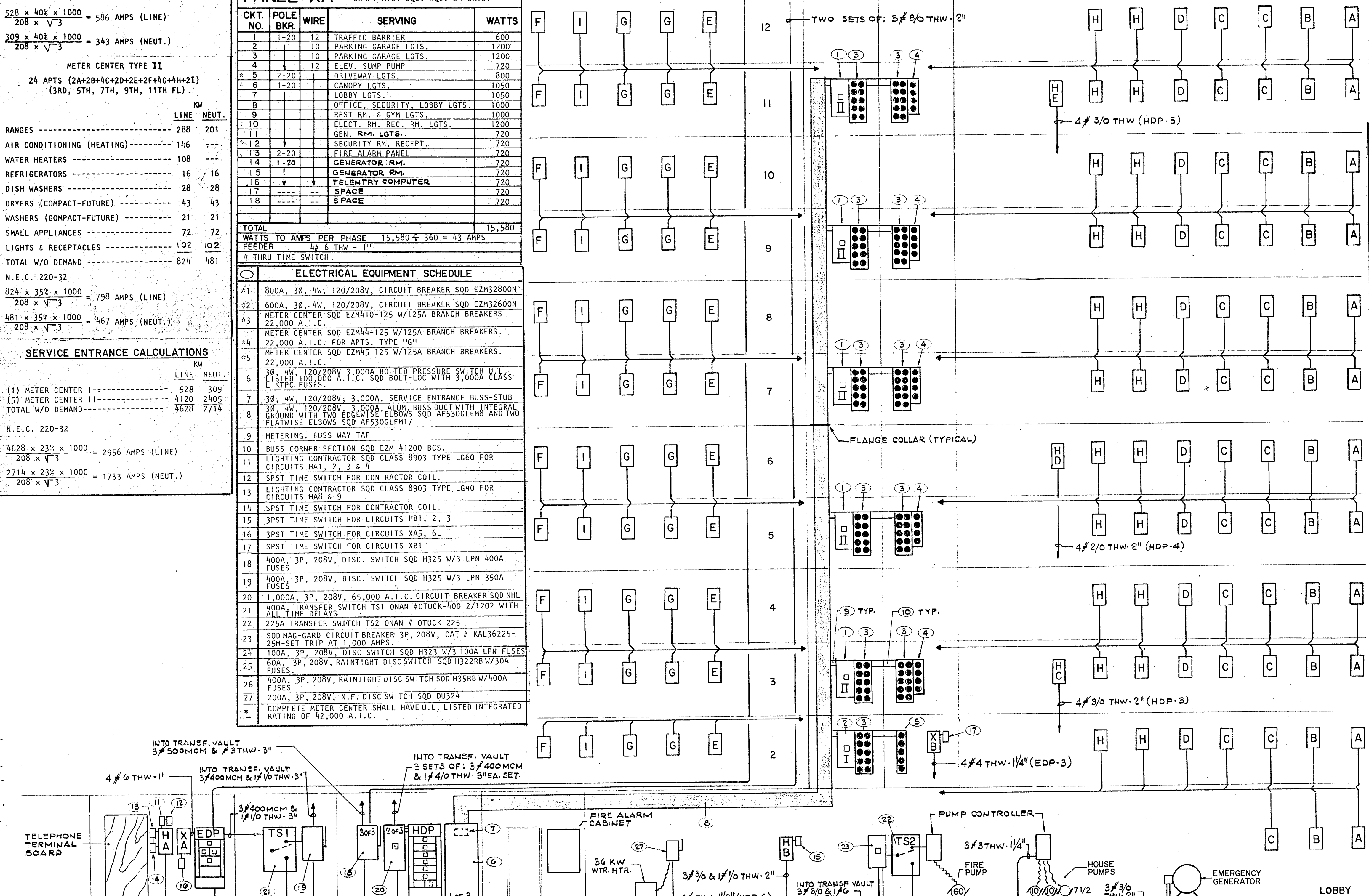
PANEL "HE". 30, 4W, 120/208V, 225A, M.L.O. SURF. MTD. 50D. NO. 42 CKTS. Table with columns for CKT. NO., POLE BKR., WIRE, SERVING, WATTS.

PANEL "HC". 30, 4W, 120/208V, 225A, M.L.O. SURF. MTD. 50D. NO. 42 CKTS. Table with columns for CKT. NO., POLE BKR., WIRE, SERVING, WATTS.

PANEL "XB". 30, 4W, 120/208V, 100A, M.L.O. SURF. MTD. 50D. NO. 24 CKTS. Table with columns for CKT. NO., POLE BKR., WIRE, SERVING, WATTS.

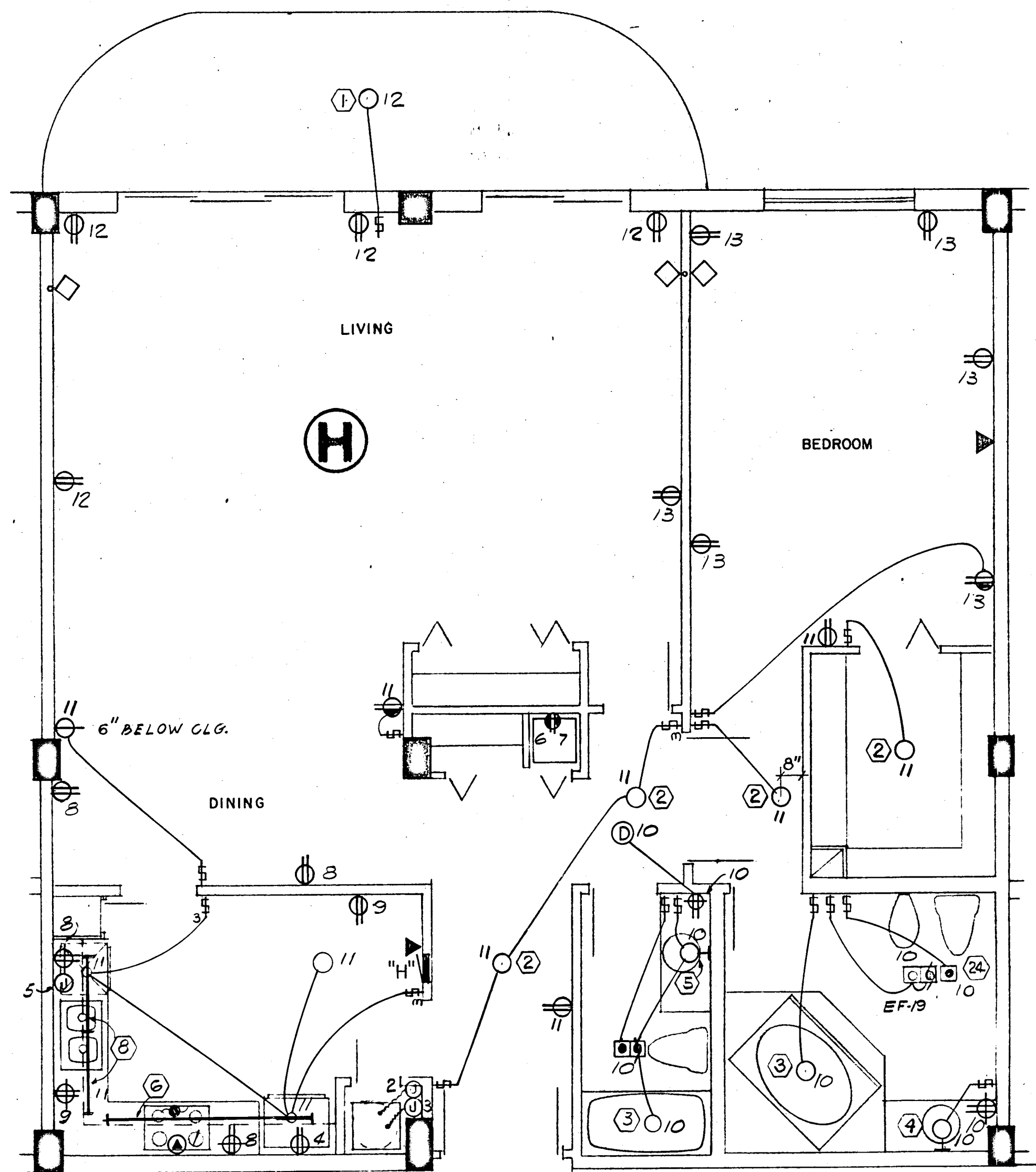
PANEL "HD". 30, 4W, 120/208V, 225A, M.L.O. SURF. MTD. 50D. NO. 30 CKTS. Table with columns for CKT. NO., POLE BKR., WIRE, SERVING, WATTS.

PANEL "HB" (continued). Table with columns for CKT. NO., POLE BKR., WIRE, SERVING, WATTS.



THE STANDBY ELECTRIC POWER SYSTEM SHALL INCLUDE AN ONAN MODEL 180.0 DFE-15R OR APPROVED EQUAL DIESEL ENGINE DRIVEN GENERATOR SET. ITS CONTINUOUS STANDBY RATING SHALL BE 180 KW, 225 KVA, 120/208 VOLTS, 3 PHASE, 60 HERTZ, 355 BHP WITH FAN AT 1800 RPM, RADIATOR/WATER COOLED. COMPLETE WITH ALL STANDARD EQUIPMENT, INCLUDING FOUR ENGINE SHUTDOWNS WITH SIGNAL LIGHT, ELECTRONIC ISOCRONOUS GOVERNOR, SOLID STATE ENGINE MODULES IN ENGINE CONTROL MODULES IN ENGINE CONTROL PANEL, FACTORY INSTALLED AC INSTRUMENT PANEL, CRITICAL GRADE EXHAUST SILENCER WITH FLANGES, FLEXIBLE EXHAUST CONNECTOR, FULL STRUCTURAL STEEL BASE, BATTERY CHARGING ALTERNATOR, TWO 220 AMPERE-HOUR BATTERIES WITH TRAYS AND CABLES, RADIATOR AIR DISCHARGE DUCT ADAPTER, FLEXIBLE FUEL LINES, FUEL DAY TANK, EQUAL TO SIMPLEX SFT-25-AW17 WITH 25 GAL. CAPACITY INCLUDING ALL STANDARD EQUIPMENT PLUS OPTIONS 010, 070 AND 331, A JACKET WATER HEATER 6000 WATTS, AND SIX KORFUND LOA-68 SPRING MOUNTS.

WILLIAM M. FRIEDMAN AND ASSOCIATES ARCHITECTS, INC. 138 S.E. 14th LANE 3588044 CHAMPLAIN TOWERS SOUTH A-135 UNIT CONDOMINIUM COMM. NO. DATE: 8-13-79 SHEET 11 OF 11



1369 SQ. FT x 3 WATTS = 4.1 KW

PANEL "H" 1Ø, 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	KW	
				LINE	NEUT.
1	2-50	6	RANGE	12.0	8.4
2	2-40	8	AIR COND.	6.3	---
3	2-30	10	WATER HEATER	4.5	---
4	1-20	12	REFRIGERATOR	0.7	0.7
5			DISH WASHER	1.2	1.2
6			DRYER (COMPACT-FUTURE)	1.8	1.8
7			WASHER (COMPACT-FUTURE)	0.9	0.9
8-9			SMALL APPLIANCES	3.0	3.0
10-13	1-15	14	LIGHTS & RECEPTACLES	4.1	4.1

* CIR. NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

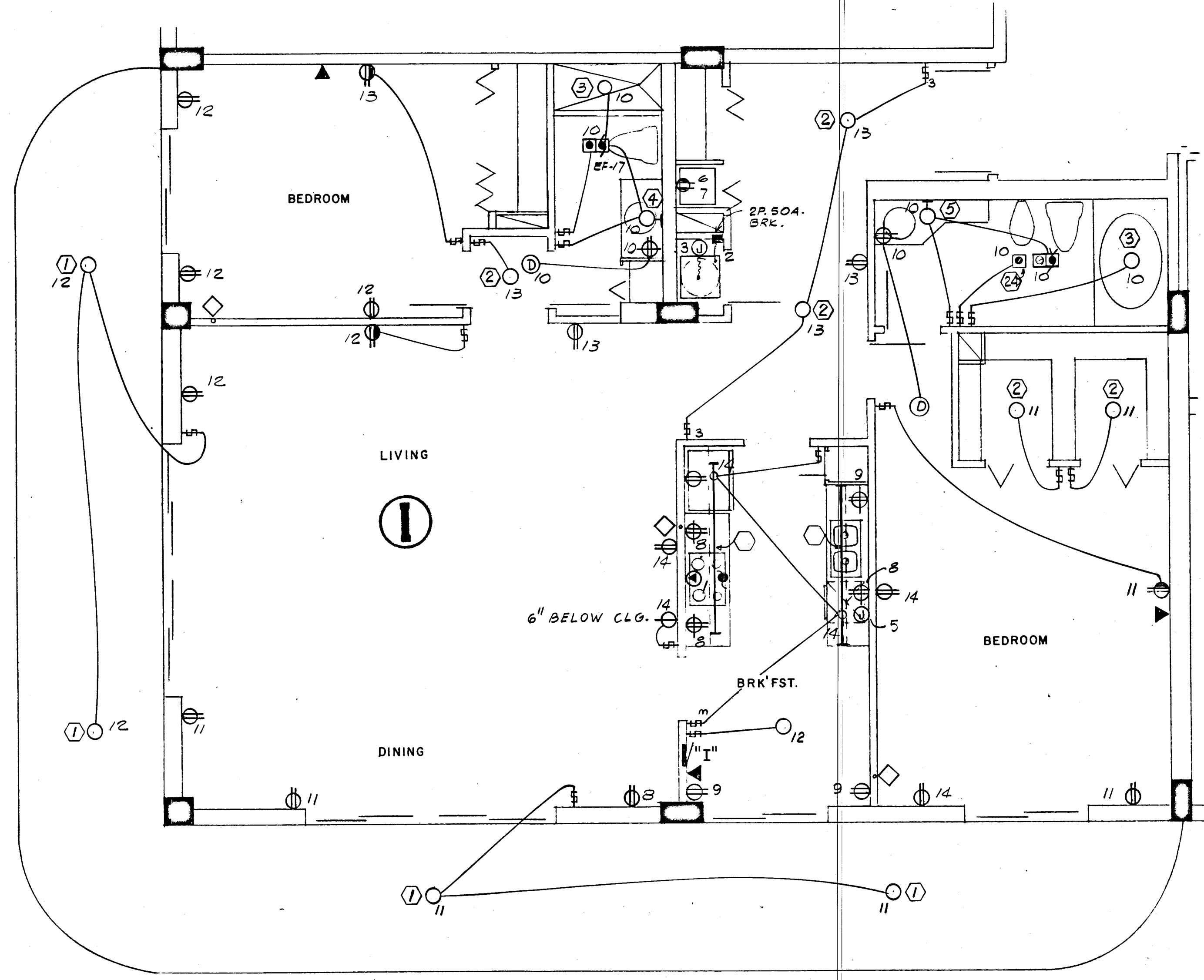
FIRST 10.0 KW @ 100% ----- 10.0
NEXT 18.2 KW @ 40% ----- 7.2
AIR COND. (HEATING) ----- 4.3
TOTAL KW ----- 21.5

NEUTRAL

FIRST 3.0 KW @ 100% ----- 3.0
NEXT 8.7 KW @ 35% ----- 3.0
RANGE 12.0 KW @ 70% ----- 8.4
TOTAL KW ----- 14.4

WATTS TO AMPS (LINE) 21,500 ÷ 208V = 103 AMPS
WATTS TO AMPS (NEUT.) 14,400 ÷ 208V = 69 AMPS
FEEDER: 2# 2 & 1# 4 THW CU - 1½"

• 5.6 KW x 65% = 3.6 KW + 0.7 KW A.H.U. = 4.3 KW



1539 SQ. FT x 3 WATTS = 4.7 KW

PANEL "I" 1Ø, 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	KW	
				LINE	NEUT.
1	2-50	6	RANGE	12.0	8.4
2	2-50	6	AIR COND.	8.2	---
3	2-30	10	WATER HEATER	4.5	---
4	1-20	12	REFRIGERATOR	0.7	0.7
5			DISH WASHER	1.2	1.2
6			DRYER (COMPACT-FUTURE)	1.8	1.8
7			WASHER (COMPACT-FUTURE)	0.9	0.9
8-9			SMALL APPLIANCES	3.0	3.0
10-14	1-15	14	LIGHTS & RECEPTACLES	4.7	4.7

* CIR. NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

FIRST 10.0 KW @ 100% ----- 10.0
NEXT 18.8 KW @ 40% ----- 7.5
AIR COND. (HEATING) ----- 5.5
TOTAL KW ----- 23.0

NEUTRAL

FIRST 3.0 KW @ 100% ----- 3.0
NEXT 9.3 KW @ 35% ----- 3.2
RANGE 12.0 KW @ 70% ----- 8.4
TOTAL KW ----- 14.6

WATTS TO AMPS (LINE) 23,000 ÷ 208V = 110 AMPS
WATTS TO AMPS (NEUT.) 14,600 ÷ 208V = 70 AMPS
FEEDER: 2# 2 & 1# 4 THW CU - 1½"

• 7.5 KW x 65% = 4.8 KW + 0.7 KW A.H.U. = 5.5 KW

WILLIAM M. FRIEDMAN AND ASSOCIATES ARCHITECTS, INC.
128 S.E. 14th LANE
3588044

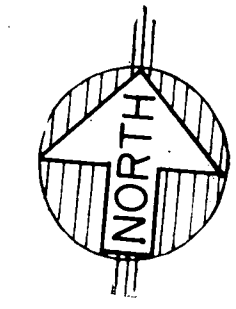
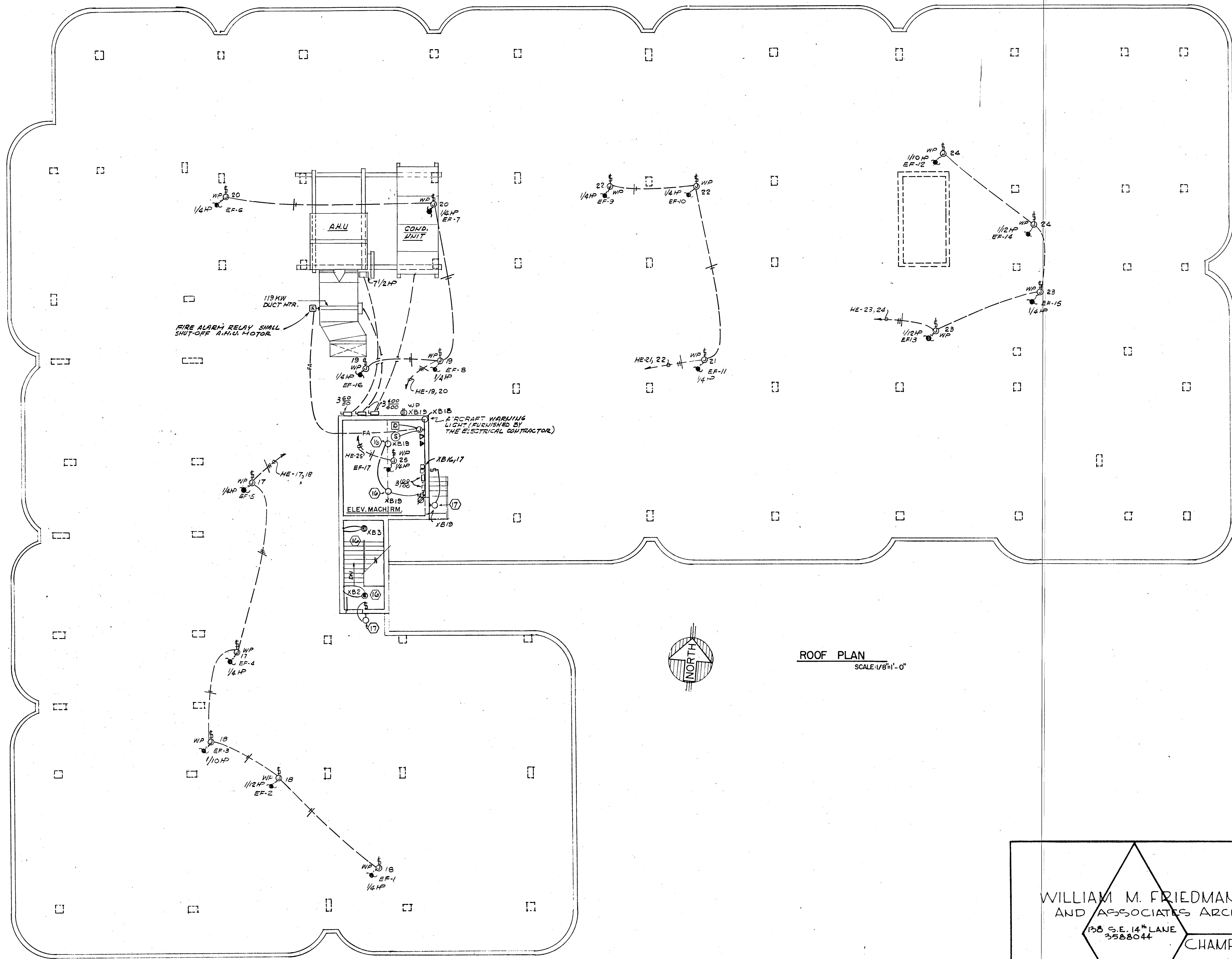
CHAMPLAIN TOWERS SOUTH

A: 125 UNIT CONDOMINIUM

COMM. No. DATE: 8-13-79 SHEET No. 19 of 11 SHEETS

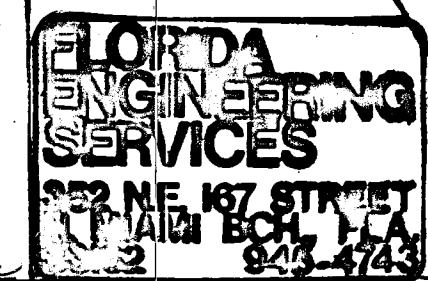
FLORIDA ENGINEERING SERVICES
352 NE 167 STREET
N. MIAMI BCH, FLA. 33162 945-4743

S. Solomon Miller
8/13/79

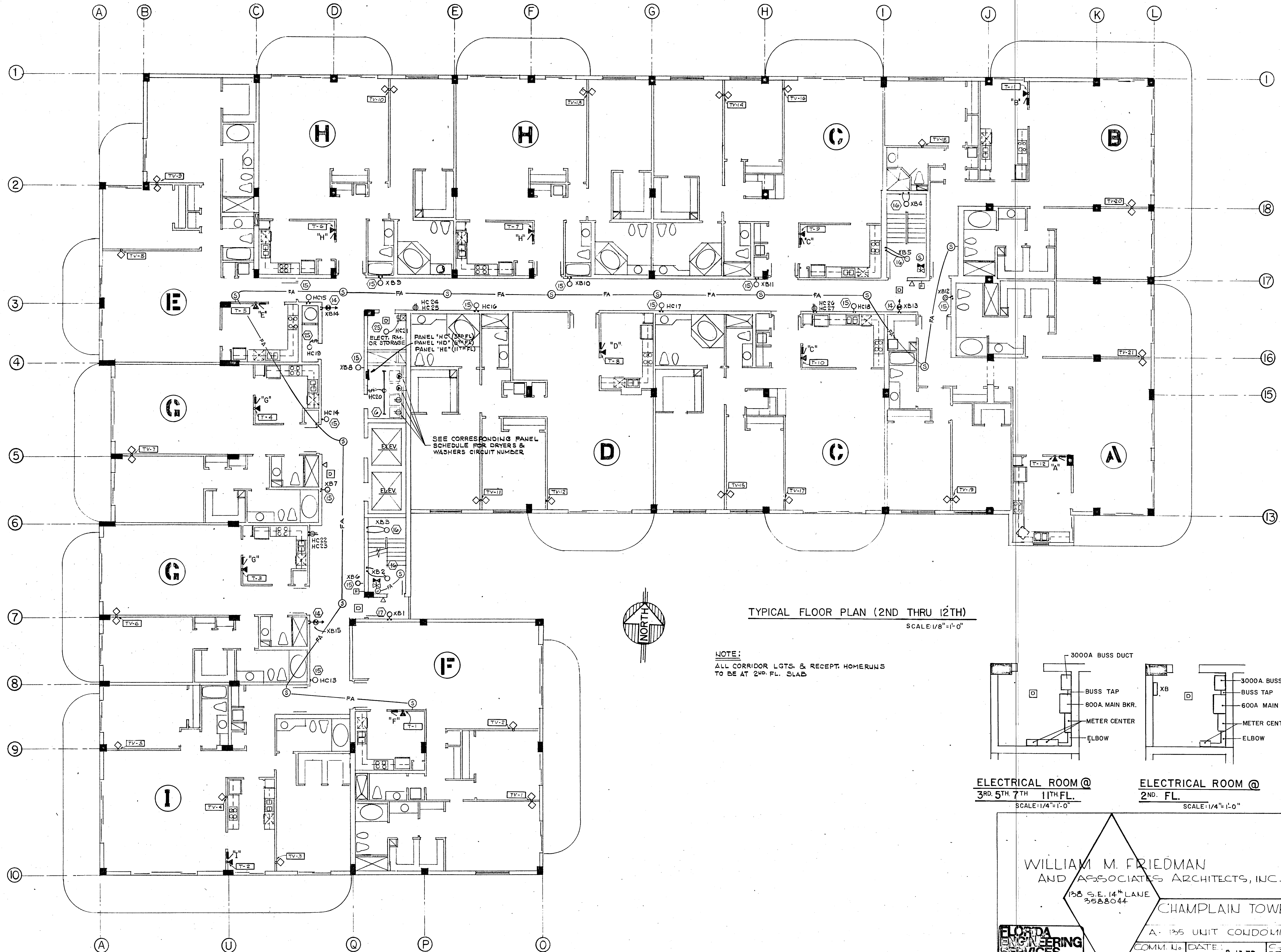


ROOF PLAN
SCALE 1/8"=1'-0"

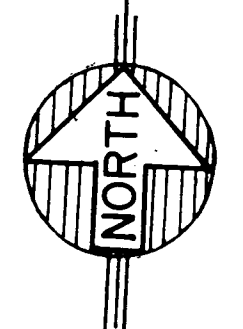
WILLIAM M. FRIEDMAN AND ASSOCIATES ARCHITECTS, INC. 138 S.E. 14 TH LANE 3588044	
CHAMPLAIN TOWERS SOUTH	
A- 135 UNIT CONDOMINIUM	
COMM. No.	DATE: 8-13-79
REV.	SHEET No. 15 OF 19 SHEETS



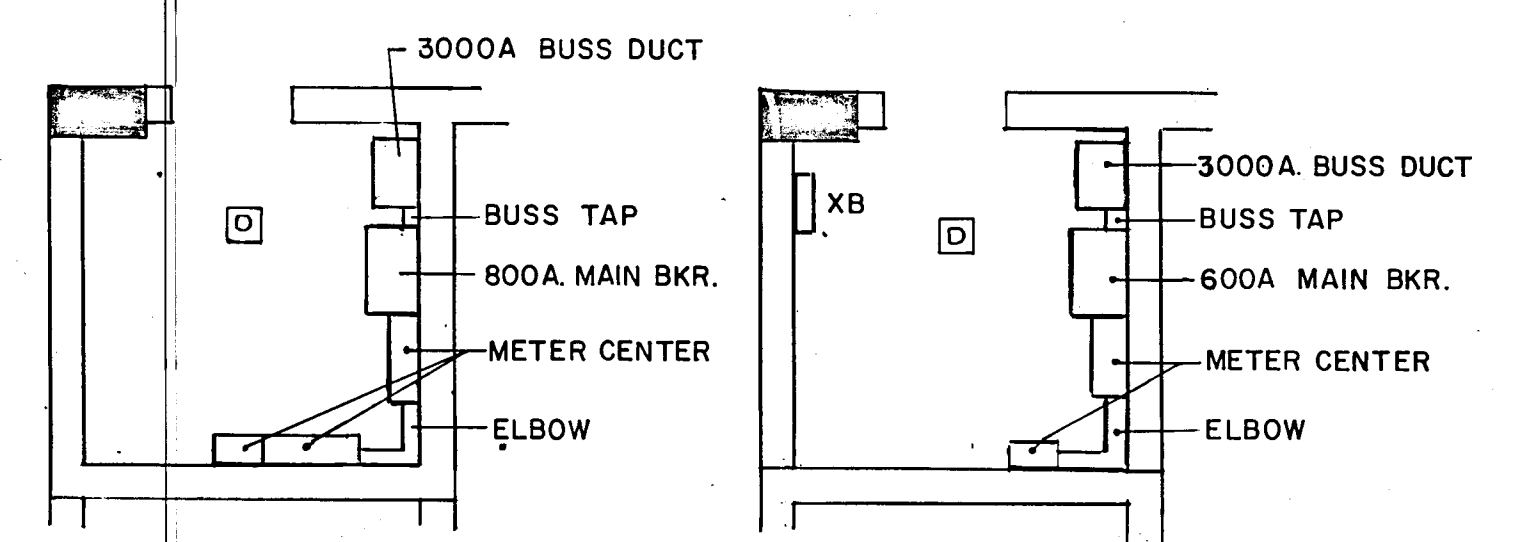
William M. Friedman



TYPICAL FLOOR PLAN (2ND THRU 12TH)
SCALE: 1/8" = 1'-0"



NOTE:
ALL CORRIDOR LGTS. & RECEPT. HOMERUNS
TO BE AT 2ND. FL. SLAB



ELECTRICAL ROOM @
3RD, 5TH, 7TH, 11TH FL.
SCALE: 1/4" = 1'-0"

ELECTRICAL ROOM @
2ND. FL.
SCALE: 1/4" = 1'-0"

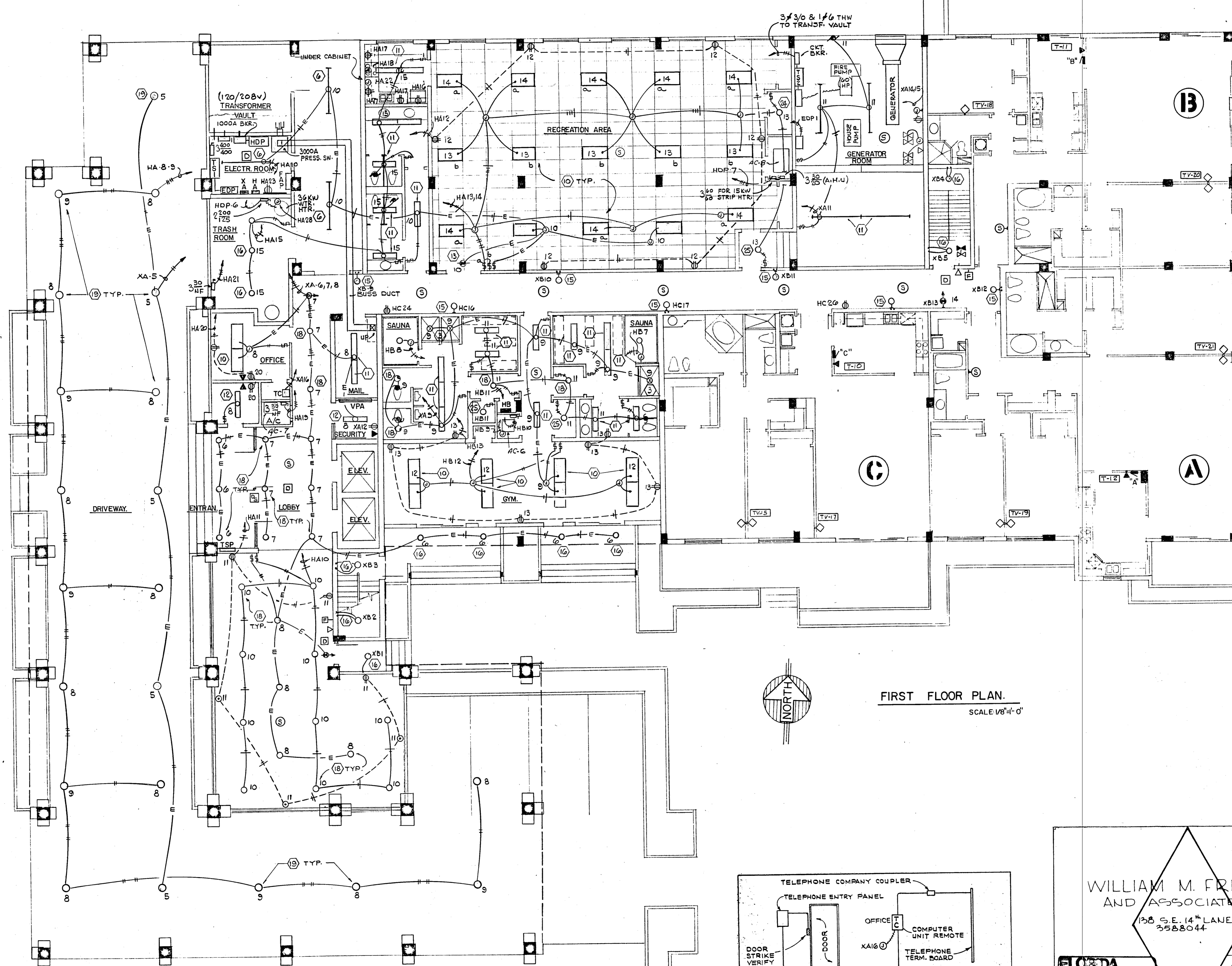
WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
138 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS 50UT

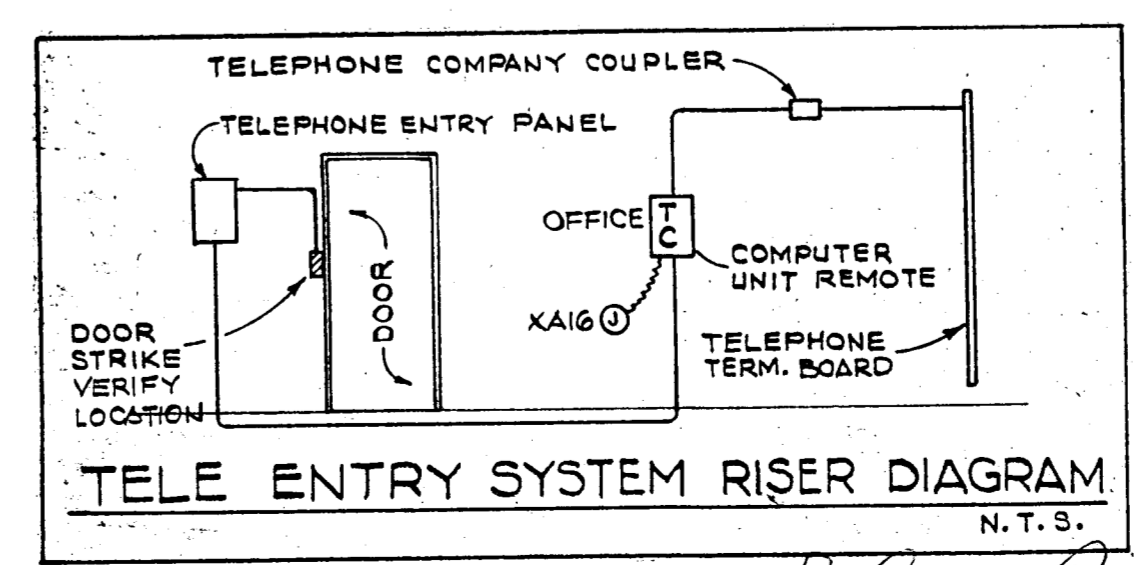
FLORIDA
ENGINEERING
SERVICES
352 NE 167 STREET
N. MIAMI BCH, FLA
33162 945-4743

A- 135 UNIT CONDOMINIUM
COMM. No. DATE: 8-13-79 SHEET No. 14 OF 11
REV. SHEET

Salomon
8/17/79



FIRST FLOOR PLAN.
SCALE 1/8" = 1'-0"



WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
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3588044

CHAMPLAIN TOWERS SOUTH
A - 135 UNIT CONDOMINIUM

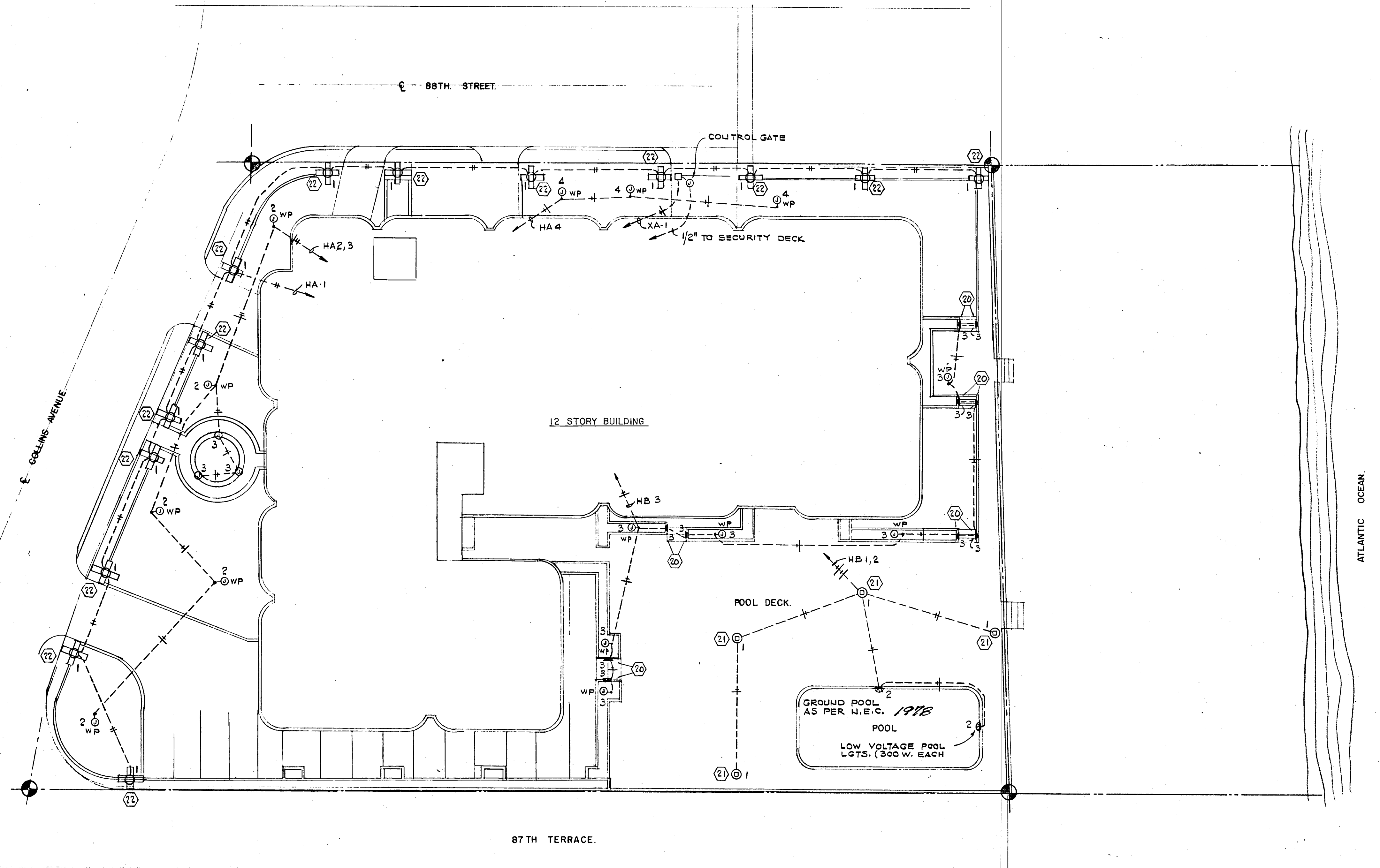
COMM. No. DATE: 8-13-79 SHEET No. 11 OF 11
REV. SHEETS

FLORIDA BOARD OF REGISTERED PROFESSIONAL ENGINEERS
1301 NE 17TH STREET
FT. LAUDERDALE, FLA. 33304-4700

Salomon Miller
8/13/79

ELECTRICAL LEGEND

- 15A, 125V, DUPLEX RECEPTACLE
- 15A, 125V, DUPLEX RECEPTACLE (MOUNTED ABOVE COUNTER)
- 15A, 125V, SPLIT WIRED DUPLEX RECEPTACLE (SWITCH TOP ONLY)
- 240V, SPECIAL PURPOSE RECEPTACLE
- 15A, 125V, SPST TOGGLE SWITCH
- 15A, 125V, THREE WAY TOGGLE SWITCH
- TELEPHONE OUTLET
- TELEVISION OUTLET
- WALL MOUNTED OUTLET
- CEILING MOUNTED OUTLET
- WALL MOUNTED JUNCTION BOX
- CEILING MOUNTED JUNCTION BOX
- FLUORESCENT STRIP
- CEILING OR WALL MOUNTED EXH. FAN (FURNISHED BY OTHERS)
- EXIT SIGN
- THERMOSTAT (SEE A/C PLANS)
- POST MOUNTED FIXTURE (POOL DECK)
- SWIMMING POOL LIGHT (GROUND AS PER N.E.C.)
- HEAT LAMP (APT. BATHROOMS)
- 120V, 20A, SPLIT WIRED DUPLEX RECEPT., FOR TWO CKTS. (APT. COMPACT DRYER AND WASHER)
- DISCONNECT SWITCH. 3 = NO. OF POLES, 30 = AMPS RATING, NF = NO FUSE
- DISCONNECT SWITCH. 3 = NO. OF POLES, 30 = AMPS RATING, 20 = FUSE SIZE
- INDICATES FIRE ALARM RISER
- INDICATES TELEPHONE RISER
- INDICATES TELEVISION RISER
- ELECTRICAL PANEL
- 120V, FLOOR DUPLEX RECEPT.
- MOTOR. NUMBER INDICATES HORSE POWER RATING.
- MOTOR STARTER (FURNISHED BY OTHERS AND INSTALLED BY THE ELECTRICAL CONTRACTOR)
- RECESSED FLUORESCENT FIXTURE
- FLUORESCENT FIXTURE
- RECESSED INCANDESCENT OR MERCURY VAPOR FIXTURE
- INDICATES OUTLET ON EMERGENCY CIRCUIT.
- FIRE ALARM PANEL AND AMPLIFIER IN ELECTRICAL ROOM
- FIRE ALARM AND VOICE COMMUNICATION PANEL IN SECURITY OFFICE
- FIRE ALARM PULL STATION
- FIRE ALARM SPEAKER. (RECESSED IN SLAB)
- FIRE ALARM SPEAKER. (RECESSED IN APARTMENT WALL)
- FIRE ALARM SMOKE AND HEAT DETECTOR.
- 120V, SMOKE DETECTOR INSIDE APARTMENT.
- FIRE ALARM TELEPHONE JACK
- FIRE ALARM RELAY AT ROOF PRIMARY AIR HANDLING UNIT
- FIRE ALARM FLOW AND TAMPER SWITCH (FURNISHED BY SPRINKLER CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR)
- BELL BOX WITH 120V TOGGLE SWITCH FOR ROOF EXHAUST FAN DISCONNECT
- TELEMETRY SYSTEM PANEL
- DOOR STRIKE
- TELEMETRY SYSTEM COMPUTER UNIT
- INDICATES TYPE OF LIGHTING FIXTURE (SEE SCHEDULE)
- CONDUIT CONCEALED IN WALL OR SLAB
- CONDUIT RUN CONCEALED IN SLAB
- FIRE ALARM CONDUIT RUN
- EMERGENCY SYSTEM CONDUIT RUN
- COMBINATION HEAT LAMP AND EXHAUST FAN (FURNISHED BY OTHERS AND INSTALLED BY THE ELECTRICAL CONTRACTOR)
- COMBINATION EXHAUST FAN AND LIGHT (FURNISHED BY OTHERS AND INSTALLED BY THE ELECTRICAL CONTRACTOR)
- WEATHER PROOF



WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14TH LANE
3588044

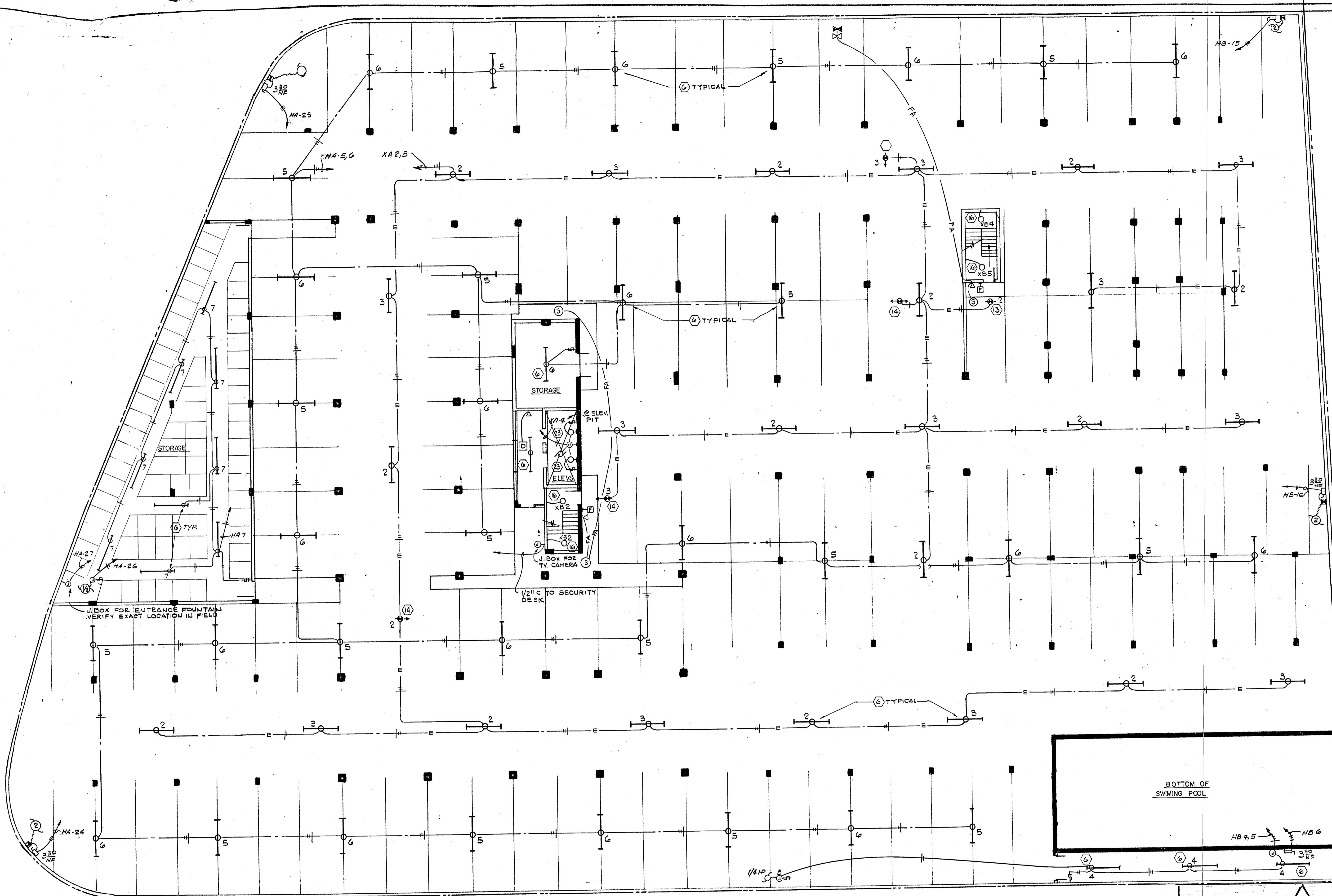
CHAMPLAIN TOWERS SOUTH

A-135 UNIT COLDOMINIUM

COMM. No.	DATE: 8-13-73	SHEET No. 11
REV.		

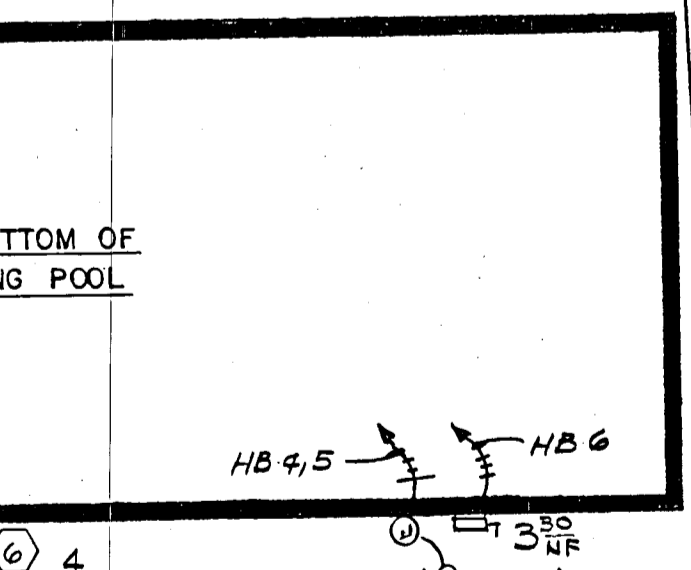
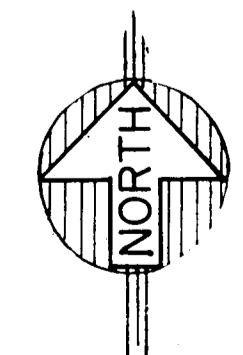
SLOWEN
8/13/73

FLORIDA ENGINEERING SERVICES
752 NE 107 STREET
SUITE 101 BOCA RATON, FLA. 33432-5133



NOTE: BEFORE INSTALLING LIGHTS, THE ELECTRICAL CONTRACTOR SHALL COORDINATE W/SPRINKLER CONTRACTOR. MINIMUM DISTANCE BETWEEN LGTS. & SPRINKLER HEADS SHALL BE 1'-0".

GARAGE LEVEL-FLOOR PLAN
SCALE: 3/32"=1'-0"



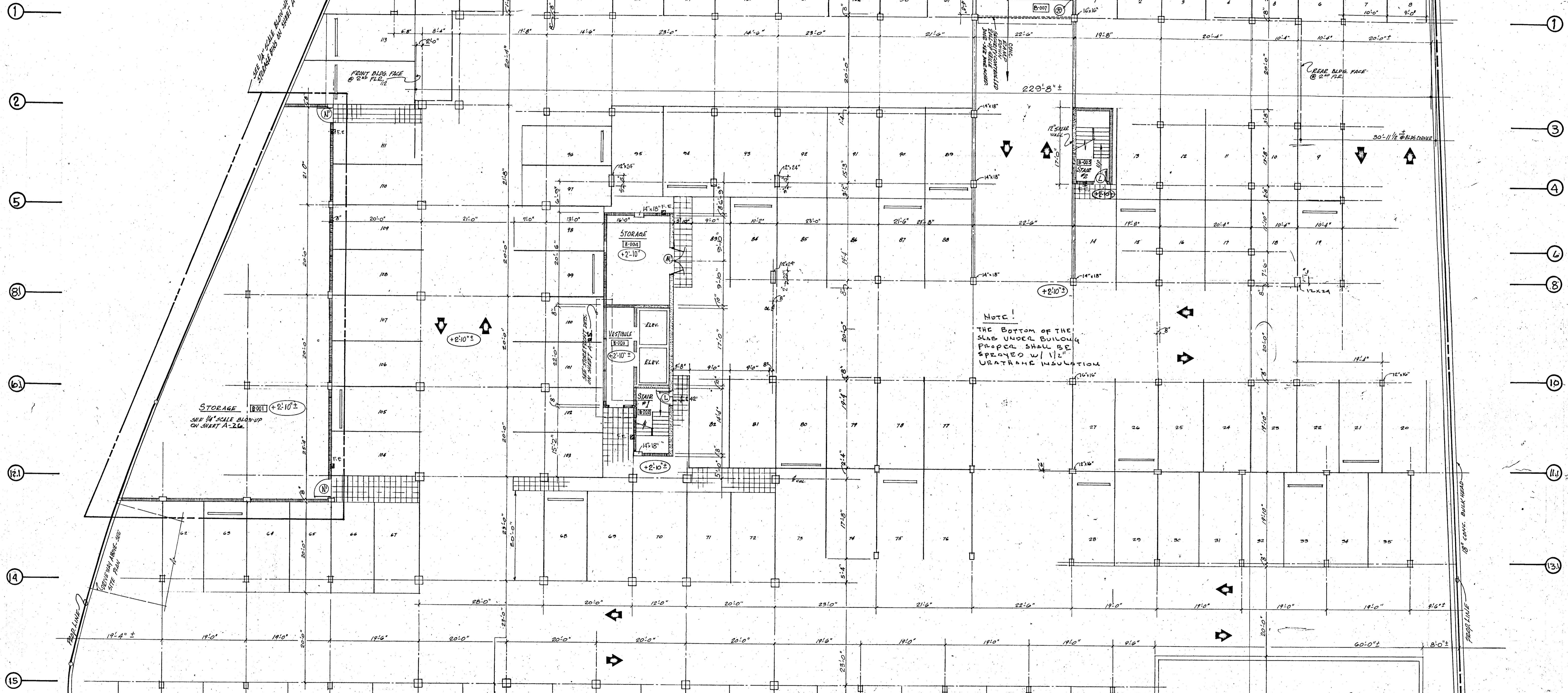
WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
138 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS SOUTH
A- 135 UNIT CONDOMINIUM
COMM. No. DATE: 8-13-79 SHEET No. 11
REV. 11-79

FLORIDA ENGINEERING SERVICES
352 NE 167 STREET
MIAMI BCH, FLA 33162 945-4743

Salomon Miller
8/13/79

R S T A B D E H I K L M N O P Q



CONTRACTOR TO DEMONSTRATE EX. CURB, GUTTER, & SIDEWALK AS REQ. TO ACCOMMODATE NEW DOWNDRY ENTRANCE TO BASEMENT

NEW MIXED DRIVEWAY TO STREET

SEE 1/4" SCALE BLANUP OF DRIVEWAY AND SITE PLAN

FRONT BLDG. FACE @ 2nd FLOOR

REAR BLDG. FACE @ 2nd FLOOR

STORAGE [B-001] @ 2'-10" ±

SEE 1/4" SCALE BLANUP ON SHEET A-26

STORAGE [B-004] @ 2'-10" ±

VESTIBULE [B-003] @ 2'-10" ±

ELEV. [B-002] @ 2'-10" ±

STAIR [B-005] @ 2'-10" ±

SEE 1/4" SCALE BLANUP OF DRIVEWAY AND SITE PLAN

NOTE!
THE BOTTOM OF THE SLAB UNDER BUILDING PROPER SHALL BE SPRAYED W/ 1/2" URATHANE INSULATION

POOL EQUIPT [B-006] @ 2'-10" ±

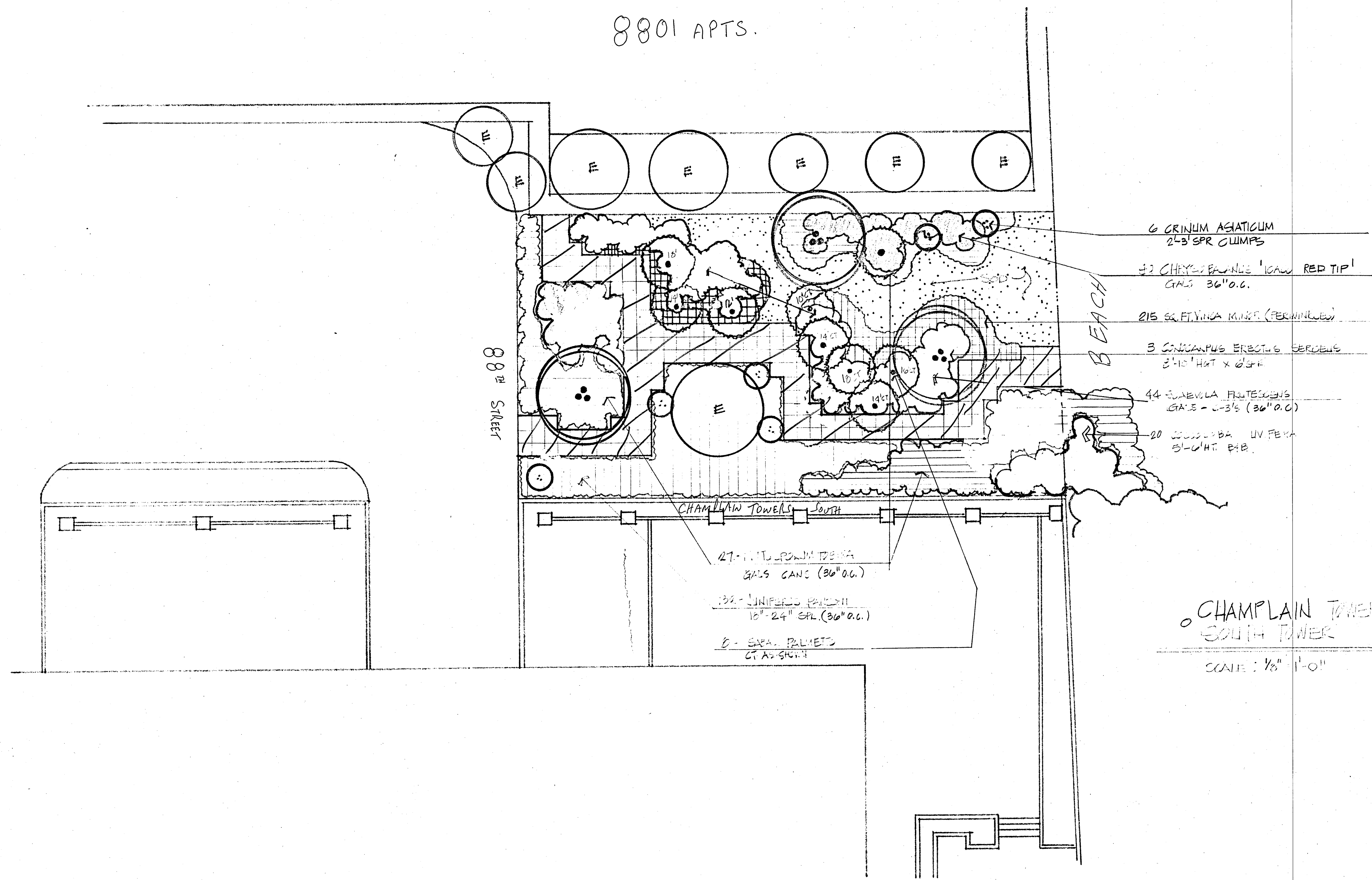
SWIMMING POOL

GARAGE LEVEL - FLOOR PLAN @ 3/32" = 1'-0"

CONC. COLUMN SIZES	
□ 24" x 24"	□ 12" x 16"
□ 16" x 16"	□ 12" x 24"
□ 14" x 18"	

WILLIAM M. FRIEDMAN & ASSOC. ARCHITECTS, INC.
138 S. E. 14th LA
3358044
CHAMPLAIN TOWERS SOUTH
SHEET 12 OF 30 DATE:

8801 APTS.



- 6 CRINUM ASIATICUM
2-3' SPR CLUMPS
- 32 CHEYENNE BRANLE 'ICAW RED TIP'
CAL'S 36" O.C.
- 215 SQ. FT. VINA MINE (PERMINCEE)
- 3 CORDANUS ERECTUS SERICEUS
2-1/2' HGT X 6" SP
- 44 EUPHORBIA FRUTESCENS
CAL'S - 2-3' (36" O.C.)
- 20 CORDON ROSEAU UN FERT
5'-0" HGT B&B

CHAMPLAIN TOWERS SOUTH

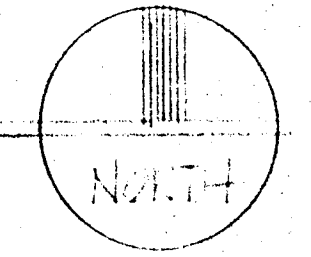
27 - LIT. TROPICANICA
3/4" S CANC (36" O.C.)

132 - LIMPIDUS PAVONII
18" - 24" SPL (36" O.C.)

6 - SPA. PALMETS
CT AS SHOWN

CHAMPLAIN TOWER FOCKETT PARK
SOUTH TOWER

SCALE: 1/8" = 1'-0"



TOWN OF SURFSIDE

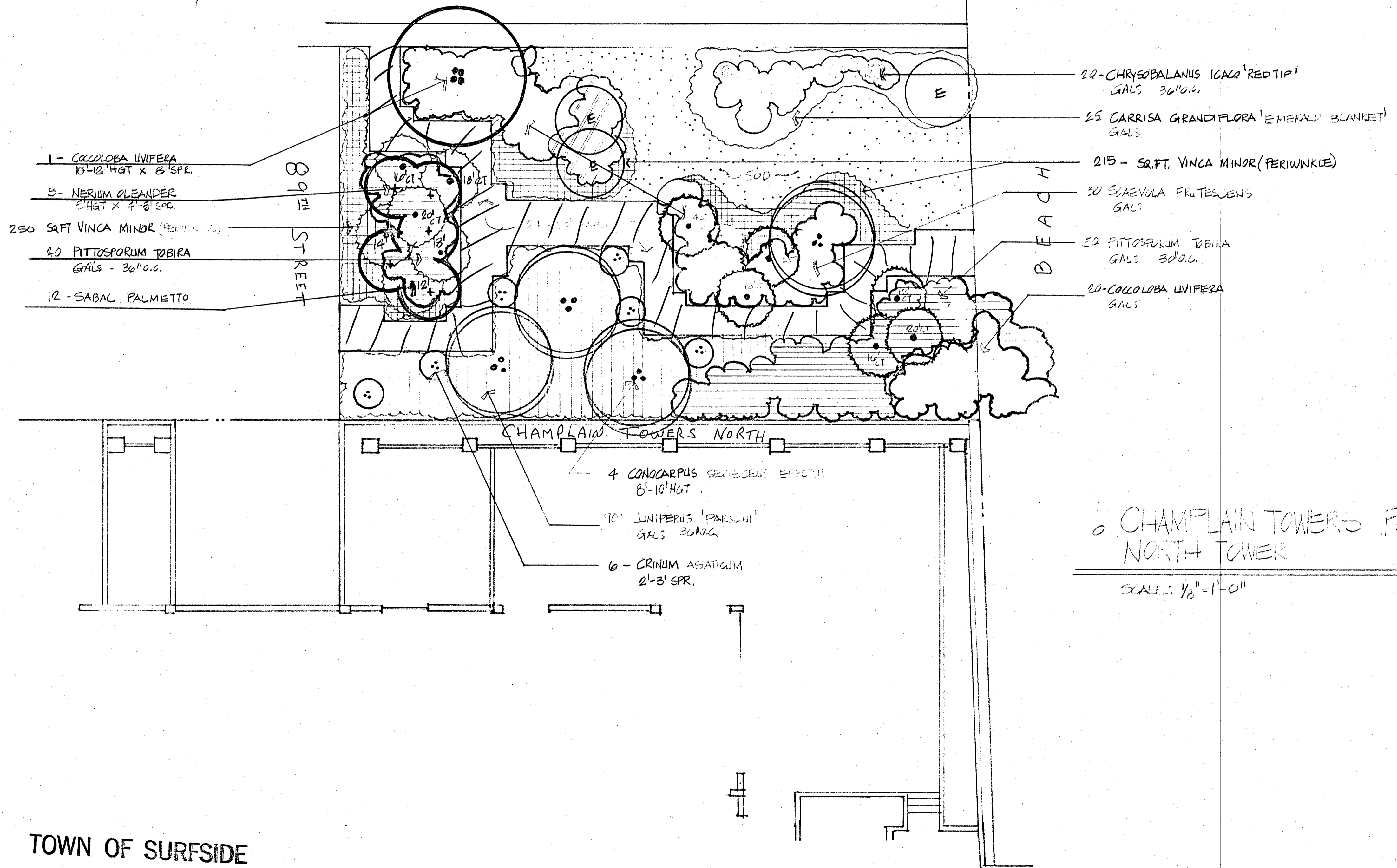
- Approved
- Approved as noted
- Disapproved

[Signature]
Inspector 8/24/81

[Signature]
TOWN ENGINEER
8-25-81

Reviewed: *[Signature]* Date: 8/24/81
Planning & Zoning Board
[Signature]

CONTINENTAL TERRACE



CHAMPLAIN TOWERS PROCKETT PARK
NORTH TOWER

SCALE: 1/8" = 1'-0"

TOWN OF SURFSIDE

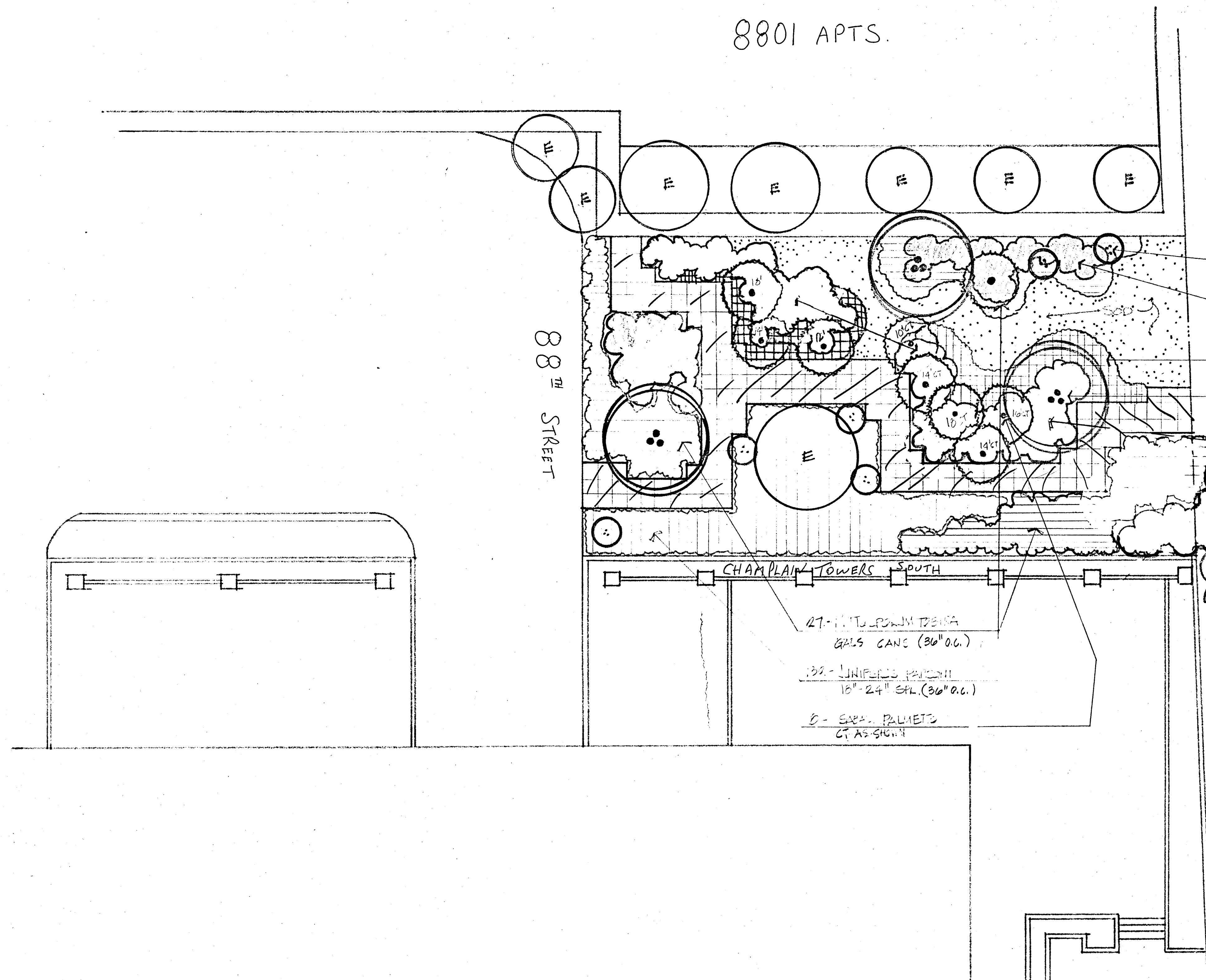
- Approved
- Approved as noted
- Disapproved

[Signature] 8/24/81
Inspector

[Signature]
8-25-81

Reviewed by: _____ Date: _____
Planning & Zoning Board

8801 APTS.



TOWN OF SURFSIDE

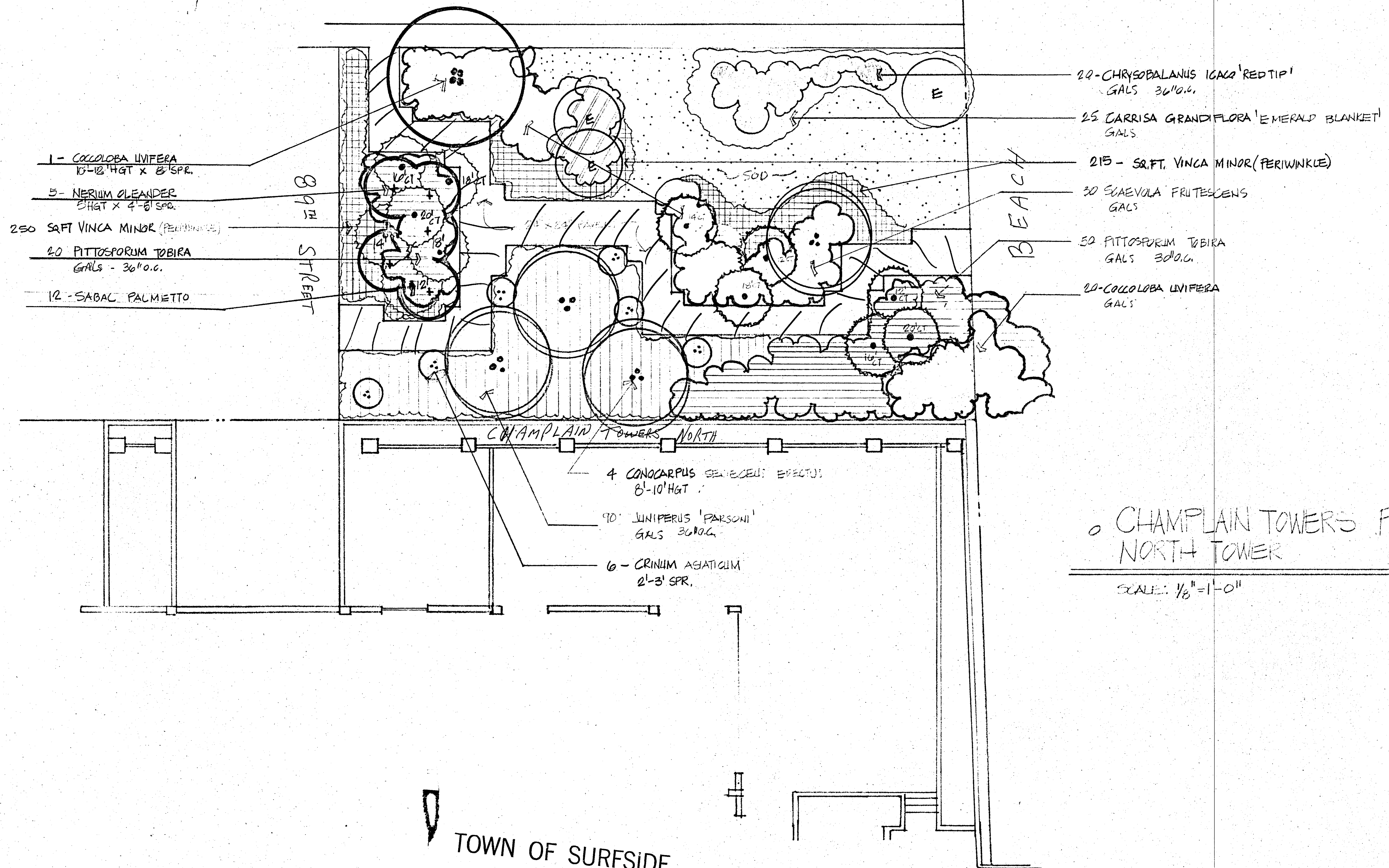
- Approved
- Approved as noted
- Disapproved

[Signature] 8/27/81
Inspector

TOWN ENGINEER
[Signature]
8-25-81

Reviewed: *[Signature]* Approved Condition: *[Signature]* Date: 8/27/81
Planning & Zoning Board

CONTINENTAL TERRACE



CHAMPLAIN TOWERS FROCKETT PARK
NORTH TOWER
SCALE: 1/8" = 1'-0"

TOWN OF SURFSIDE

Approved
 Approved as noted
 Disapproved

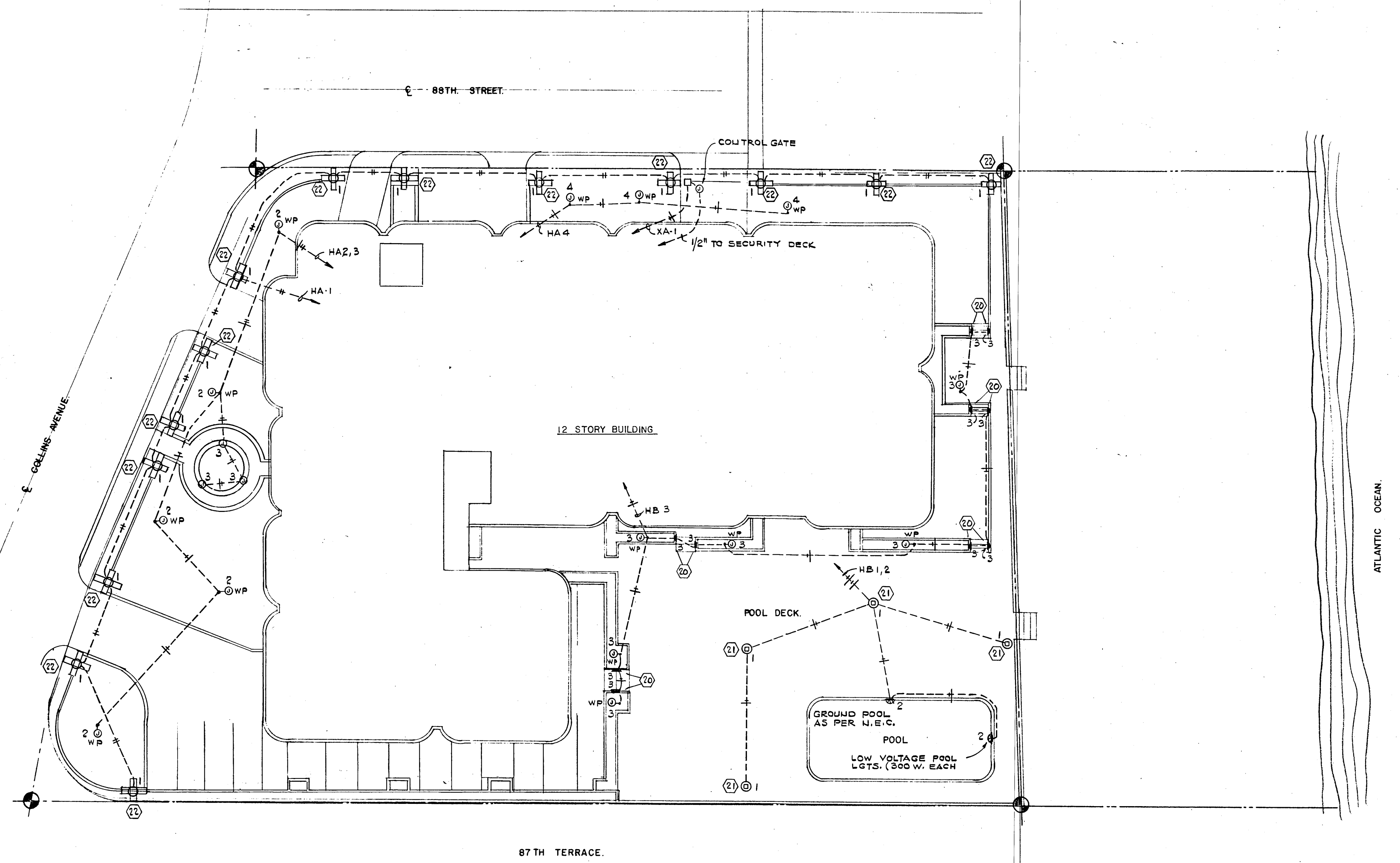
Inspector *[Signature]* 8/24/81

TOWN ENGINEER
[Signature]
8-25-81

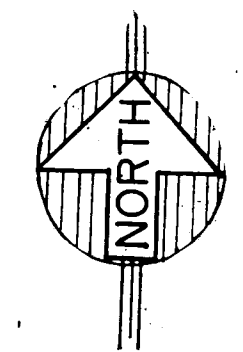
Reviewed: _____ Date: _____
Planning & Zoning Board

ELECTRICAL LEGEND

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- 240V, SPECIAL PURPOSE RECEPTACLE
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- TELEVISION OUTLET
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- CEILING MOUNTED OUTLET
- WALL-MOUNTED JUNCTION BOX
- CEILING MOUNTED JUNCTION BOX
- FLUORESCENT STRIP
- CEILING OR WALL MOUNTED EXH. FAN (FURNISHED BY OTHERS)
- EXIT SIGN
- THERMOSTAT (SEE A/C PLANS)
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- CONDUIT CONCEALED IN WALL OR SLAB
- CONDUIT RUN CONCEALED IN SLAB
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- COMBINATION EXHAUST FAN AND LIGHT (FURNISHED BY OTHERS AND INSTALLED BY THE ELECTRICAL CONTRACTOR)
- WEATHER PROOF



SITE PLAN
SCALE: 1"=20'



WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14TH LANE
3588044

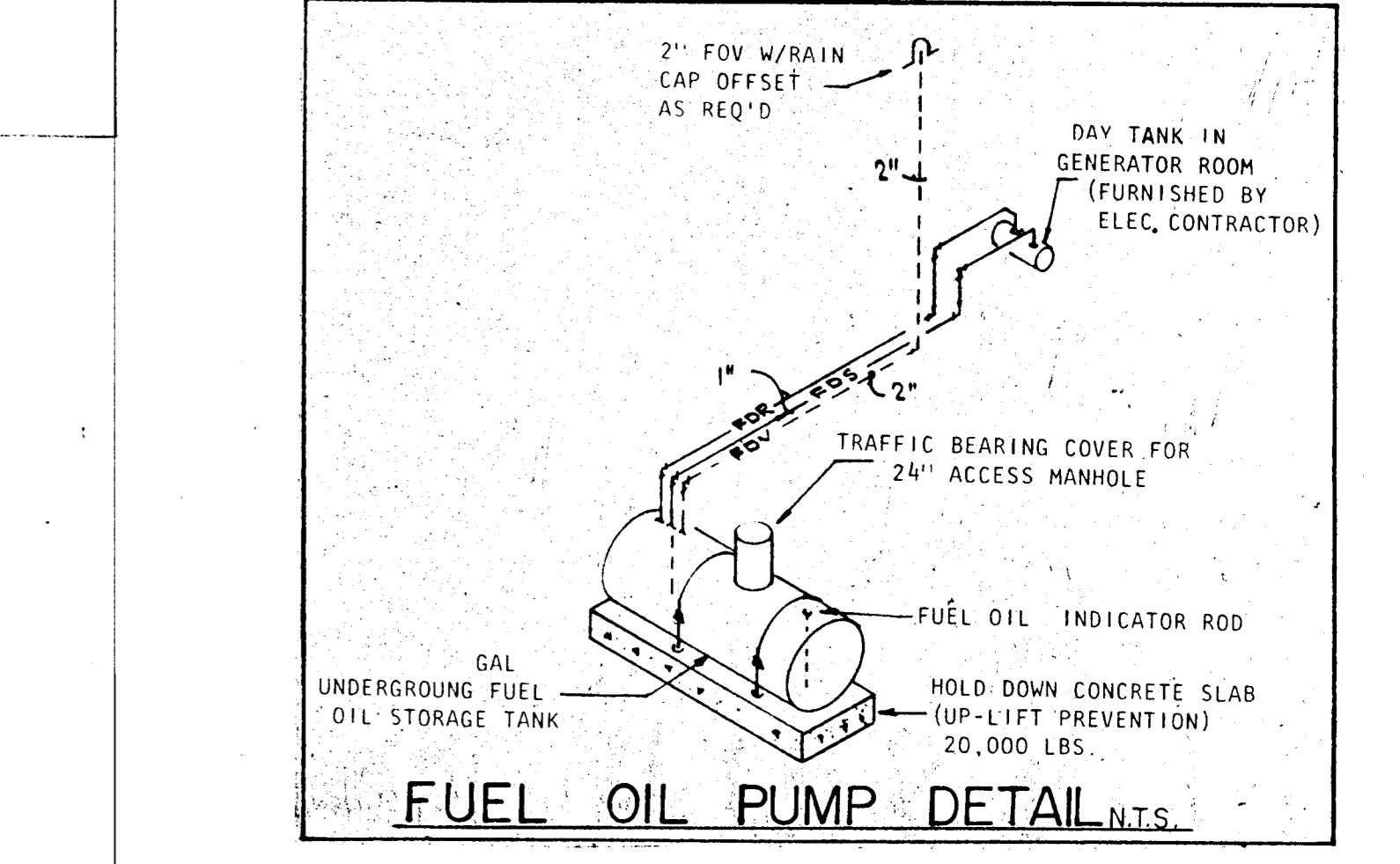
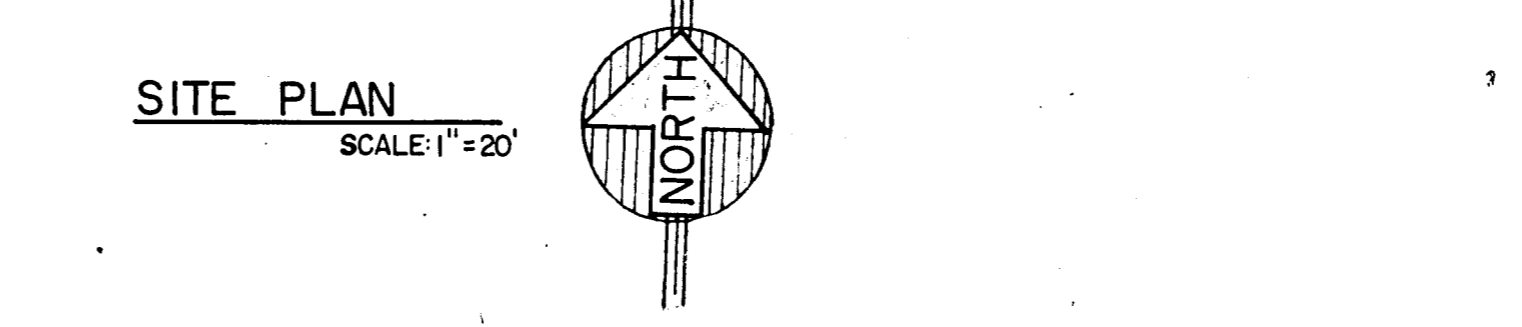
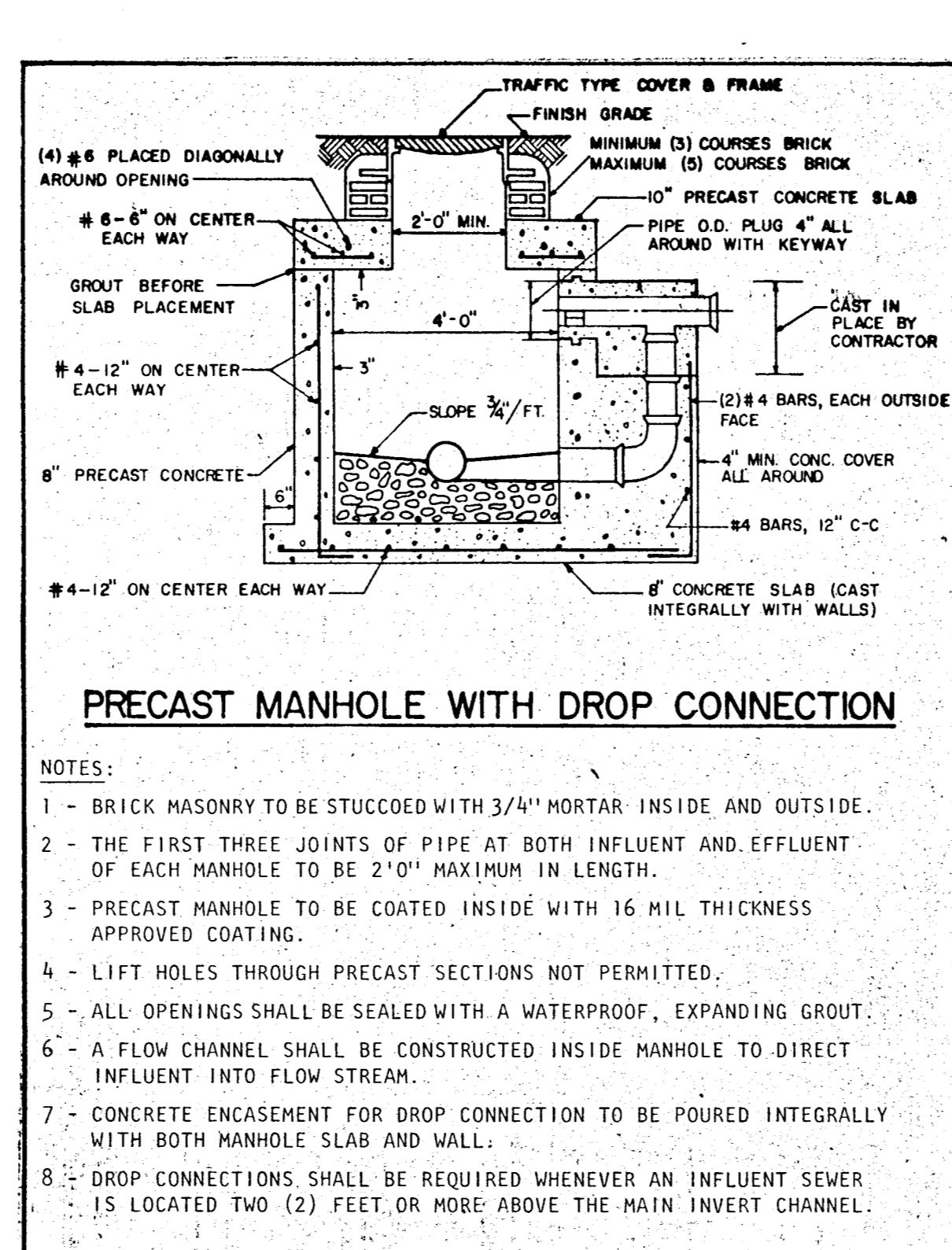
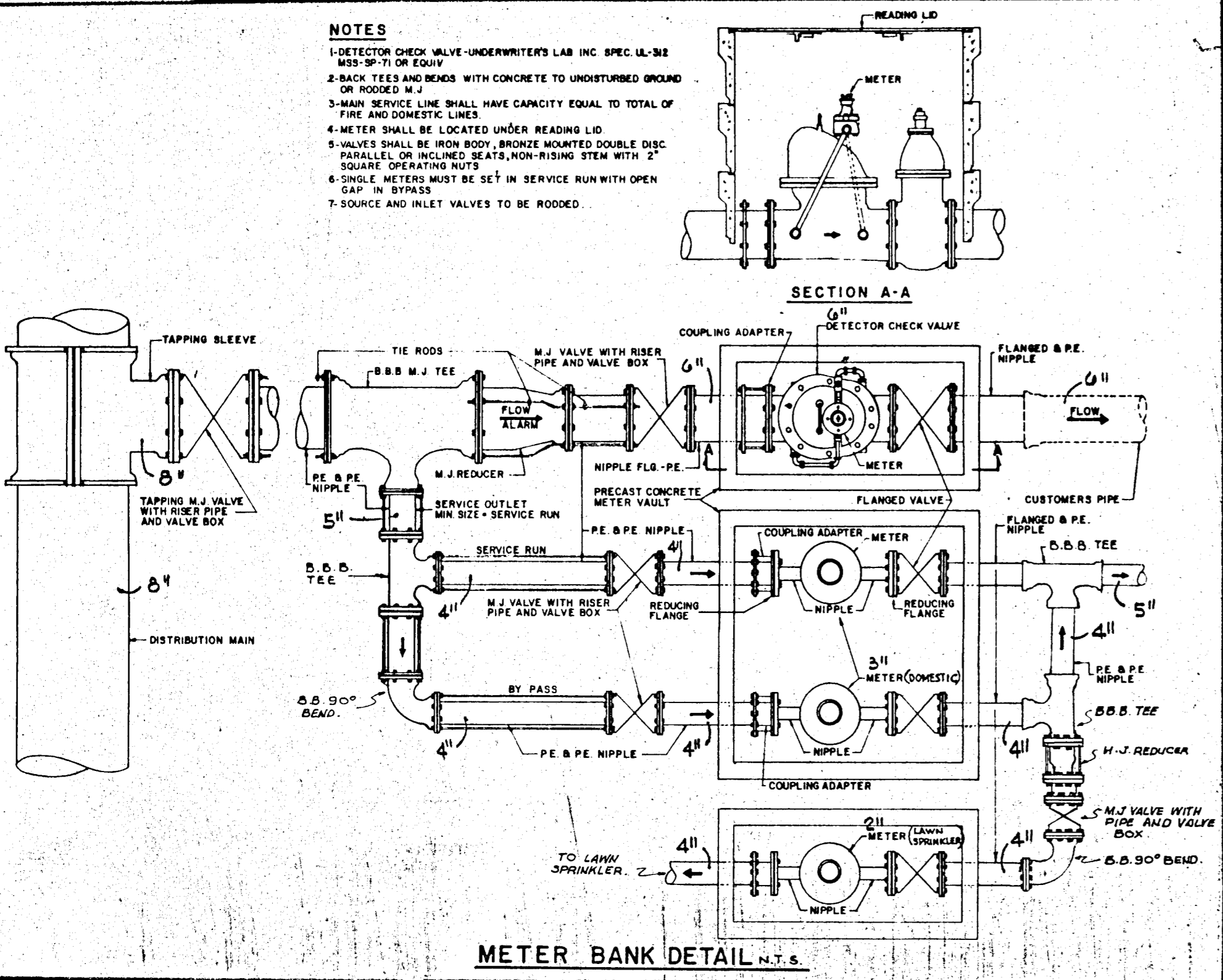
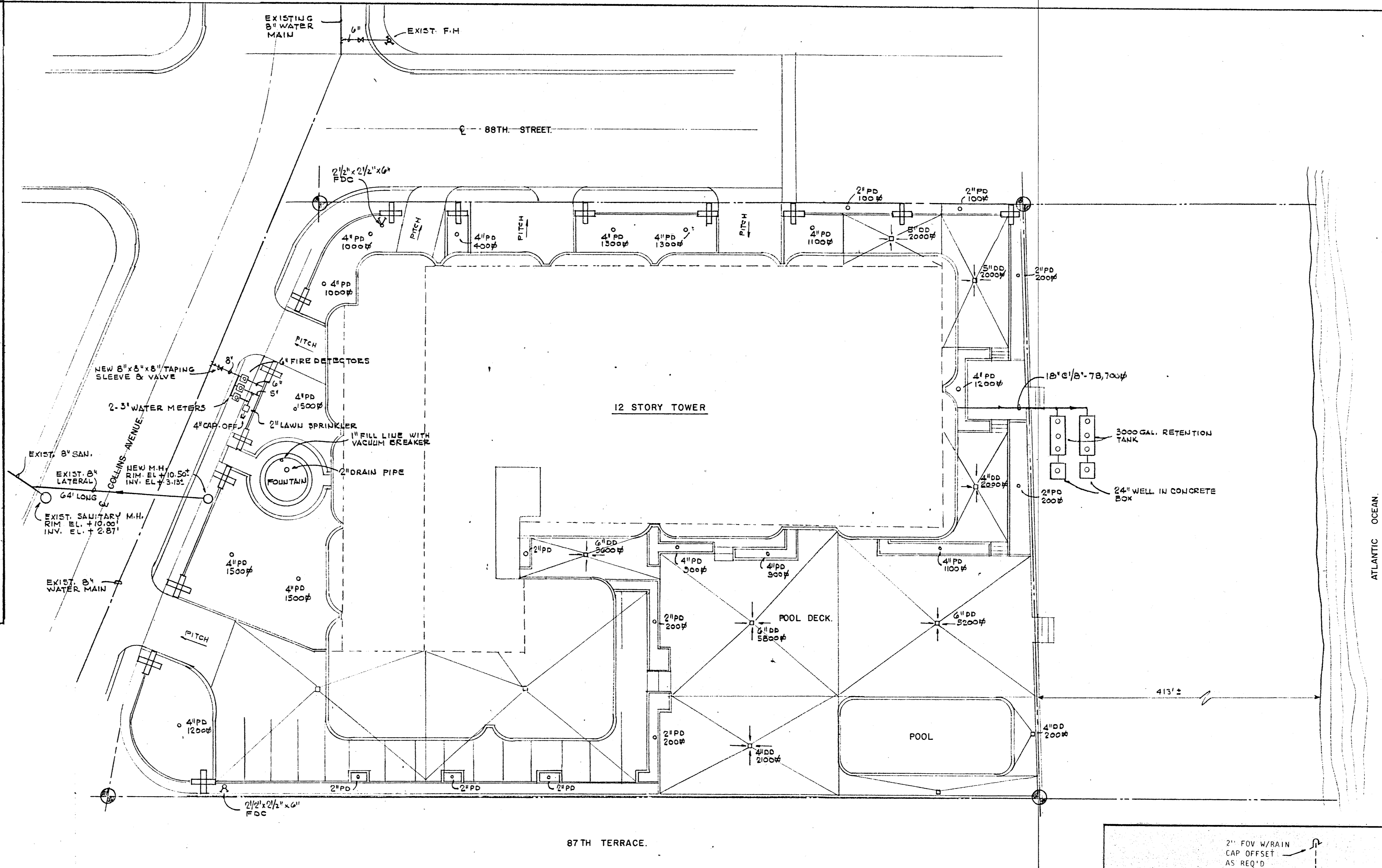
CHAMPLAIN TOWERS SOUTH
A-135 UNIT CONDOMINIUM

FLORIDA ENGINEERING SERVICES	DATE: 8-13-79	SHEET No. 11
232 NE 167 STREET MIRAMONTE BEACH, FLA. 33449	REV.	11 SHEETS

Sebring Miller
8/13/79

SYMBOLS & LEGEND

L	- LAVATORY	F.H.C.	- FIRE HOSE CABINET
W.C.	- WATER CLOSET	F.D.V.	- FIRE DEPT. VALVE
T	- TUB	F.X.	- FIRE EXTINGUISHER
SH.	- SHOWER	P.R.V.	- PRESSURE REDUCING VALVE
SK.	- SINK	SPK.	- SPRINKLER
DW.	- DISHWASHER	G.	- GAS
DISP.	- DISPOSAL	F.O.S.	- FUEL OIL SUPPLY
BID.	- BIDET	F.O.R.	- FUEL OIL RETURN
W.M.	- CLOTHES WASHER	F.O.V.	- FUEL OIL VENT
UR.	- URINAL	N.O.	- NORMALLY OPENED
S.SK.	- SERVICE SINK	N.C.	- NORMALLY CLOSED
D.F.	- DRINKING FOUNTAIN		- SOIL OR WASTE LINE
F.D.	- FLOOR DRAIN WITH RESEAL		- VENT LINE
C.O.	- CLEANOUT	ST	- STORM DRAIN LINE
S.S.	- SOIL STACK		- INDIRECT DRAIN LINE
V	- VENT		- COLD WATER LINE
V.T.R.	- VENT THRU ROOF		- HOT WATER LINE
V.S.	- VENT STACK		- HOT WATER RETURN LINE
W	- WASTE	F	- FIRE LINE
C.W.	- COLD WATER	G	- GAS LINE
H.W.	- HOT WATER	CD	- CONDENSATE DRAIN LINE
H.W.R.	- HOT WATER RETURN	RVD	- RELIEF VALVE DISCHARGE LINE
M.H.	- MANHOLE	180°	- DISHWASHER SUPPLY
F.C.O.	- FLUSH CLEANOUT	+	- HOSE BIB WITH BACKFLOW PREVENTER
H.B.	- HOSE BIB WITH BACKFLOW PREVENTER		- GATE VALVE
F.U.	- FIXTURE UNITS		- CHECK VALVE
R.W.L.	- RAIN WATER LEADER		- CONCENTRIC REDUCER
R.V.D.	- RELIEF DISCHARGE		- ECCENTRIC REDUCER
C.D.	- CONDENSATE DRAIN		- FLEXIBLE CONNECTION
C.B.	- CATCH BASIN		- UNION
D.D.	- DRAIN DECK		- STRAINER
P.D.	- PLANTER DRAIN		- GAGE COCK
S.T.	- STORM DRAIN		- TEMPERATURE GAGE
R.D.	- ROOF DRAIN		- PRESSURE GAGE
F.H.	- FIRE HYDRANT		- FLOW SWITCH
F.D.C.	- FIRE DEPT CONNECTION		- PRESSURE REDUCING VALVE
	- SANITARY RISER		- C.D. RISER
	- CW RISER		- R.V.L. RISER



WILLIAM M. FRIEDMAN AND ASSOCIATES ARCHITECTS, INC.
138 S.E. 14th LANE
3588044

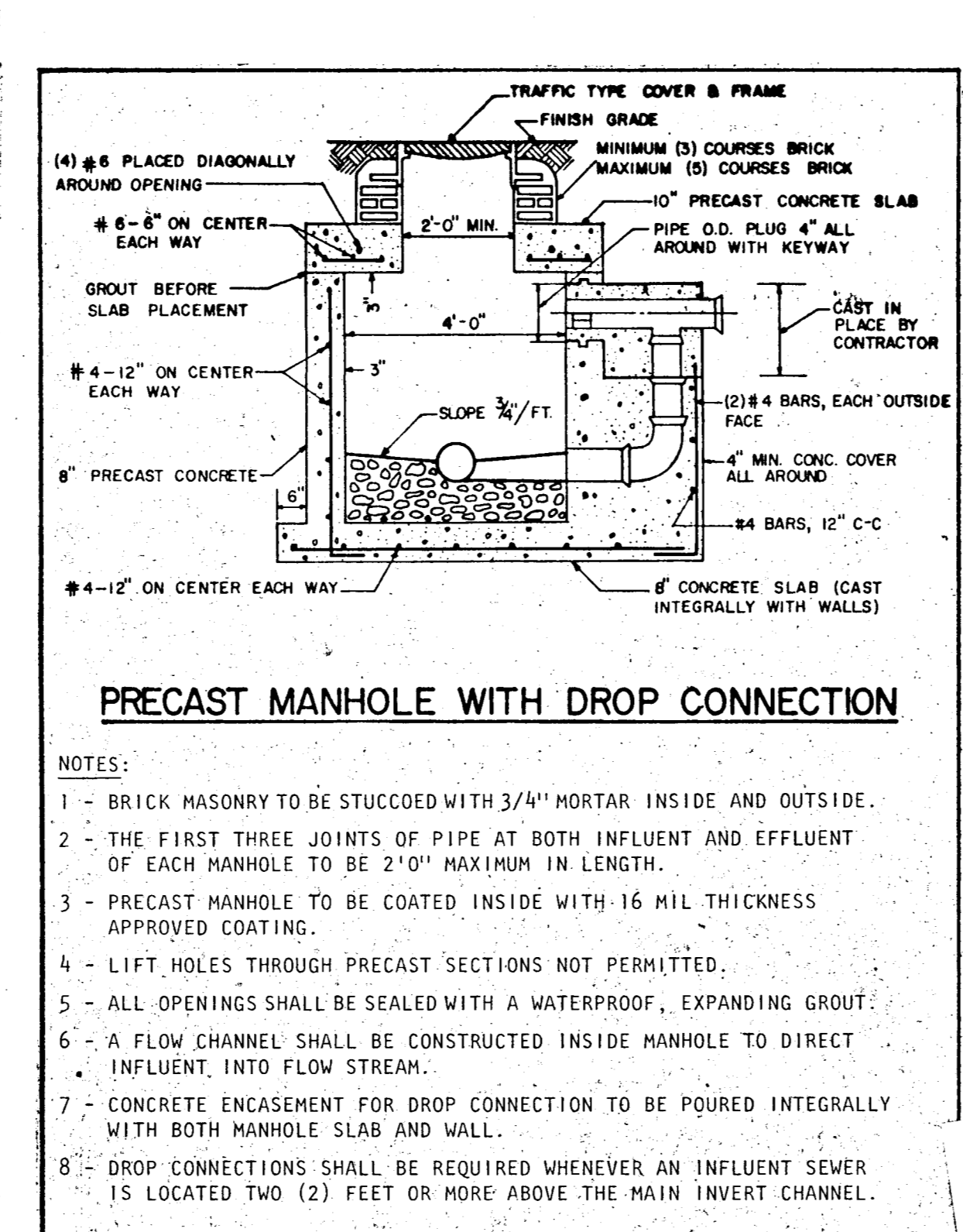
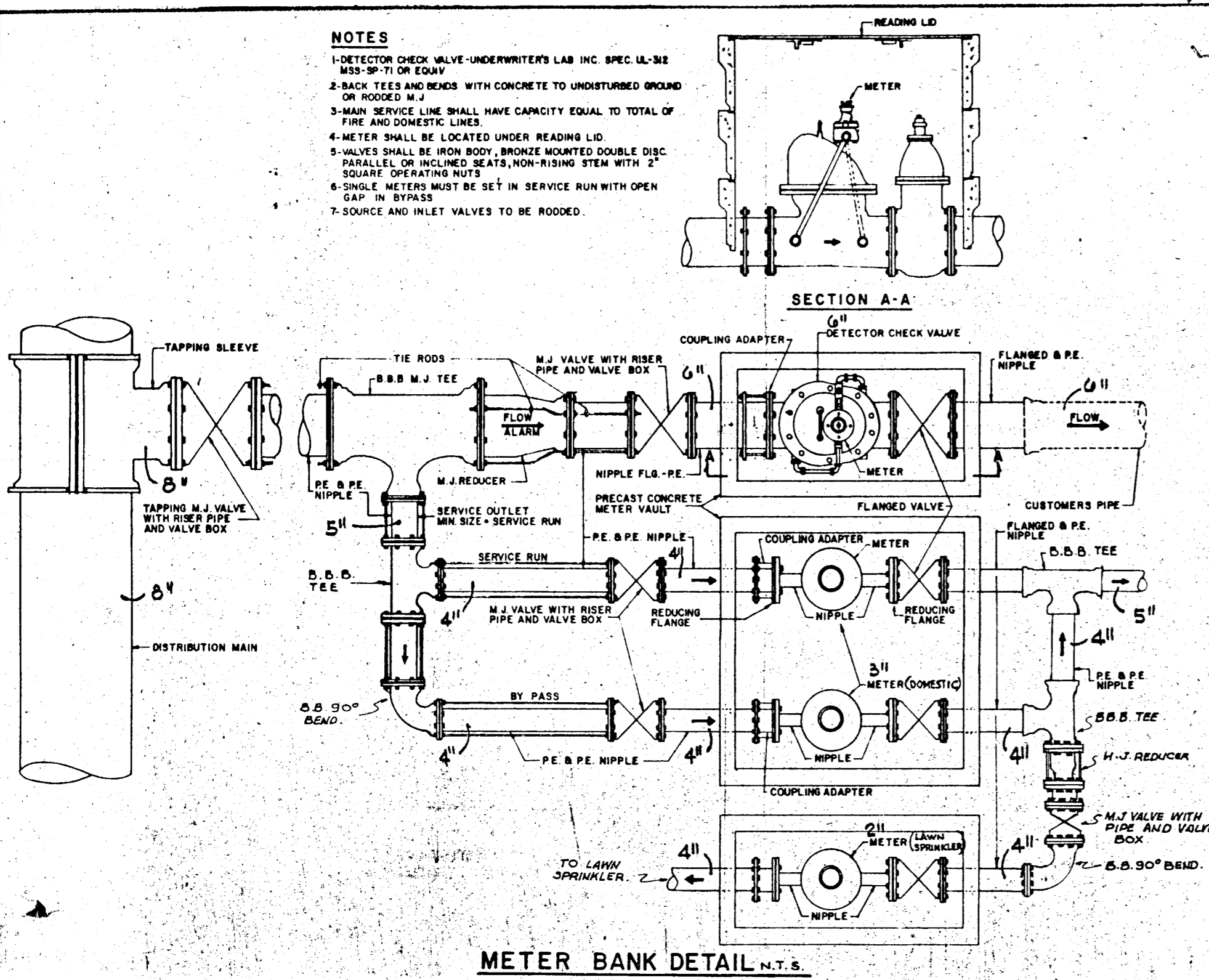
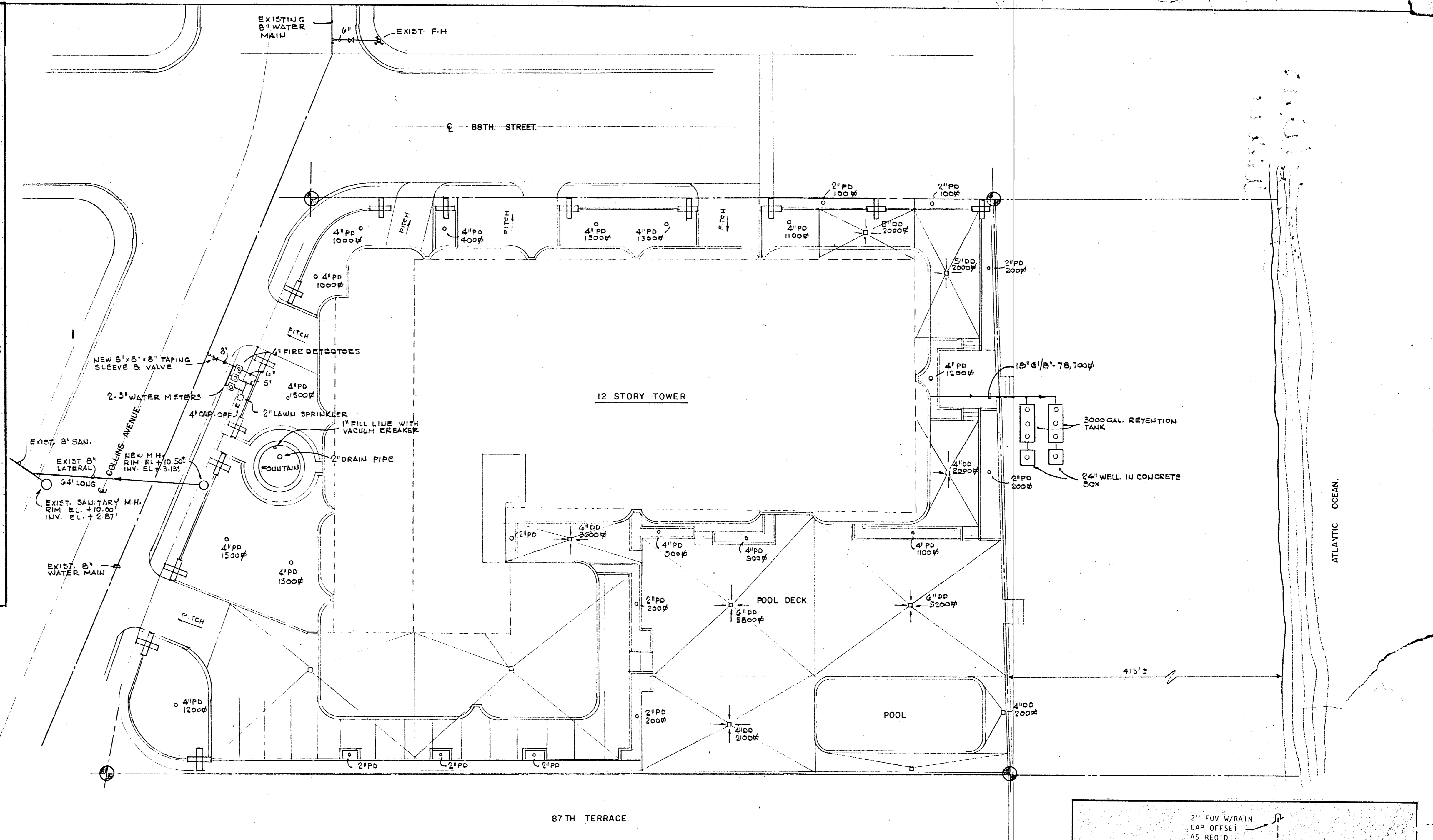
CHAMPLAIN TOWERS SOUTH
A- 135 UNIT CONDOMINIUM

COMM. No. DATE: 8-13-79 SHEET No. 11 of 11

FLORIDA ENGINEERING SERVICES
352 NE 167 STREET
MIAMI BCH, FLA 33152 963-4763

SYMBOLS & LEGEND

L	- LAVATORY	F.H.C.	- FIRE HOSE CABINET
W.C.	- WATER CLOSET	F.D.V.	- FIRE DEPT. VALVE
T	- TUB	F.X.	- FIRE EXTINGUISHER
SH.	- SHOWER	P.R.V.	- PRESSURE REDUCING VALVE
SK.	- SINK	SPK.	- SPRINKLER
DW.	- DISHWASHER	G.	- GAS
DISP.	- DISPOSAL	F.O.S.	- FUEL OIL SUPPLY
BID.	- BIDET	F.O.R.	- FUEL OIL RETURN
W.M.	- CLOTHES WASHER	F.O.V.	- FUEL OIL VENT
UR.	- URINAL	N.O.	- NORMALLY OPENED
S.SK.	- SERVICE SINK	N.G.	- NORMALLY CLOSED
D.F.	- DRINKING FOUNTAIN		- SOIL OR WASTE LINE
F.D.	- FLOOR DRAIN WITH RESEAL		- VENT LINE
C.O.	- CLEANOUT		- STORM DRAIN LINE
S.S.	- SOIL STACK		- INDIRECT DRAIN LINE
V	- VENT		- COLD WATER LINE
V.T.R.	- VENT THRU ROOF		- HOT WATER LINE
V.S.	- VENT STACK		- HOT WATER RETURN LINE
W	- WASTE	F	- FIRE LINE
C.W.	- COLD WATER	G	- GAS LINE
H.W.	- HOT WATER	CD	- CONDENSATE DRAIN LINE
H.W.R.	- HOT WATER RETURN	RVD	- RELIEF VALVE DISCHARGE LINE
M.H.	- MANHOLE	180°	- DISHWASHER SUPPLY
F.C.O.	- FLUSH CLEANOUT	+	- HOSE BIB WITH BACKFLOW PREVENTER
H.B.	- HOSE BIB WITH BACKFLOW PREVENTER		- GATE VALVE
F.U.	- FIXTURE UNITS		- CHECK VALVE
R.W.L.	- RAIN WATER LEADER		- CONCENTRIC REDUCER
R.V.D.	- RELIEF DISCHARGE		- ECCENTRIC REDUCER
C.D.	- CONDENSATE DRAIN		- FLEXIBLE CONNECTION
C.B.	- CATCH BASIN		- UNION
D.D.	- DRAIN DECK		- STRAINER
P.D.	- PLANTER DRAIN		- GAGE COCK
S.T.	- STORM DRAIN		- TEMPERATURE GAGE
R.D.	- ROOF DRAIN		- PRESSURE GAGE
F.H.	- FIRE HYDRANT		- FLOW SWITCH
F.D.C.	- FIRE DEPT CONNECTION		- PRESSURE REDUCING VALVE
			- C.D. RISER
			- R.V.D. RISER



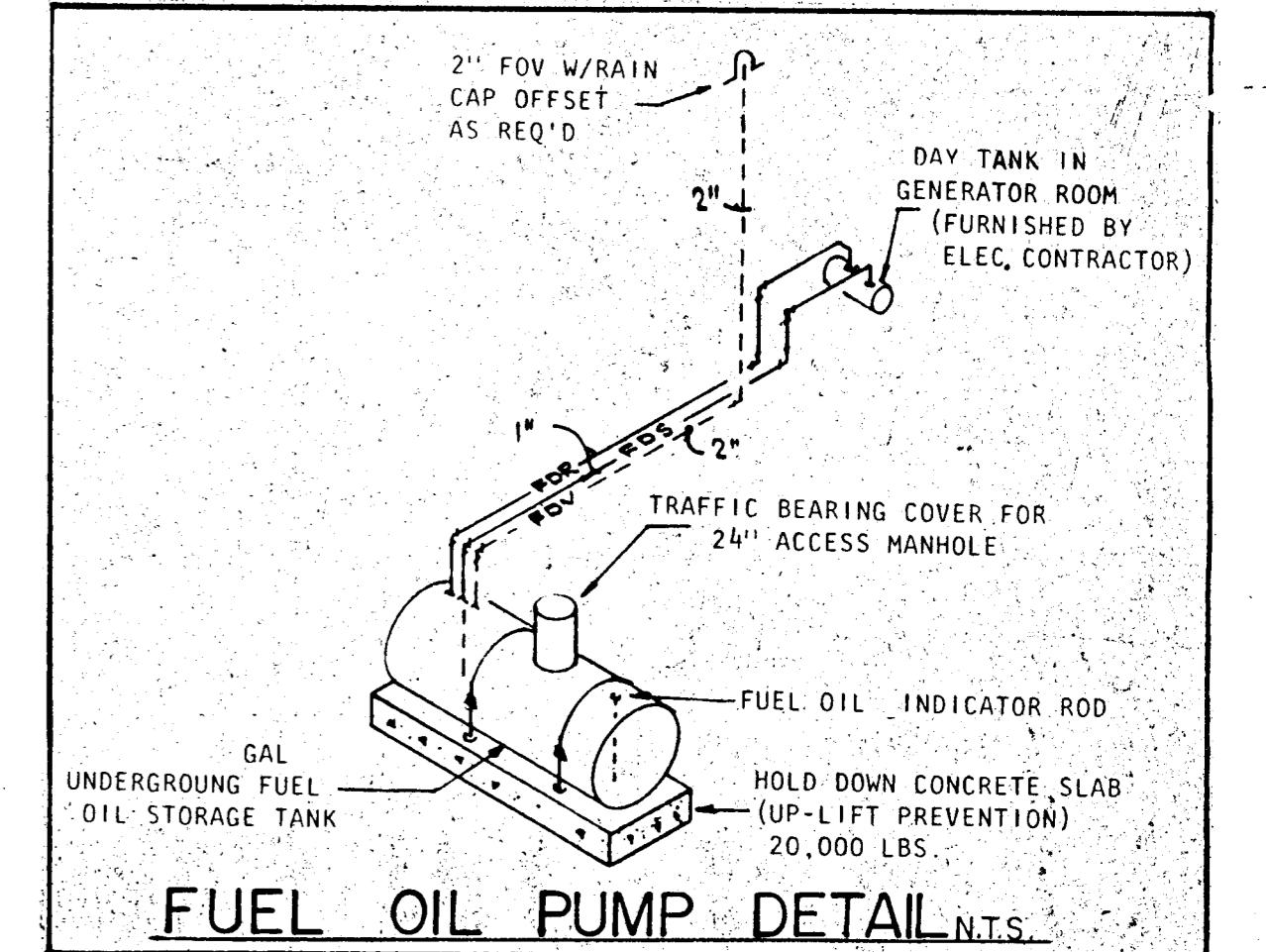
SITE PLAN
SCALE 1" = 20'

APPROVED BY
DADE COUNTY FIRE DEPARTMENT
SPK BLDG. PERMIT OK ON-SITE
WATER MAIN EXTENSION
DATE 11-9-79 BY [Signature]

**FIRE APPROVAL
REQUIRED FOR C.O.**

DEPT. OF ENVIRONMENTAL
RESOURCES MANAGEMENT
METROPOLITAN DADE COUNTY
ENVIRONMENTAL
FACILITIES ONLY
APPROVED
BY # 92924 JAS.
DATE NOV - 9 1979

NOTICE: This Building Permit is issued predicated upon "Application and Acceptance of Conditional Building Permit and Estoppel Notice", and is subject to the conditions contained therein. **DERM.**

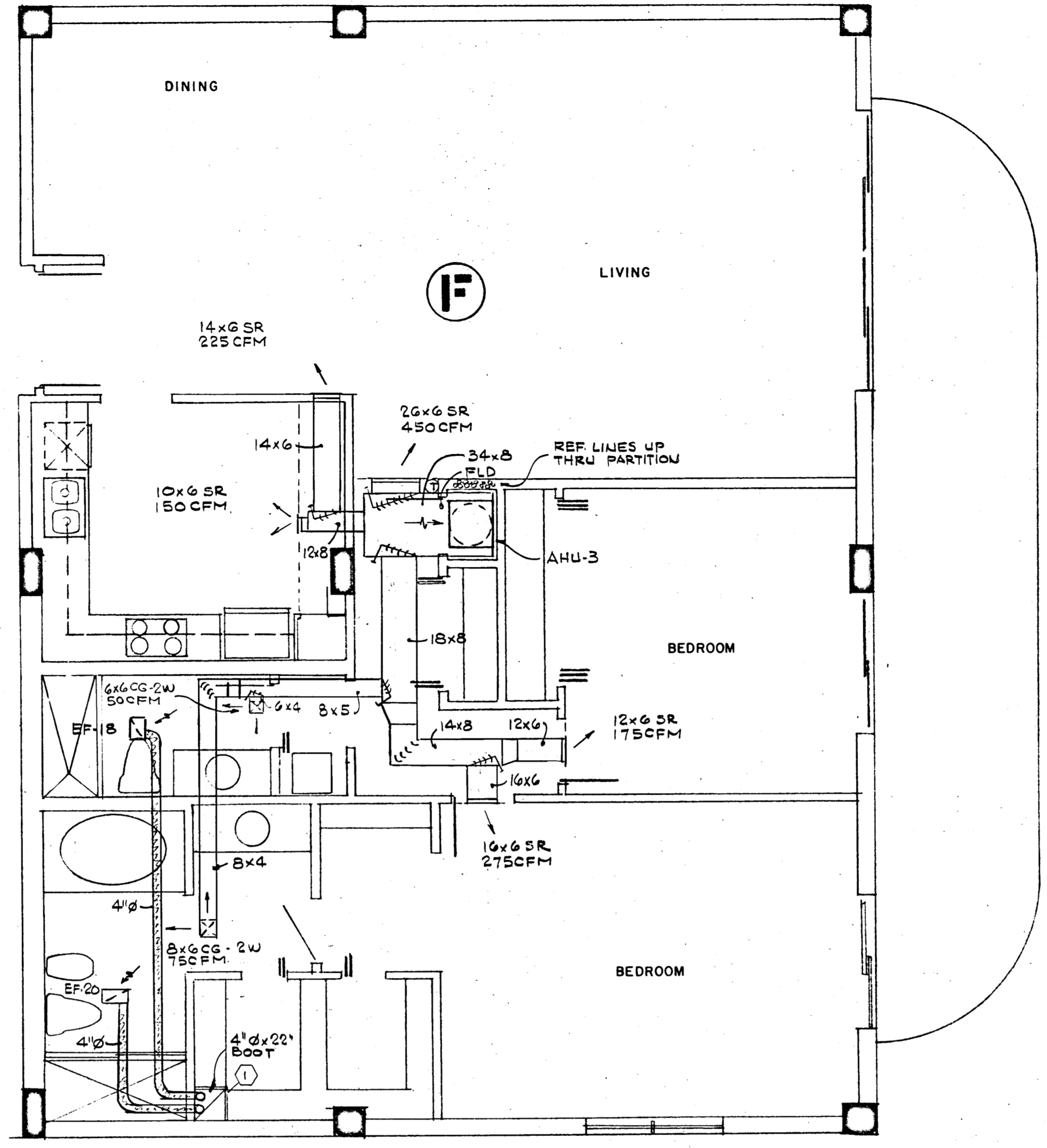
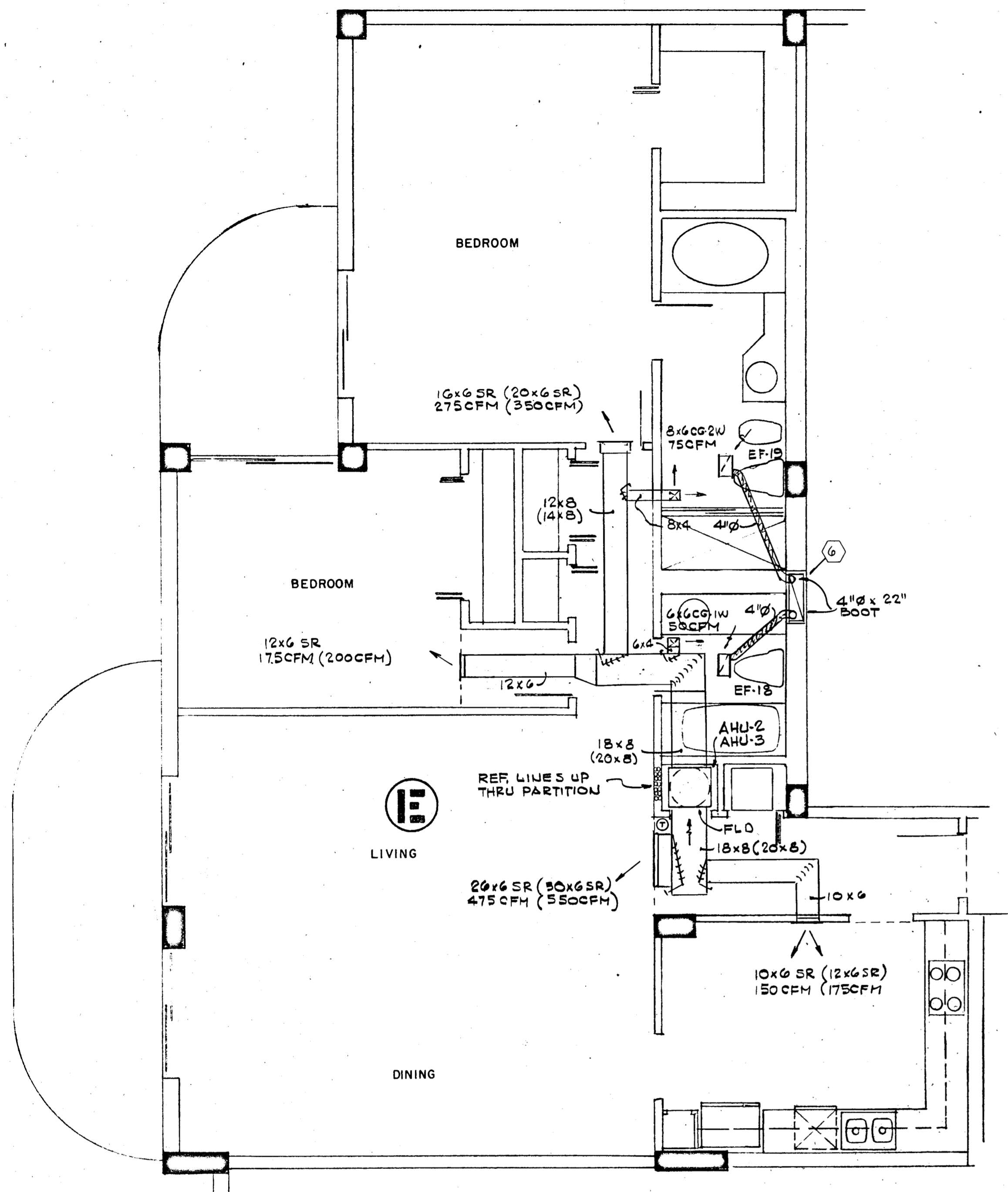


WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
138 S.E. 14TH LANE
3588044

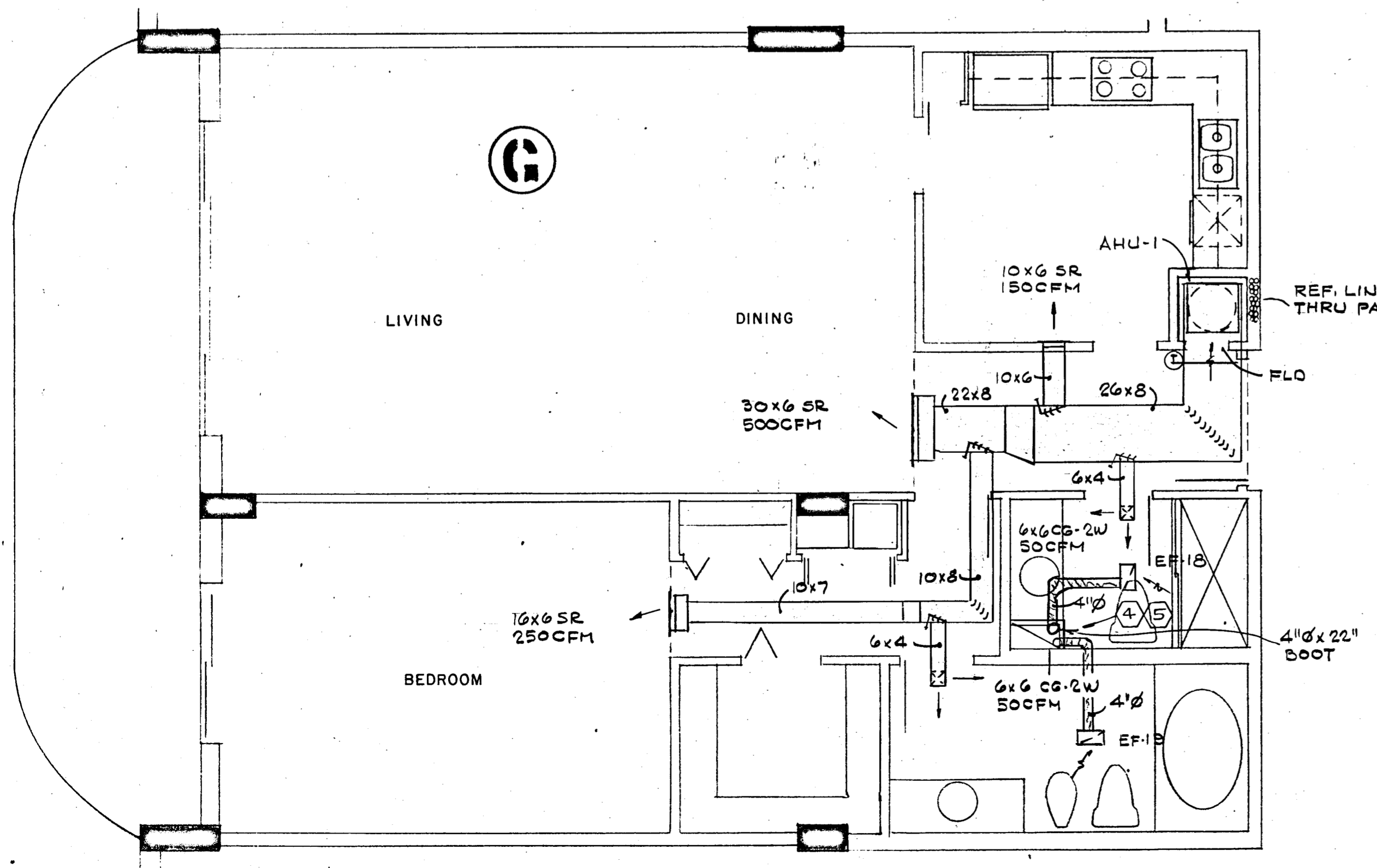
CHAMPLAIN TOWERS SOUTH
A- 135 UNIT CONDOMINIUM
COMM. No. DATE: 8-13-79 SHEET No. 11 of 11 SHEETS

FLORIDA ENGINEERING SERVICES
352 NE 167 STREET
N. MIAMI BCH, FLA.
33162 945-4743

8/13/79



NOTE:
ITEMS IN PARENTHESIS APPLY
TO LOBBY AND 12TH FLOOR
APARTMENTS ONLY



WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
138 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS SOUTH

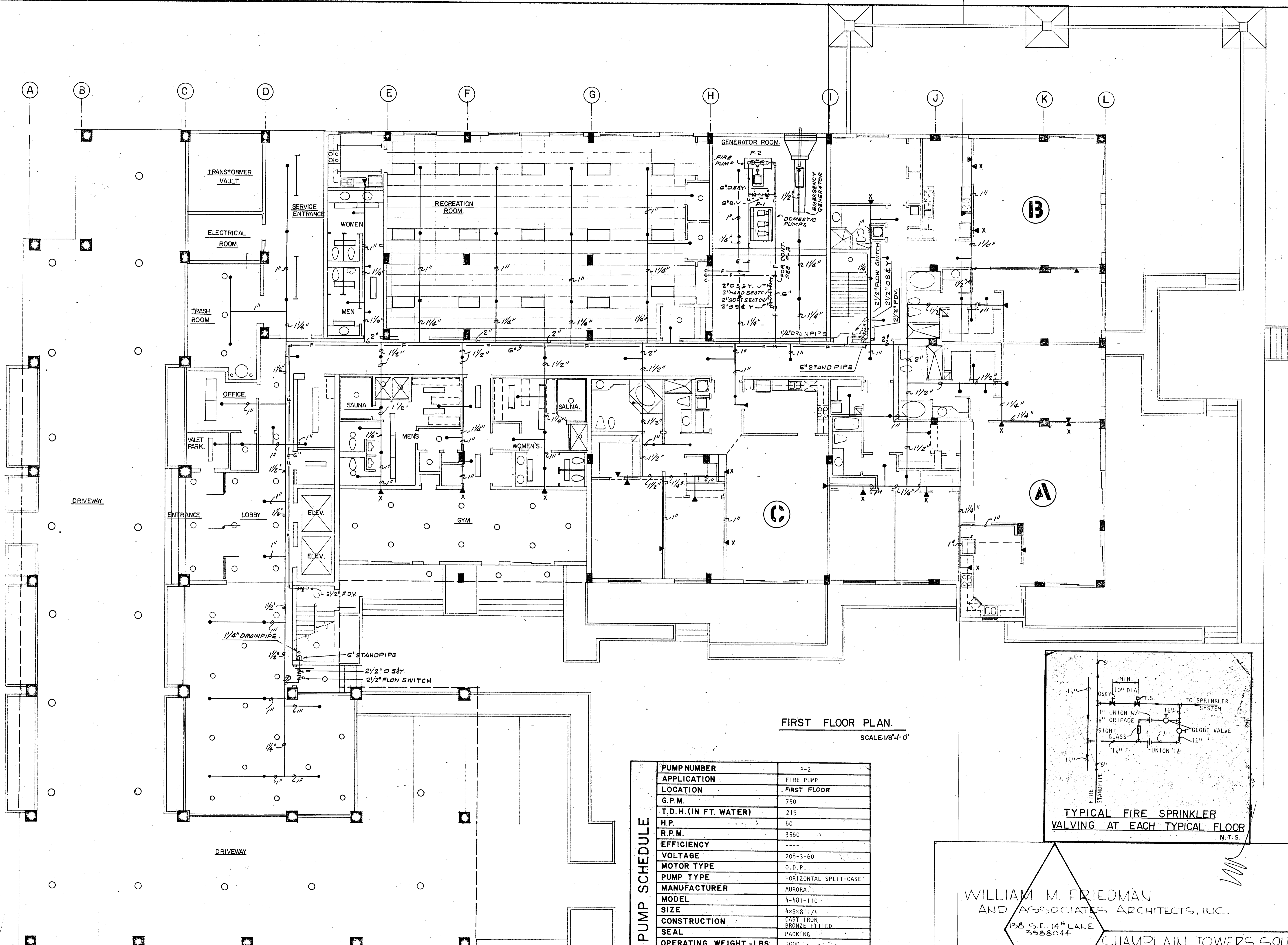
A - 135 UNIT CONDOMINIUM

COMM. No.	DATE	SHEET No.
	8-13-79	7 of 8
REV.		SHE

Salomon Miller
8/13/79

FIRE SPRINKLER NOTES.

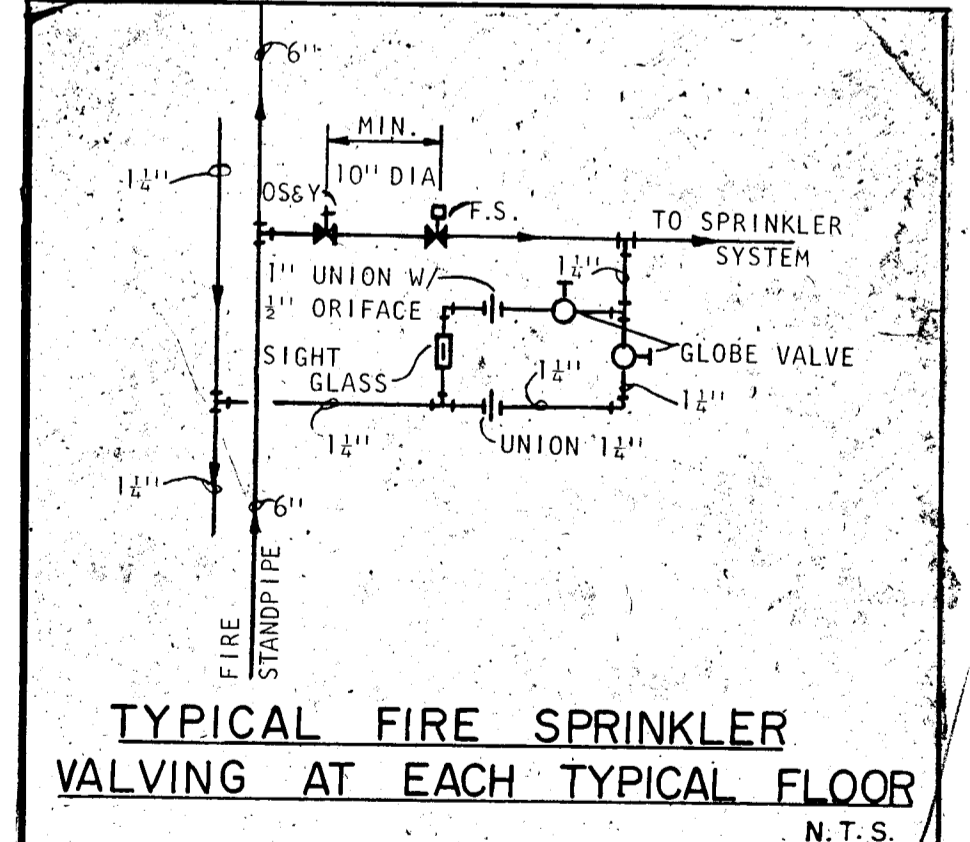
- ALL FIRE SPRINKLER WORK SHALL BE DONE ACCORDING TO LATEST N.F.P.A. STATE AND LOCAL CODES AND ORDINANCES.
- CONTRACTOR SHALL PAY ALL FEES, INSPECTIONS AND CONNECTION CHARGES REQUIRED.
- SPRINKLER CONTRACTOR SHALL VERIFY ALL SPACE CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO FABRICATION AND INSTALLATION OF MATERIALS AND EQUIPMENT.
- COORDINATE WORK WITH OTHER TRADES.
- SUBMIT SHOP DRAWINGS TO ENGINEER FOR APPROVAL OF ALL EQUIPMENT, MATERIALS, LAYOUTS, AND CALCULATIONS, PRIOR TO INSTALLATION.
- SPRINKLER CONTRACTOR SHALL GUARANTEE ALL WORK FREE OF DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE.
- SPRINKLER LEGEND:
 - PENDANT OR UPRIGHT SPRINKLER HEAD
 - ▲ SIDE WALL SPRINKLER HEAD
 - ▲ SIDE WALL EXTENDED COVERAGE SPRINKLER HEAD
 - ⊗ FLOW SWITCH
 - ⊗ CHECK VALVE
 - ⊗ O S & Y VALVE
 - FIRE LINE
 - COLD WATER LINE
 - ⊙ PRESSURE GAGE
 - F.H.C. FIRE HOSE CABINET
 - F.D.V. FIRE DEPARTMENT VALVE
 - SPK. SPRINKLER
 - F.D.C. FIRE DEPARTMENT CONNECTION
 - CONCENTRIC REDUCER
 - ECCENTRIC REDUCER
- FIRE LINES (INCLUDING FIRE SPRINKLER LINES)
 - UNDERGROUND: ALL PIPING SHALL BE CEMENT MORTAR LINED DUCTILE IRON PIPE CLASS 150, WITH HOT COAL TAR DIPPED EXTERIOR.
 - ABOVE GROUND: ALL PIPING SHALL BE SCHEDULE 40 BLACK STEEL PIPE AND FITTINGS. PIPES 3" AND LARGER SHALL BE WELDED OR VICTAULIC PIPE FITTINGS. PIPES 2 1/2" AND SMALLER SHALL BE SCREWED PIPE AND FITTINGS.
- VALVES:
 - GATE VALVES: UNDERGROUND - STOCKHAM: G636 OR JENKINS 836 FOR ABOVE SLAB 4" AND LARGER IN SIZE USE: STOCKHAM: G634, CRANE: 467, JENKINS: 825A FOR ABOVE SLAB 3" AND SMALLER IN SIZE USE: STOCKHAM: G608, CRANE: 460, JENKINS: 325
 - FIRE LINE CHECK VALVES 4" AND LARGER IN SIZE USE: STOCKHAM: G933 OR JENKINS: 728.
 - FIRE DEPARTMENT VALVE: ON 6" RISERS USE 2 1/2" HOSE VALVE WITH CAP AND CHAIN. ALLENCO MODEL 170.
 - SIAMESE CONNECTION: 2 1/2" x 2 1/2" x 6" EXPOSED WALL SIAMESE CONNECTION. CAST BRASS, INDEPENDENT DROP CLAPPERS, PLUGS AND CHAINS, AND ESCUTCHEON LETTERED "COMBINATION STANDPIPE AND AUTO SPRK" ALLENCO MODEL 270.
 - ROOF MANIFOLD: 2 1/2" x 2 1/2" x 6" CAST BRASS ROOF MANIFOLD, TWO OUTLETS WITH APPROVED ANGLE VALVE, BRASS CAPS AND CHAINS, ALLENCO MODEL 439.
- SPRINKLER HEADS:
 - PENDANT SPRINKLERS IN PUBLIC AREAS - GEM BULLETIN NO. 304 CEILING HEAD WITH ALL CHROME CONSTRUCTION INCLUDING CEILING FLANGE.
 - PENDANT SPRINKLERS IN AREAS WITH NO CEILING - GEM BULLETIN NO. 309 STAINLESS STEEL
 - SIDE WALL IN APT. & PUBLIC AREAS - GEM BULL. NO. 303 ALL CHROME PLATED WITH WALL PLATE.
 - SIDE WALL IN STORAGE, BOILER ROOM, ETC. - GEM BULLETIN NO. 303.
 - EXTENDED COVERAGE HEADS - CENTRAL SPRINKLER COR2 MODEL HF-17/32, POLISHED CHROME WITH WALL PLATE.
- TESTS: WATER PIPING: TEST TO 150 PSIG.



FIRST FLOOR PLAN.
SCALE: 1/8" = 1'-0"

PUMP SCHEDULE	
PUMP NUMBER	P-2
APPLICATION	FIRE PUMP
LOCATION	FIRST FLOOR
G.P.M.	750
T.D.H. (IN FT. WATER)	219
H.P.	60
R.P.M.	3560
EFFICIENCY	----
VOLTAGE	208-3-60
MOTOR TYPE	O.D.P.
PUMP TYPE	HORIZONTAL SPLIT-CASE
MANUFACTURER	AURORA
MODEL	4-481-11C
SIZE	4x5x8 1/4
CONSTRUCTION	CAST IRON BRONZE FITTED
SEAL	PACKING
OPERATING WEIGHT - LBS.	1000
INERTIA BLOCK SIZE	2000
ACCESSORIES	A & B

A. U.L. & F.M. APPROVED
B. PRIMARY RESISTOR START



TYPICAL FIRE SPRINKLER VALVING AT EACH TYPICAL FLOOR
N.T.S.

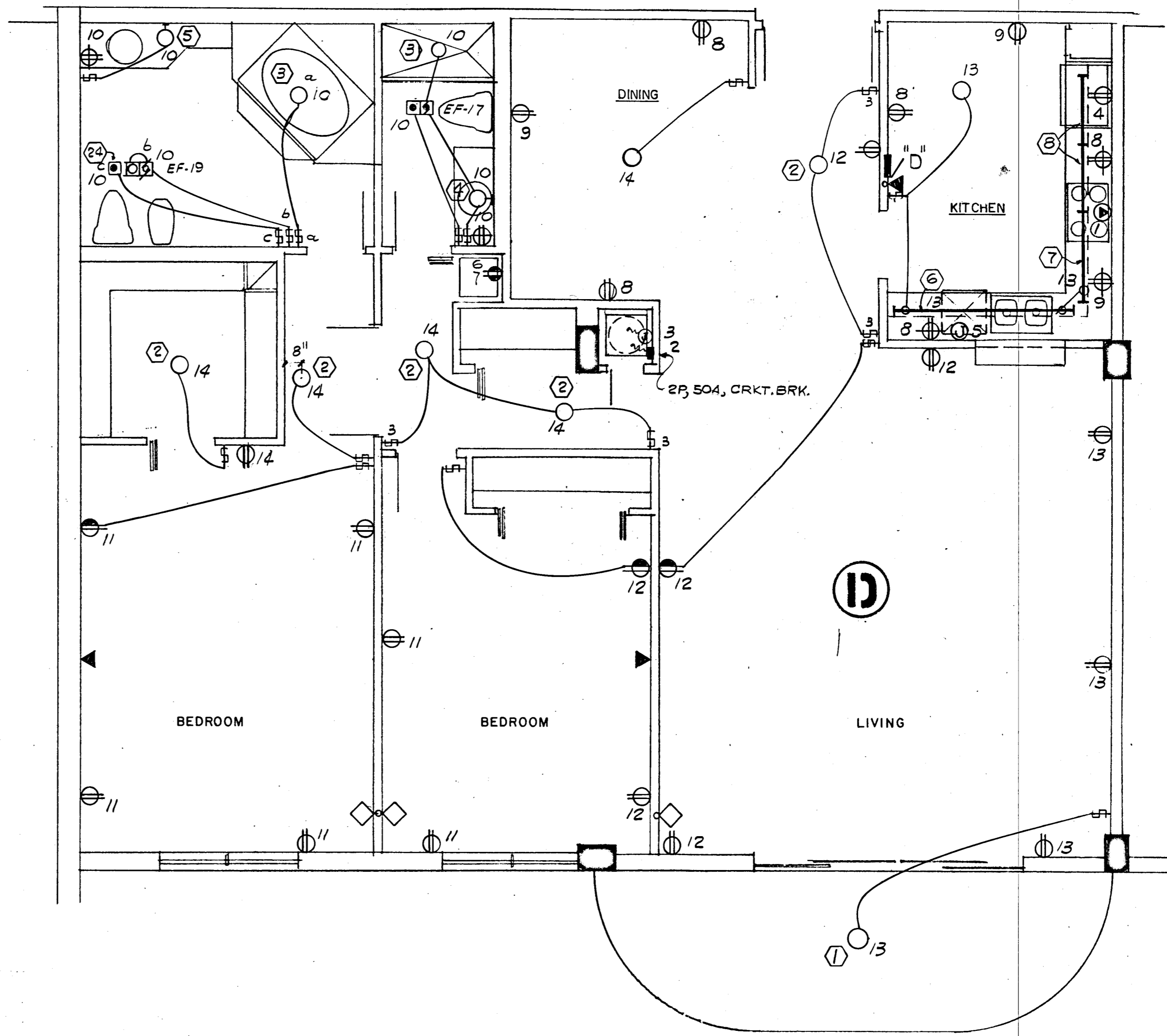
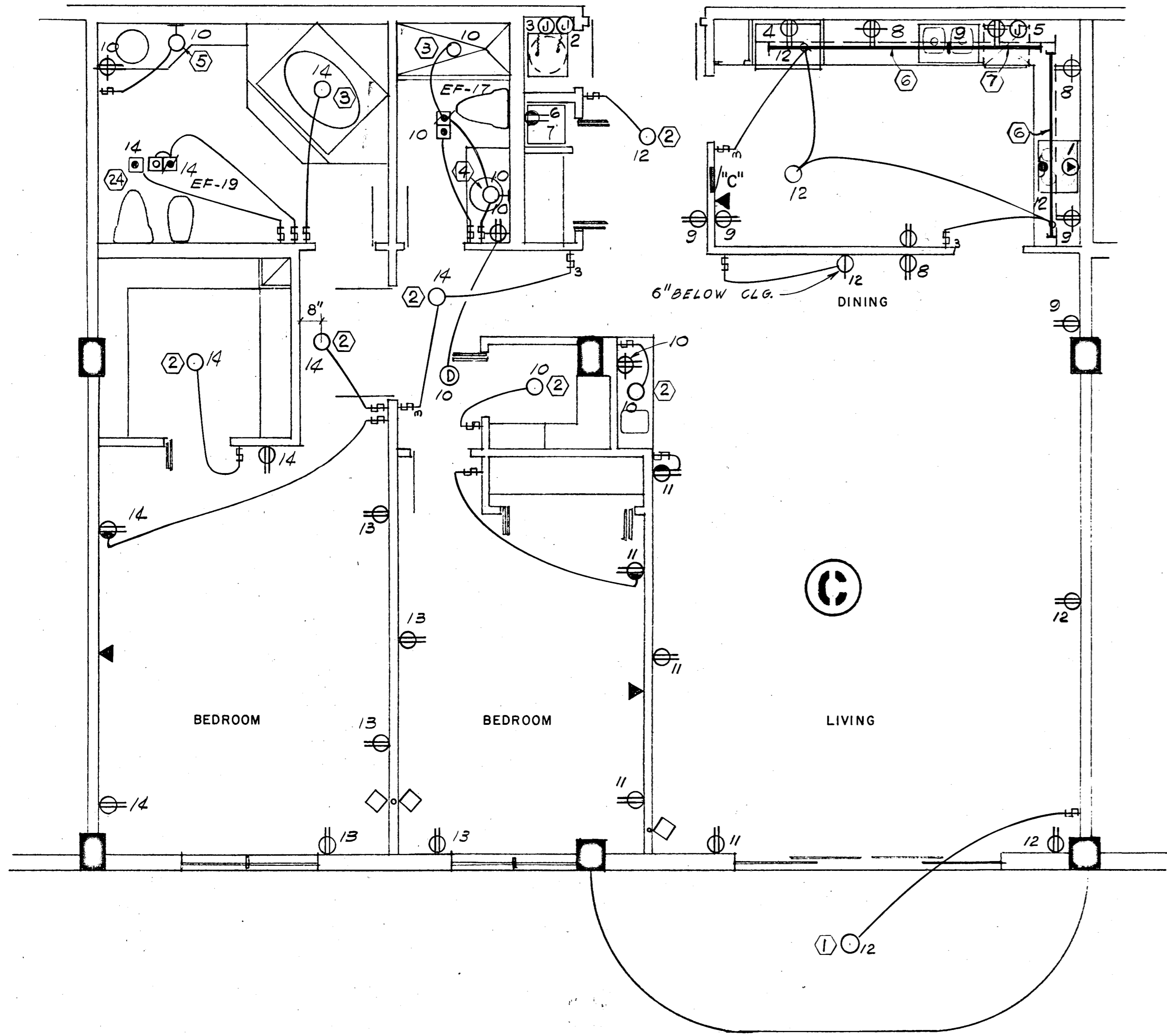
WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
138 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS SOUTH
A-135 UNIT CONDOMINIUM
COMM. No. DATE: 8-13-79 SHEET No. 3 OF 3

FLORIDA ENGINEERING SERVICES
252 N.E. 167 STREET
O.P. #1001 BOCA RATON, FLA.
33432 845-4733

NOTE: HYDRAULICALLY CALCULATED FIRE SPRINKLER SYSTEM SIZED FOR LIGHT HAZARD OCCUPANCY.

Solomon Miller
9/3/79



1700 SQ. FT x 3 WATTS = 5.1 KW

PANEL "C" & "D" 10, 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SOD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	KW	
				LINE	NEUT.
1	2-50	6	RANGE	12.0	8.4
2	2-50	6	AIR COND. (HTR & A.H.U.)	8.2	---
3	2-30	10	WATER HEATER	4.5	---
4	1-20	12	REFRIGERATOR	0.7	0.7
5			DISH WASHER	1.2	1.2
6			DRYER (COMPACT-FUTURE)	1.8	1.8
7			WASHER (COMPACT-FUTURE)	0.9	0.9
8-9			SMALL APPLIANCES	3.0	3.0
10-14	1-15	14	LIGHTS & RECEPTACLES	5.1	5.1

* CIRCUIT NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE	LOAD	KW
FIRST	10.0 KW @ 100%	10.0
NEXT	19.2 KW @ 40%	7.6
AIR COND. (HEATING)		5.5
TOTAL KW		23.1

NEUTRAL

LINE	LOAD	KW
FIRST	3.0 KW @ 100%	3.0
NEXT	9.4 KW @ 35%	3.3
RANGE	12.0 KW @ 70%	8.4
TOTAL KW		14.7

WATTS TO AMPS (LINE) 23,100 - 208V = 111 AMPS
WATTS TO AMPS (NEUT.) 14,700 - 208V = 70 AMPS
FEEDER: 2# 2 & 1# 4 THW CU - 1 1/2"

• 7.5 KW x 65% = 4.8 KW + 0.7 KW A.H.U. = 5.5 KW

NO.	MANUFACT.	CAT. NO.	LAMPS		VOLTAGE	MOUNTING	REMARKS
			NO.	TYPE			
1	PRESCOLITE	9446	1	75WA19	120	SURFACE	
2	MARKSTONE	1810	2	60WA19		SURFACE	
3	PROGRESS	P9610	1	60WA19		RECESSED	
4	PRESCOLITE	9320-8	8	25G16 1/2 C/W		WALL	
5	PRESCOLITE	9320-10	10	25G16 1/2 C/W		WALL	
6	LITHONIA	8TS140HRS	2	F40CW		SURFACE	
7		S140HRS	1	F40CW			
8		S130HRS	1	F30CW			
9		S120TS	1	F20T12			
10		2G440A12	4	F40CW		RECESSED	
11		F OR G240A12	2	F40CW		RECESSED	VERIFY TYPE OF CEILING BEFORE PURCHASING OF FIXTURES.
12		SC240A	2	F40CW		SURFACE	
13		ES1R	2	25W		SURFACE	
14		ES2R	2	25W		SURFACE	
15	PRESCOLITE	4085	1	75WA19		WALL	
16	MARKSTONE	751	1	75WA19		SURFACE	

NO.	MANUFACT.	CAT. NO.	LAMPS		VOLTAGE	MOUNTING	REMARKS
			NO.	TYPE			
17	MARKSTONE	761	1	75WA19		WALL	
18	KURT VERSEN	A7140	1	100WA19		RECESSED	
19	KURT VERSEN	R7220-100208	1	E23 1/2 MERC. VAPOR	208	RECESSED	
20	KURT VERSEN	W4520	1	40WT-101F	120	RECESSED STEP LIGHT	
21	STONCO	DLL-2	1	150WA21	120	ON 10'-0" STEEL POLE	PROVIDE PRECAST CONCRETE BASE
22	STONCO	OLA18-101MM	1	100W MERC. VAPOR	208	ON 2'-0" 3" OD PIPE	
23	STONCO	VCXL-11GC	1	75WA19	120	ELEV. PIT WALL	
24	NUTONE	9410	1	250WR/40	120	RECESSED	
25	LEVITTON	PORCELAIN RECEPT.	1	60WA19	120	SURFACE	

WILLIAM M. FRIEDMAN AND ASSOCIATES ARCHITECTS, ILC.

128 S.E. 14TH LANE
3588044

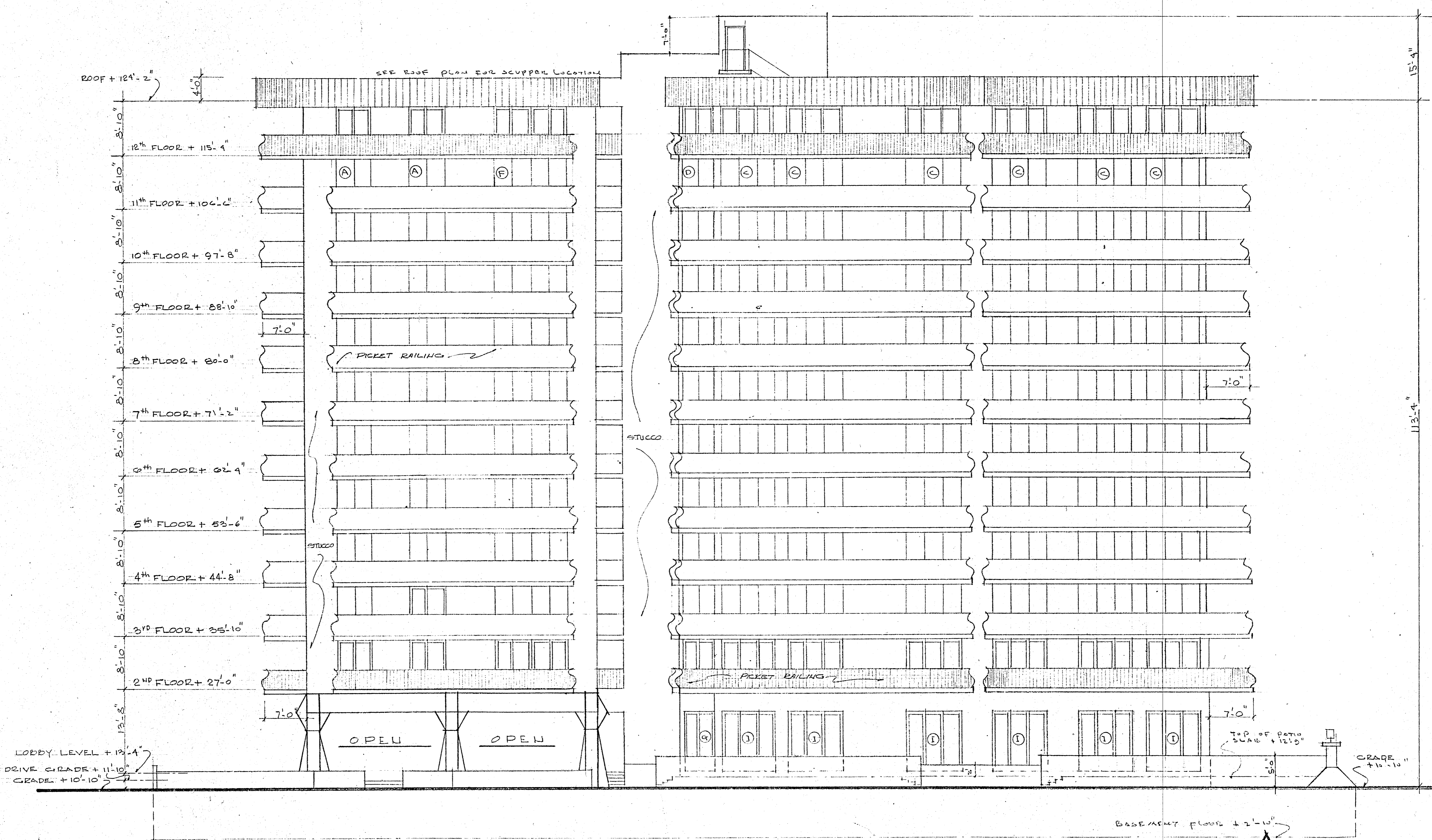
CHAMPLAIN TOWERS SOUTH

A- 125 UNIT CONDOMINIUM

COMM. NO. DATE: 8-13-79 SHEET NO. 7 of 11

FLORIDA ENGINEERING SERVICES
352 NE 107 STREET
MIAMI BEACH, FLA. 33152

Solomon Miller 8/13/79



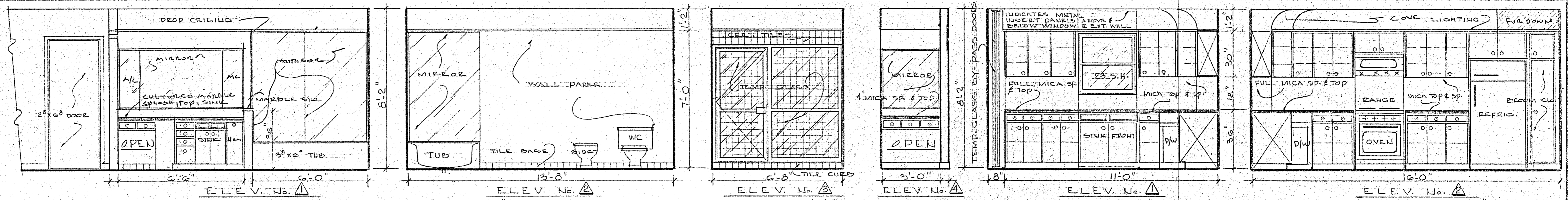
EAST ELEVATION 1/8" = 1'-0"

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

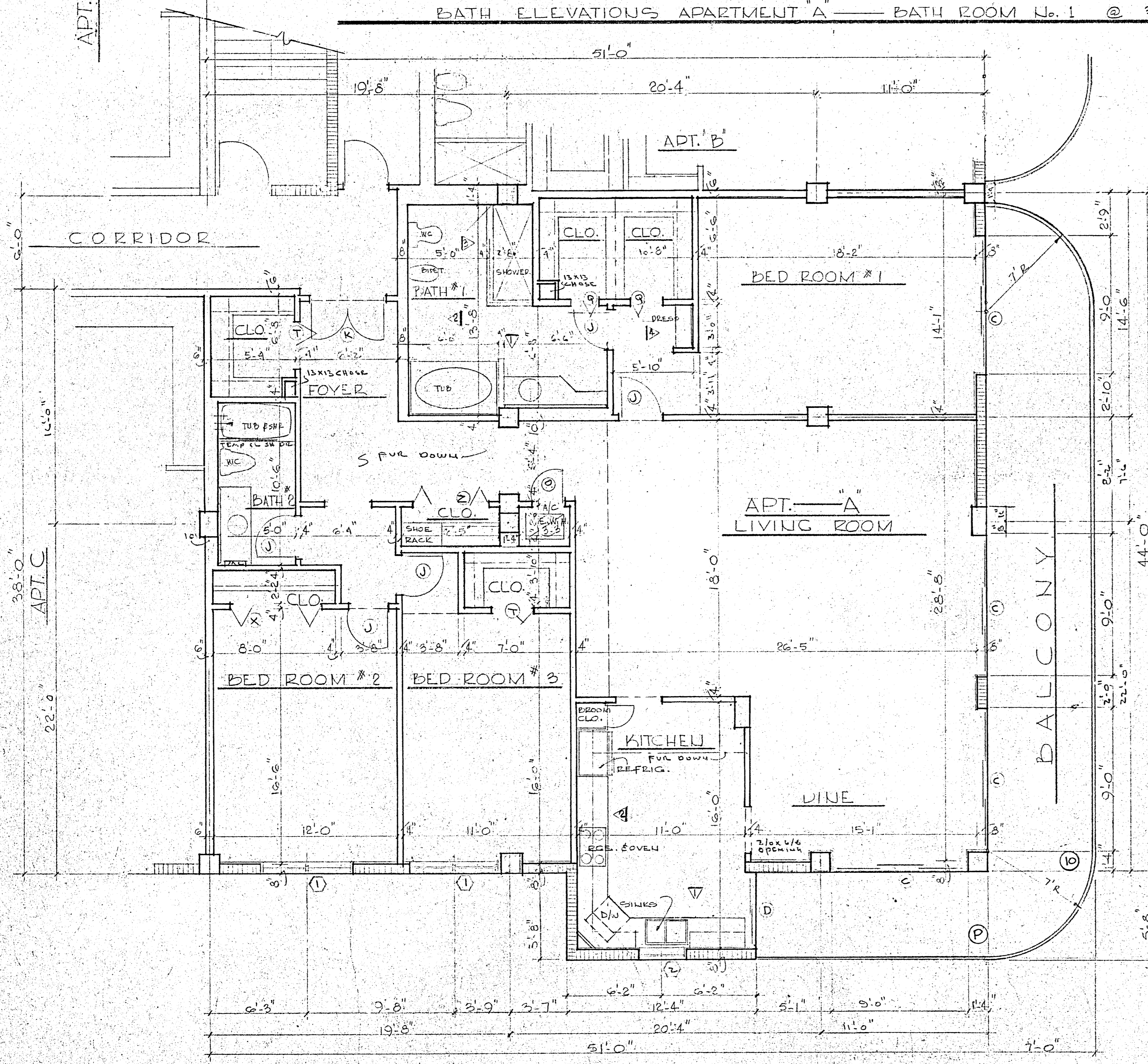
138 S.E. 14th LANE
3588044 CHAMPLAIN TOWERS SOUTH
8777 COLLINS AVE.
A 135 UNIT CONDOMINIUM

COMM. No. DATE: SHEET

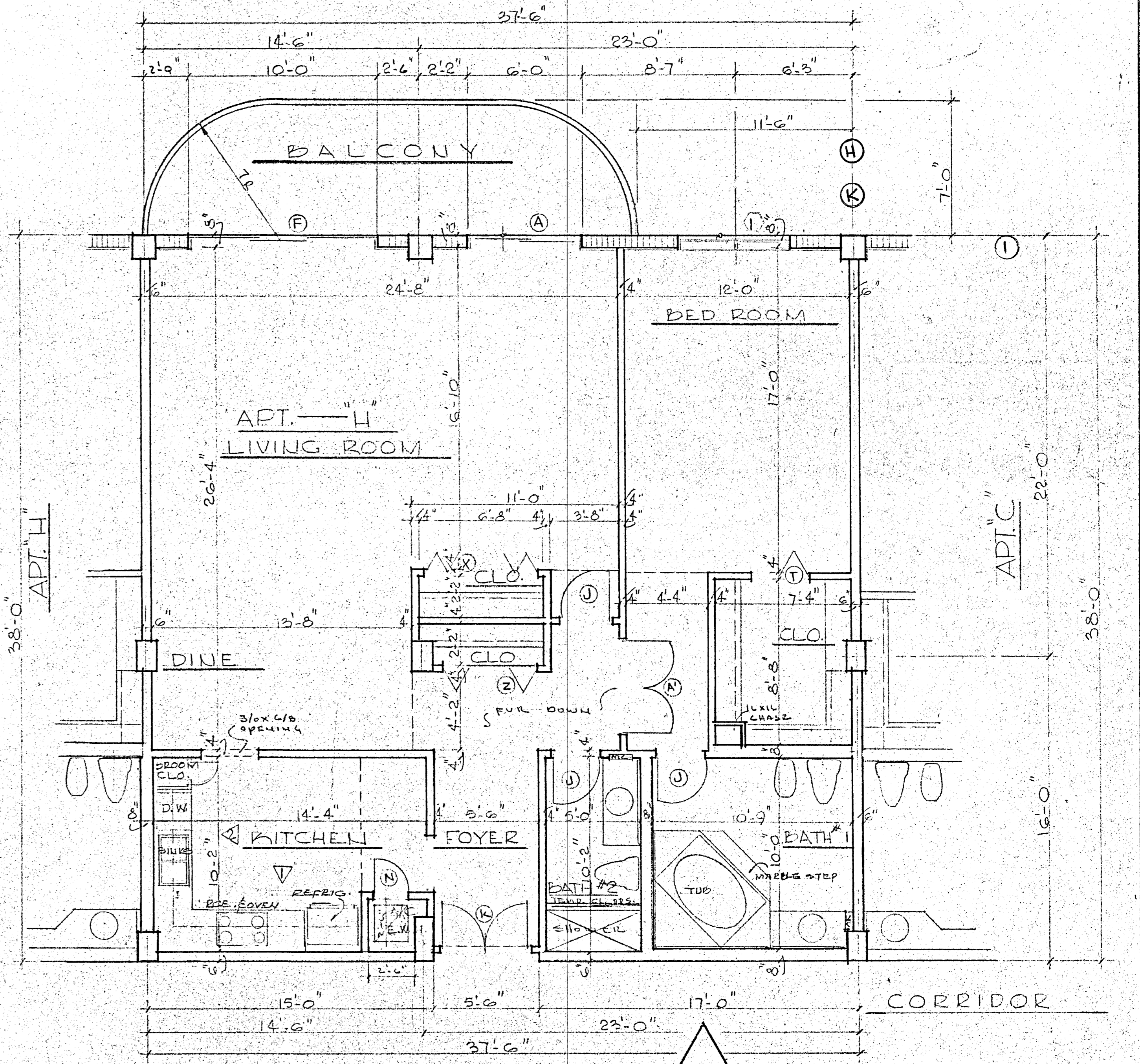
REVISED: 10 OF 3



NOTES:
 ELEVATIONS FOR BATH No. 2 OF APARTMENT "A" - SIMILAR TO ELEV. OF BATH No. 2 OF APT. "D" - SEE SHT. No. 20 & 23
 ELEVATIONS FOR BATHS No. 1 & 2 OF APARTMENT "H" - SIMILAR TO ELEV'S OF BATHS No. 1 & 2 OF APT. "D" - SEE SHT. No. 20 & 23
 SEE SHEET No. 27 FOR KITCHEN ELEVATIONS OF APARTMENT "H".



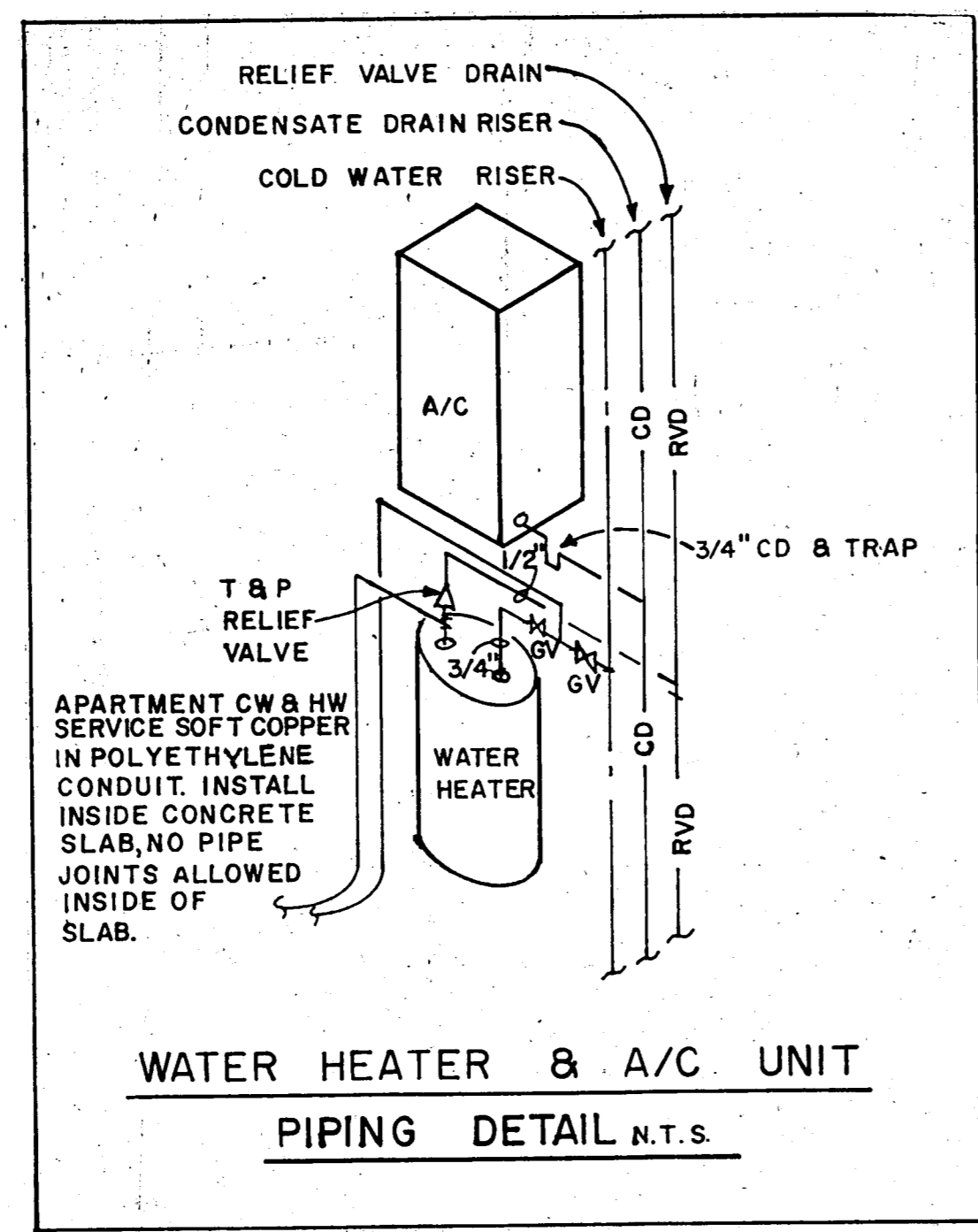
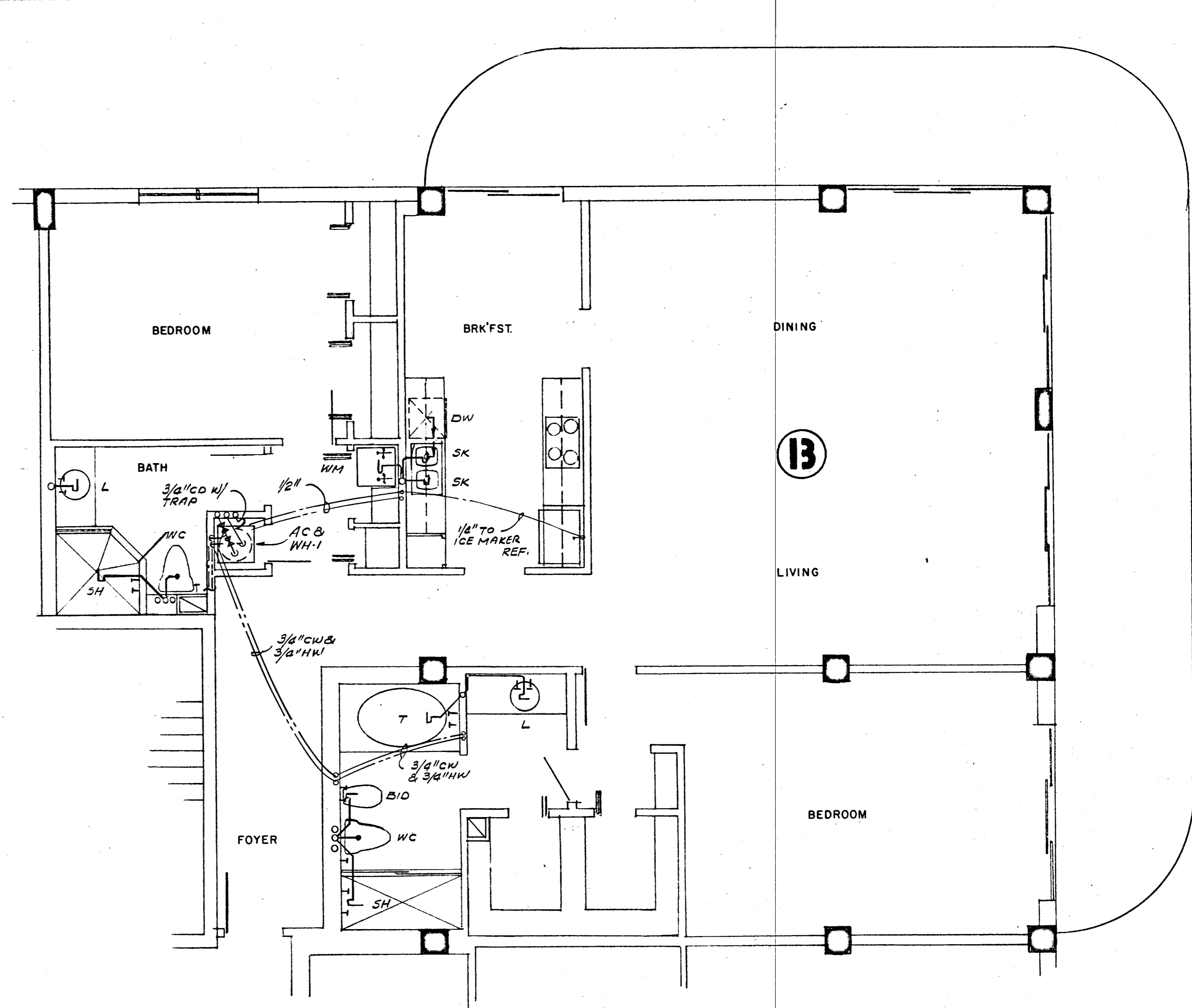
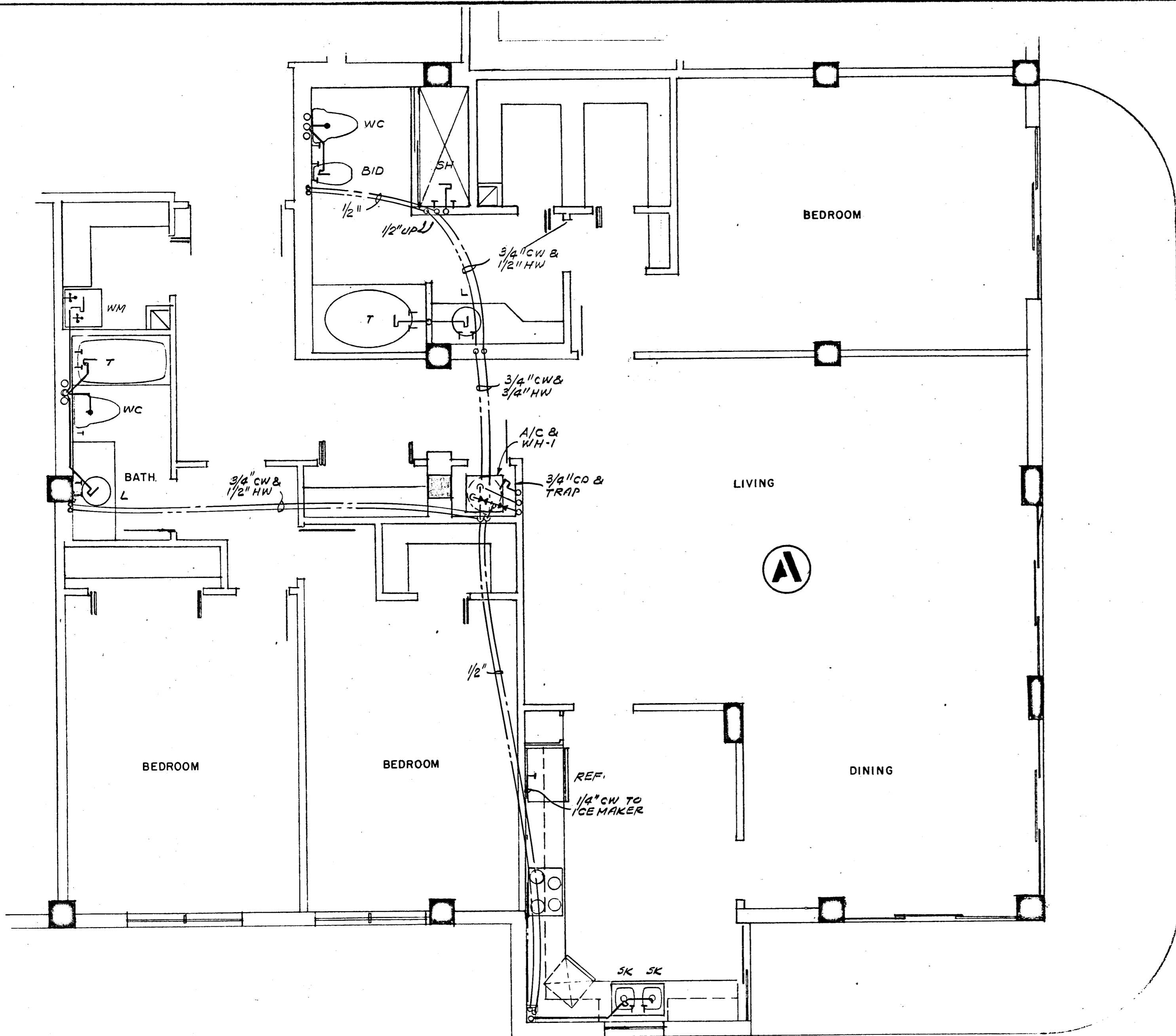
TYPICAL FLOOR PLAN APT. "A" @ 1/4"=1'-0"



TYPICAL FLOOR PLAN APT. "H" @ 1/4"=1'-0"

WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14th LANE 3588044		CHAMPLAIN TOWERS SOUTH 8777 COLLINS AVE.	
A: 135 UNIT CONDOMINIUM			
COMM. No.	DATE:	SHEET:	
REV.		18 OF 30	



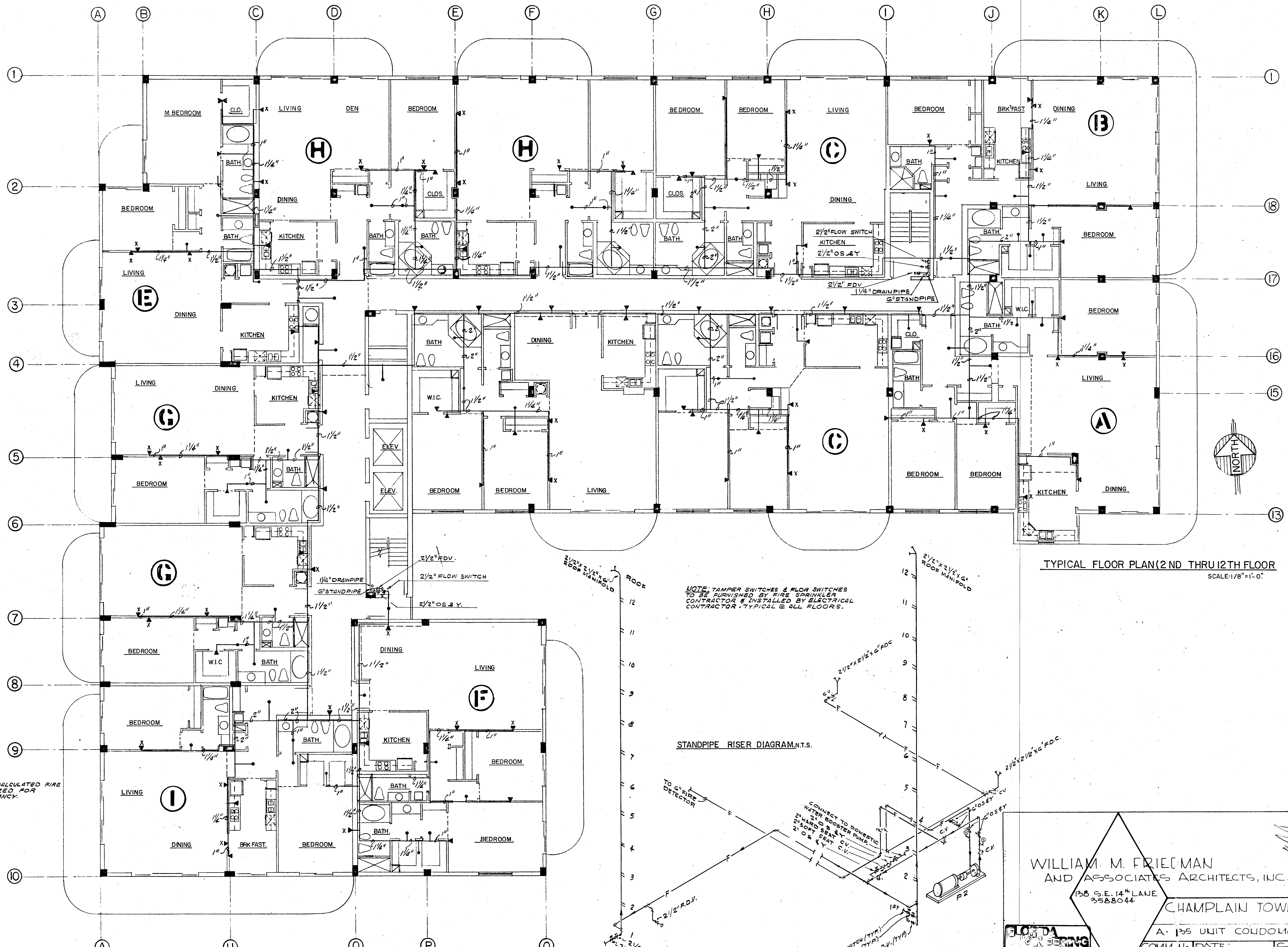
WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
158 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS SOUTH
A - 125 UNIT CONDOMINIUM

FLORIDA ENGINEERING SERVICES
352 NE 167 STREET
N. MIAMI BCH, FLA 33169

COMM. No.	DATE	SHEET No.
	8-13-79	13 of 11
REV.		SHEETS

Salomon Milner
8/13/79

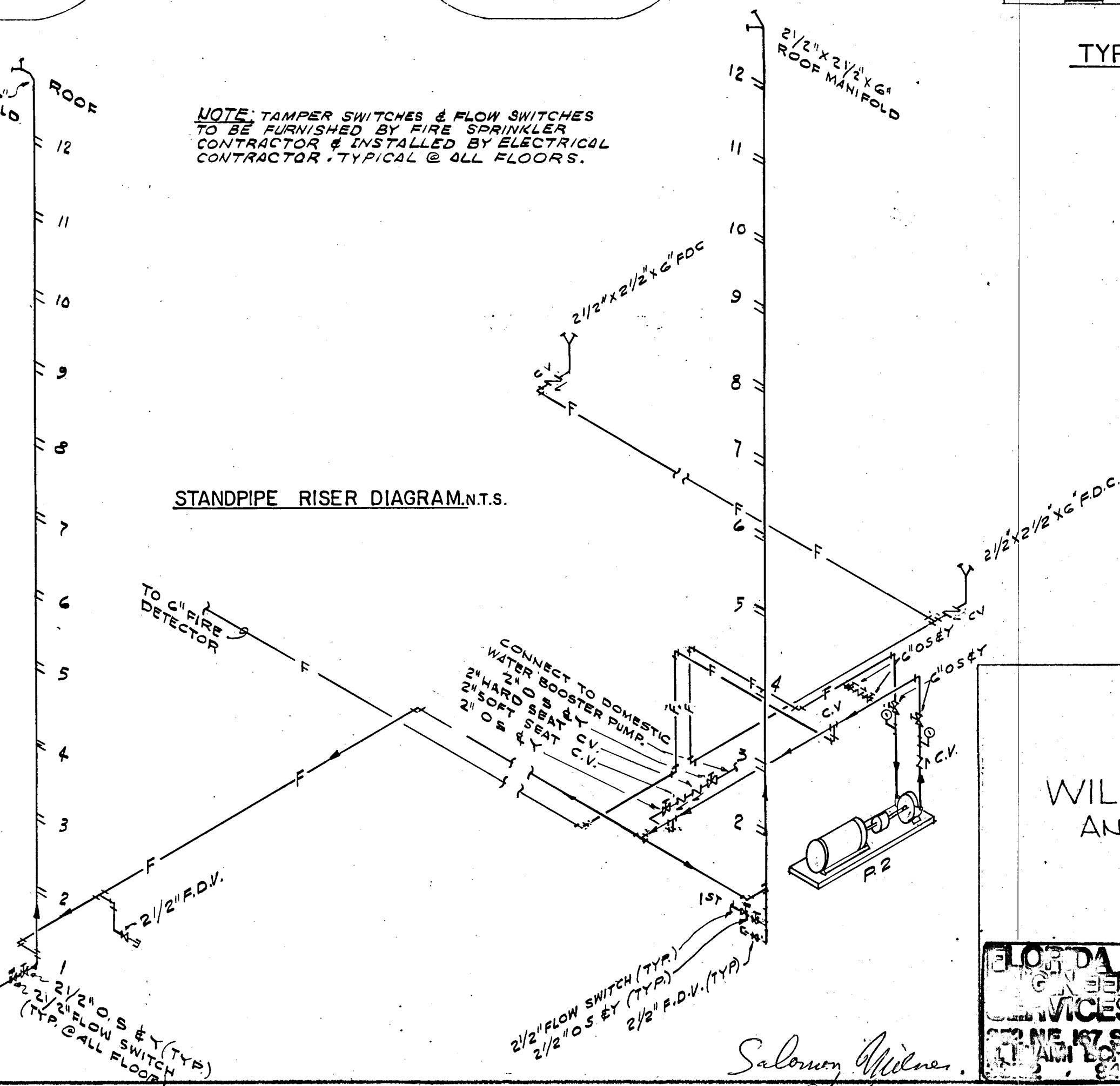


TYPICAL FLOOR PLAN (2ND THRU 12TH FLOOR)
SCALE: 1/8" = 1'-0"

NOTE: HYDRAULICALLY CALCULATED FIRE SPRINKLER SYSTEM SIZED FOR LIGHT HAZARD OCCUPANCY.

NOTE: TAMPER SWITCHES & FLOW SWITCHES TO BE FURNISHED BY FIRE SPRINKLER CONTRACTOR & INSTALLED BY ELECTRICAL CONTRACTOR, TYPICAL @ ALL FLOORS.

STANDPIPE RISER DIAGRAM, N.T.S.



WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

135 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS SOUTH

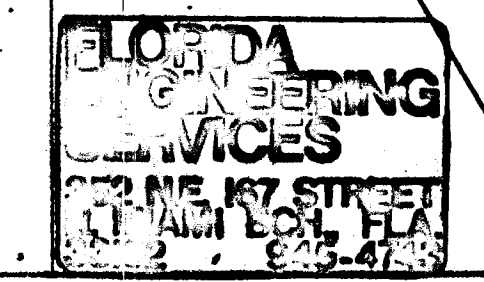
A-135 UNIT CONDOMINIUM

COMM. U. DATE: 8-13-79 SHEET No. 313 OF 3

REV.

SHEETS

Salomon Wilner
8/13/79



ENVIRONMENTAL RESOURCES MANAGEMENT POLLUTION CONTROL - PLANS PROCESSING			
PROJECT	STATUS & I. D. NUMBER	BY	DATE
POTABLE WATER	PC 922924	CS-15	11/1/79
SANITARY WASTES	PC 922924	CS-15	11/1/79
IND. WASTE / U.G. TANK	PC 922924		11/1/79
AIR			

700: CSC-75 PL

REMARKS: # 922924
SUEFSIDE

NOTICE: This Building Permit is issued predicated upon "Application and Acceptance of Conditional Building Permit and Estoppel Notice", and is subject to the conditions contained therein. DETM.

FIRE PROTECTION REQUIREMENTS

INDICATE A _____

Spaced _____ Ft. _____

Date _____

(Date County Fire Division)

Section 215 of the Metropolitan Area County Code requires that any special fire protection must be filed WITHIN 15 DAYS of the following date

[Handwritten signature]

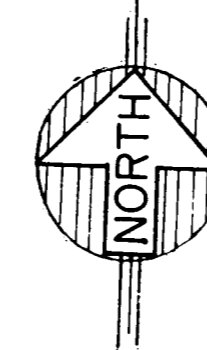
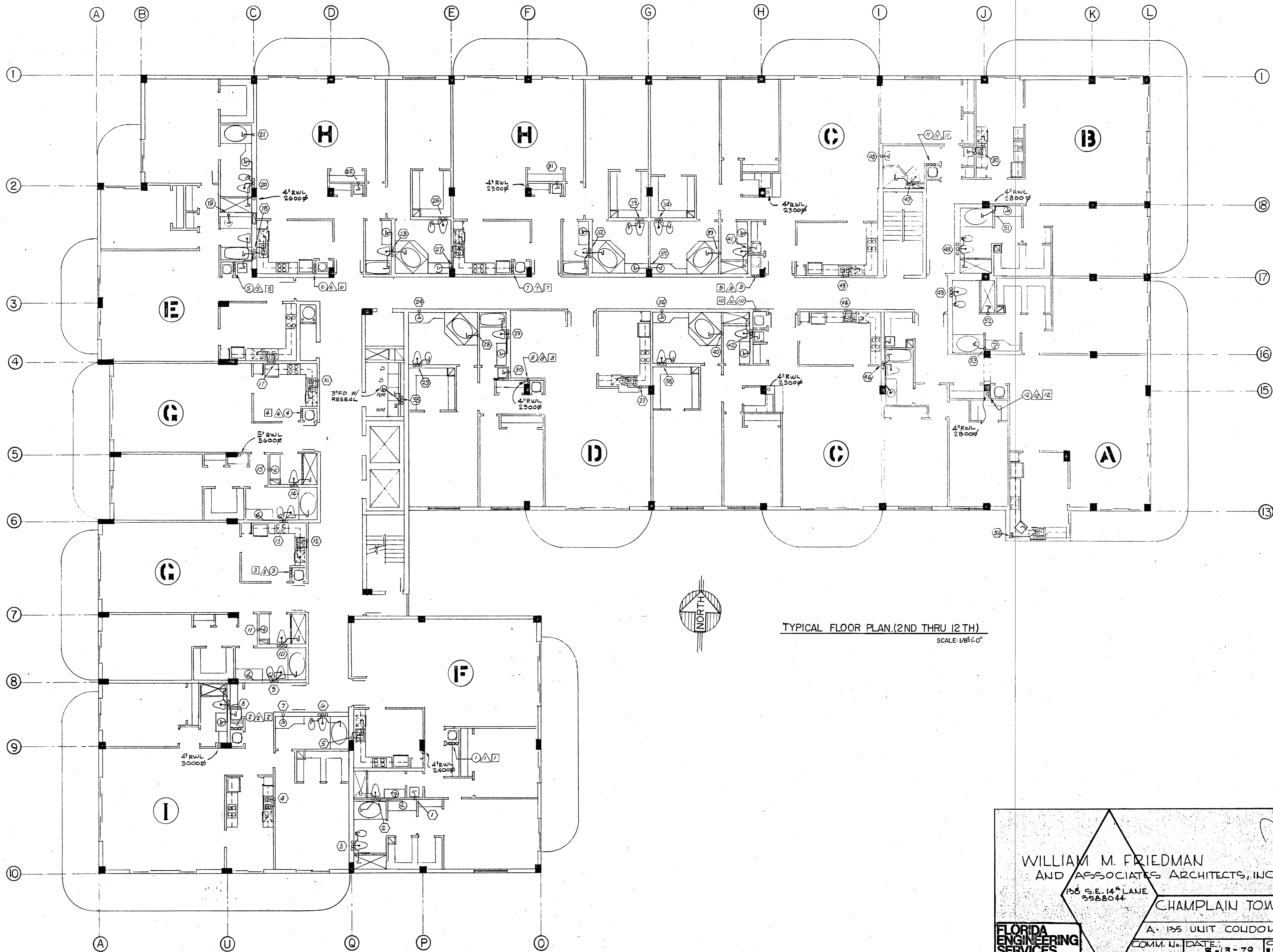
APPROVED BY _____

DATE COUNTY FIRE DEPARTMENT _____

SPK _____ BLDG. PERMIT ok O.S.H.E. _____

WATER MAIN EXTENSION _____

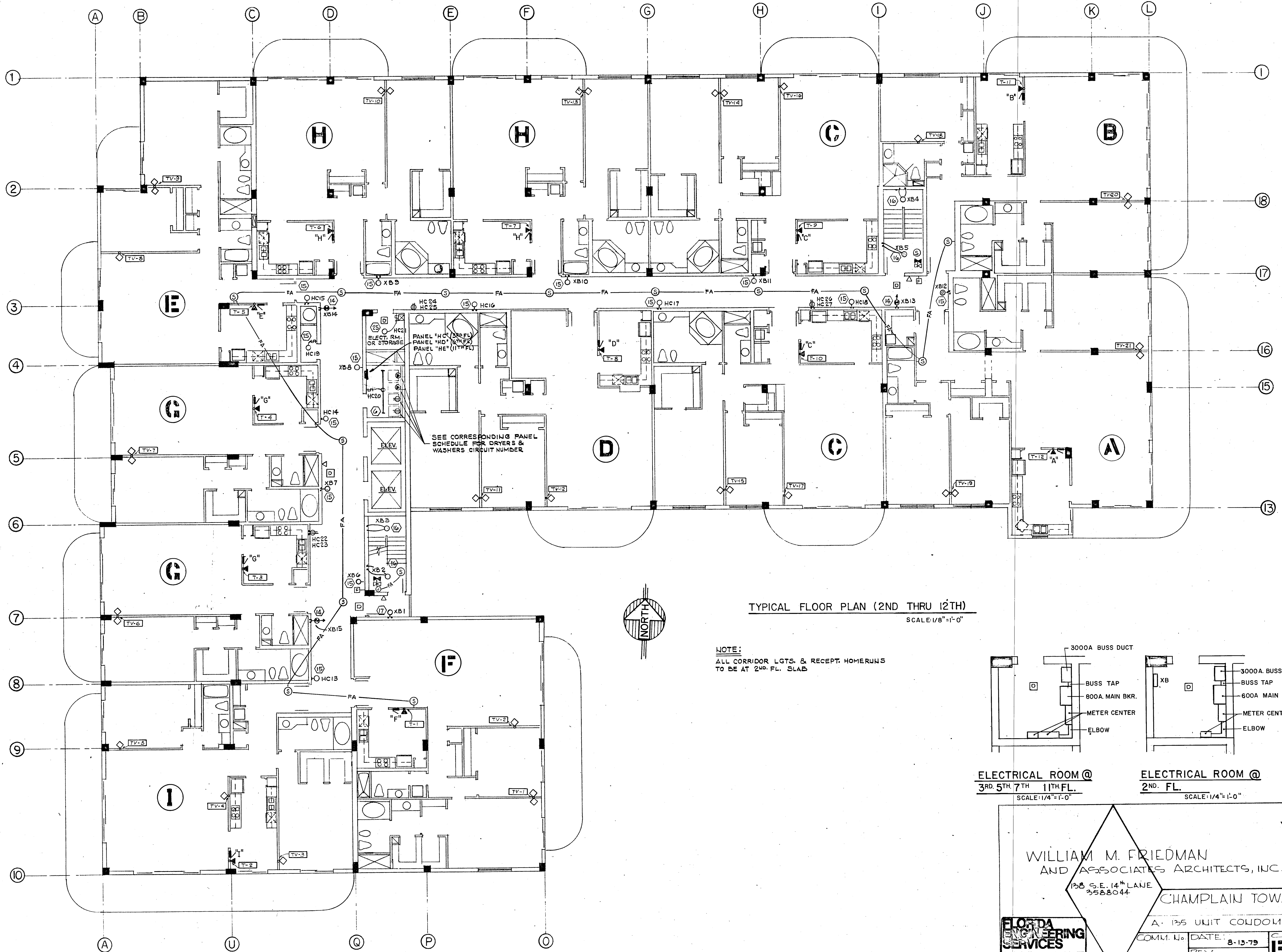
DATE 11-9-79 BY [Signature]



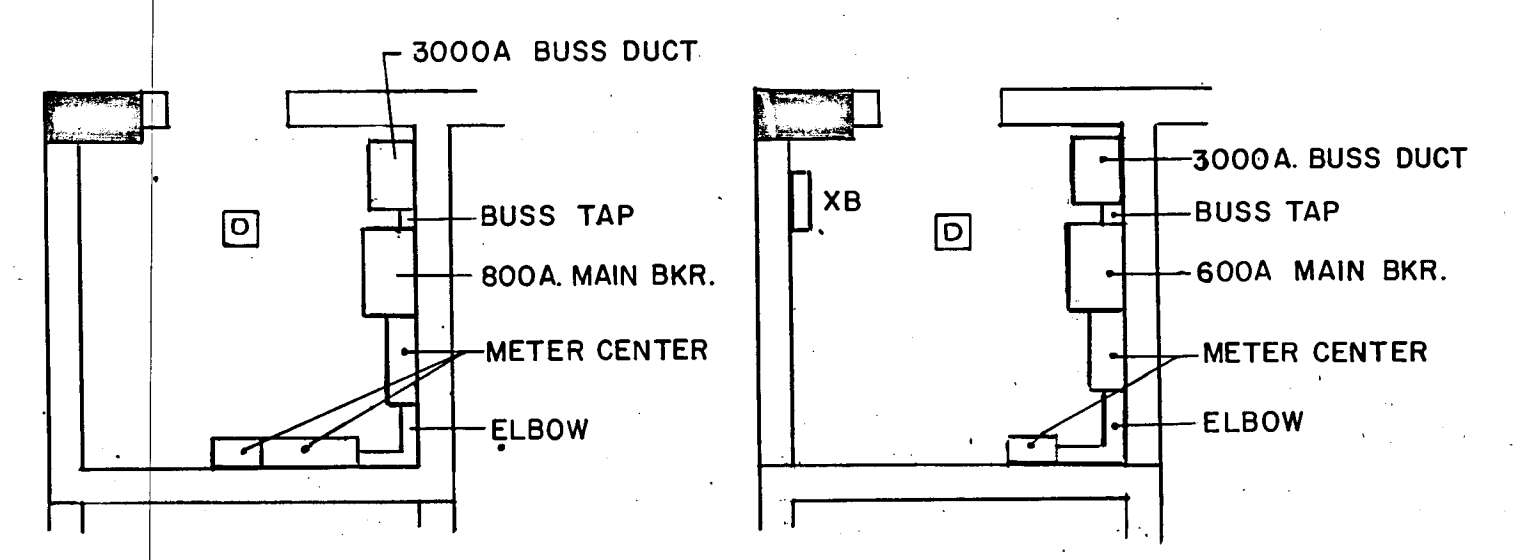
TYPICAL FLOOR PLAN (2ND THRU 12TH)
SCALE: 1/8" = 1'-0"

WILLIAM M. FRIEDMAN AND ASSOCIATES ARCHITECTS, INC. 136 S.E. 14 TH LANE 3358644		
CHAMPLAIN TOWERS SOUTH		
A- 135 UNIT CONDOMINIUM		
COMM. No.	DATE: 8-13-79	SHEET No. 14 of 11
352 NE 167 STREET N. MIAMI BCH., FLA. 33162 945-4743		SHEETS

William M. Friedman
8/13/79



TYPICAL FLOOR PLAN (2ND THRU 12TH)
 SCALE: 1/8" = 1'-0"



ELECTRICAL ROOM @
 3RD, 5TH, 7TH, 11TH FL.
 SCALE: 1/4" = 1'-0"

ELECTRICAL ROOM @
 2ND FL.
 SCALE: 1/4" = 1'-0"

WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14TH LANE
 3588044

CHAMPLAIN TOWERS SOUTH

A - 135 UNIT CONDOMINIUM

COMM. NO.	DATE: 8-13-79	SHEET NO. 154 of 11
REV		SHEETS

FLORIDA
 ENGINEERING
 SERVICES
 352 NE 167 STREET
 MIAMI BEACH, FLA.
 33132 945-4743

Sebring
 8/13/79

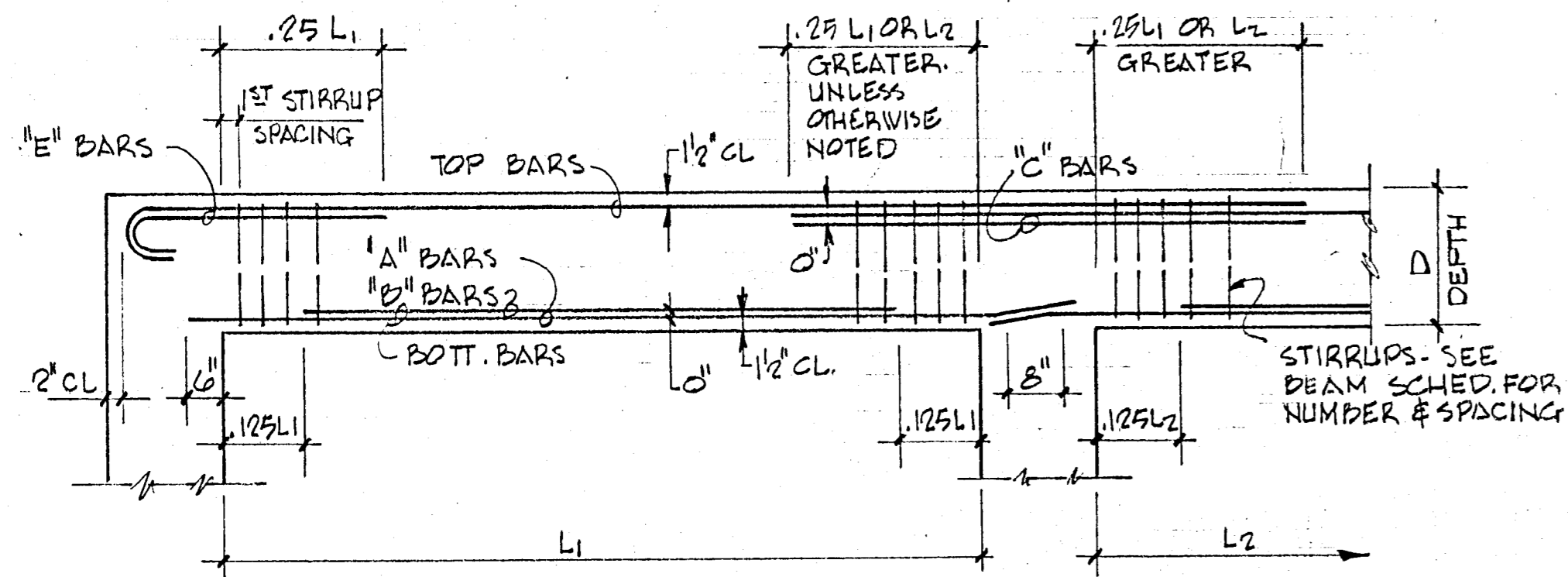
COLUMN SCHEDULE

TYPE	(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)	(I)	(J)	(K)	(L)	(M)	(N)	(P)	(Q)	(R)	(S)	(T)	(X)	(Y)	
SIZE	24" x 24"		16" x 16"	16" x 16"	16" x 16"	16" x 16"	14" x 18"	14" x 18"	12" x 24"	12" x 24"	12" x 24"	12" x 24"	12" x 36"	12" x 16"	8" x 12"	8" x 12"	8" x 12"	8" x 12"	8" x 12"			
MACH. RM. ROOF	+139'-6"																					
MACH. RM. FLOOR	+130'-10"																4#5		4#5			
ROOF	+124'-2"															4#5	4#5	4#5				
12th FLOOR (PENTHOUSE)	+115'-4"			4#8	4#8	4#8		4#8	4#8	4#8	4#8	4#8	6#8		4#6					8#5 12" x 18"	8#5 12" x 18"	
11th FLOOR	+106'-6"																					
10th FLOOR	+97'-8"																					
9th FLOOR	+88'-10"		U																		8#5 12" x 18"	
8th FLOOR	+80'-0"		T																		10#5 12" x 24"	8#5 12" x 18"
7th FLOOR	+71'-2"		U		4#8	4#8		4#8	4#8		4#8	4#8	4#8								10#6 12" x 24"	8#7 12" x 18"
6th FLOOR	+62'-4"		L	4#8	6#8	4#9		4#9	4#9	4#8	6#8	6#8	6#8								10#7 12" x 24"	8#9 12" x 18"
5th FLOOR	+53'-6"		U	6#8	8#8	6#9		6#9	6#9	6#8	8#8	8#8	8#8			4#6					12#8 12" x 30"	10#9 12" x 24"
4th FLOOR	+44'-8"		D	8#8	8#9	8#9		8#9	8#9	8#8	8#9	8#9	8#9	6#8		4#7					16#8 12" x 42"	10#10 12" x 24"
3RD FLOOR	+35'-10"			8#8	8#9	8#9		8#9	8#9	8#8	8#9	8#9	8#9	6#9		4#7					16#9 12" x 42"	10#10 12" x 24"
2ND FLOOR	+27'-0"			8#9	8#10	8#10 3 E.F.		8#10	8#10	8#9	8#10	8#10	8#10	8#9	4L-2S	4#8					16#11 12" x 42"	12#10 12" x 30"
LOBBY FL.	+13'-4"	12#10 4 E.F.		8#10	8#11			10#10 4L-3S					10#10 5L-2S			4#9					20#11 12" x 54"	12#11 12" x 30"
BASAMENT FL.	+2'-2"	12#10 4 E.F.		8#11 3 E.F.	12#11 4 E.F.		4#8	10#11 4L-3S					12#10 6L-2S		4#7	4#9					24#11 12" x 66"	14#11 12" x 36"
					COL. E-4 UP TO EL. +125'-8"			COL. I-3C FROM 2ND TO ROOF														

NOTES
 - TIES FOR NO. 11 MAIN BARS USE #4 TIES, ALL OTHERS TO BE #3 DETAILED IN ACCORDANCE WITH ACI-318
 - COLUMN DOWELS TO BE SAME NO. AND SIZE AS MAIN REINF. ORCING

WILLIAM M. FRIEDMAN & ASSOCIATES
 ARCHITECTS, I.L.C.
 138 S.E. 14th Ln.
 CHAMPLAIN TOWERS SOUTH
 A-135 UNIT CONDOMINIUM
 COMM. No. DATE 8/20/79 SHEET No. 514 of 14
 REV.

BREITERMAN JURADO & ASSOCIATES
 CONSULTING ENGINEERS
 420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146



TYPICAL BAR PLACING BEAM DIAGRAM

BEAM SCHEDULE

MARK	EL. BOTT. CONCRETE	SIZE B x D	LONGITUDINAL		"E" COL#	"C" COL#	STIRRUPS	REMARKS	
			BOTT	TOP					
BH 1	+23'-6"	30" x 42"	6 # 8	4 # 8	2 # 8 EE		# 5 @ 18"		
BH 2		36" x 42"	6 # 8	4 # 8	2 # 8 EE		# 5 @ 18"		
BH 3			6 # 8	6 # 8	-		# 5 @ 18"		
BH 4			8 # 9	6 # 9	2 # 9		# 5 @ 18"		
BH 5			14 # 11	6 # 11		4 # 11	# 5 @ 6" THROUGH		
BH 6			* 12 # 11	6 # 11			# 5 @ 6"	* 2 LAYERS - 10 BARS IN OUTER LAYER	
BH 7			8 # 9	6 # 11			# 5 - 4 @ 6" 4 @ 6" REM. @ 18"		
BH 8			* 16 # 11	6 # 11			# 5 @ 6" T.O.	* 2 LAYERS - 10 BARS IN OUTER LAYER	
BH 9			8 # 9	6 # 9	2 # 9		# 5 @ 18"		
BH 10		30" x 42"	8 # 9	6 # 9	2 # 9	4 # 10	# 5 @ 18"		
BH 11			10 # 10	6 # 10		4 # 10	# 5 - 8 @ 6" WEST END REM. @ 18"		
BH 12			10 # 11	6 # 10			# 5 - 10 @ 6" EE REM. @ 18"		
BH 13			8 # 9	6 # 10	2 # 10		# 5 @ 16"		
BH 14			8 # 9	* 6 # 9	4 # 10		# 5 @ 16"	* CONTINUOUS TOP STEEL	
BH 15			8 # 9	* 6 # 9	4 # 9		# 5 @ 16"	* CONTINUOUS TOP STEEL	
BH 16			DELETE						
BH 17		36" x 42"	* 16 # 11	6 # 11	2 # 11		# 5 @ 6"	* 2 LAYERS - 10 BARS IN OUTER LAYER	
BH 18			8 # 10	6 # 11			# 5 @ 18"		
BH 19			* 12 # 11	6 # 11		4 # 11	# 5 @ 6"	* 2 LAYERS - 10 BARS OUTER LAYER	
BH 20			* 12 # 11	6 # 11		2 # 11	# 5 @ 6"	* 2 LAYERS - 10 BARS OUTER LAYER	
BH 21			* 14 # 11	6 # 11			# 5 - 8 @ 6" SOUTH END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER	
BH 22			8 # 10	6 # 8	2 # 8		# 5 @ 18"		
BH 23			8 # 10	* 4 # 11		6 # 11	# 5 @ 18"	* CONTINUOUS TOP STEEL	
BH 24			8 # 10	* 4 # 11		4 # 8	# 5 @ 18"	* CONTINUOUS TOP STEEL	
BH 25			* 12 # 11	6 # 11		2 # 11	# 5 - 6 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER	
BH 26			* 16 # 11	6 # 11		2 # 11	# 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER	
BH 27			* 14 # 11	6 # 11	2 # 10 EE		# 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER	
BH 28			* 14 # 11	6 # 11	2 # 10 EE		# 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER	
BH 29			* 14 # 11	6 # 11	2 # 10 EE		# 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER	
BH 30			* 14 # 11	6 # 11	2 # 10 EE		# 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER	
BH 31			* 14 # 11	6 # 10	2 # 10 EE		# 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER	
BH 32	+23'-6"		* 14 # 11	6 # 10	2 # 10		# 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER	
BH 33	+9'-10"	24" x 42"	* 10 # 11	4 # 10			# 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 6 BARS OUTER LAYER	
BH 34			* 10 # 11	4 # 10			# 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 6 BARS OUTER LAYER	
BH 35	+9'-10"		* 12 # 11	4 # 10			# 5 @ 6" THROUGH	* 2 LAYERS - 6 BARS EA.	
BH 36	+1'-1"	8" x 21"	2 # 6	2 # 6			# 3 @ 10"		
BH 37	+10'-2"	8" x 38"	2 # 5	2 # 5			# 3 @ 18"	ADD 2 # 4 AT MIDDEPTH#	
BH 38	VARIABLE	8" x 18"	2 # 5	2 # 5			# 3 @ 8"		
BH 39	+127'-7"	8" x 32"	2 # 9	2 # 6			# 3 @ 8"	ADD 2 # 4 AT MIDDEPTH#	
BH 40	+128'-10"	8" x 24"	2 # 6	2 # 5			# 3 @ 8"		
BH 41	+137'-10"	8" x 20"	2 # 6	2 # 5			# 3 @ 10"		
BH 42	+125'-8"	12" x 18"	3 # 7	2 # 7			# 3 @ 8"		

BEAM SCHEDULE

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

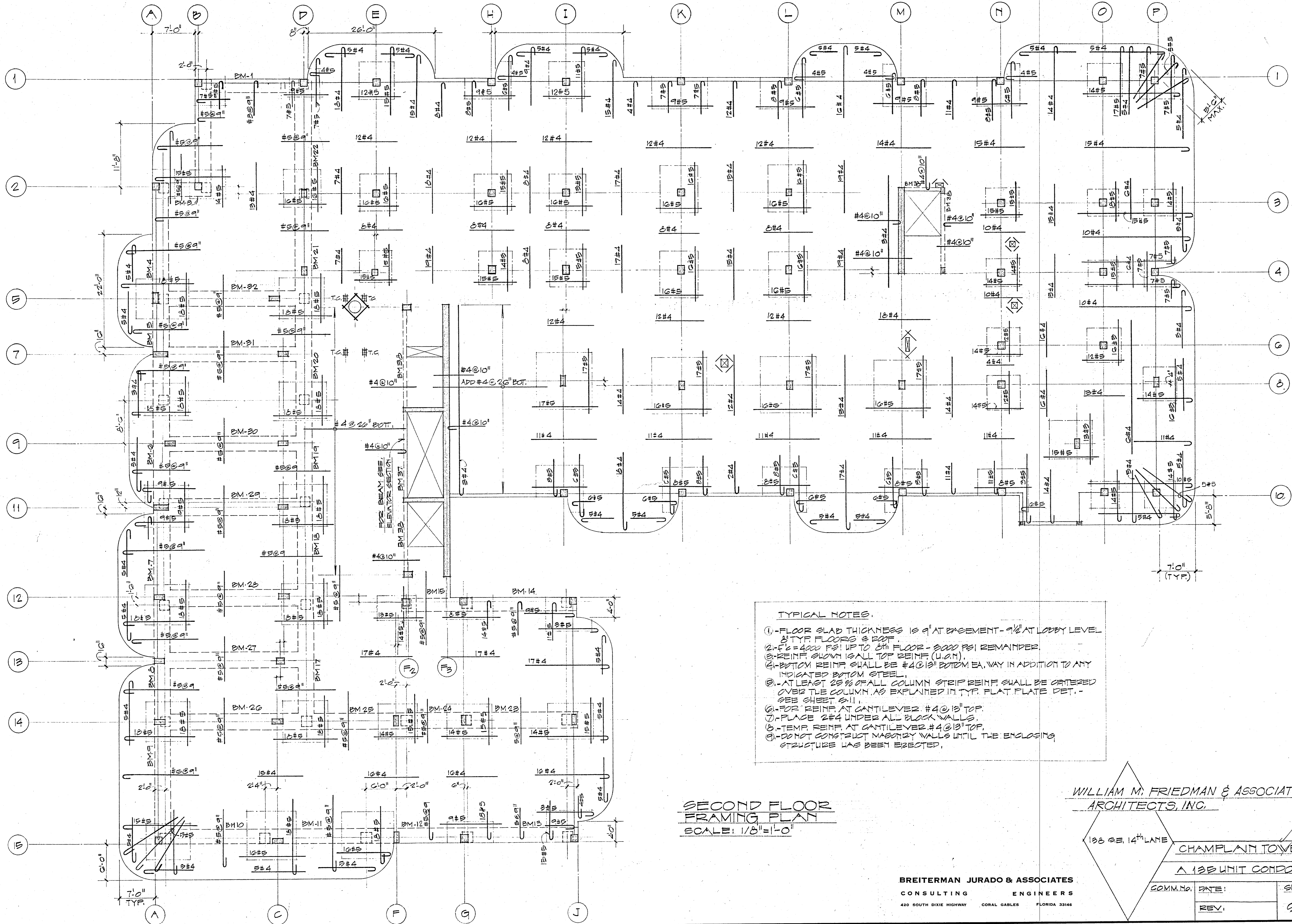
125 S.E. 14th L.A.

CHAMPLAIN TOWERS SOUTH

A 135 UNIT CONDOMINIUM

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

COMM. No. DATE 8/22/79 SHEET No. 513 of 14
REV.



TYPICAL NOTES.

1. FLOOR SLAB THICKNESS IS 9" AT BASEMENT - 9 1/2" AT LOBBY LEVEL & TYP. FLOORS & ROOF.
2. $f_c = 4000$ PSI UP TO 5TH FLOOR - 5000 PSI REMAINDER.
3. REINF. SHOWN IS ALL TOP REINF. (U.O.M.).
4. BOTTOM REINF. SHALL BE #4 @ 13" BOTTOM EA. WAY IN ADDITION TO ANY INDICATED BOTTOM STEEL.
5. AT LEAST 25% OF ALL COLUMN STRIP REINF. SHALL BE CATERED OVER THE COLUMN AS EXPLAINED IN TYP. FLAT PLATE DET. - SEE SHEET S.11.
6. FOR REINF. AT CANTILEVER #4 @ 13" TOP.
7. PLACE 2#4 UNDER ALL BLOCK WALLS.
8. TEMP. REINF. AT CANTILEVER #4 @ 13" TOP.
9. DO NOT CONSTRUCT MASONRY WALLS UNTIL THE ENCLOSING STRUCTURE HAS BEEN ERECTED.

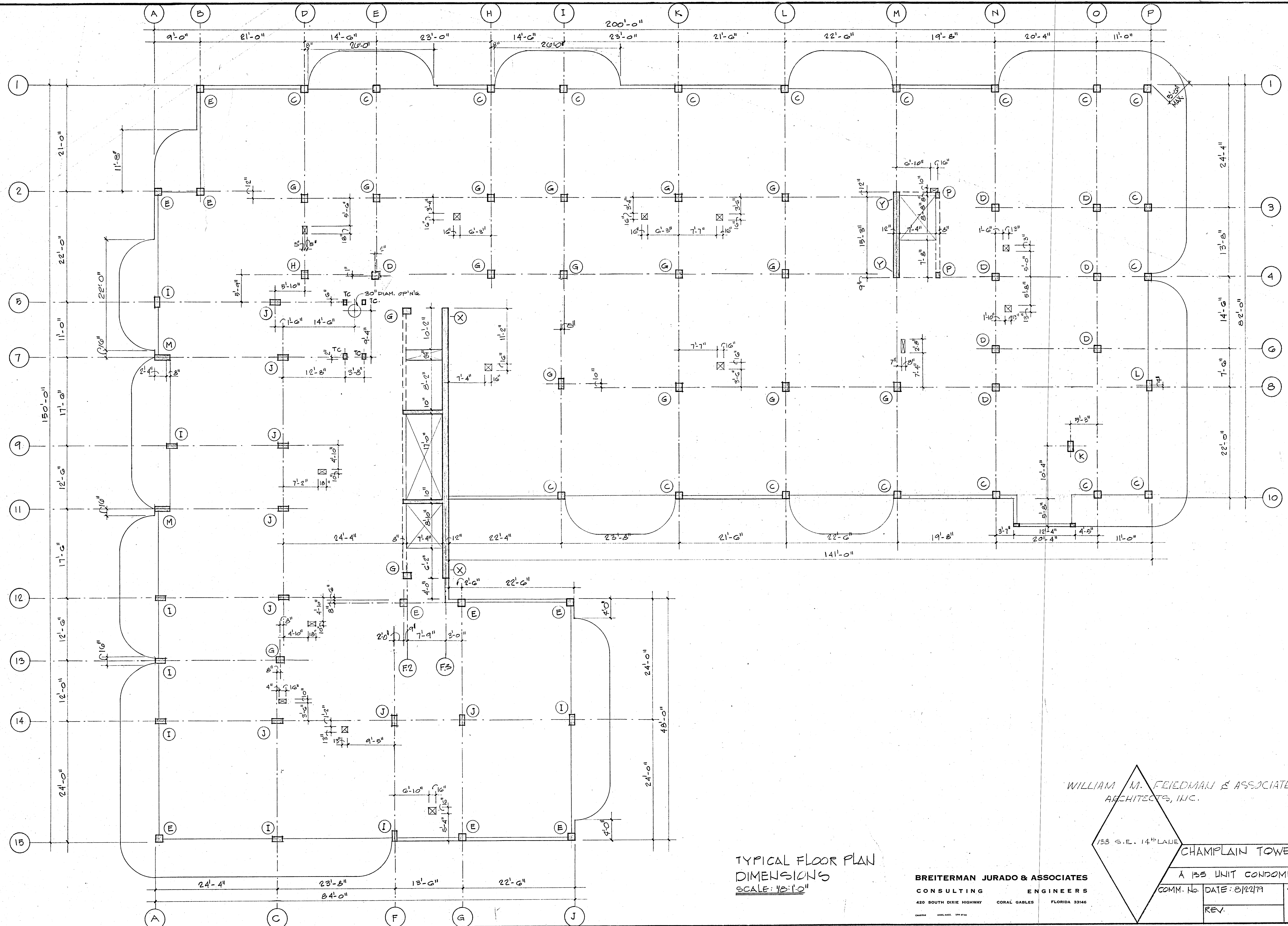
**SECOND FLOOR
FRAMING PLAN**
SCALE: 1/8" = 1'-0"

WILLIAM M. FRIEDMAN & ASSOCIATES,
ARCHITECTS, INC.

138 SE. 14TH LANE

CHAMPLAIN TOWERS SOUTH
A 138 UNIT CONDOMINIUM

BREITERMAN JURADO & ASSOCIATES CONSULTING ENGINEERS 420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146	COMM. NO. DATE:	SHEET
	REV:	50 OF 14



TYPICAL FLOOR PLAN
 DIMENSIONS
 SCALE: 1/8"=1'-0"

BREITERMAN JURADO & ASSOCIATES
 CONSULTING ENGINEERS
 420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

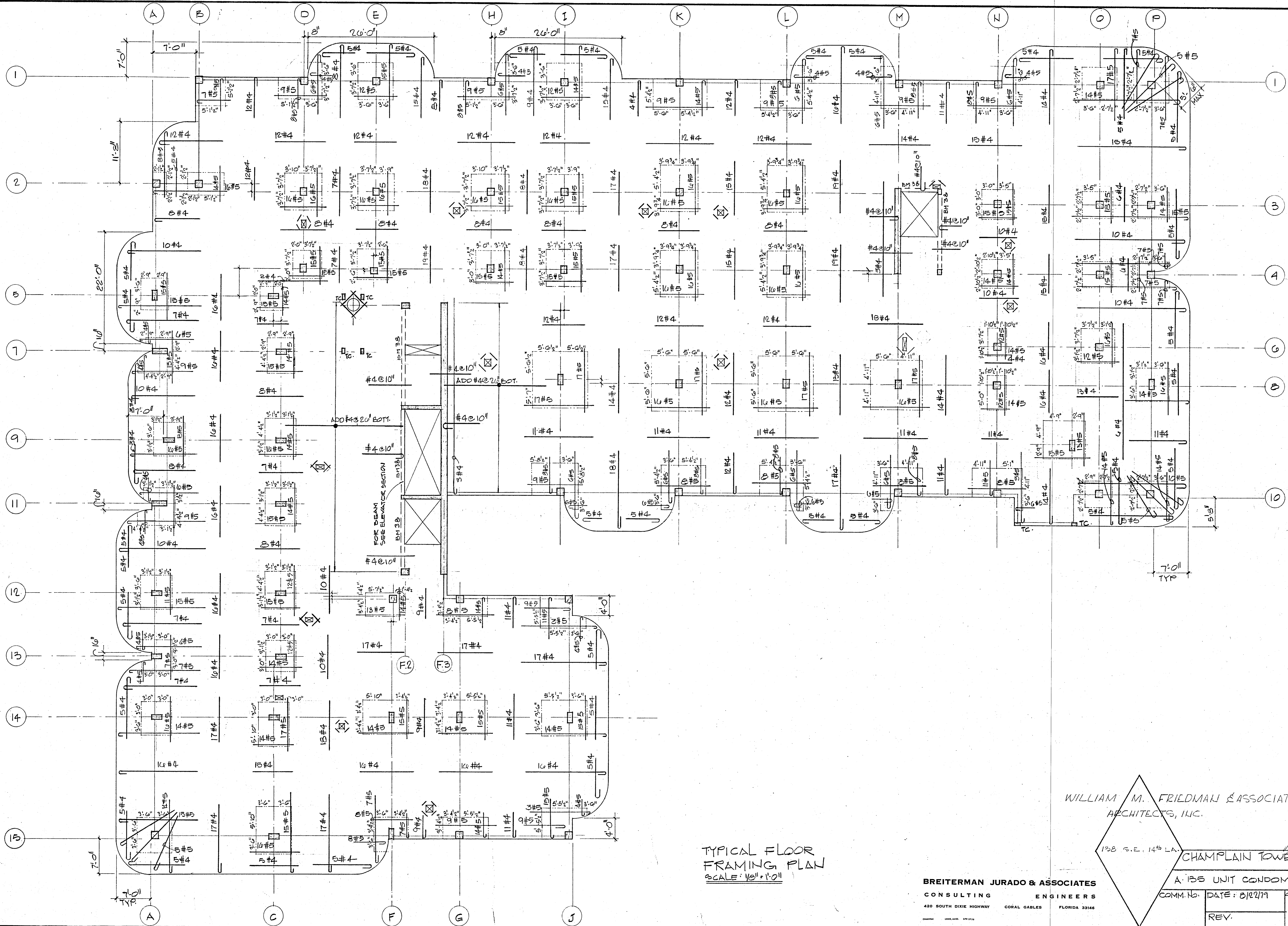
WILLIAM M. FRIEDMAN & ASSOCIATES
 ARCHITECTS, INC.

133 S.E. 14TH LAKE

CHAMPLAIN TOWERS SOUTH

A 135 UNIT CONDOMINIUM

COMM. No.	DATE: 8/22/79	SHEET No.
REV.		57 OF 14



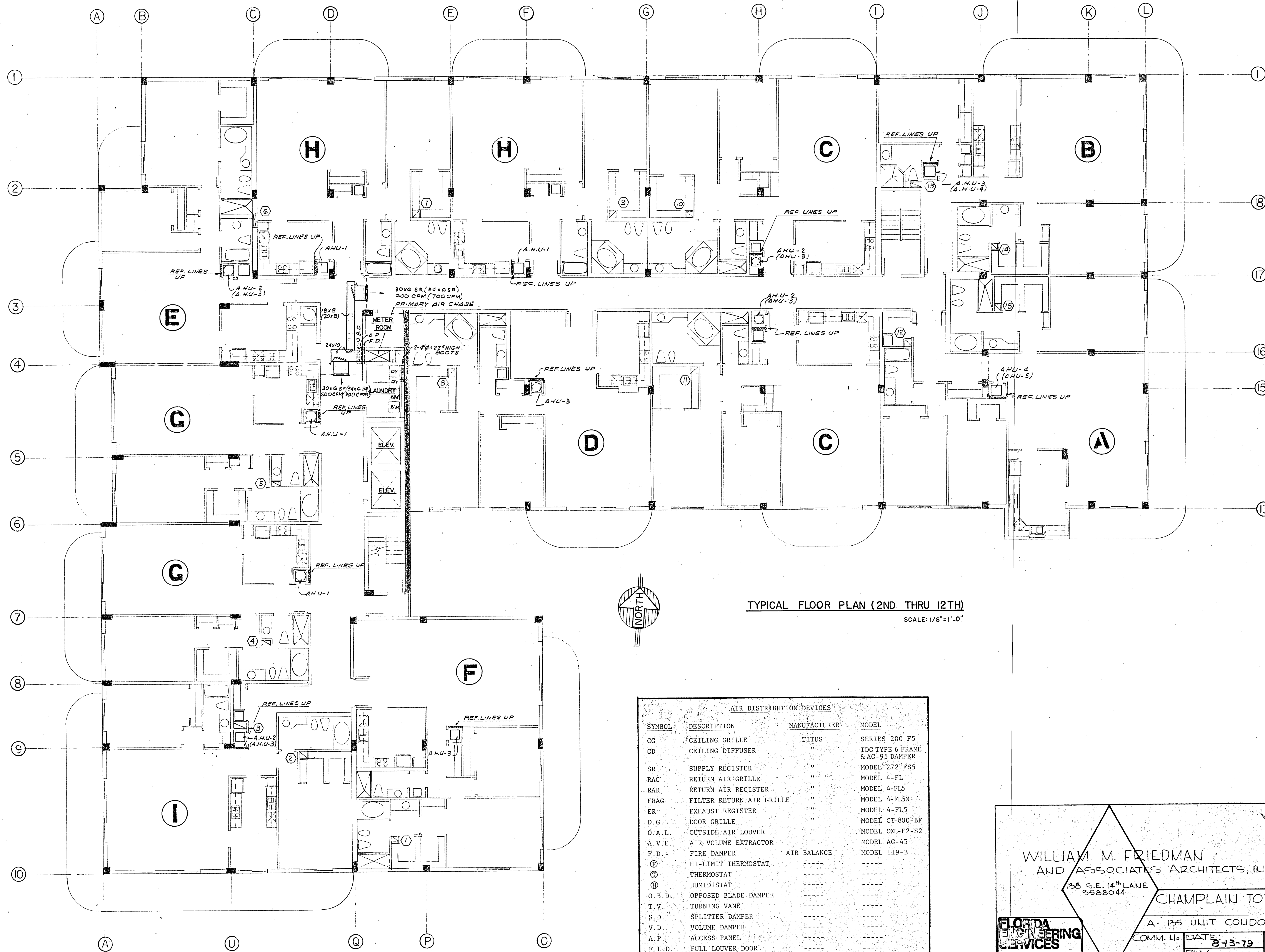
TYPICAL FLOOR
FRAMING PLAN
SCALE: 1/8" = 1'-0"

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

138 S.E. 14th LA. CHAMPLAIN TOWERS SOUTH

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

A 135 UNIT CONDOMINIUM	
COMM. NO.	DATE: 8/22/79
REV.	SHEET NO. 58 OF 14



TYPICAL FLOOR PLAN (2ND THRU 12TH)
SCALE: 1/8" = 1'-0"

AIR DISTRIBUTION DEVICES			
SYMBOL	DESCRIPTION	MANUFACTURER	MODEL
CG	CEILING GRILLE	TITUS	SERIES 200 F5
CD	CEILING DIFFUSER	"	TDC TYPE 6 FRAME & AG-95 DAMPER
SR	SUPPLY REGISTER	"	MODEL 272 FS5
RAG	RETURN AIR GRILLE	"	MODEL 4-FL
RAR	RETURN AIR REGISTER	"	MODEL 4-FL5
FRAG	FILTER RETURN AIR GRILLE	"	MODEL 4-FLSN
ER	EXHAUST REGISTER	"	MODEL 4-FL5
D.G.	DOOR GRILLE	"	MODEL CT-800-BF
O.A.L.	OUTSIDE AIR LOUVER	"	MODEL OXL-F2-S2
A.V.E.	AIR VOLUME EXTRACTOR	"	MODEL AG-45
F.D.	FIRE DAMPER	AIR BALANCE	MODEL 119-B
⊕	HI-LIMIT THERMOSTAT	----	----
⊖	THERMOSTAT	----	----
⊕	HUMIDISTAT	----	----
O.B.D.	OPPOSED BLADE DAMPER	----	----
T.V.	TURNING VANE	----	----
S.D.	SPLITTER DAMPER	----	----
V.D.	VOLUME DAMPER	----	----
A.P.	ACCESS PANEL	----	----
F.L.D.	FULL LOUVER DOOR	----	----
U.D.	UNDERCUT DOOR	----	----

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

128 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS SOUTH

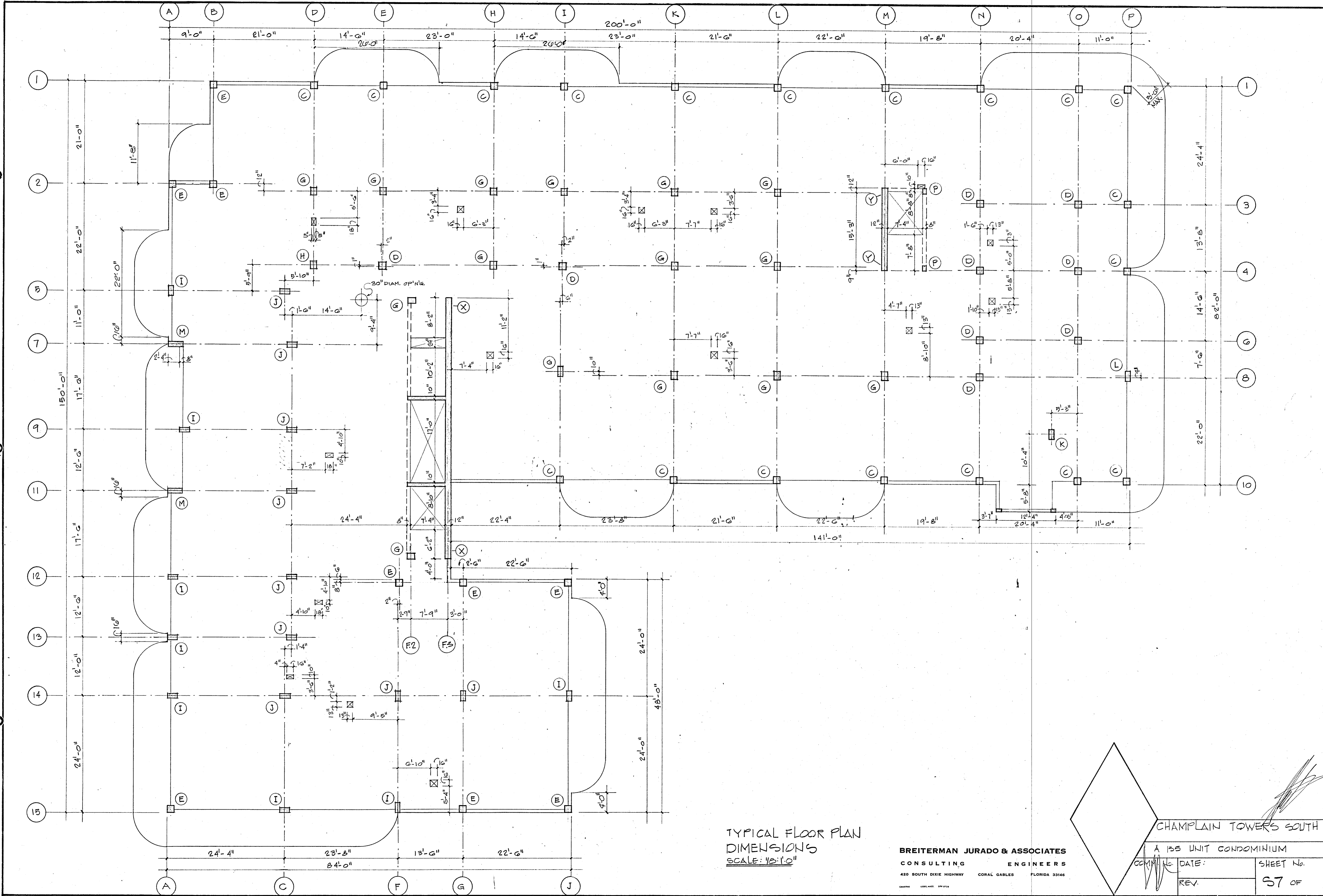
A- 135 UNIT CONDOMINIUM

COMM. No.	DATE: 8-13-79	SHEET No.
REV.		AC-3 OF 9

SHEETS

FLORIDA
ENGINEERING
SERVICES
252 NE 157 STREET
SUNAMI BOY, FLA.
33152 843-4723

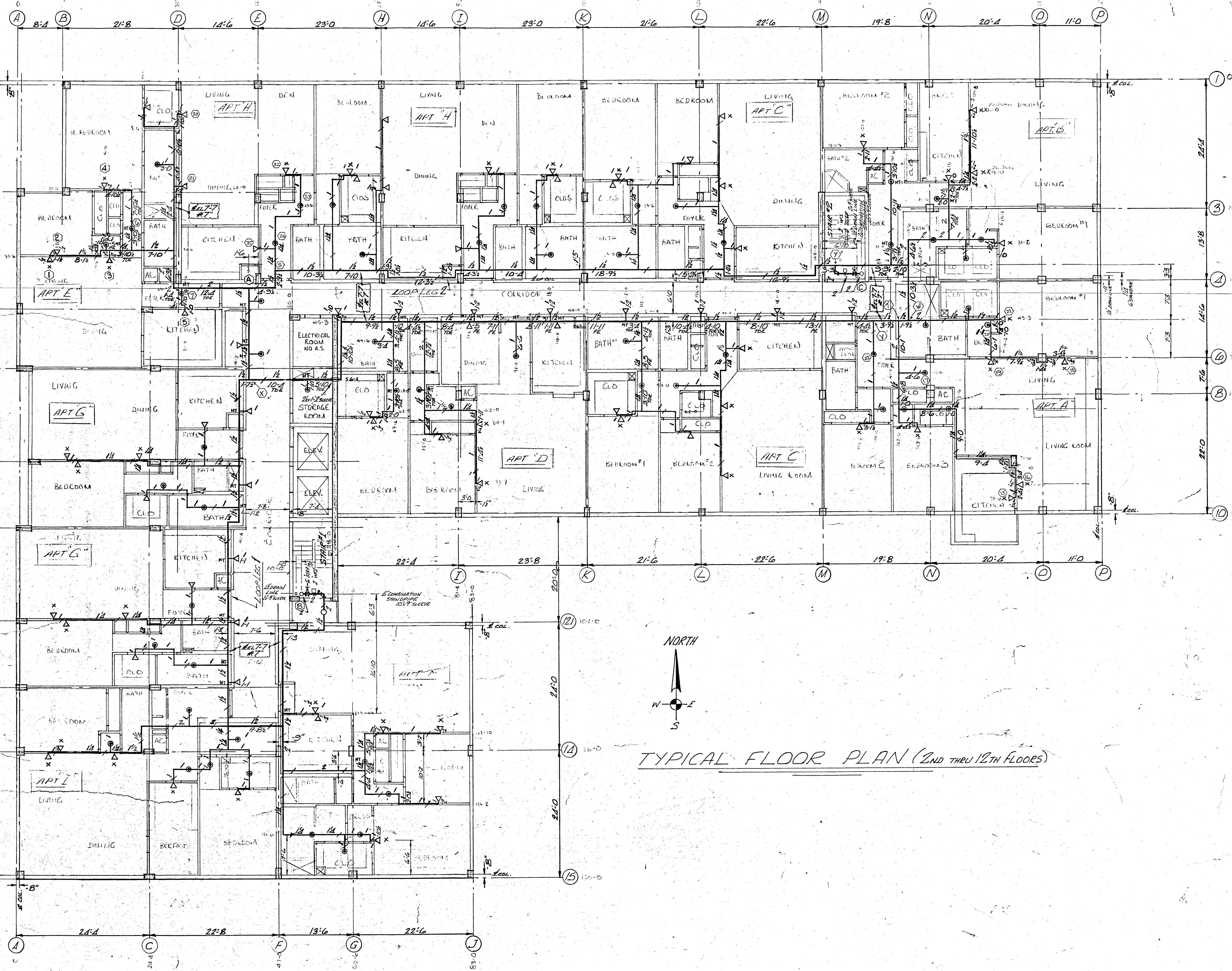
Salvatore Milner
8/13/79



TYPICAL FLOOR PLAN
 DIMENSIONS
 SCALE: 1/8"=1'-0"

BREITERMAN JURADO & ASSOCIATES
 CONSULTING ENGINEERS
 420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

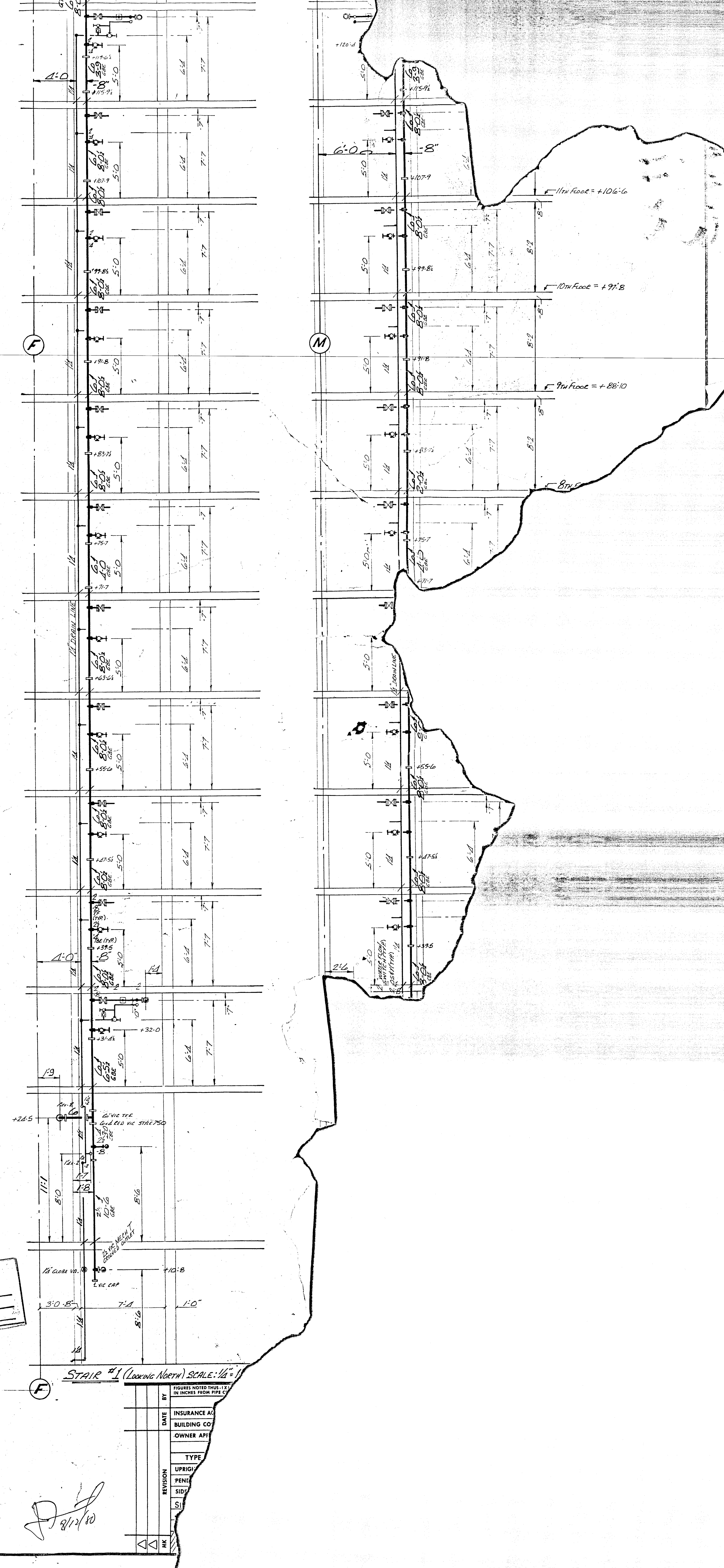
		CHAMPLAIN TOWERS SOUTH	
		A 135 UNIT CONDOMINIUM	
DATE:	REV:	COMM. NO.	SHEET No.
			57 OF



TYPICAL FLOOR PLAN (2ND THRU 12TH FLOORS)

GENERAL NOTES

- ⊕ DENOTES CENTER LINE OF PIPE ABOVE FINISH FLOOR, UNLESS NOTED OTHERWISE.
 - ⊗ DENOTES CENTER LINE OF PIPE DOWN FROM CEILING SLAB, UNLESS NOTED OTHERWISE.
 - ⓪ DENOTES HYDRAULIC REFERENCE POINT.
 - DENOTES PIPE HANGER.
- ALL PIPE HANGERS TO BE IN ACCORDANCE WITH NFPA 13 1980 STANDARDS.
 HYDRAULIC CALCULATIONS BASED ON DEMAND OF FOUR LARGEST APARTS IN APT 'E'.



APPROVED BY
 DADE COUNTY FIRE DEPARTMENT
 STA. 22-162 E.L.S. PERM. ON-SITE
 WATER TANK EXTENSION
 DATE 2-13-20 BY JEB

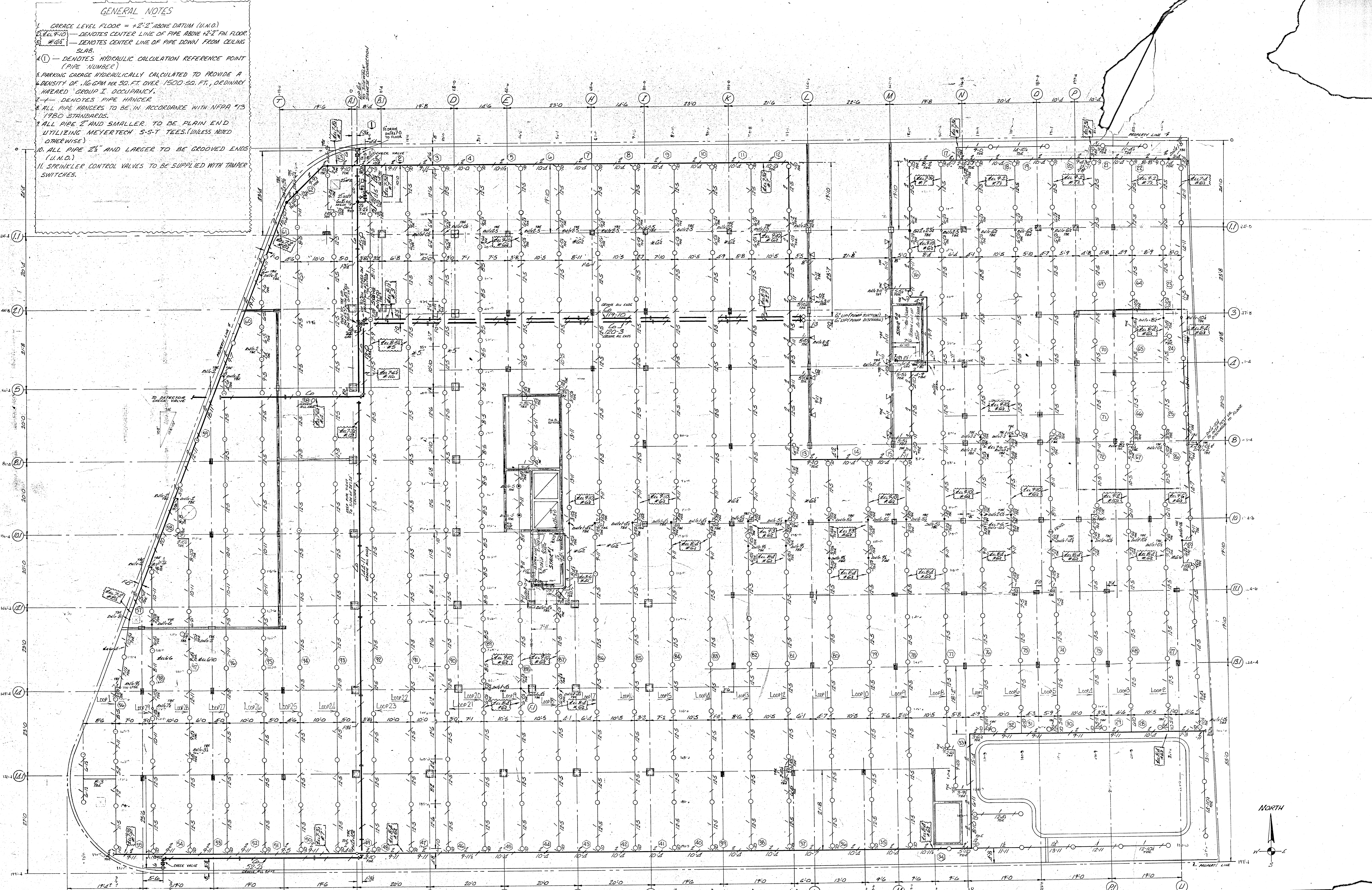
STAIR #1 (Lower Area) SCALE: 1/4" = 1'-0"

DATE	INSURANCE AG
BY	BUILDING CO.
REVISION	OWNER ART
TYPE	
UPRIG	
PENC	
SID	
SI	
WK	

Handwritten signature

GENERAL NOTES

- 1. GARAGE LEVEL FLOOR = +2'-2" ABOVE DATUM (U.M.D.)
- 2. E.L. 9.10 — DENOTES CENTER LINE OF PIPE ABOVE 12'-2" FIN FLOOR
- 3. #25 — DENOTES CENTER LINE OF PIPE DOWN FROM CEILING SLAB.
- 4. (1) — DENOTES HYDRAULIC CALCULATION REFERENCE POINT (PIPE NUMBER)
- 5. PARKING GARAGE HYDRAULICALLY CALCULATED TO PROVIDE A DENSITY OF .16 GPM PER SQ. FT. OVER 1500 SQ. FT. OF ORDINARY HAZARD GROUP I OCCUPANCY.
- 6. — DENOTES PIPE HANGER
- 7. ALL PIPE HANGERS TO BE IN ACCORDANCE WITH NFPA #13 1980 STANDARDS.
- 8. ALL PIPE 2" AND SMALLER TO BE PLAIN END UTILIZING MEYERTECH S-S-T TEES (UNLESS NOTED OTHERWISE)
- 9. ALL PIPE 2" AND LARGER TO BE GROOVED ENDS (U.M.D.)
- 10. SPRINKLER CONTROL VALVES TO BE SUPPLIED WITH TAMPER SWITCHES.



TOWN OF SURFSIDE

Approved
 Approved as noted
 Disapproved

Inspector: _____

TOWN OF SURFSIDE

Approved
 Approved as noted
 Disapproved

Inspector: _____

Planning & Zoning Board

TOWN OF SURFSIDE

Approved
 Approved as noted
 Disapproved

Inspector: _____

TOWN OF SURFSIDE

Approved
 Approved as noted
 Disapproved

Inspector: _____

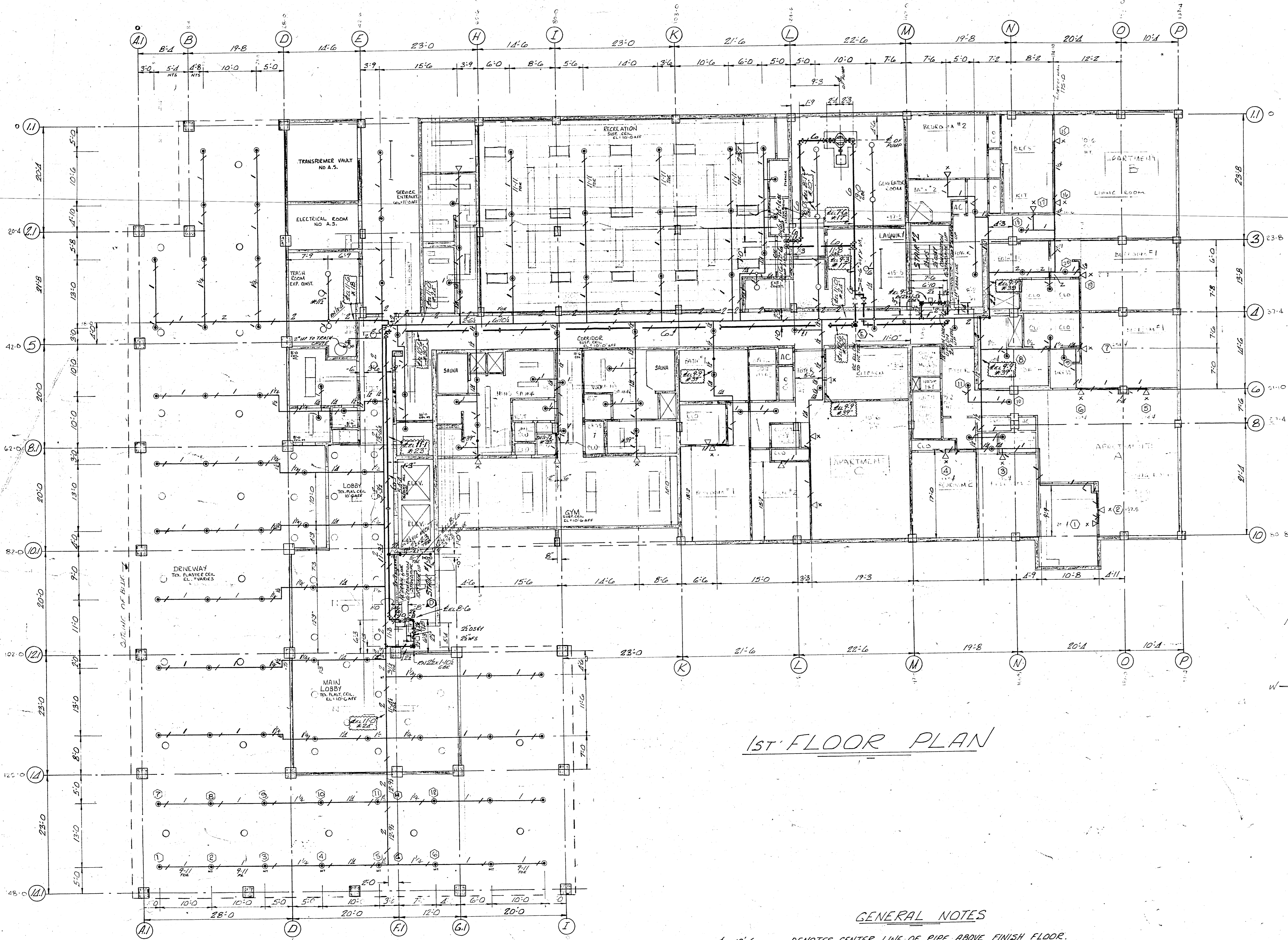
REVISION	DATE	BY	DESCRIPTION	APPROVALS	NAME	DATE
			INSURANCE ACCEPTANCE			
			BUILDING CODE APPROVAL			
			OWNER APPROVAL			
			TYPE SPRINKLERS	SYM	165	212
			UPRIGHT 1/2"	○	165	212
			PENDENT 1/2"	⊙	165	212
			SIDEWALL	⊙	165	212
			PENDENT 1/2"	⊙	165	212
			FINISH			
			BRONZE		476	
			CHROME		2	
			BRONZE		11	
			BRONZE		11	
			TOTAL THIS SHEET			
			TOTAL ON JOB			

OWNER/OCCUPANT: **CHAMPLAIN TOWERS**
 877 COLLINGWOOD
 SURFSIDE, VT

THIS SHEET: **ORDINARY SPRINKLER**
 OCCUPANCY DESIGN CATEGORY: **ORDINARY**
 DENSITY: **.16 GPM**

DATE: _____

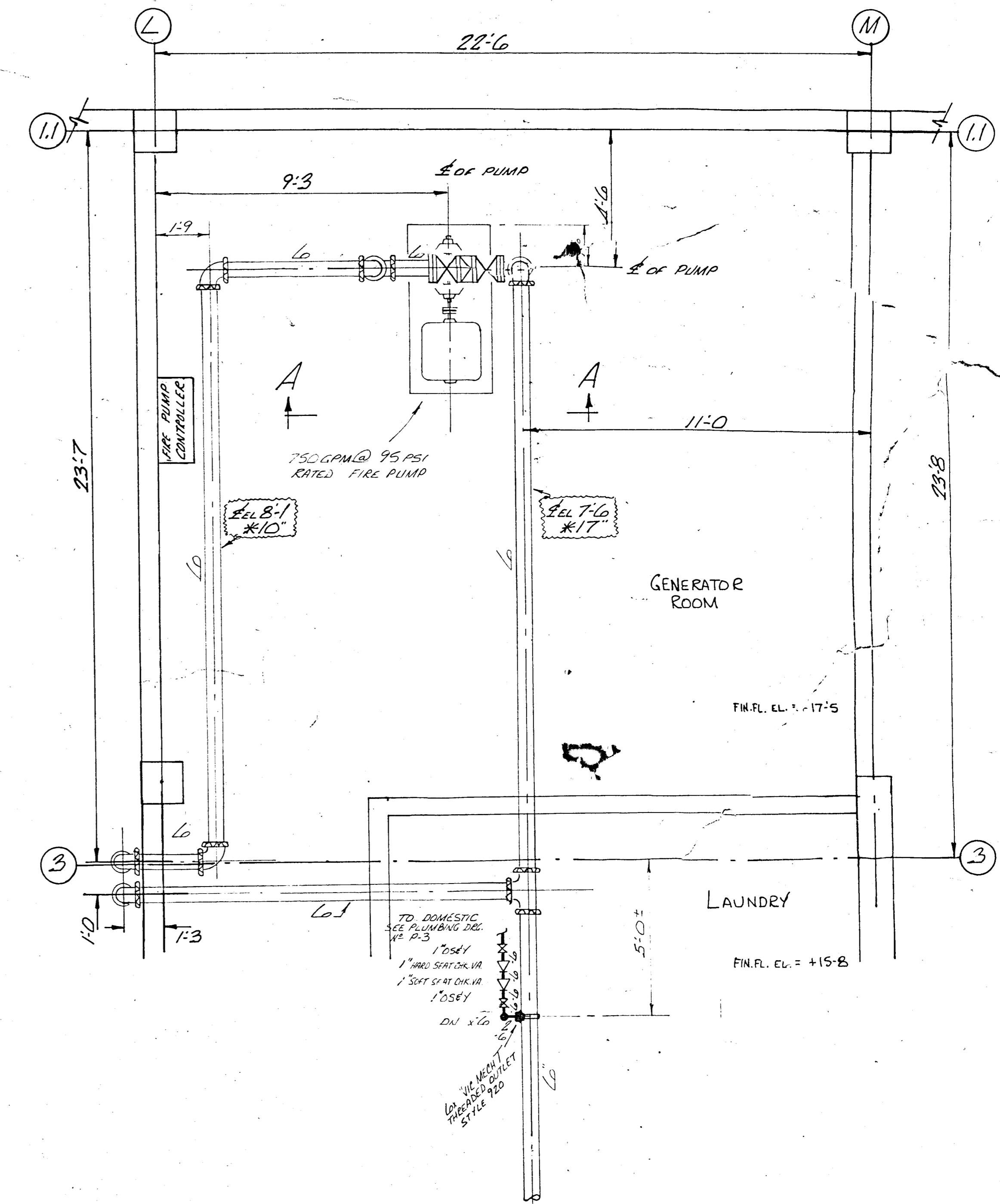
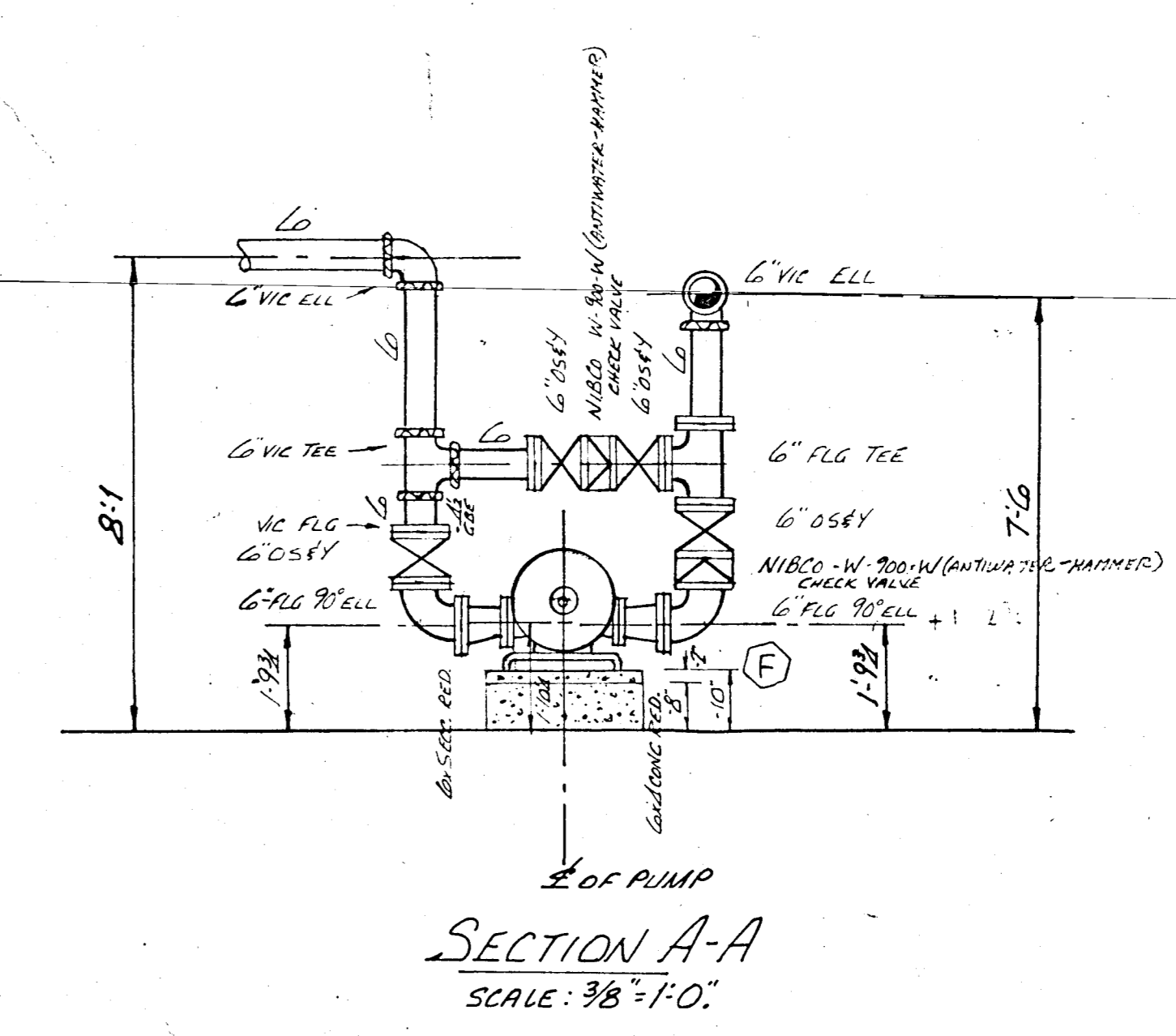
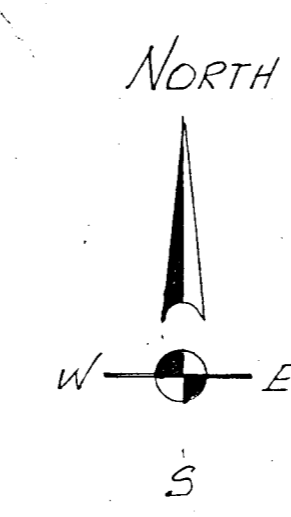
See into Page 3-3



1ST FLOOR PLAN

GENERAL NOTES

- ℄10'-6" — DENOTES CENTER LINE OF PIPE ABOVE FINISH FLOOR.
- *30" — DENOTES CENTER LINE OF PIPE DOWN FROM CEILING SLAB.
- ⊙ — DENOTES HYDRAULIC CALCULATION REFERENCE POINT.
- DENOTES PIPE HANGER.
- ALL HANGERS TO BE IN ACCORDANCE WITH NFPA 13, 1980 EDITION.



APPROVED BY
DADE COUNTY FIRE DEPARTMENT
SPR 22-160 BLDG. PERMIT ON-SITE
WATER HAZARD EXTENSION
DATE 2-13-82 BY [Signature]

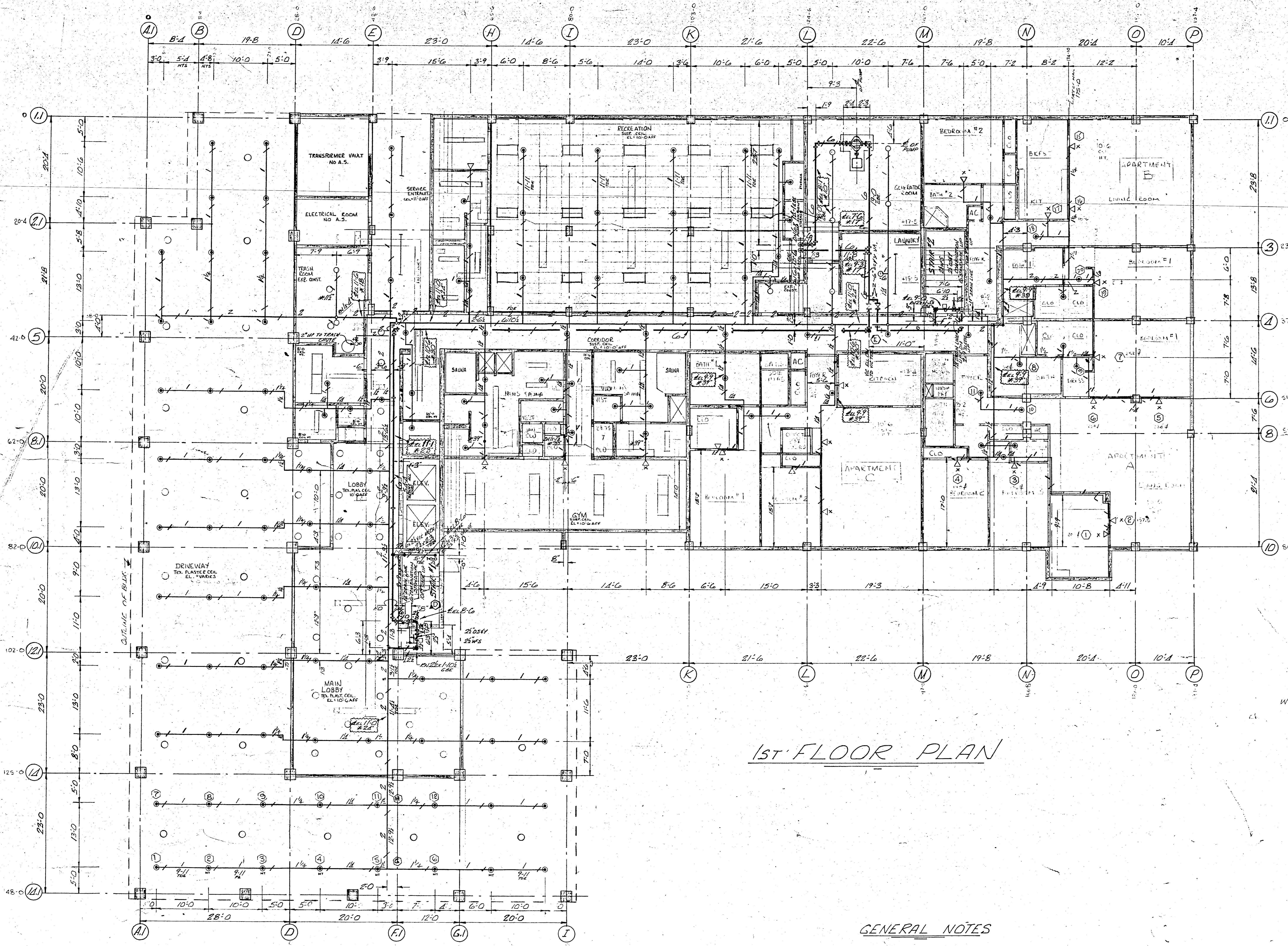
DATE	DESCRIPTION	APPROVALS	NAME	DATE			
	INSURANCE ACCEPTANCE						
	BUILDING CODE APPROVAL						
	OWNER APPROVAL						
	TYPE SPRINKLERS	SYM	165'	212'	286'	FINISH	TOTAL
	UPRIGHT 1/2"	○				BRONZE	9
	PENDENT 1/2"	⊙				CHROME	127
	SIDEWALL 1/2" (HORIZONTAL)	<				CHROME	2
	SIDEWALL 1/2" (VERTICAL)	<X				CHROME	18
	TOTAL THIS SHEET						156
	TOTAL ON JOB						2197

OWNER/OCCUPANT
CHAMOLIAN TOWERS SOUTH
8777 COLLINS AVENUE
SUNRISE, FLORIDA

THIS SHEET AUTOMATIC SPRINKLERS FIRST FLOOR
OCCUPANCY DESIGN CRITERIA
LIGHT HAZARD OCCUPANCY
1.00GM/SOFT. OVER MOST REMOTE 150'

DESIGNED BY [Signature]
CHECKED BY [Signature]
DATE 2/13/82

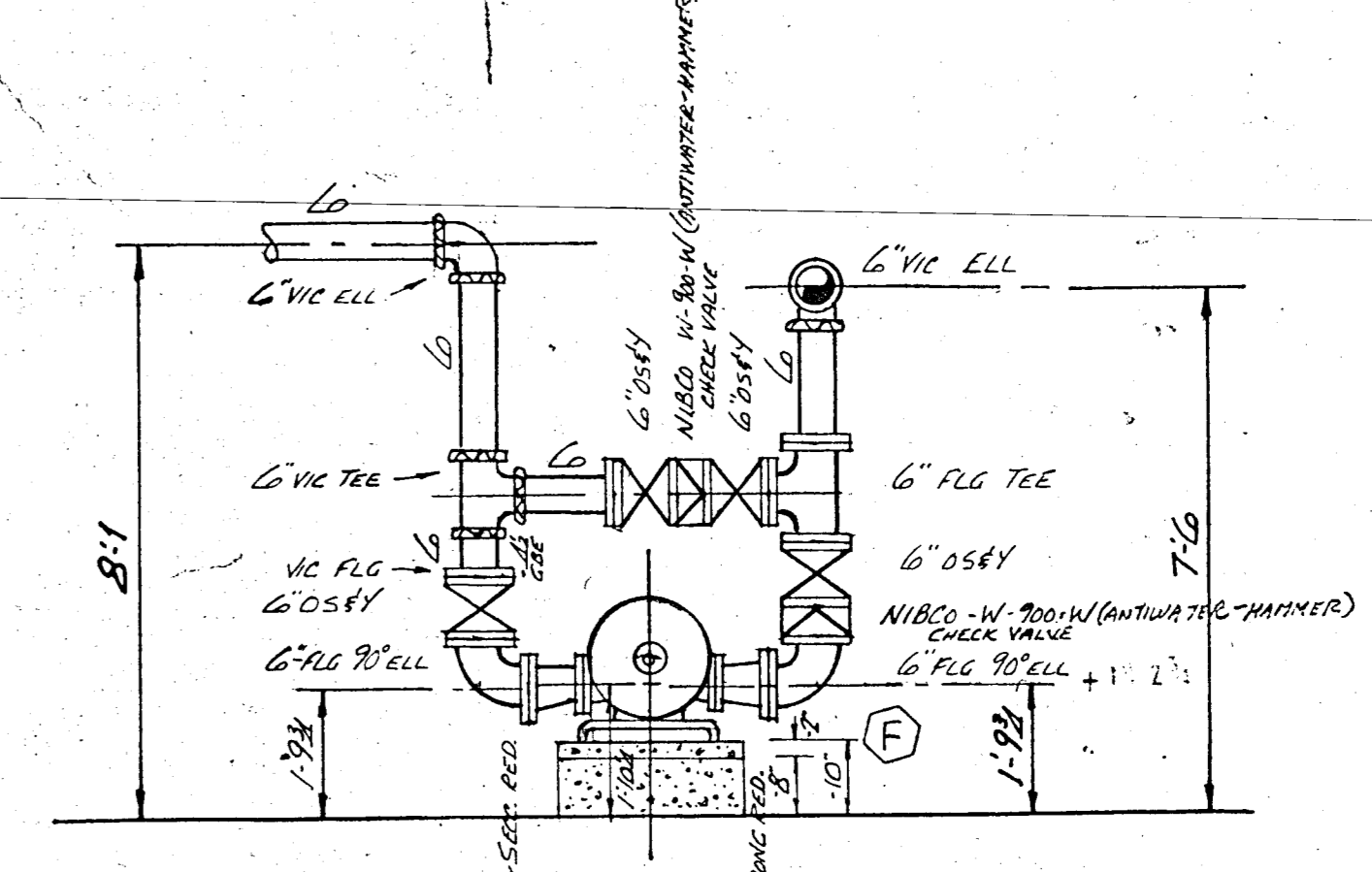
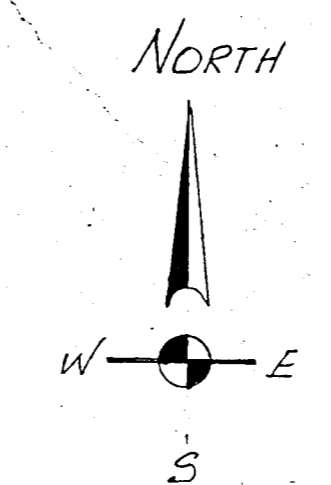
PLANS BY Gene H.
ECONOMY FIRE PROTECTION
2110 LINCOLN STREET
HOLLYWOOD FLA. 330



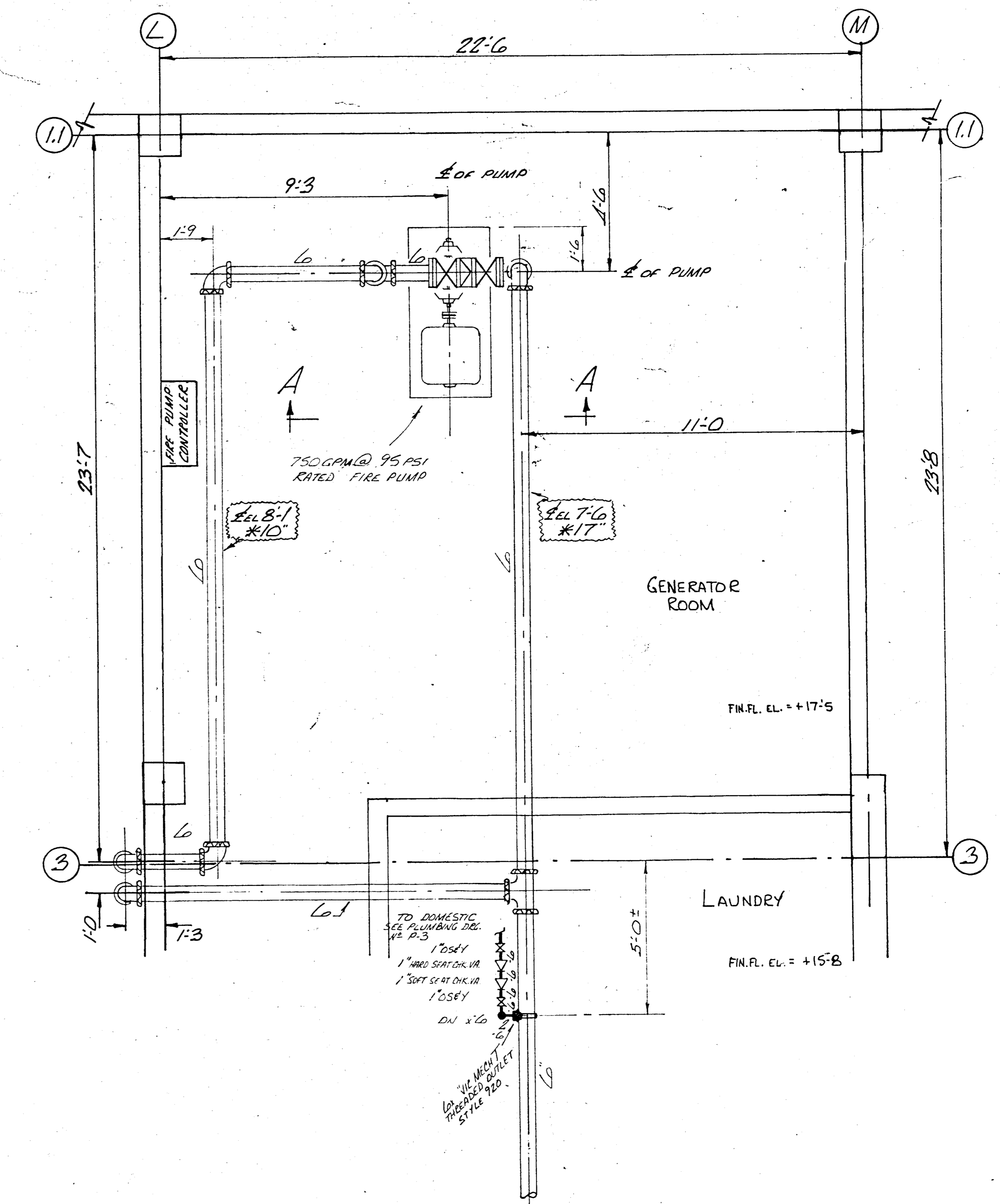
1ST FLOOR PLAN

GENERAL NOTES

- ℄℄℄℄℄ — DENOTES CENTER LINE OF PIPE ABOVE FINISH FLOOR.
 - ℄30" — DENOTES CENTER LINE OF PIPE DOWN FROM CEILING SLAB.
 - Ⓛ — DENOTES HYDRAULIC CALCULATION REFERENCE POINT.
 - DENOTES PIPE HANGER
- ALL HANGERS TO BE IN ACCORDANCE WITH NFPA 13, 1980 EDITION.

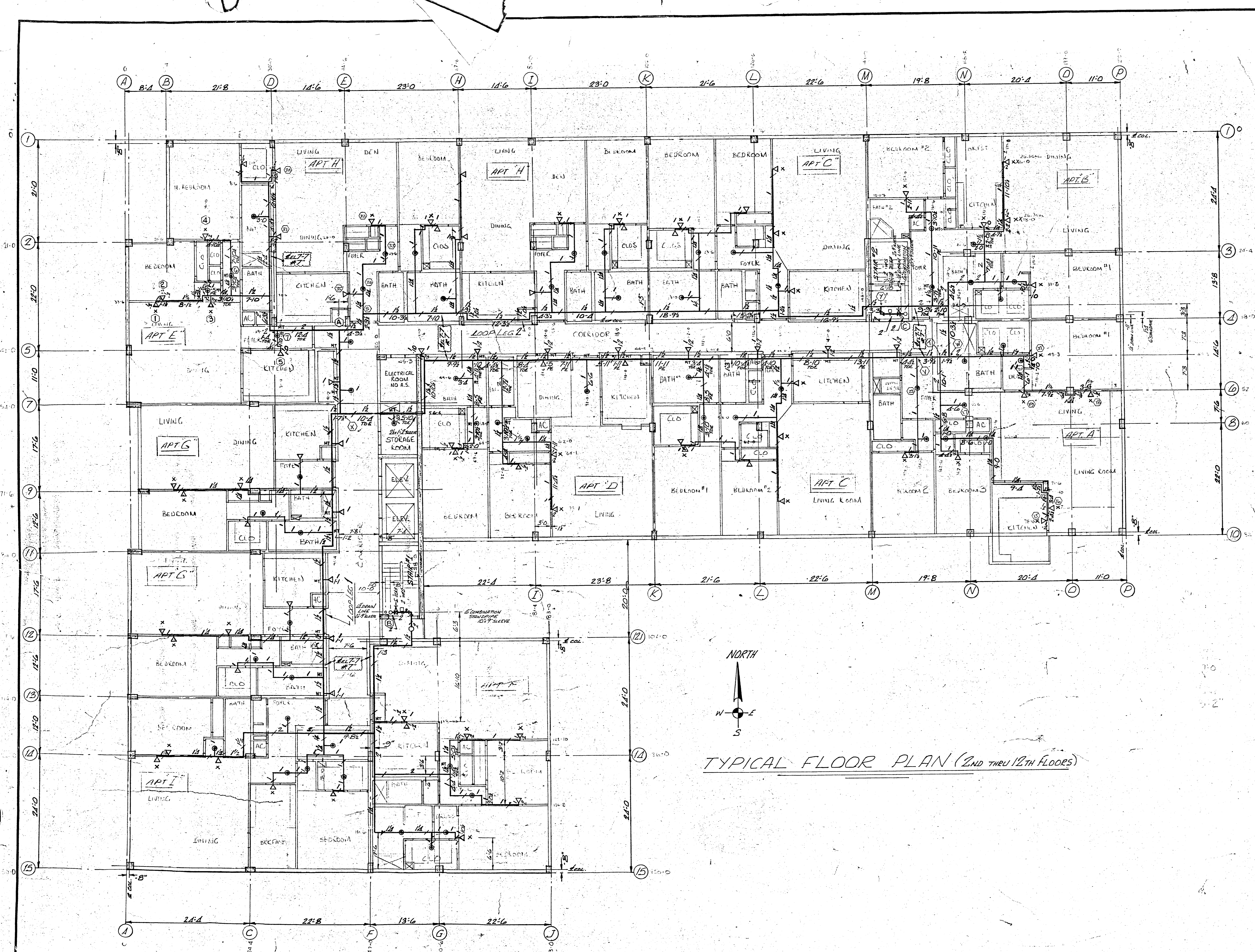


SECTION A-A
SCALE: 3/8"=1'-0"



FIRE PUMP PLAN
SCALE: 3/8"=1'-0"

FIGURES NOTED THIS LIST DENOTE DISTANCE IN INCHES FROM PIPE CENTER LINE TO...		OWNER / OCCUPANT CHAMPLAIN TOWERS SOUTH 8777 COLLINS AVENUE SURFSIDE, FLORIDA	
DATE	APPROVALS	NAME	DATE
INSURANCE ACCEPTANCE			
BUILDING CODE APPROVAL			
OWNER APPROVAL			
THIS SHEET AUTOMATIC SPRINKLERS FIRST FLOOR ABOVE GRADE OCCUPANCY / DESIGN CRITERIA		LIGHT HAZARD OCCUPANCY .10GPM/SQFT. OVER MOST REMOTE 1500 SQ. FT.	
REVISION	TYPE SPRINKLERS	SYM	TOTAL
	UPRIGHT 1/2"	○	9
	PENDENT 1/2"	○	127
	SIDEWALL 1/2" (HORIZONTAL)	◁	2
	SIDEWALL 1/2" (VERTICAL)	◁X	18
TOTAL THIS SHEET			156
TOTAL ON JOB			2137
SURVEY BY PLANS BY GEN. M. SCALE MAY 28, 1980 SCALE 1/8"=1'-0" (LONG)		ECONOMY FIRE PROTECTION, INC. 2110 LINCOLN STREET HOLLYWOOD FLA. 33020	
		SHEET F.P.-2 OF 3	

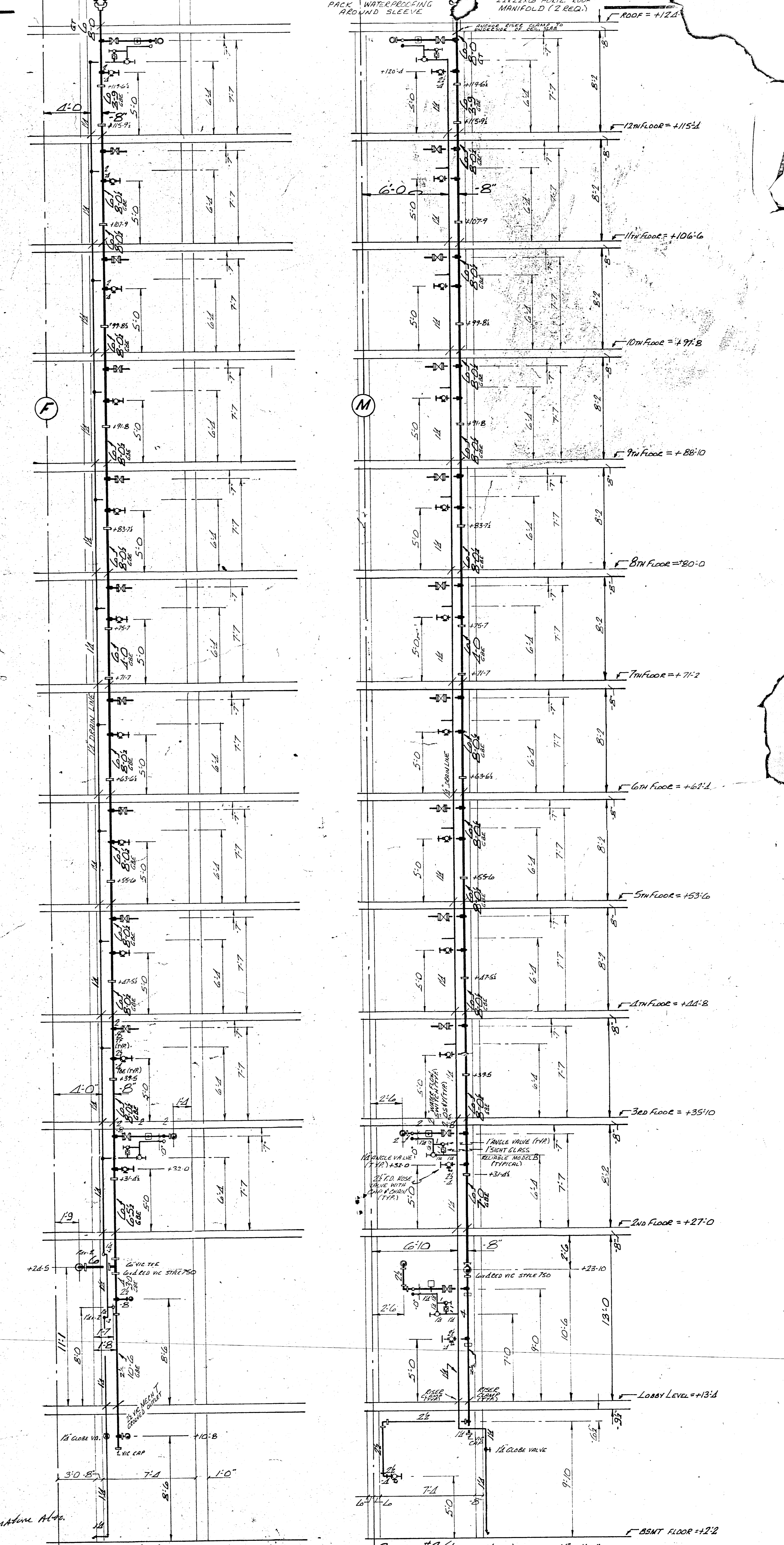


TYPICAL FLOOR PLAN (2ND THRU 12TH FLOORS)

GENERAL NOTES

- ⊙ 7.7 DENOTES CENTER LINE OF PIPE ABOVE FINISH FLOOR, UNLESS NOTED OTHERWISE.
 - ⊙ 7 DENOTES CENTER LINE OF PIPE DOWN FROM CEILING SLAB, UNLESS NOTED OTHERWISE.
 - ⊙ DENOTES HYDRAULIC REFERENCE POINT.
 - DENOTES PIPE HANGER.
- ALL PIPE HANGERS TO BE IN ACCORDANCE WITH NFPA 13 1980 STANDARDS.
 HYDRAULIC CALCULATIONS BASED ON DEMAND OF FOUR LARGEST AREAS IN APT. E.

Plans Not Complete -
 1st Plans must be complete
 2nd Plans to have seal of P.E. AND Signature Also
 3rd Submit to Dade County Fire Dept
 4th Submit Complete Plan to Southside
 5th Plumbing Inspectors Approval



APPROVALS		NAME	DATE
INSURANCE ACCEPTANCE			
BUILDING CODE APPROVAL			
OWNER APPROVAL			

TYPE	SYM	165	212	286	FINISH	TOTAL
UPRIGHT 1"	○				BRONZE	1
PENDENT 1"	⊙				CHROME	59
SIDEWALL 1/2" (HORIZONTAL)	⊙				CHROME	37
SIDEWALL 1/2" (VERTICAL)	⊙				CHROME	44

TOTAL THIS SHEET	141
TOTAL ON JOB	2197

CHAMPLAIN TOWERS SOUTH
 877 COLLINS AVENUE
 SURFSIDE, FLORIDA

TYPICAL FLOOR SPRINKLER PLAN

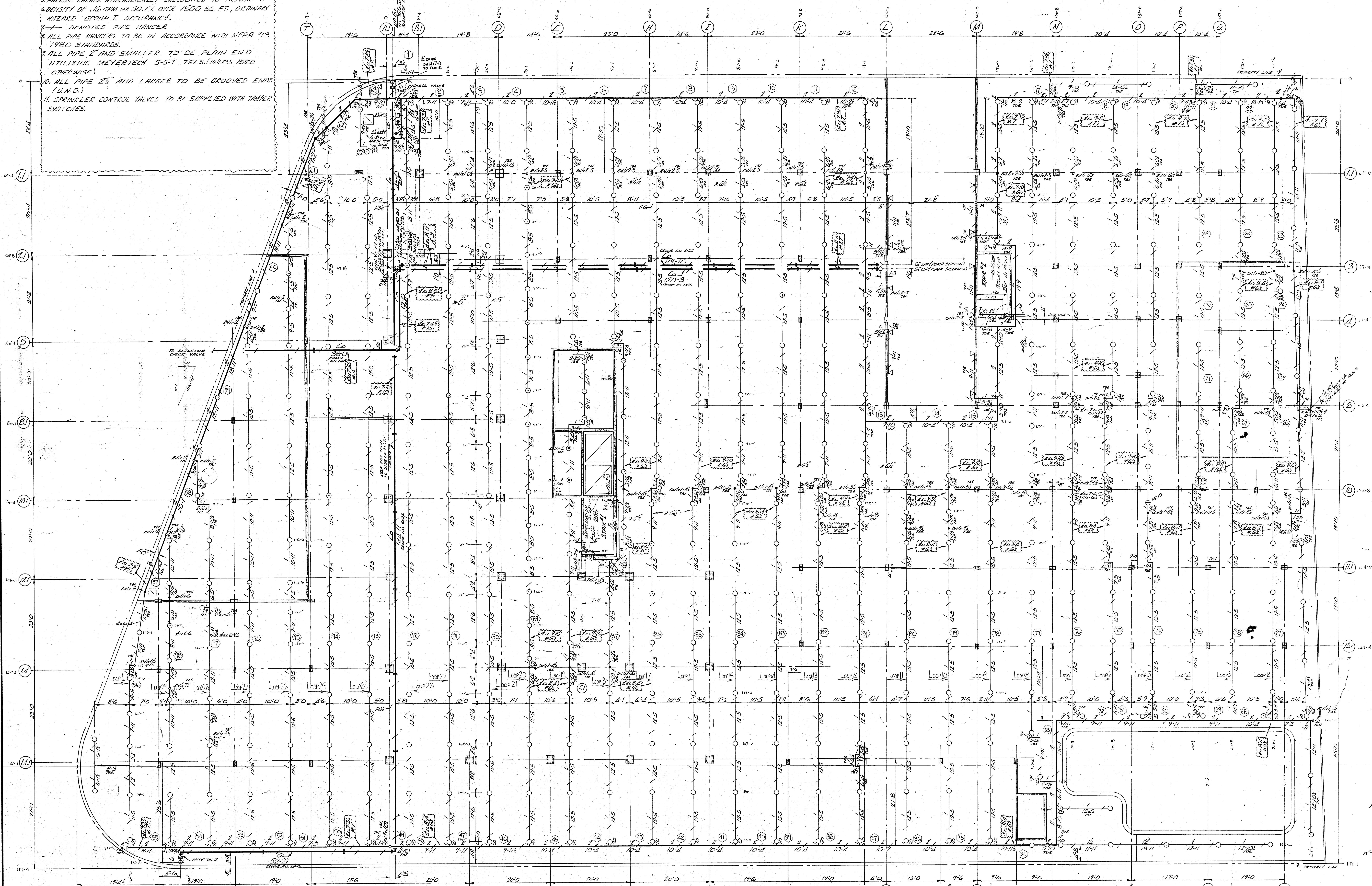
LIGHT HAZARD OCCUPANCY
 HYDRAULICALLY CALCULATED TO SUPPLY A MINIMUM
 OF 1.0 GPM/SQ. FT. WITH MOST REMOTE A.S. OPERATING.

ECONOMY FIRE PROTECTION, INC.
 2110 LINCOLN STREET
 HOLLYWOOD FLA 33020

DATE: MAY 28, 1980
 SCALE: 1/8" = 1'-0" UNLESS NOTED OTHERWISE
 SHEET: F.P.-3
 OF 3

GENERAL NOTES

- GARAGE LEVEL FLOOR = +2'-2" ABOVE DATUM (U.M.D.)
- 2. EL. 9'-10" — DENOTES CENTER LINE OF PIPE ABOVE +2'-2" FIN FLOOR
- 3. EL. 8'-5" — DENOTES CENTER LINE OF PIPE DOWN FROM CEILING SLAB.
- 4. (1) — DENOTES HYDRAULIC CALCULATION REFERENCE POINT (PIPE NUMBER)
- 5. PARKING GARAGE HYDRAULICALLY CALCULATED TO PROVIDE A DENSITY OF .16 GPM PER SQ. FT. OVER 1500 SQ. FT., ORDINARY HAZARD GROUP I OCCUPANCY.
- 6. — DENOTES PIPE HANGER
- 7. ALL PIPE HANGERS TO BE IN ACCORDANCE WITH NFPA #13 1980 STANDARDS.
- 8. ALL PIPE 2" AND SMALLER TO BE PLAIN END UTILIZING MEYERTECH S-S-T TEES. (UNLESS NOTED OTHERWISE)
- 9. ALL PIPE 2 1/2" AND LARGER TO BE GROOVED ENDS (U.M.D.)
- 10. SPRINKLER CONTROL VALVES TO BE SUPPLIED WITH TAMPER SWITCHES.



APPROVED BY
 DADE COUNTY FIRE DEPARTMENT
 SPR 20-160 BLDG. PERMIT ON-SITE
 WATER MAIN EXTENSION
 DATE 2-13-20 BY [Signature]

REVISION	DATE	BY	APPROVALS		NAME	DATE
			DATE	BY		
			INSURANCE ACCEPTANCE			
			BUILDING CODE APPROVAL			
			OWNER APPROVAL			

TYPE SPRINKLERS	SYM	165'	212'	286'	FINISH	TOTAL
UPRIGHT 1 1/2"	○				BRONZE	476
PENDENT 1 1/2"	○				CHROME	2
SIDEWALL	—				BRONZE	1
PENDENT 3/4"	○				BRONZE	11
TOTAL THIS SHEET						490
TOTAL ON JOB						2,397

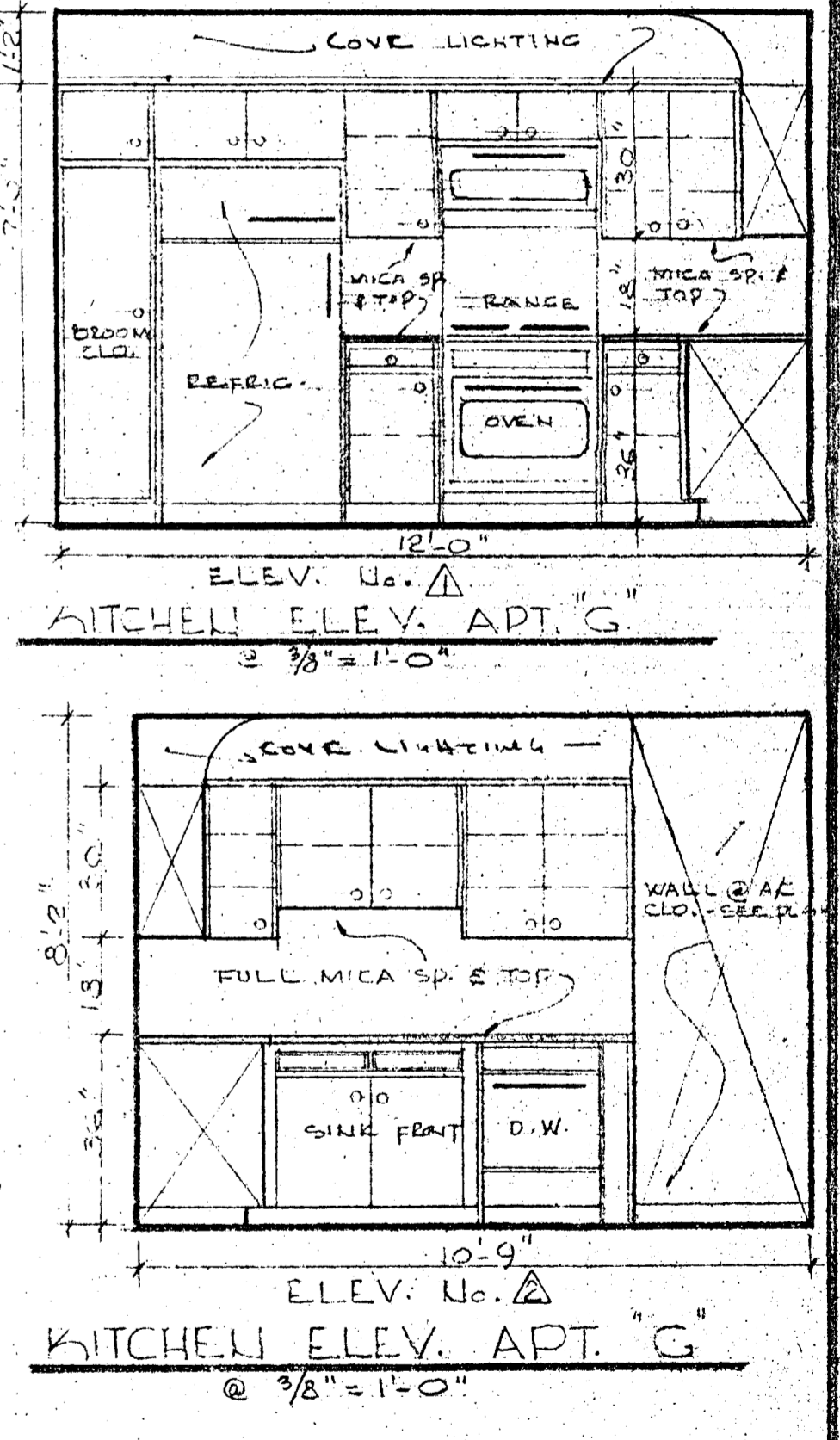
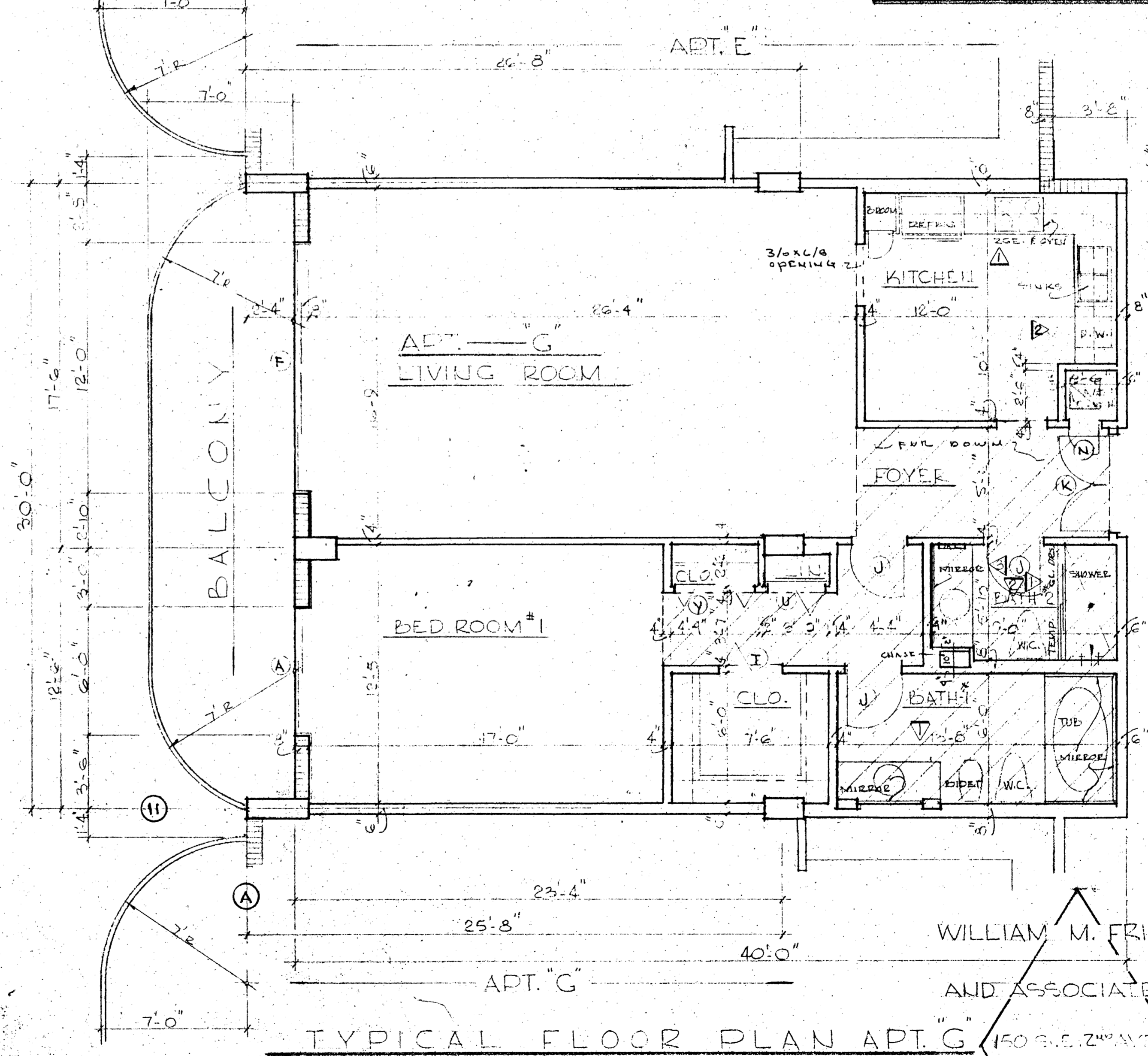
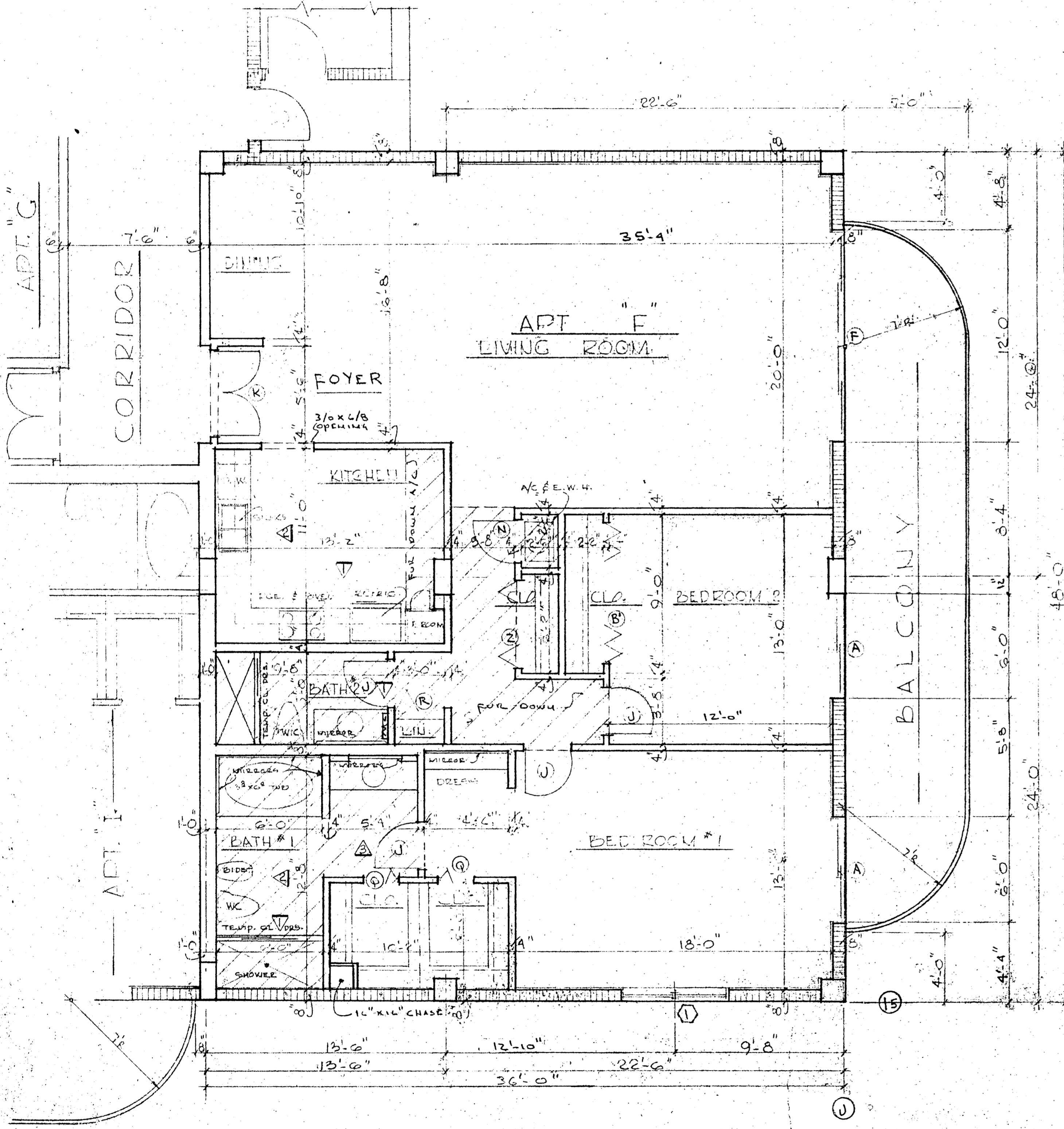
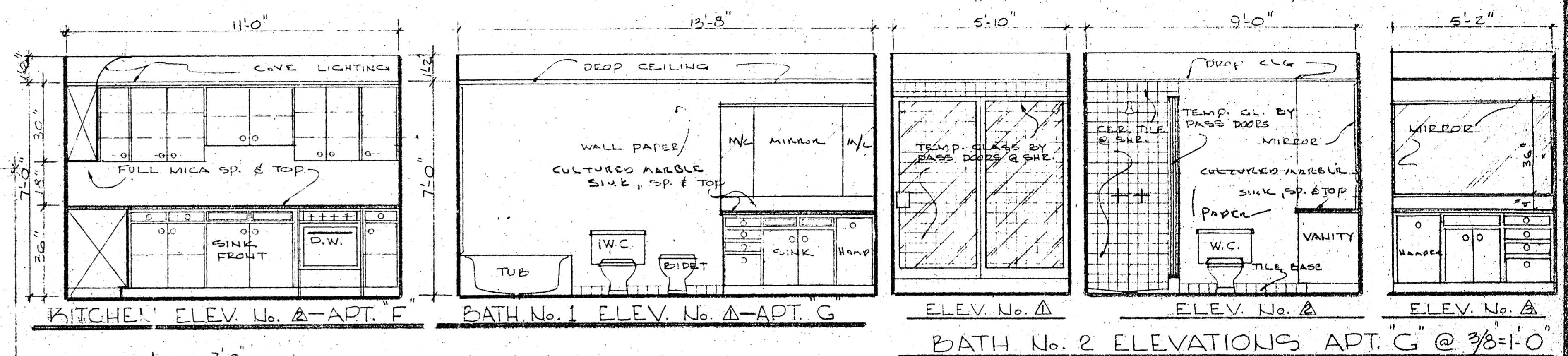
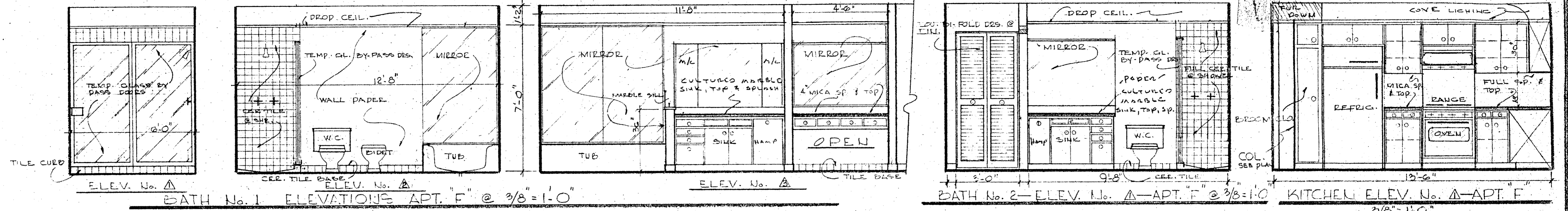
CHAMPLAIN TOWERS SOUTH
 577 COLLINS AVENUE
 SUITE 1000
 SURFSIDE, FLORIDA

OCCUPANCY: ORDINARY HAZARD GROUP I OCCUPANCY
 AUTOMATIC SPRINKLER GRADE LEVEL
 .16 GPM / SQ. FT. OVER 1500 SQUARE FEET

OWNER/OCCUPANT: [Blank]
 ARCHITECT: [Blank]
 ENGINEER: ECONOMY FIRE PROTECTION, INC.
 2110 LINCOLN STREET
 HOLLYWOOD, FLA. 33020

DATE: MAY 28, 2020
 SCALE: 1/8" = 1'-0"

[Handwritten Signature]



WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

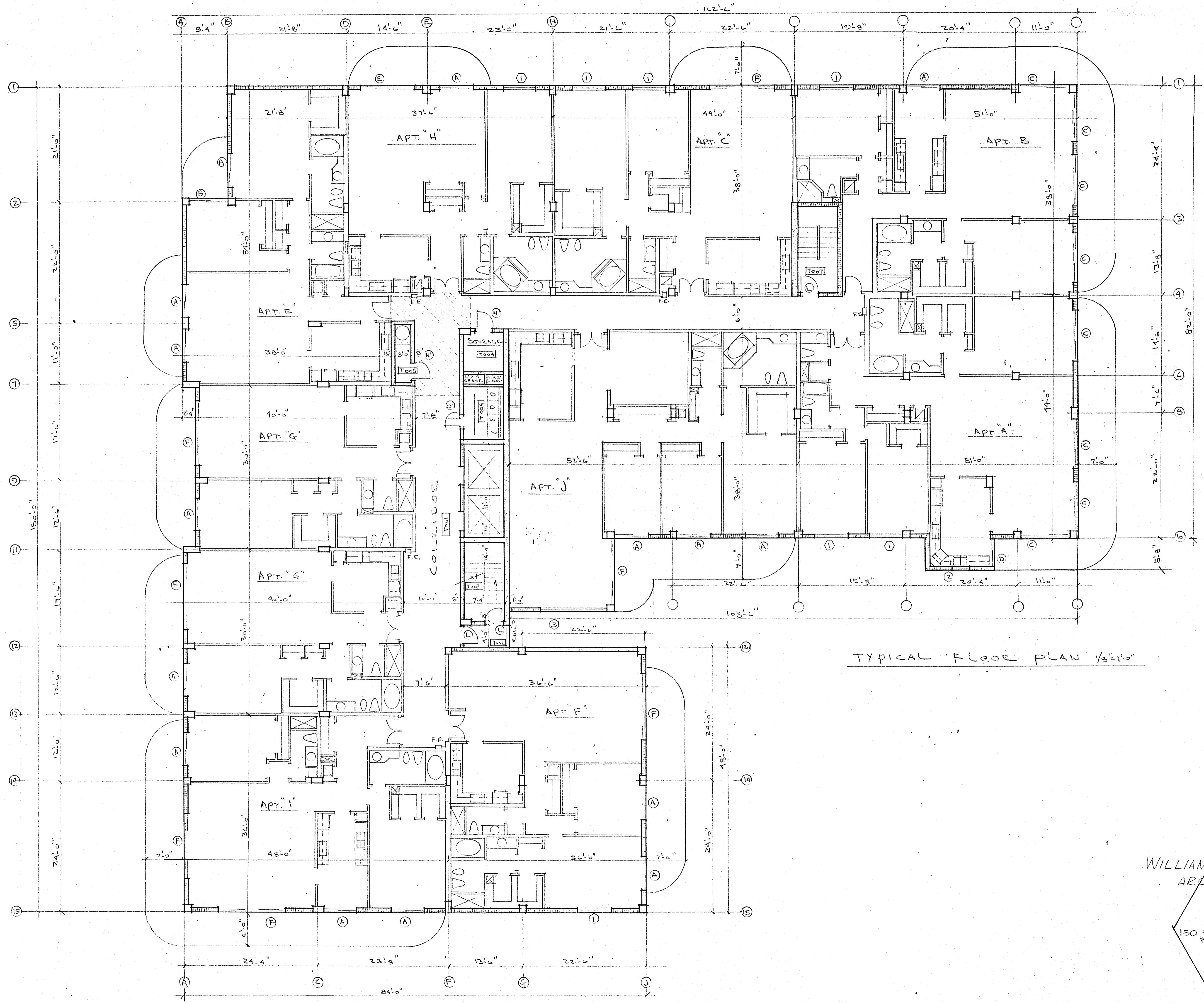
150 S.E. 2nd Ave.
2555 111

CHAMPLAIN TOWERS NORTH
18877 COLLINS AVE.

A - 112 UNIT CONDOMINIUM

COMM. NO. DATE: SHEET

REV: 17 OF 27



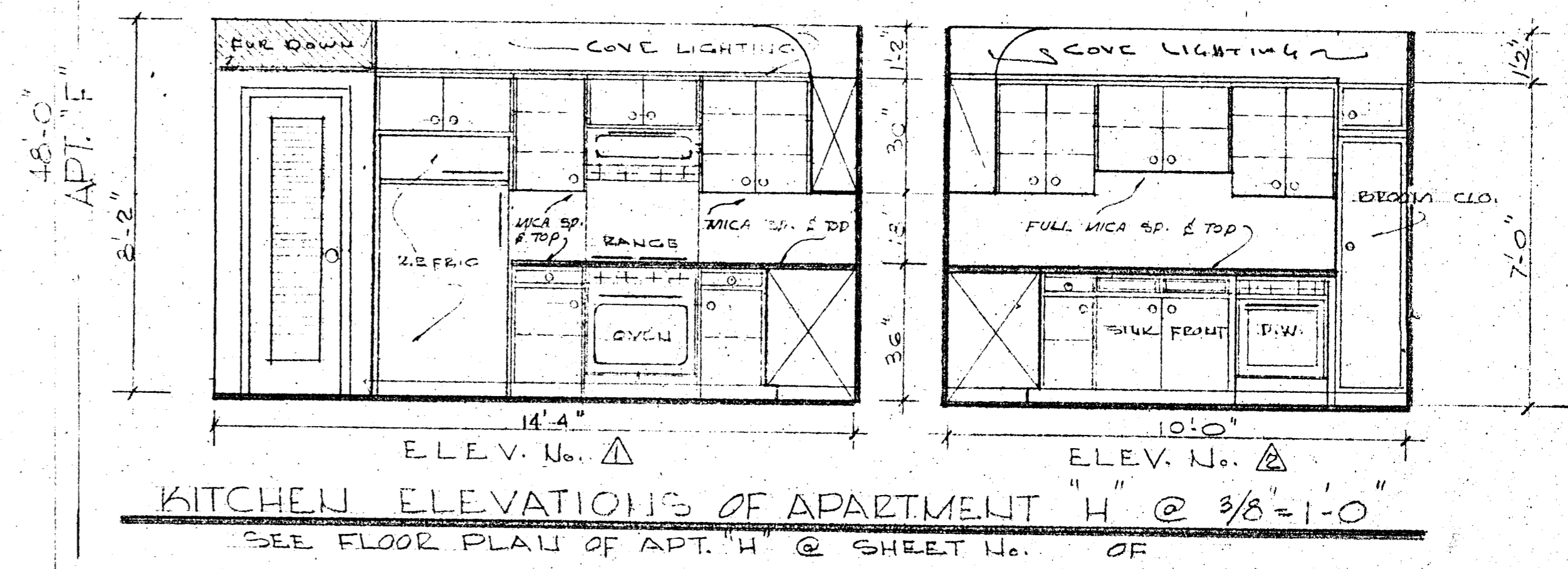
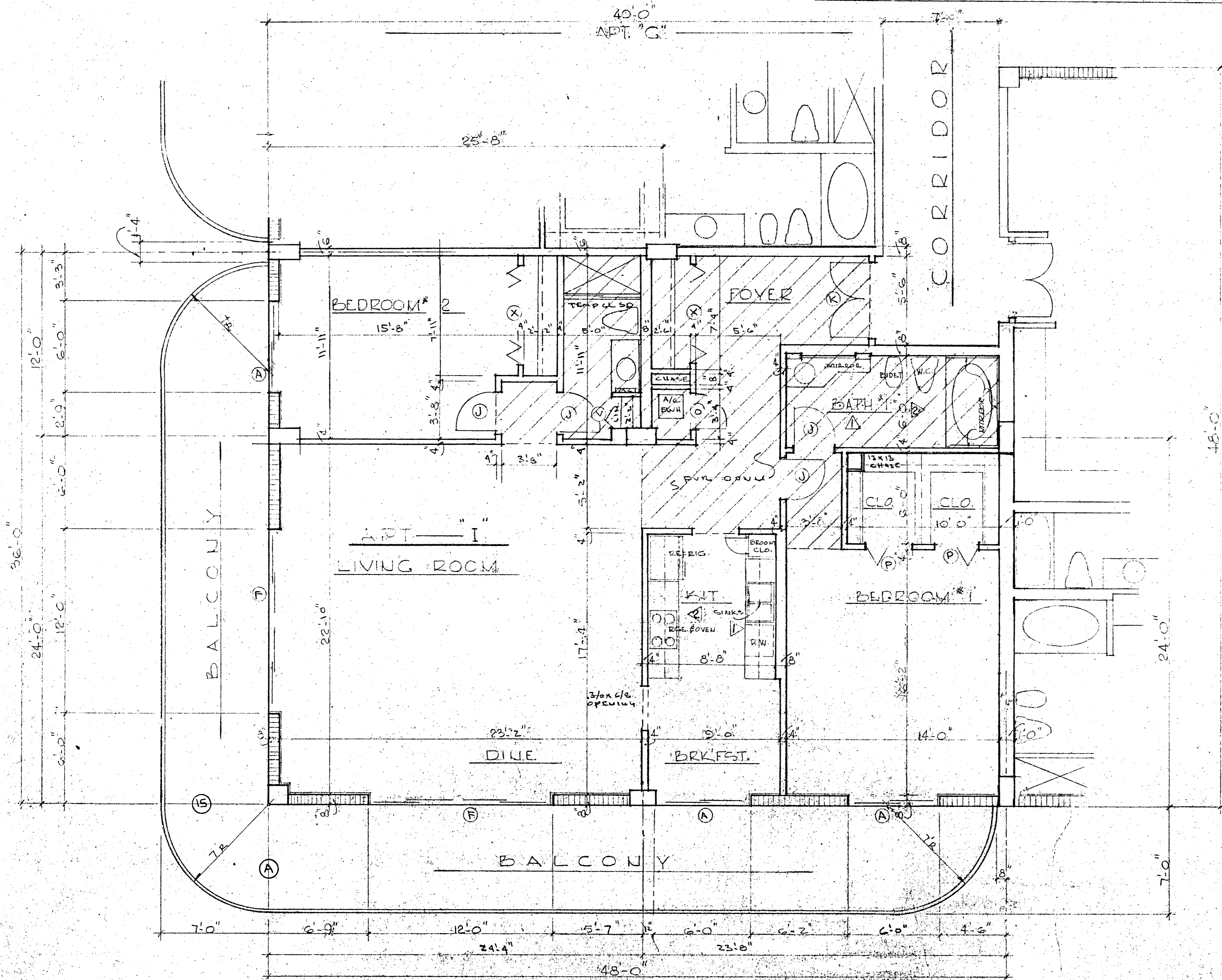
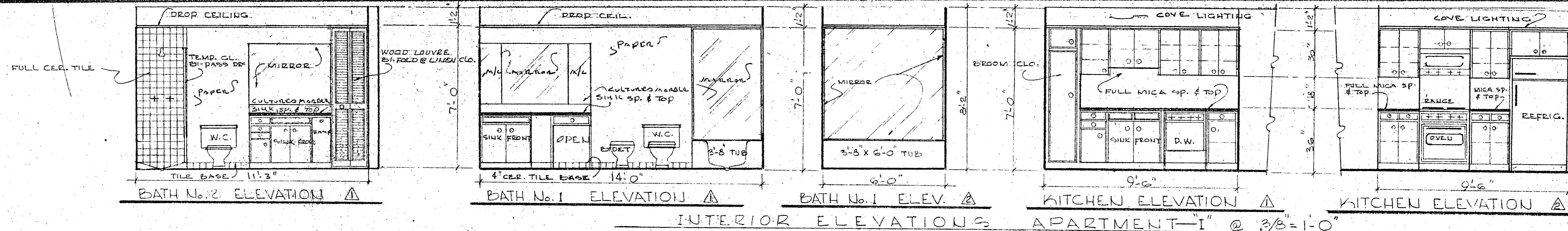
TYPICAL FLOOR PLAN 1/8" = 1'-0"

col numbers

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

W.M.F.

150 S.E. 2 ND AVE. 2525344		CHAMPLAIN TOWERS NORTH 8877 COLLINS AVE.	
A 112 UNIT CONDOMINIUM			
CONTR. NO.	DATE:	SHEET	
REV.		13 of 27	

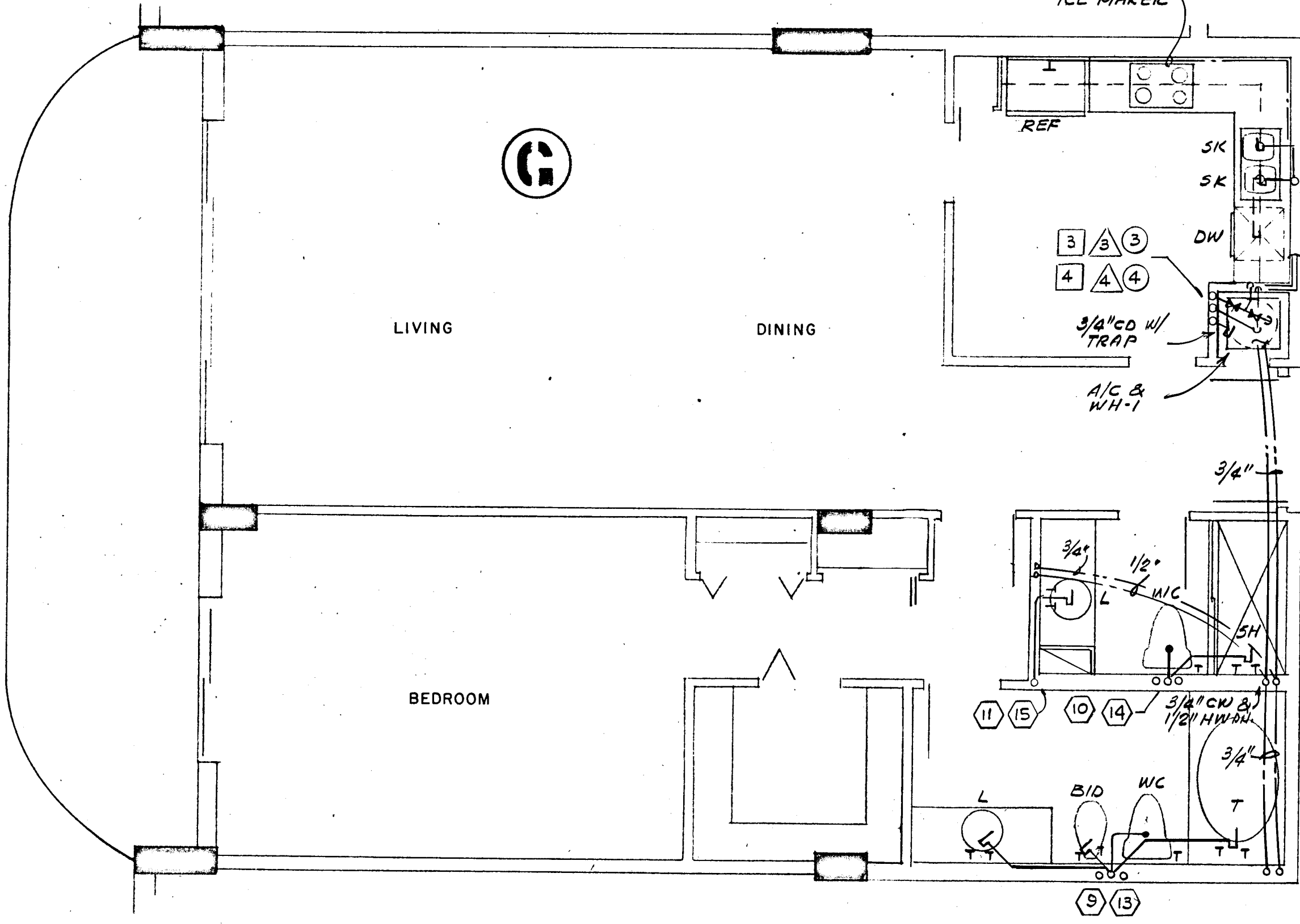
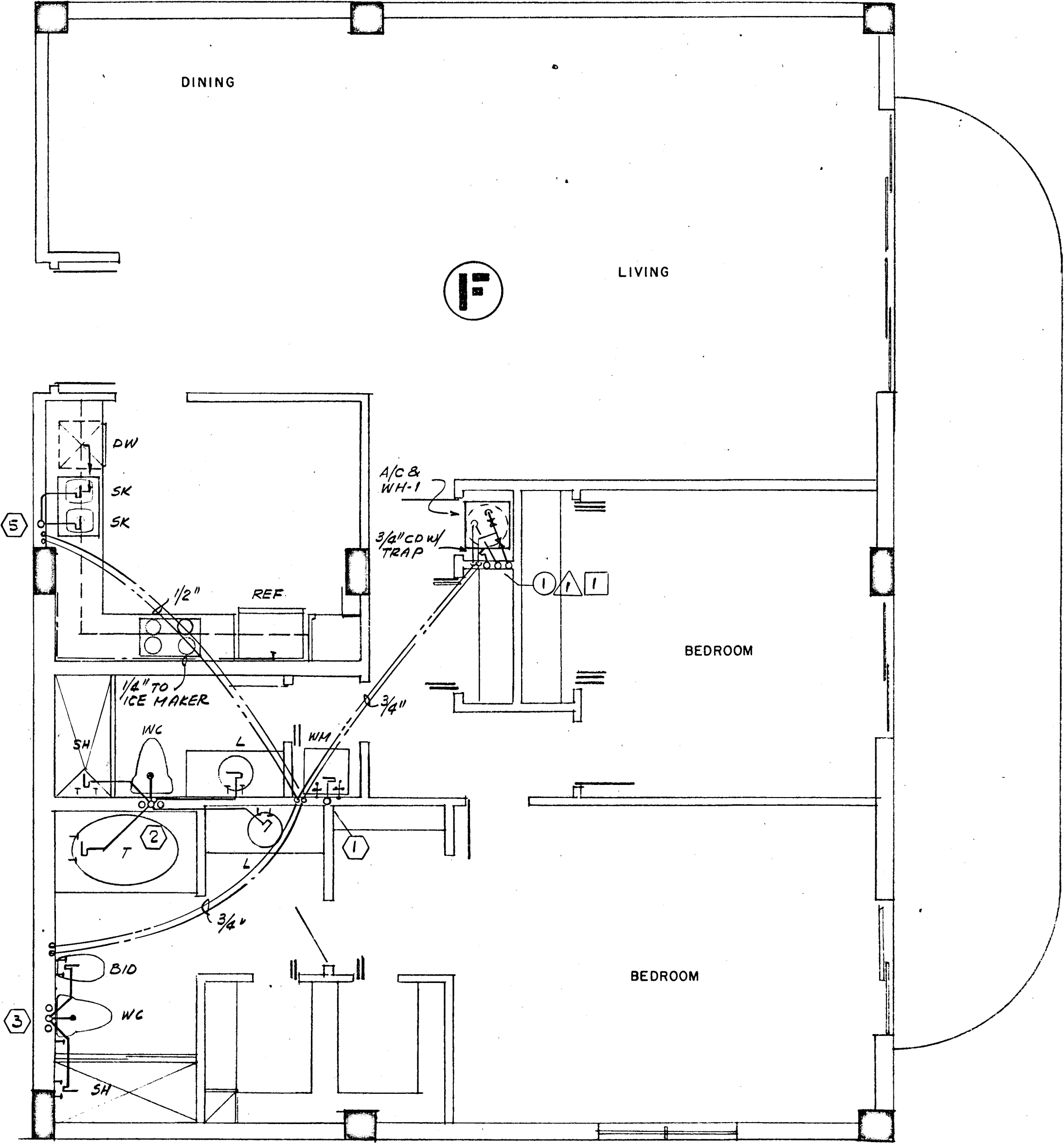
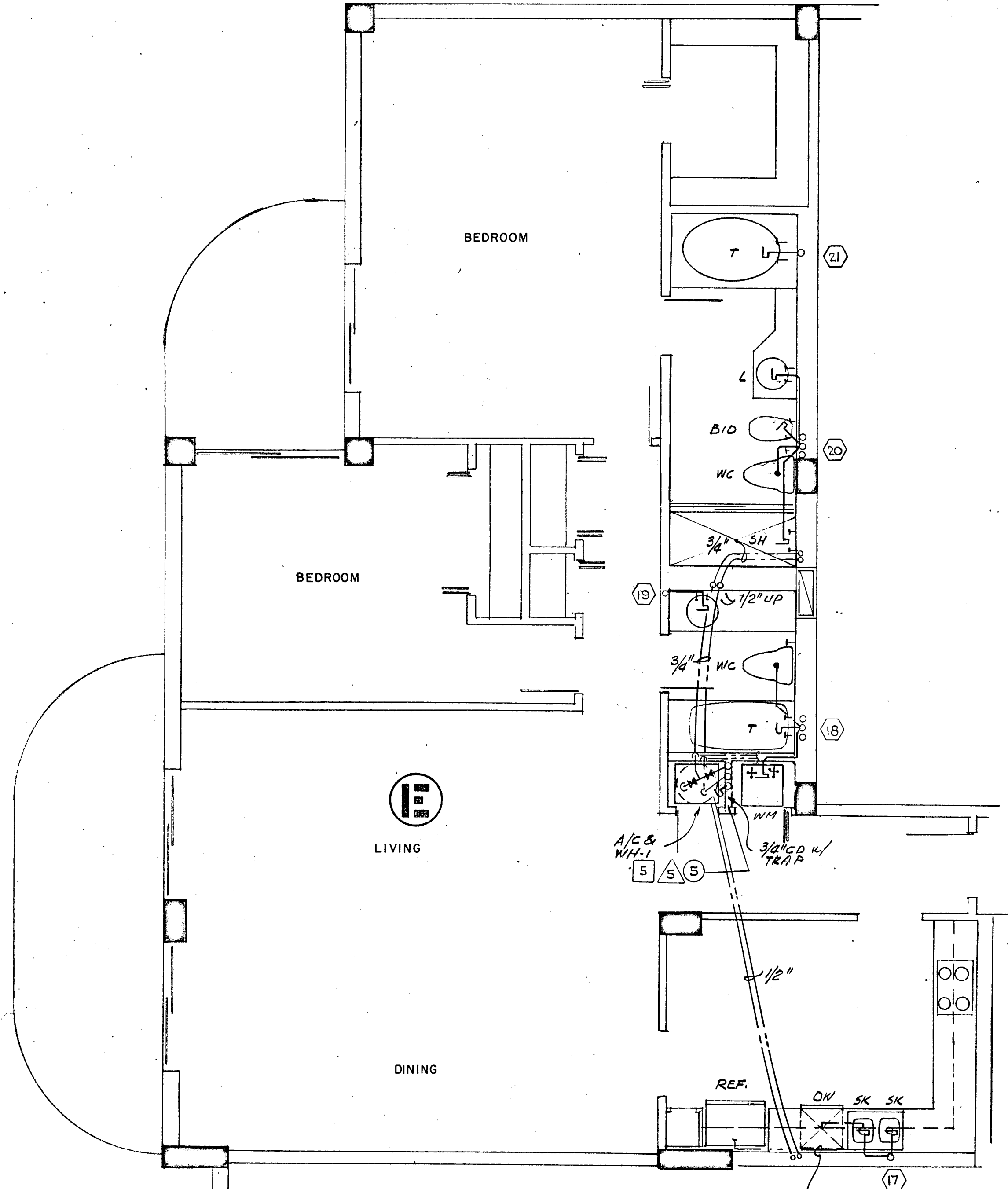


WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC. *Chief*

150 S.E. 24th Ave.
 3588044

CHAMPLAIN TOWERS NORTH
 2877 COLLINS AVE.
 A-112 UNIT CONDOMINIUM

COMM. No.	DATE	SHEET
REV.		15 OF 27



WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
128 S.E. 14th LANE
3588044

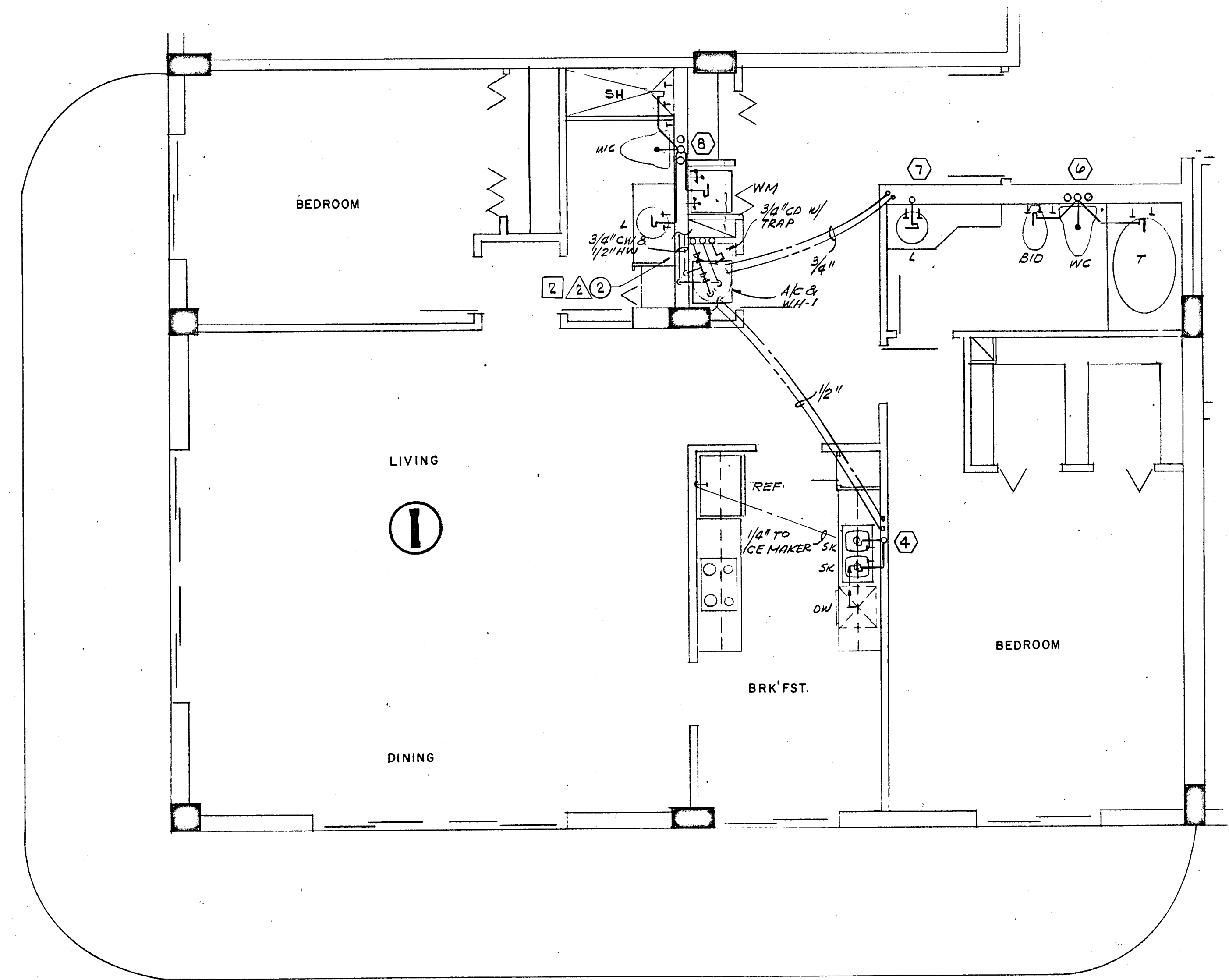
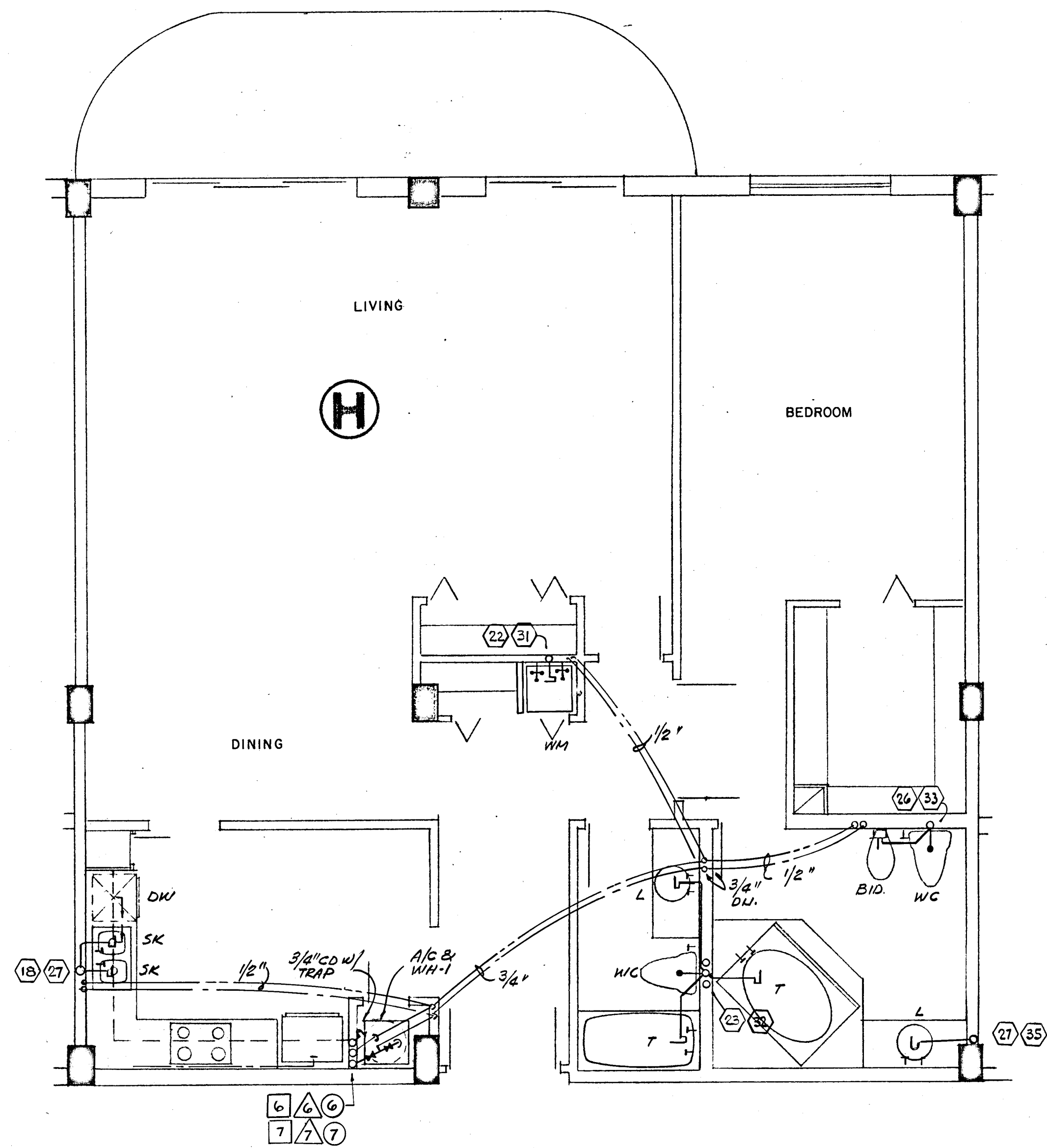
CHAMPLAIN TOWERS NORTH
A- 1/2 UNIT CONDOMINIUM

COMM. No. DATE: _____
REV. _____

FLORIDA ENGINEERING SERVICES
352 NE 167 STREET
N. MIAMI BCH FLA.
33162 945-4743

SHEET No. 128 of 11

Salomon Medina



WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14th LANE
3588044

CHAMPLAIN TOWERS NORTH

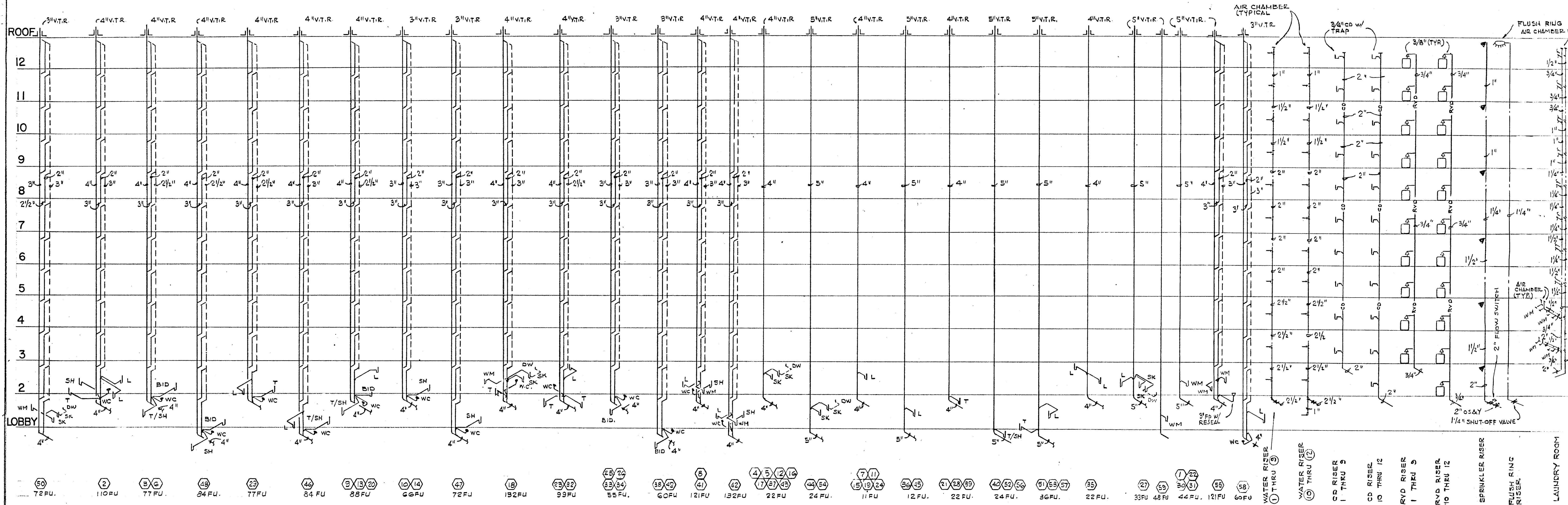
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COMM. No. DATE: REV. SHEET No. 53 OF 11

Salomon Miller

FLORIDA
REGISTERED
ENGINEERING
SERVICES
352 NE 167 STREET
MIAMI, FLA. 33132
305-743-1143

SHEET



SANITARY RISER DIAGRAM

- APARTMENT PLUMBING FIXTURES AND TRIM
(ALL FIXTURES TO BE WHITE)
- LAVATORY: 0476.028 "AQUALYN" 20" x 17" V.C. - SELF RIMMING 2379.019 "AQUARIAN 11" FAUCET W/AERATOR, POP-UP DRAIN, AND CERAMIC DISC CARTRIDGE. 3" x 12" C.P. SUPPLY PIPES W/STOPS. 1 1/4" C.P. TUBE P-TRAP - 17 GAGE.
 - WATER CLOSET: 2109.056 "ELONGATED CADET" - SIPHON-JET 5330.063 "CHURCH" CLOSED FRONT SEAT W/COVER. 3" x 12" C.P. SUPPLY PIPES W/STOPS. (2) BOLT CAPS.
 - BATHTUB: 0135.137 (RH) OR 0137.133 (LH) "SALEM" 5'0" ACID RESISTING ENAMELED STEEL RECESSED BATH W/SLIP RESISTANT BOTTOM. 1490.093 AQUARIAN 11 BATH AND SHOWER COMBINATION - DIVERTER SPOUT - CERAMIC DISC CARTRIDGE. 1560.135 MULTI-FLEX DRAIN.
 - ROMAN TUB: FOR SPECIFICATIONS SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.
 - SHOWER: 1490.036 "AQUARIAN 11" SHOWER FITTING - CERAMIC DISC CARTRIDGE WITH SCREWDRIIVER STOPS. 1413.012 SHOWER HEAD, 1444.017 ARM AND ESCUTCHEON PLATE.
ZURN: Z-415 SERIES W/TYP B STRAINER.
PROVIDE 4 LB. LED PAN.
 - KITCHEN SINK: 7017.015 "CUSTOM-LINE DOUBLE BOWL SINK, 32 x 20, 4 HOLE 4200.077 "AQUARIAN 11" SWING SPOUT FAUCET - SWIVEL AERATOR - CERAMIC DISC CARTRIDGE. 3" SINK SUPPLIES W/STOPS. 1 1/4" C.P. TUBE P-TRAP - 17 GAGE. **DISPOSER BY OTHERS. Not Permitted**
 - LAUNDRY TRAY: MUSTEE MODEL 18F - FLOOR MOUNTED, 20 GAL. CAPACITY MOULDED STONE WITH DRAIN. TRIM-CHICAGO FAUCET CO., NO. 891 WITH AERATOR AND LEVER HANDLES. 1 1/2" SATIN FINISH P-TRAP, 17 GAGE. 3" SINK SUPPLIES W/STOPS.
 - BIDGET: 5010.103 "LUXETTE" WITH FITTING - WITH CHROME HANDLE FOR WALL MOUNTING - 3324.092.

FIXTURE CONNECTION SCHEDULE					
ITEM	C.W. CONN	H.W. CONN	TRAP SIZE	F.U. COUNT	REMARKS
LAVATORY	1/2"	1/2"	1 1/2"	1	
BATHTUB	1/2"	1/2"	1 1/2"	2	
SHOWER	1/2"	1/2"	2"	2	
WATER CLOSET (TANK)	1/2"	---	3"	4	
KITCHEN SINK	1/2"	1/2"	1 1/2"	2	
WASHING MACHINE	1/2"	1/2"	1 1/2"	4	
HOSE BIB	3/4"	---	---	---	VACUUM BKR & VALVE IN THE VERTICAL
DISHWASHER	---	1/2"	1 1/2"	2	
FLOOR DRAIN	---	---	3 or 4"	3	PROVIDE TRAP RESEALER
URINAL	3/4"	---	2"	4	WALL MOUNTED
WATER CLOSET (FLUSH VALVE)	1"	---	3"	8	
DRINKING FOUNTAIN	3/8"	---	1 1/2"	1	SEE PLANS FOR LOCATIONS

- PUBLIC AREA PLUMBING FIXTURES AND TRIM
(ALL FIXTURES TO BE WHITE)
- PLUMBING FIXTURES - ALL FIXTURES TO BE AMERICAN STANDARD.
- WATER CLOSET: (FOR THE HANDICAPPED) 9468.018 "ELONGATED CADET" - SIPHON JET - 1 1/2" TOP STUD SEAT: HEAVY DUTY SOLID PLASTIC OPEN FRONT SEAT, LESS COVER, WITH STAINLESS STEEL CHECK HINGE. SLOAN ROYAL 115 FLUSH VALVE 481310-100 BOLT CAPS
 - WATER CLOSET: (REGULAR) 2222.016 "MADERA" SIPHON JET - 1 1/2" TOP STUD SEAT: HEAVY DUTY SOLID PLASTIC OPEN FRONT SEAT, LESS COVER, WITH STAINLESS STEEL CHECK HINGE. SLOAN ROYAL 110 FLUSH VALVE 481310-100 BOLT CAPS
 - LAVATORY: 0475.028 "AQUALYN" 20 x 17 VITREOUS CHINA SELF RIMMING LAVATORY. 2379.063 AQUARIAN 11 CENTER SET SINGLE HANDLE VALVE WITH AERATOR AND POP-UP DRAIN. 1/2" x 12" C.P. SUPPLY PIPES WITH STOPS 1 1/4" C.P. TUBE P-TRAP - 17 GAGE.
 - URINAL: 6560.015 "TRIMBROOK" WALL HUNG SIPHON JET URINAL SLOAN ROYAL 186-11 FLUSH VALVE.
 - SHOWER: PUBLIC 1490.036 AQUARIAN 11 SHOWER FITTING - CERAMIC DISC CARTRIDGE WITH SCREWDRIIVER STOPS.
 - SERVICE SINK: 7692.049 "LAKEWELL" 22" x 18" ARECI SINK WITH 8379.018 RIM GUARD 8340.242 DOUBLE FAUCET WITH HOSE AND SPOUT, PAIL HOOK, AND VACUUM BREAKER. 7798.176 3" TRAP STANDARD.
 - ELECTRIC WATER COOLER: PUBLIC HALSEY TAYLOR WC-7A-1 WALL HUNG WATER COOLER.
 - FLOOR DRAIN: ZURN MODEL ZN415 - WITH NO HUB FITTING.
 - PLANTER DRAIN: ZURN ZB114C WITH SUMP, RECEIVER AND PERFORATED OVERFLOW. SEE ARCHITECTURAL PLANS FOR LENGTH OF OVERFLOW REQUIRED.
 - ROOF DRAIN: ZURN MODEL Z-113 WITH LEAD FLASHING AROUND DRAIN
 - POOL EQUIPMENT ROOM: ZURN ZB-520-Y WITH Z-7099 BWV WITH PRIMING CONNECTION.
 - PUMP ROOM DRAIN: ZURN Z-550-Y WITH PRIMING CONNECTION
 - TRASH ROOM: ZURN Z-451 WITH Z-1099 BWV WITH PRIMING CONNECTION.
 - TRENCH DRAIN: ZURN ZN-666.
 - POOL AND LOBBY LEVEL DECK: ZURN ZN-415 WITH 10" TYPE "Y" TOP.
 - PARKING DECK DRAIN: ZURN Z-150 WITH 14" TOP.

PUMP SCHEDULE	
PUMP NUMBER	P-1
APPLICATION	DOMESTIC BOOSTER
LOCATION	LOBBY EQUIP. ROOM
G.P.M.	90+180+180
T.D.H. (IN FT. WATER)	110
H.P.	5+10+10
R.P.M.	1750
EFFICIENCY	59.5 + 71.5 + 71.5
VOLTAGE	208-3-60
MOTOR TYPE	O.D.P.
PUMP TYPE	HORIZONTAL END SUCTION
MANUFACTURER	SYNCO-FLOW
MODEL	450ES48P
SIZE	1-1P; 2-1Q
CONSTRUCTION	CAST IRON BRONZE FITTED
SEAL	MECHANICAL
OPERATING WEIGHT - LBS.	2000
INERTIA BLOCK SIZE	A, B, C, D & E
ACCESSORIES	
A. SPRING ISOLATORS	
B. HIGH & LOW PRESSURE CUT-OFF	
C. ELECTRICAL ALTERNATION	
D. COPPER PIPING	
E. PIPE ISOLATORS	

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS NORTH

A-112 UNIT CONDOMINIUM

COMM. NO. DATE: SHEET No. 11 OF 11

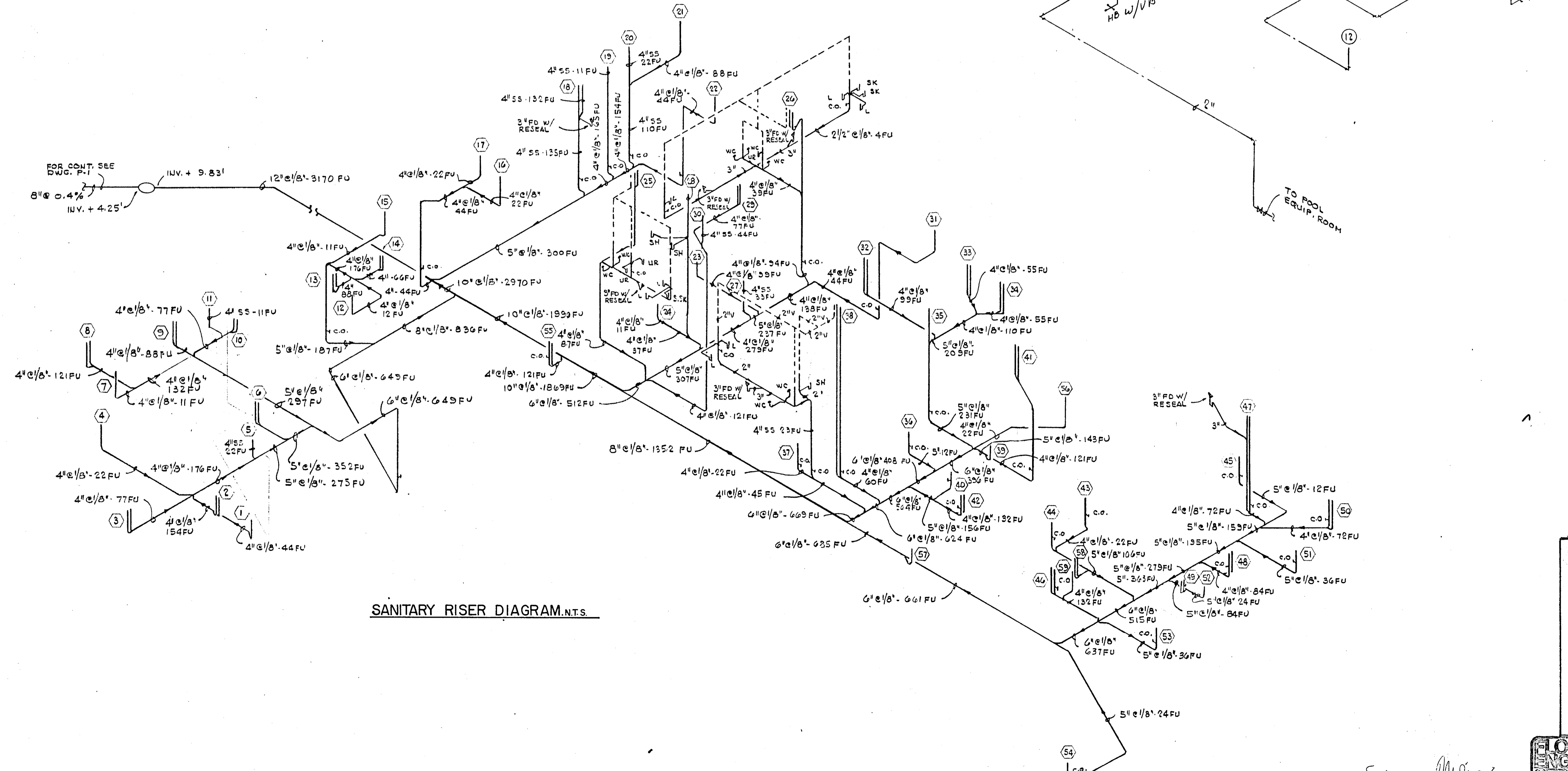
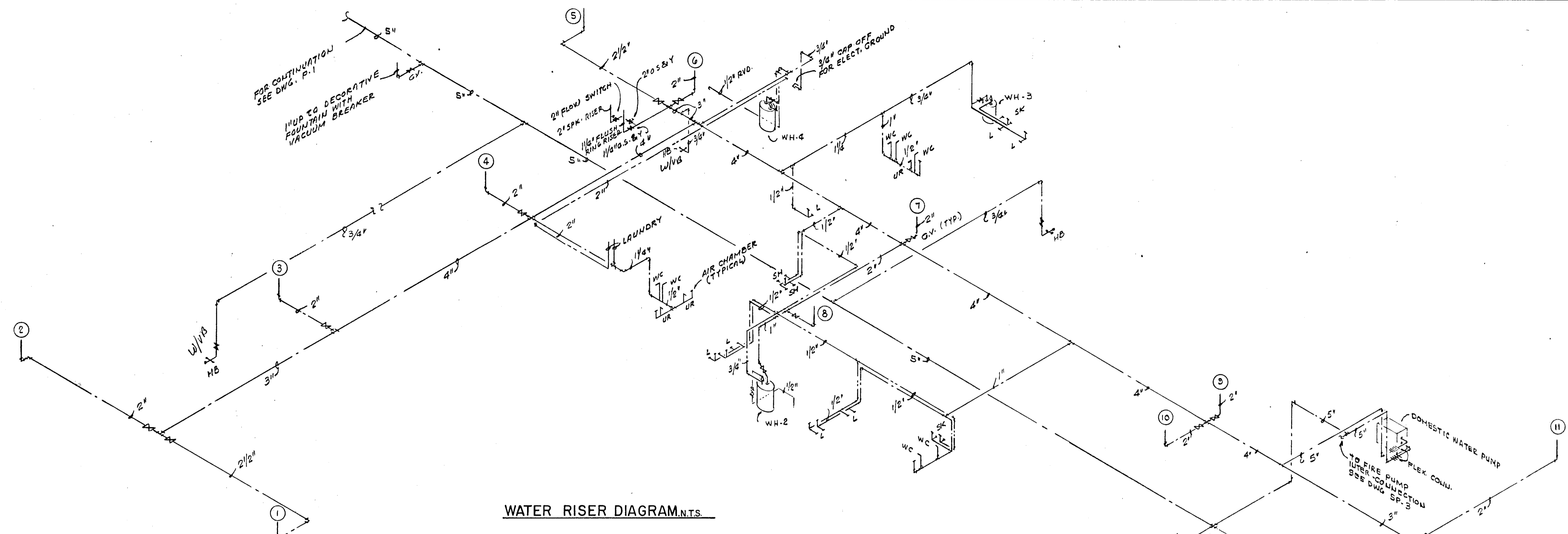
REV. 11 SHEETS

1000 PLUMBING SERVICES
22 NE 17 STREET
MIAMI, FL 33132

Selomon Miller

PLUMBING NOTES

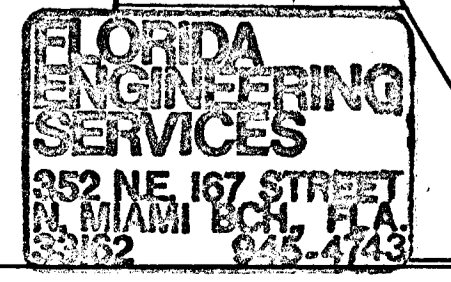
1. ALL PLUMBING SHALL BE DONE IN ACCORDANCE WITH STATE AND LOCAL CODES AND ORDINANCES, AND UTILITY COMPANIES SPECIFICATIONS AND REQUIREMENTS.
2. PLUMBING CONTRACTOR SHALL PAY ALL FEES, INSPECTION AND CONNECTION CHARGES REQUIRED.
3. PLUMBING CONTRACTOR SHALL VERIFY ALL SPACE CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO FABRICATION AND INSTALLATION OF MATERIALS AND EQUIPMENT.
4. COORDINATE WORK WITH OTHER TRADES.
5. SUBMIT SHOP DRAWINGS TO ENGINEER FOR APPROVAL OF ALL EQUIPMENT, MATERIALS AND LAYOUTS PRIOR TO INSTALLATION.
6. PLUMBING CONTRACTOR SHALL GUARANTEE ALL WORK FREE OF DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE.
7. PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL A/C CONDENSATE DRAIN AND TRAP. SEE A/C PLANS FOR LOCATIONS OF UNITS AND DRAINS.
8. EACH BATHROOM AND FIXTURE GROUP SHALL BE PROVIDED WITH AIR CHAMBERS.
9. PROVIDE SHUT-OFF VALVE FOR EACH FIXTURE.
10. WHEREVER DISSIMILAR METALS ARE TO BE JOINED, A DIELECTRIC FITTING SHALL BE PROVIDED TO CONNECT BOTH TYPES OF PIPES.
11. FURNISH AND INSTALL BATHROOM FIXTURES AS SPECIFIED.
12. PIPING:
 - A) WATER LINES:
 1. UNDERGROUND
ALL PIPING 4" AND LARGER SHALL BE CEMENT MORTAR LINED DUCTILE IRON PIPE CLASS 150, WITH HOT COAL TAR DIPPED EXTERIOR.
ALL PIPING 3" AND SMALLER SHALL BE TYPE "L" COPPER. ALL COPPER LINES SHALL BE JOINED WITH 95/5 SOLDER.
 2. ABOVE GROUND
ALL COLD & HOT WATER PIPING SHALL BE TYPE "L" COPPER WITH CAST OR WROUGHT COPPER FITTINGS. ALL COPPER LINES SHALL BE JOINED WITH 95/5 SOLDER.
COLD AND HOT WATER PIPING IN SLAB SHALL BE TYPE "L" SOFT COPPER IN POLYETHYLENE CONDUIT. NO PIPE JOINTS ALLOWED INSIDE OF SLAB.
 3. VALVES 4" AND SMALLER SHALL BE ALL BRASS AS MANUFACTURED BY NIBCO OR APPROVED EQUAL. VALVES 5" AND LARGER SHALL BE CAST IRON BODY WITH BRASS TRIM CRANE, STOCKHAM OR APPROVED EQUAL.
 - B) SANITARY LINES:
 1. UNDERGROUND
ALL PIPES UNDER BUILDING, 2 1/2" AND SMALLER SHALL BE TYPE "L" COPPER SANITARY PIPE AND FITTINGS.
ALL PIPES UNDER BUILDING, 3", 4" OR 5" SHALL BE NO-HUB CAST IRON PIPE AND FITTINGS.
ALL PIPES UNDER BUILDING, 6" AND LARGER SHALL BE CAST IRON, NEOPRENE RUBBER GASKETED HUB AND SPIGOT SOIL PIPE AND FITTINGS.
ALL PIPES OUTSIDE OF BUILDING SHALL BE SAME AS DESCRIBED ON ABOVE ITEMS, EXCEPT PIPES 6" AND LARGER CAN BE VITRIFIED CLAY PIPE.
 2. ABOVE GROUND
ALL PIPING SHALL BE NO-HUB CAST IRON PIPE AND FITTINGS. FIXTURE ARMS SHALL BE TYPE DWV COPPER. FIXTURE ARMS EXPOSED TO VIEW SHALL BE CHROME PLATED BRASS, WITH ESCUTCHEON PLATE AT WALL.
 - C) STORM LINES:
 1. UNDERGROUND
ALL PIPING, INSIDE OF BUILDING, 5" AND SMALLER SHALL BE NO-HUB CAST IRON PIPE AND FITTINGS.
ALL PIPING 6" AND LARGER, UNDER BUILDING, SHALL BE CAST IRON, NEOPRENE RUBBER GASKETED HUB AND SPIGOT SOIL PIPE AND FITTINGS.
ALL PIPING OUTSIDE OF BUILDING 5" AND SMALLER SHALL BE NO-HUB CAST IRON PIPE AND FITTINGS.
ALL PIPING OUTSIDE OF BUILDING, 6", 8" AND 10" SHALL BE NEOPRENE RUBBER GASKETED HUB AND SPIGOT PIPE AND FITTINGS.
ALL PIPING OUTSIDE OF BUILDING 12" AND LARGER SHALL BE CONCRETE PIPE AND FITTINGS OR CORRUGATED HELICAL ALUMINUM PIPE AND FITTINGS.
 2. ABOVE GROUND
ALL PIPING SHALL BE NO-HUB CAST IRON PIPE AND FITTINGS.
 - D) CONDENSATE LINES
SHALL BE SCHEDULE 40 PVC PIPE AND FITTINGS. INSTALL ALL VERTICAL RISERS WITHIN BUILDING, INSIDE OF PARTITION.
 - E) RELIEF VALVE LINES
ALL BOILER AND/OR WATER HEATER PRESSURE AND TEMPERATURE RELIEF LINES SHALL BE TYPE "L" COPPER PIPE AND FITTINGS.



WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
128 S.E. 14TH LANE
3588044

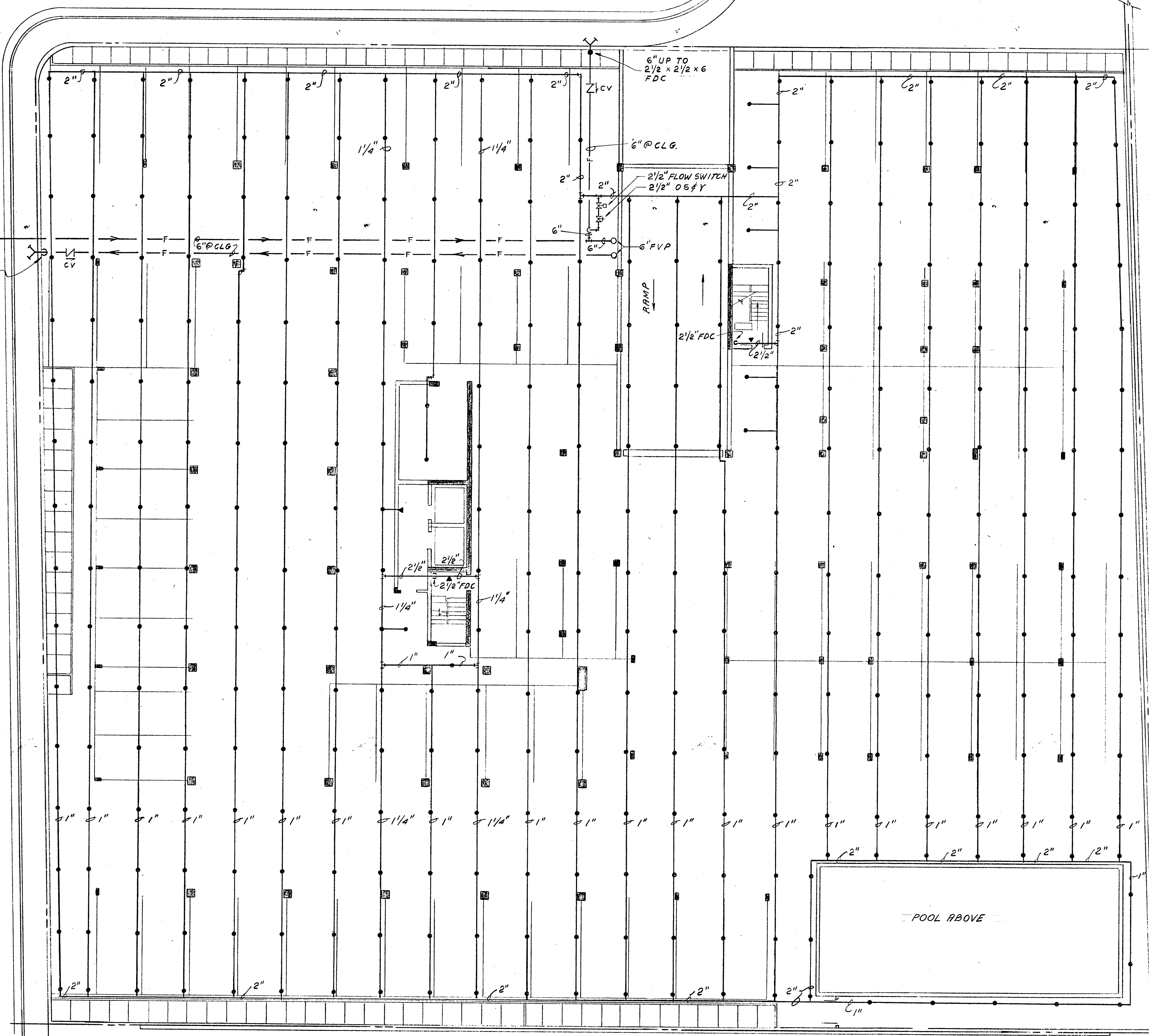
CHAMPLAIN TOWERS NORTH
A-112 UNIT CONDOMINIUM

COMM. NO. DATE: SHEET No. 1511 OF 15 SHEETS



Salomon Miller

FOR CONT. SEE
DRAWING P-1
6" UP TO
2 1/2" x 2 1/2" FDC



Salomon Miller

**WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.**
150 S. E. 2ND AVE.
358 8044

CHAMPLAIN TOWERS NORTH

A 112 UNIT CONDOMINIUM

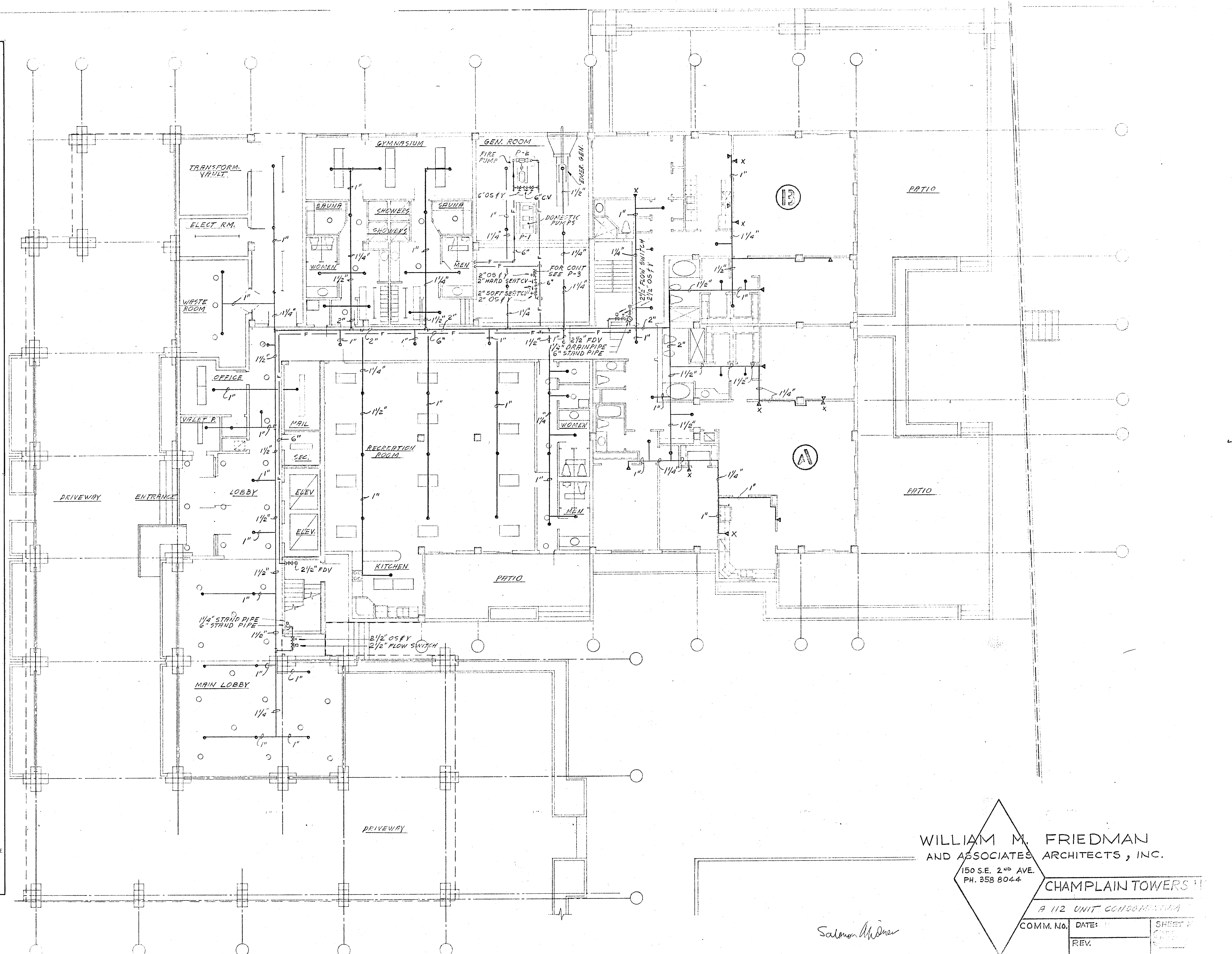
**FLORIDA
ENGINEERING
SERVICES**
352 NE 167 STREET
N. MIAMI BCH, FLA.
33162 945-4743

COMM NO.	DATE
REV.	

SHEET NO.	3 OF 3
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FIRE SPRINKLER NOTES

- ALL FIRE SPRINKLER WORK SHALL BE DONE ACCORDING TO LATEST N.F.P.A., STATE AND LOCAL CODES AND ORDINANCES.
- CONTRACTOR SHALL PAY ALL FEES, INSPECTION AND CONNECTION CHARGES REQUIRED.
- SPRINKLER CONTRACTOR SHALL VERIFY ALL SPACE CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO FABRICATION AND INSTALLATION OF MATERIALS AND EQUIPMENT.
- COORDINATE WORK WITH OTHER TRADES.
- SUBMIT SHOP DRAWINGS TO ENGINEER FOR APPROVAL OF ALL EQUIPMENT, MATERIALS, LAYOUTS AND CALCULATIONS, PRIOR TO INSTALLATION.
- SPRINKLER CONTRACTOR SHALL GUARANTEE ALL WORK FREE OF DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE.
- SPRINKLER LEGEND:
 - PENDANT OR UPRIGHT SPRINKLER HEAD
 - △ SIDE WALL EXTENDED HEAD
 - △ X SIDE WALL EXTENDED COVERAGE SPRINKLER HEAD
 - ⊗ FLOW SWITCH
 - ⊕ CHECK VALVE
 - ⊗ O S & Y VALVE
 - F FIRE LINE
 - C COLD WATER LINE
 - ⊙ PRESSURE GAGE
 - F.H.C. FIRE HOSE CABINET
 - F.D.V. FIRE DEPARTMENT VALVE
 - SPK. SPRINKLER
 - F.D.C. FIRE DEPARTMENT CONNECTION
 - ⊖ CONCENTRIC REDUCER
 - ⊖ ECCENTRIC REDUCER
- FIRE LINES (INCLUDING FIRE SPRINKLER LINES)
 - UNDERGROUND: ALL PIPING SHALL BE TEMENT MORTAR FINED DUCTILE IRON PIPE CLASS 150, WITH HOT COAL TAR DIPPED EXTERIOR.
 - ABOVE GROUND: ALL PIPING SHALL BE SCHEDULE 40 BLACK STEEL PIPE AND FITTINGS. PIPES 3" AND LARGER SHALL BE WELDED OR VICTAULIC PIPE FITTINGS. PIPES 2" AND SMALLER SHALL BE SCREWED PIPE AND FITTINGS.
- VALVES
 - UNDERGROUND - STOCKHAM: G636 OR JENKINS 836
 - FOR ABOVE SLAB 4" AND LARGER IN SIZE USE: STOCKHAM: G634, CRANE: 467, JENKINS: 825A
 - FOR ABOVE SLAB 3" AND SMALLER IN SIZE USE: STOCKHAM: G608, CRANE: 460, JENKINS: 325
 - FIRE LINE CHECK VALVES 4" AND LARGER IN SIZE USE: STOCKHAM: G933 OR JENKINS: 728
 - FIRE DEPARTMENT VALVE: ON 6" RISERS USE 2 1/2" HOSE VALVE WITH CAP AND CHAIN. ALLENCO MODEL 170.
 - SIAMISE CONNECTION: 2 1/2" x 2 1/2" x 6" EXPOSED WALL SIAMISE CONNECTION. CAST BRASS, INDEPENDENT DROP CLAPPERS, PLUGS AND CHAINS, AND ESCUTCHEON LETTERED "COMBINATION STANDPIPE AND AUTO SPRINKLER" ALLENCO MODEL 270.
 - ROOF MANIFOLD: 2 1/2" x 2 1/2" x 6" CAST BRASS ROOF MANIFOLD, TWO OUTLETS WITH APPROVED ANGLE VALVE, BRASS CAPS AND CHAINS, ALLENCO MODEL 439.
- SPRINKLER HEADS:
 - PENDANT SPRINKLERS IN AREAS WITH DROP CEILING - CENTRAL MODEL "A" FLUSH HEAD, ALL POLISHED CHROME INCLUDING CEILING ESCUTCHEON PLATE.
 - PENDANT OR UPRIGHT SPRINKLERS IN AREAS WITH NO CEILING CENTRAL MODEL "A" FACTORY BRONZE.
 - SIDE WALL IN APARTMENTS AND PUBLIC AREAS - CENTRAL MODEL "H" POLISHED CHROME INCLUDING WALL PLATE.
 - SIDE WALL IN STORAGE, EQUIPMENT ROOM, ETC., - CENTRAL MODEL "H" FACTORY BRONZE.
 - SIDE WALL EXTENDED COVERAGE HEAD - CENTRAL MODEL H-17/32" FINISHED CHROME PLATED HEAD AND ESCUTCHEON.
- TESTS: WATER PIPING: TEST TO 150 PSIG.



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PH. 358 8044

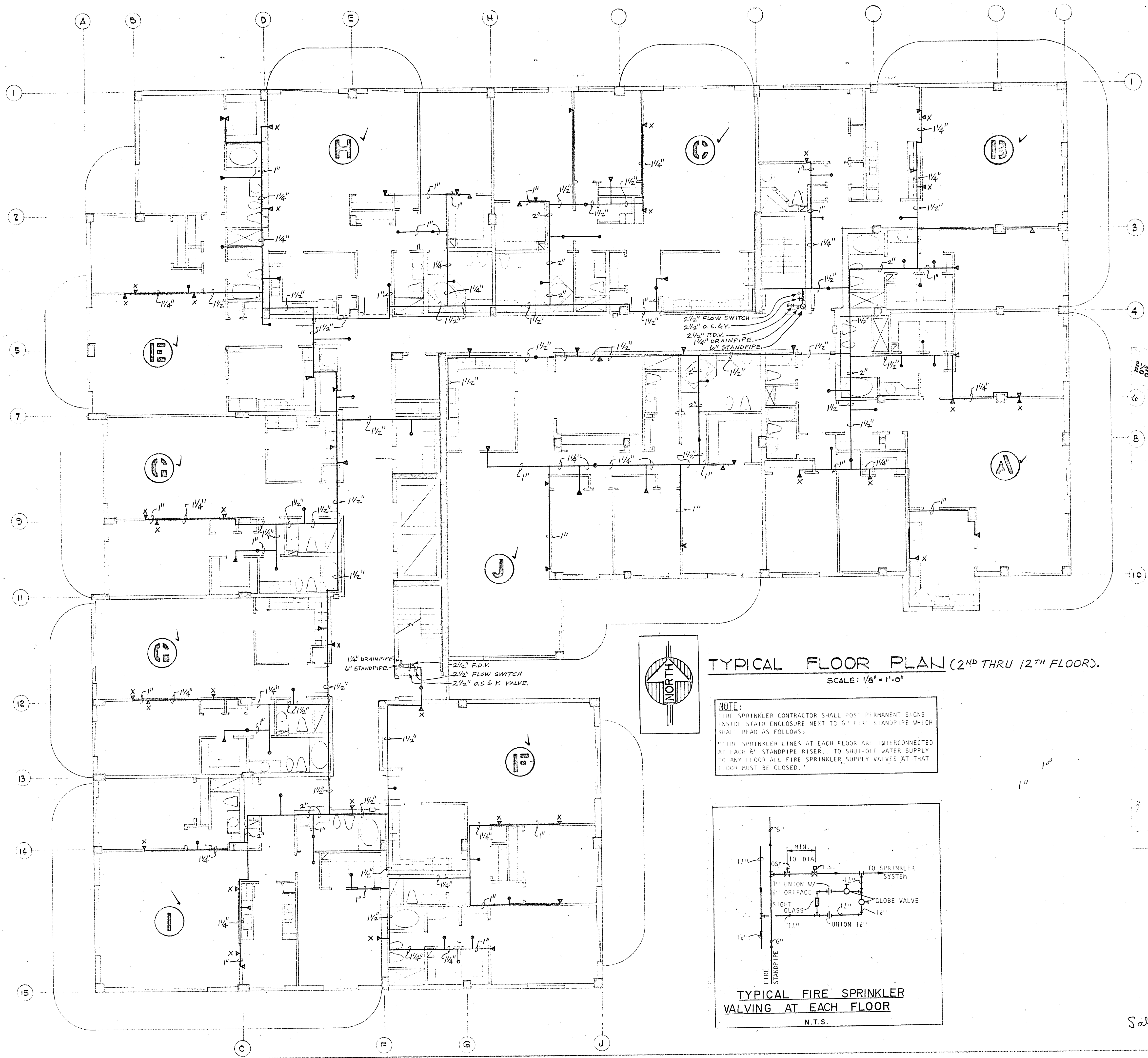
CHAMPLAIN TOWERS II

A 112 UNIT CONDOMINIUM

COMM. No.	DATE:	SHEET #
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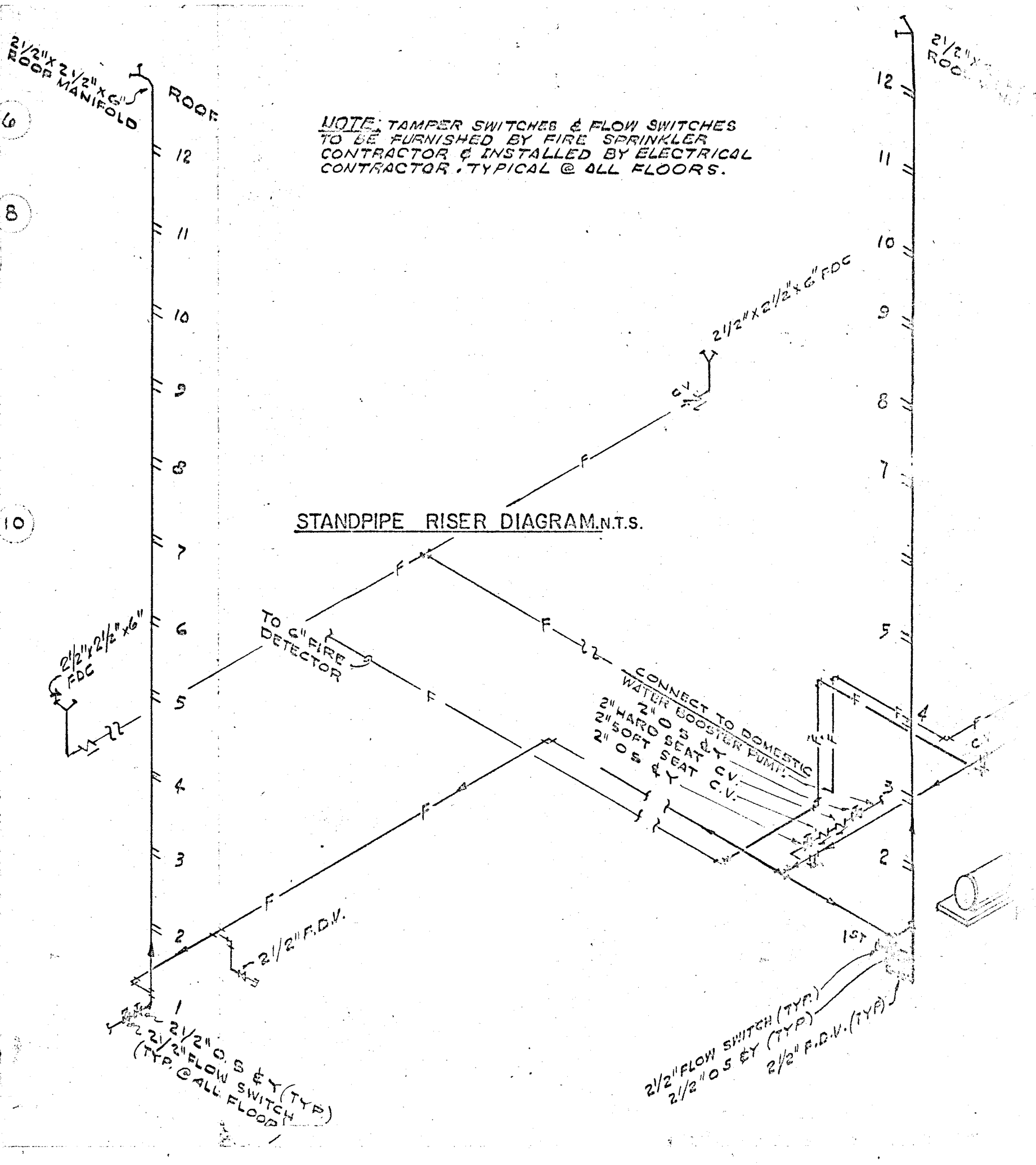
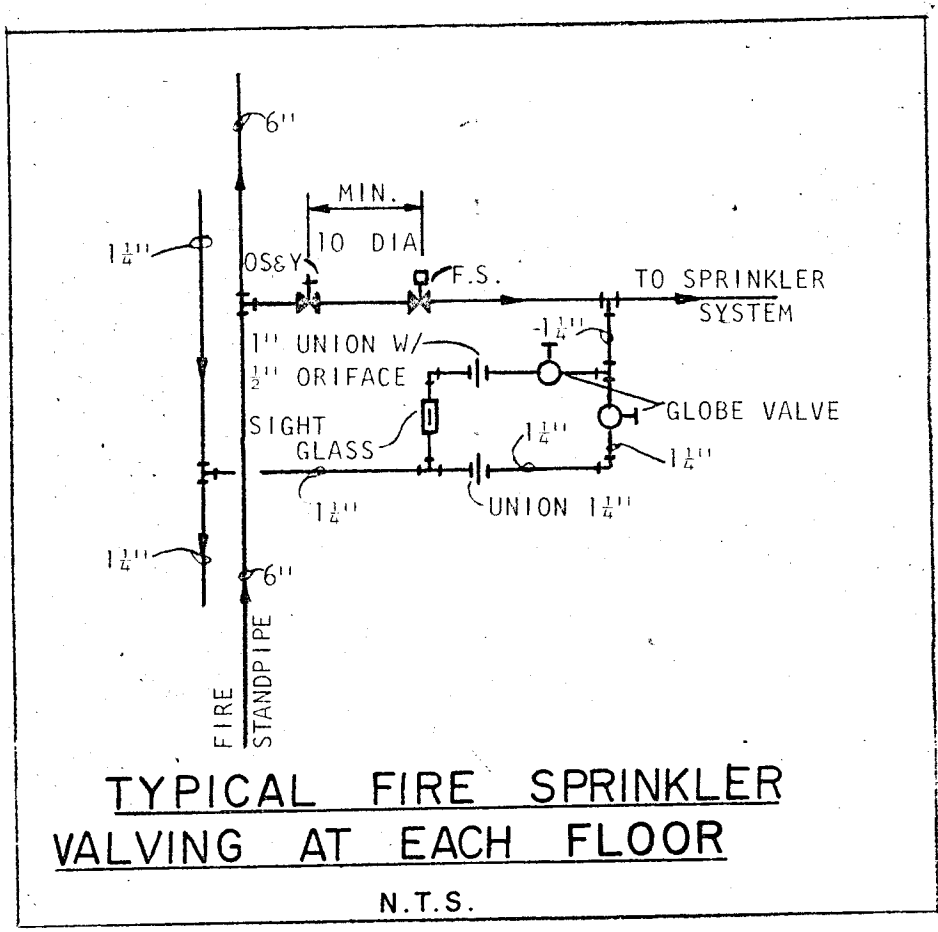
Salomon M. Friedman

PUMP SCHEDULE	
PUMP NUMBER	P-2
APPLICATION	FIRE PUMP
LOCATION	UPPER LEVEL GARAGE
G.P.M.	750
T.D.H. (IN FT. WATER)	219
H.P.	60
R.P.M.	3560
EFFICIENCY	----
VOLTAGE	208-3-60
MOTOR TYPE	O.D.P.
PUMP TYPE	HORIZONTAL SPLIT-CASE
MANUFACTURER	AURORA
MODEL	4-481-11C
SIZE	4x5x8 1/4
CONSTRUCTION	CAST IRON BRONZE FITTED
SEAL	PACKING
OPERATING WEIGHT - LBS.	1000
INERTIA BLOCK SIZE	2000
ACCESSORIES	A & B
A. U.L. & F.M. APPROVED	
B. PRIMARY RESISTOR START	



TYPICAL FLOOR PLAN (2ND THRU 12TH FLOOR).
SCALE: 1/8" = 1'-0"

NOTE:
FIRE SPRINKLER CONTRACTOR SHALL POST PERMANENT SIGNS INSIDE STAIR ENCLOSURE NEXT TO 6" FIRE STANDPIPE WHICH SHALL READ AS FOLLOWS:
"FIRE SPRINKLER LINES AT EACH FLOOR ARE INTERCONNECTED AT EACH 6" STANDPIPE RISER. TO SHUT-OFF WATER SUPPLY TO ANY FLOOR ALL FIRE SPRINKLER SUPPLY VALVES AT THAT FLOOR MUST BE CLOSED."

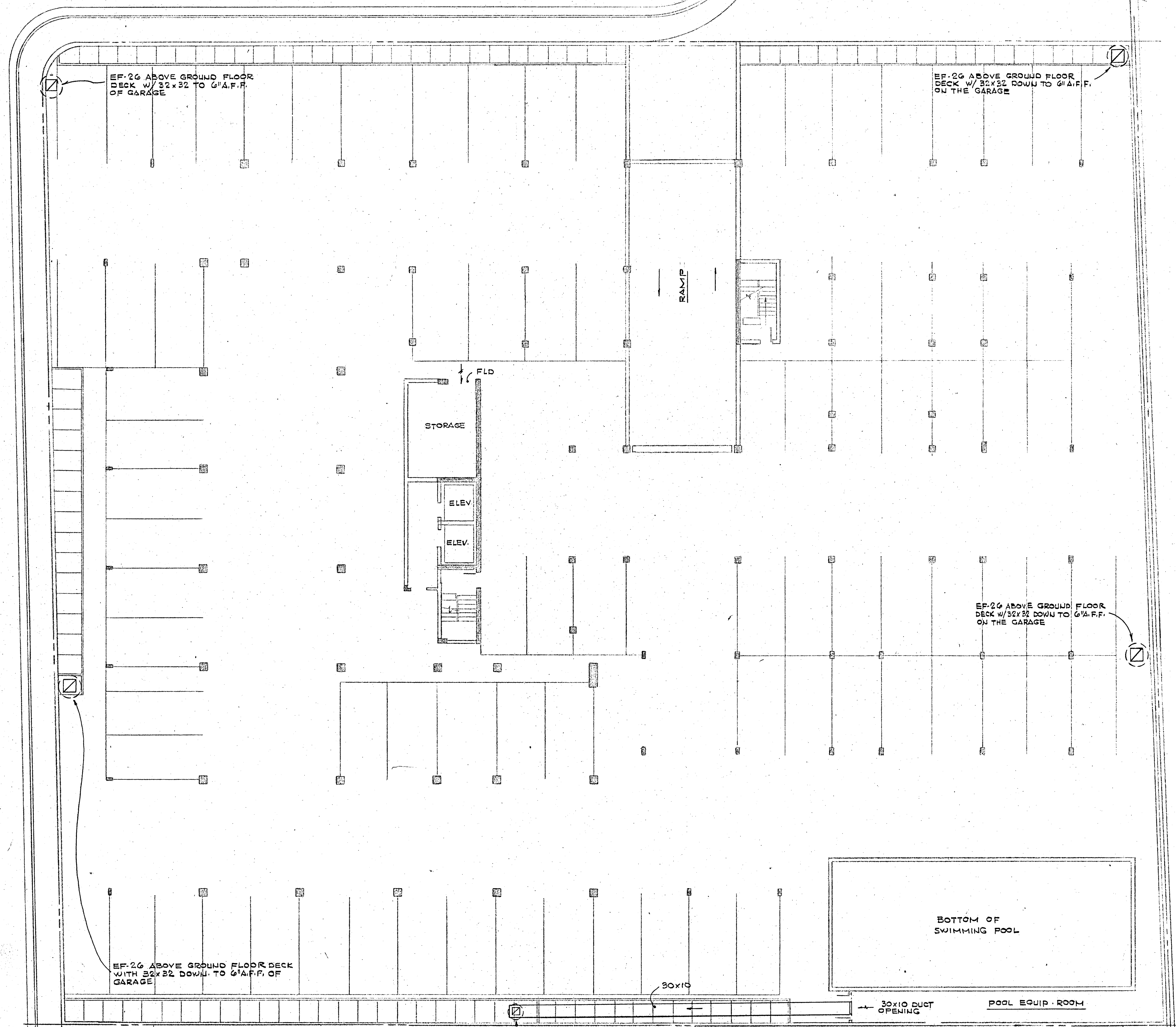


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35B 8044
CHAMPLAIN TOWER
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COMM. No. DATE: REV.

Salomon Meyer

89TH ST.

COLLINS AVE.



EF-26 ABOVE GROUND FLOOR DECK W/ 32x32 TO 6'A.F.F. OF GARAGE

EF-26 ABOVE GROUND FLOOR DECK W/ 32x32 DOWN TO 6'A.F.F. ON THE GARAGE

EF-26 ABOVE GROUND FLOOR DECK W/ 32x32 DOWN TO 6'A.F.F. ON THE GARAGE

EF-26 ABOVE GROUND FLOOR DECK WITH 32x32 DOWN TO 6'A.F.F. OF GARAGE

EF-23 ABOVE GROUND FLOOR DECK WITH 19x19 OPENING ON THE SLAB

NOTE:
ALL DUCTWORK EXPOSED TO VEHICULAR TRAFFIC SHALL BE PROTECTED WITH STEEL ANGLES AS REQUIRED TO BE A HEIGHT OF 4 FT. A.F.F.

Selma Miller

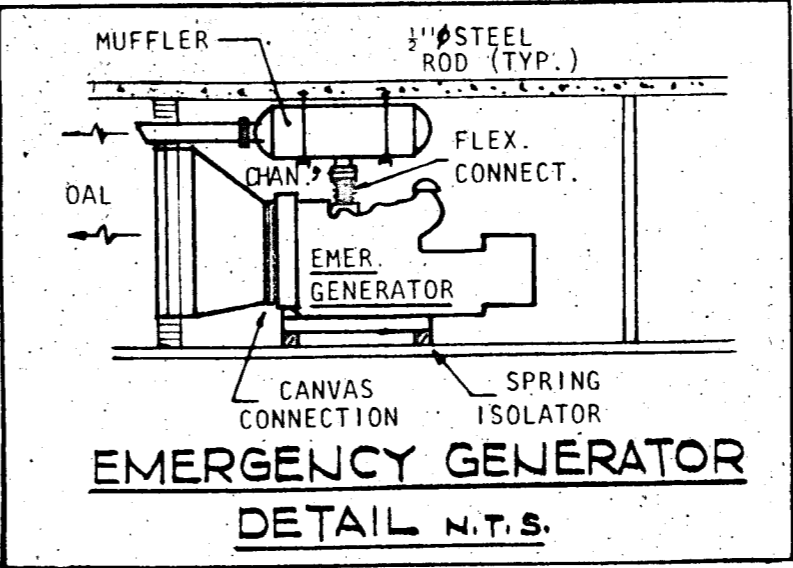
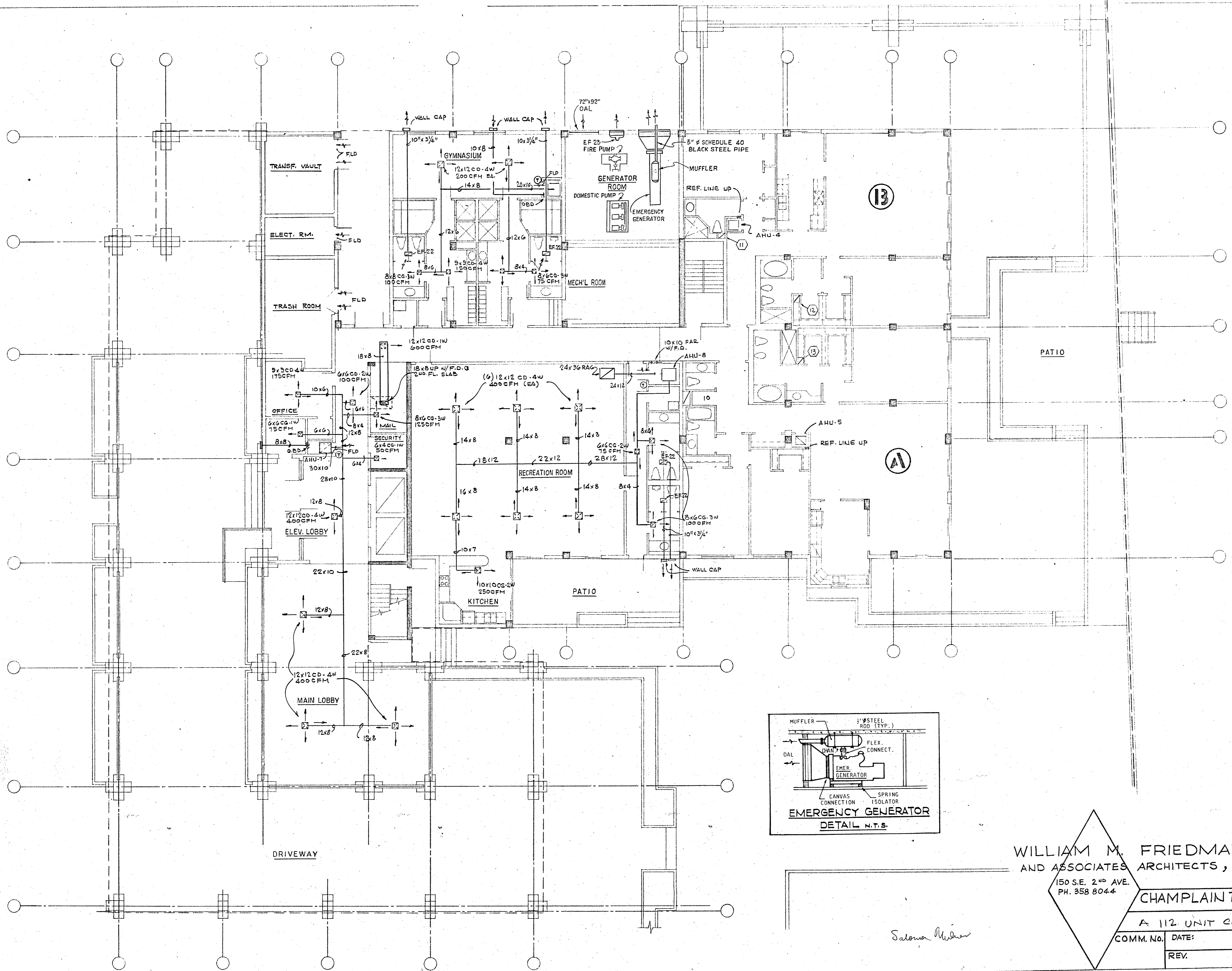
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150 S. E. 2ND AVE. 358 8044

CHAMPLAIN TOWERS NORTH

A 112 UNIT CONDOMINIUM

COMM NO.	DATE	SHEET NO.
REV.		1 OF 9

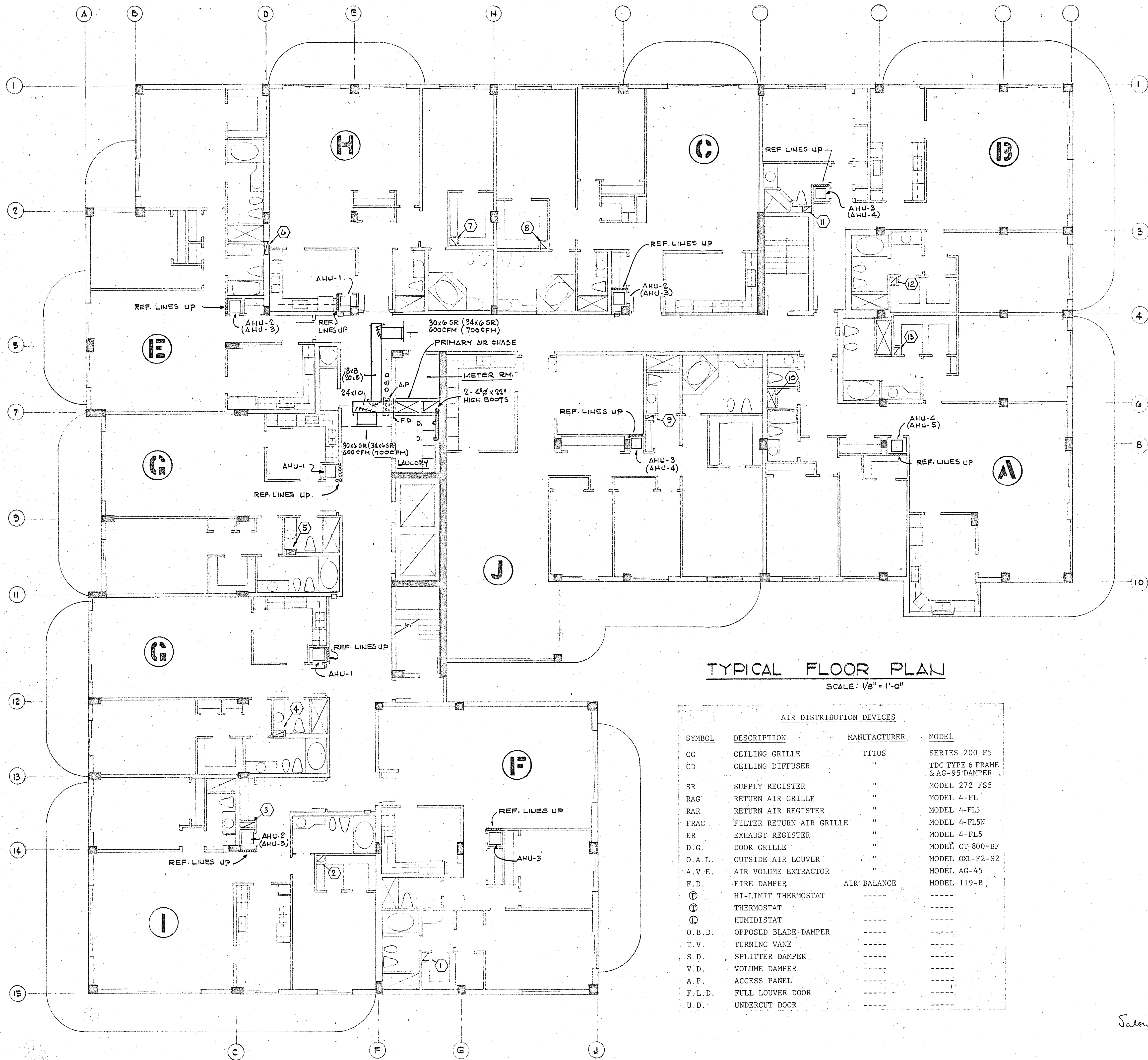


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COMM. No.	DATE:	SHEET No.
	REV.	AC 2 OF 9

Saloma Wilson



TYPICAL FLOOR PLAN

SCALE: 1/8" = 1'-0"

AIR DISTRIBUTION DEVICES			
SYMBOL	DESCRIPTION	MANUFACTURER	MODEL
CG	CEILING GRILLE	TITUS	SERIES 200 F5
CD	CEILING DIFFUSER	"	TDC TYPE 6 FRAME & AG-95 DAMPER
SR	SUPPLY REGISTER	"	MODEL 272 FS5
RAG	RETURN AIR GRILLE	"	MODEL 4-FL
RAR	RETURN AIR REGISTER	"	MODEL 4-FL5
FRAG	FILTER RETURN AIR GRILLE	"	MODEL 4-FL5N
ER	EXHAUST REGISTER	"	MODEL 4-FL5
D.G.	DOOR GRILLE	"	MODEL CT-800-BF
O.A.L.	OUTSIDE AIR LOUVER	"	MODEL OXL-F2-S2
A.V.E.	AIR VOLUME EXTRACTOR	"	MODEL AG-45
F.D.	FIRE DAMPER	AIR BALANCE	MODEL 119-B
Ⓢ	HI-LIMIT THERMOSTAT		----
Ⓣ	THERMOSTAT		----
Ⓢ	HUMIDISTAT		----
O.B.D.	OPPOSED BLADE DAMPER		----
T.V.	TURNING VANE		----
S.D.	SPLITTER DAMPER		----
V.D.	VOLUME DAMPER		----
A.P.	ACCESS PANEL		----
F.L.D.	FULL LOUVER DOOR		----
U.D.	UNDERCUT DOOR		----

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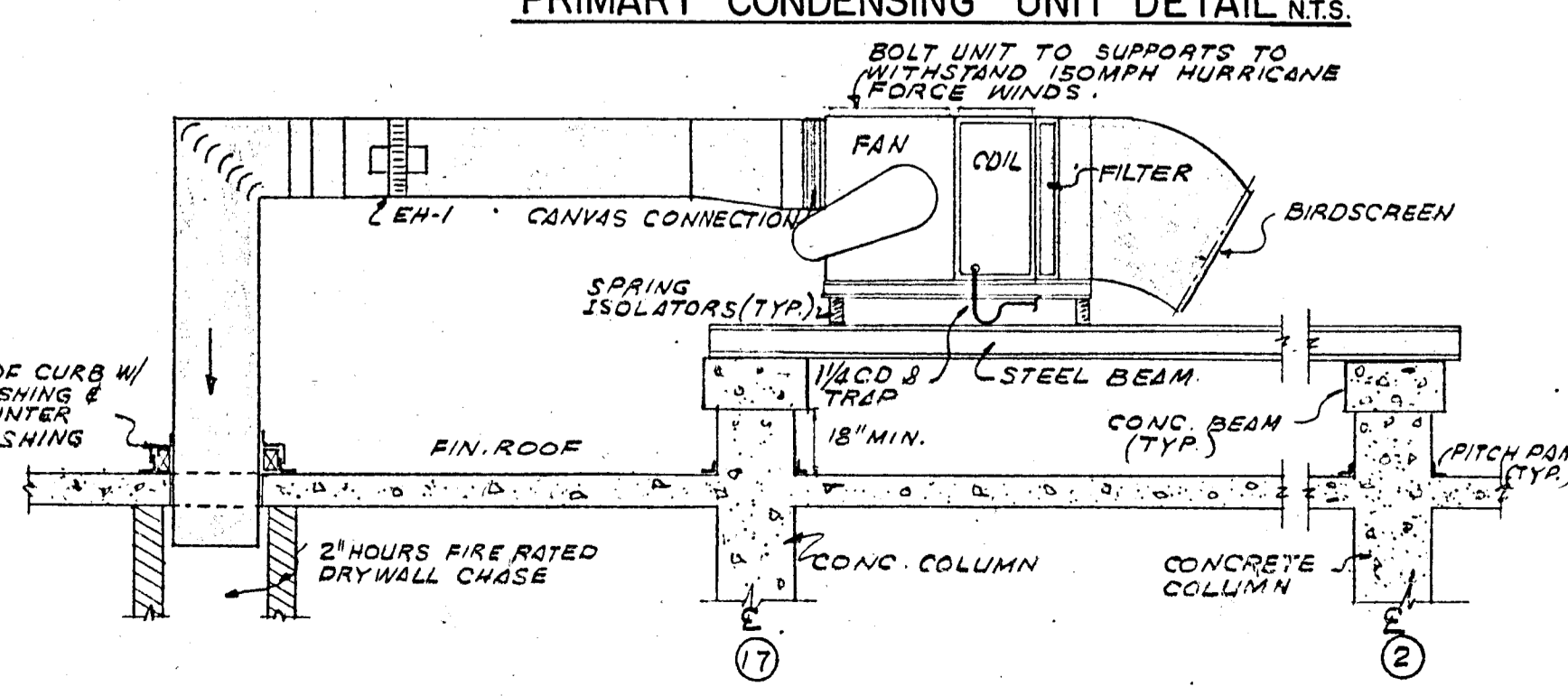
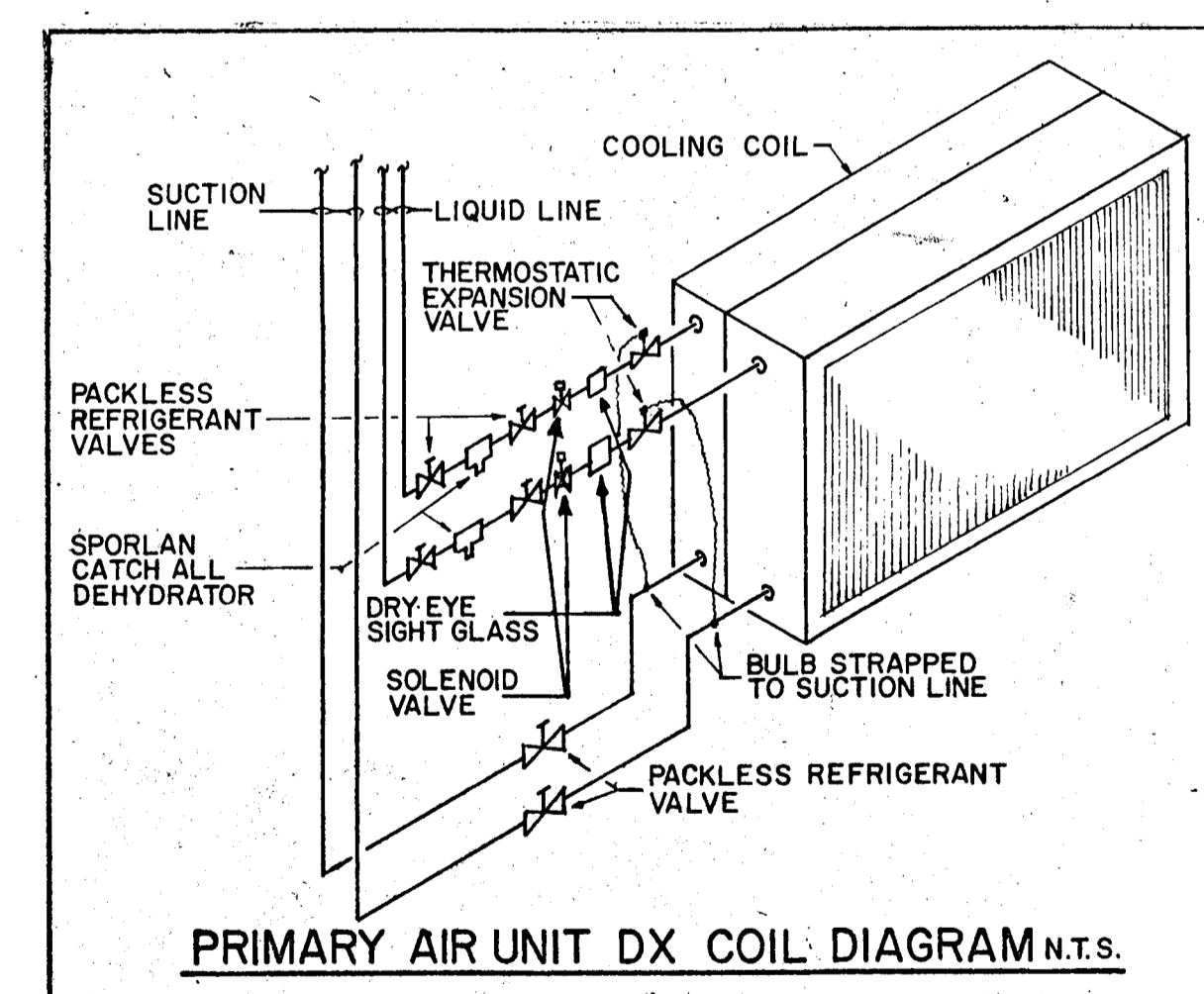
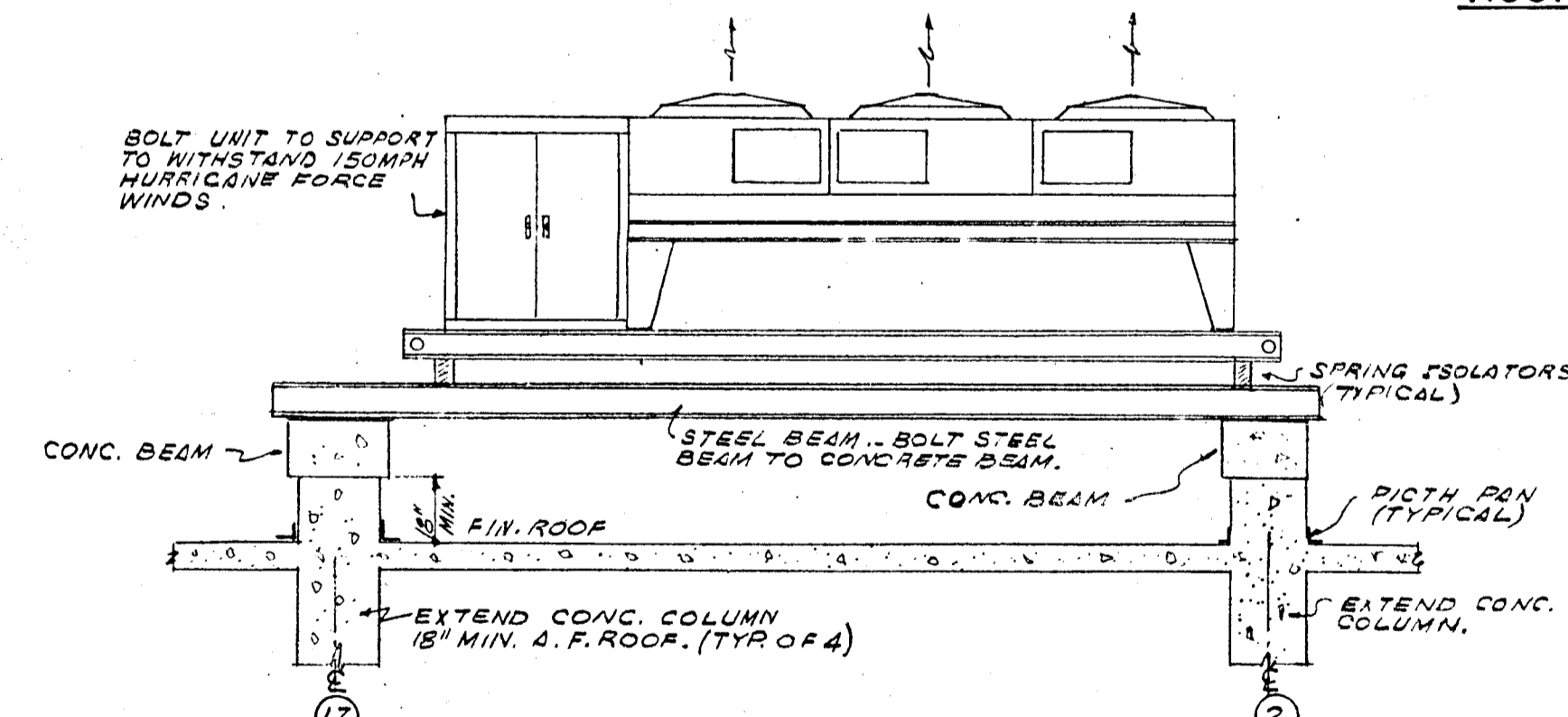
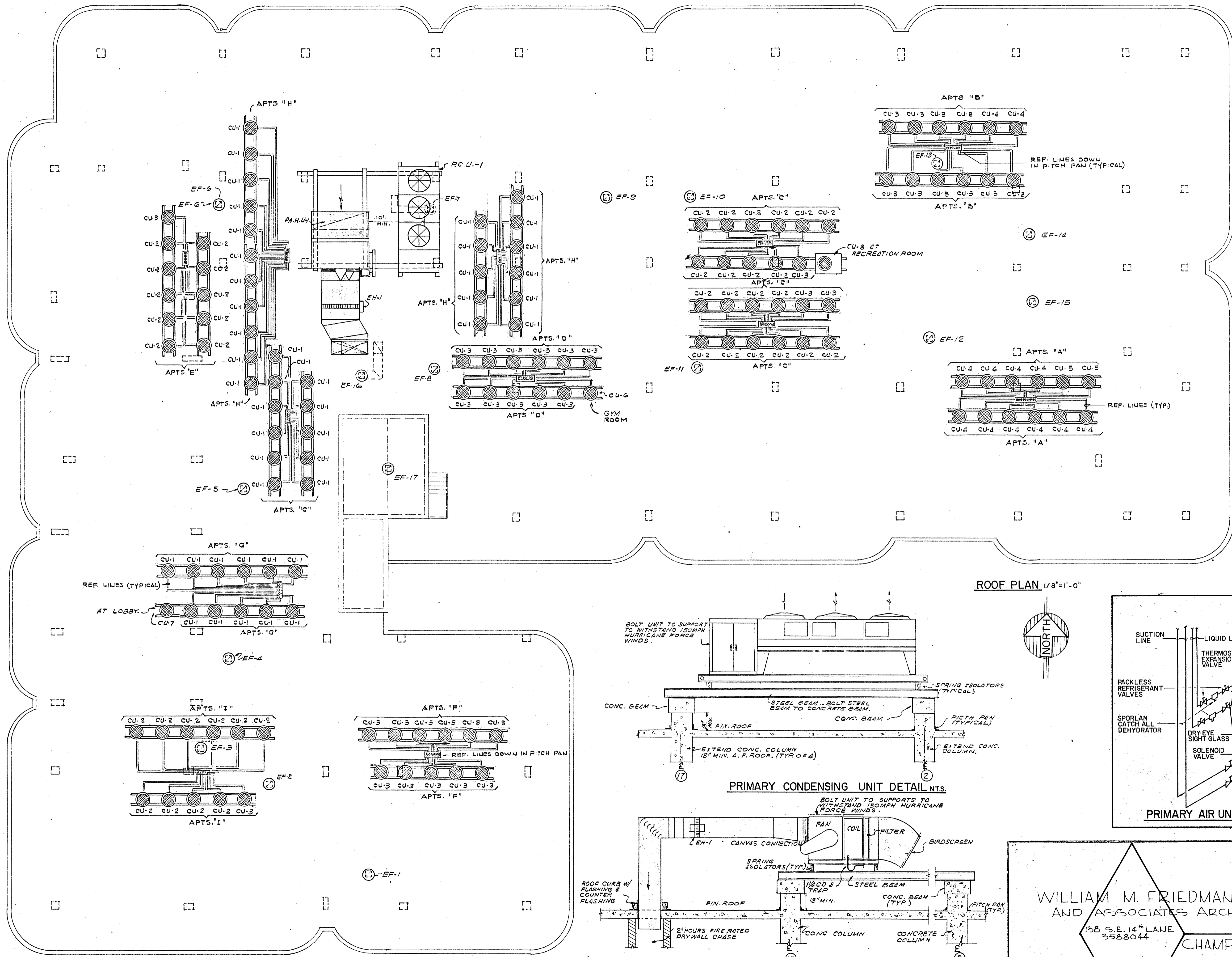
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COMM No. DATE: SHEET No.
REV. AC 3 of 2

Salomon Miller



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138 S.E. 14TH LANE
3388044

CHAMPLAIN TOWERS NORTH

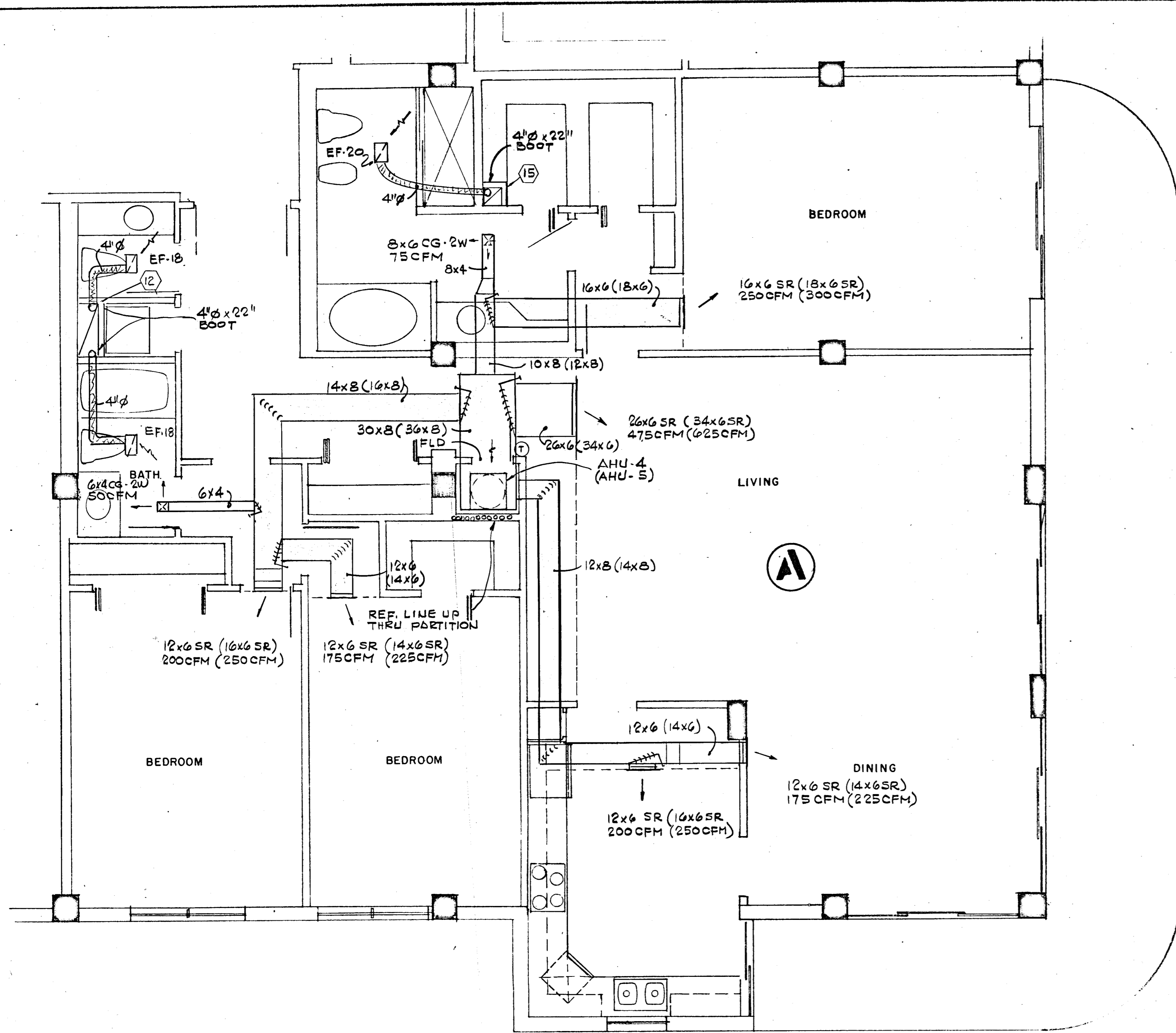
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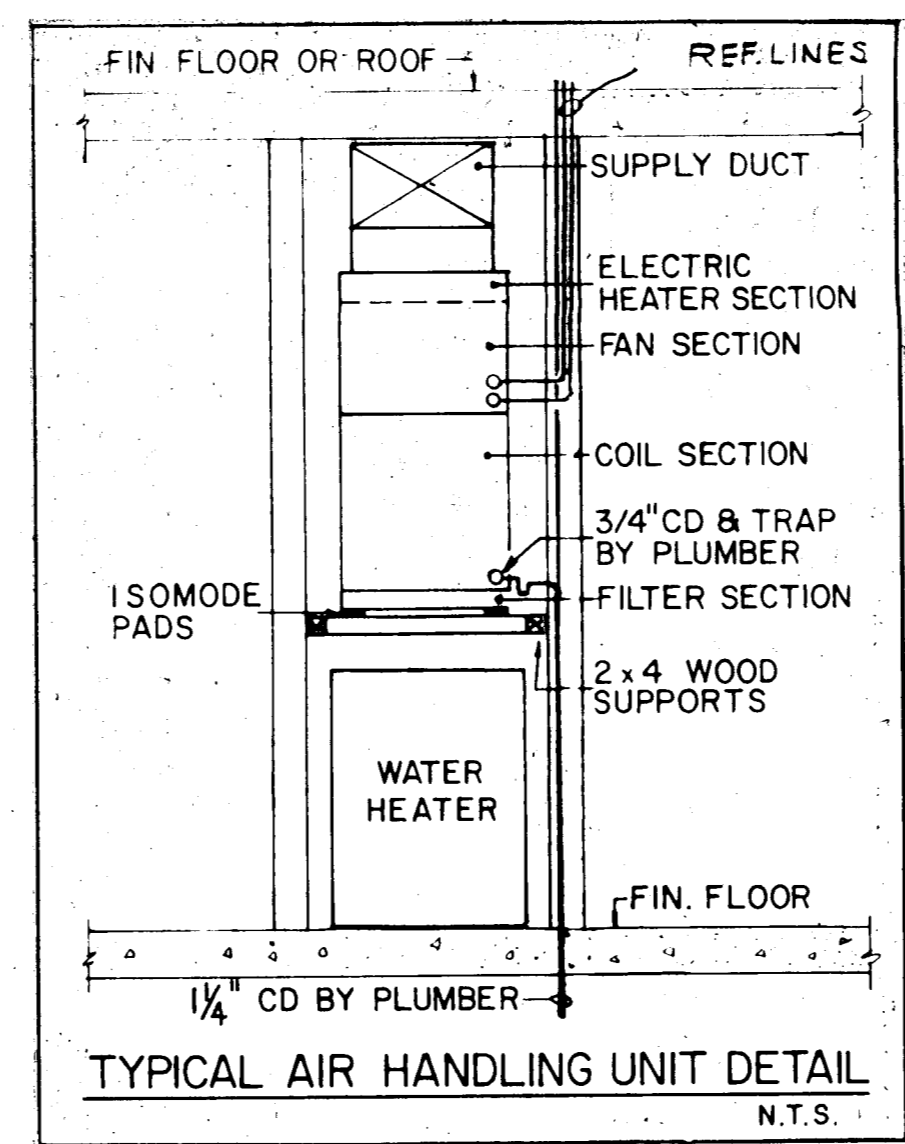
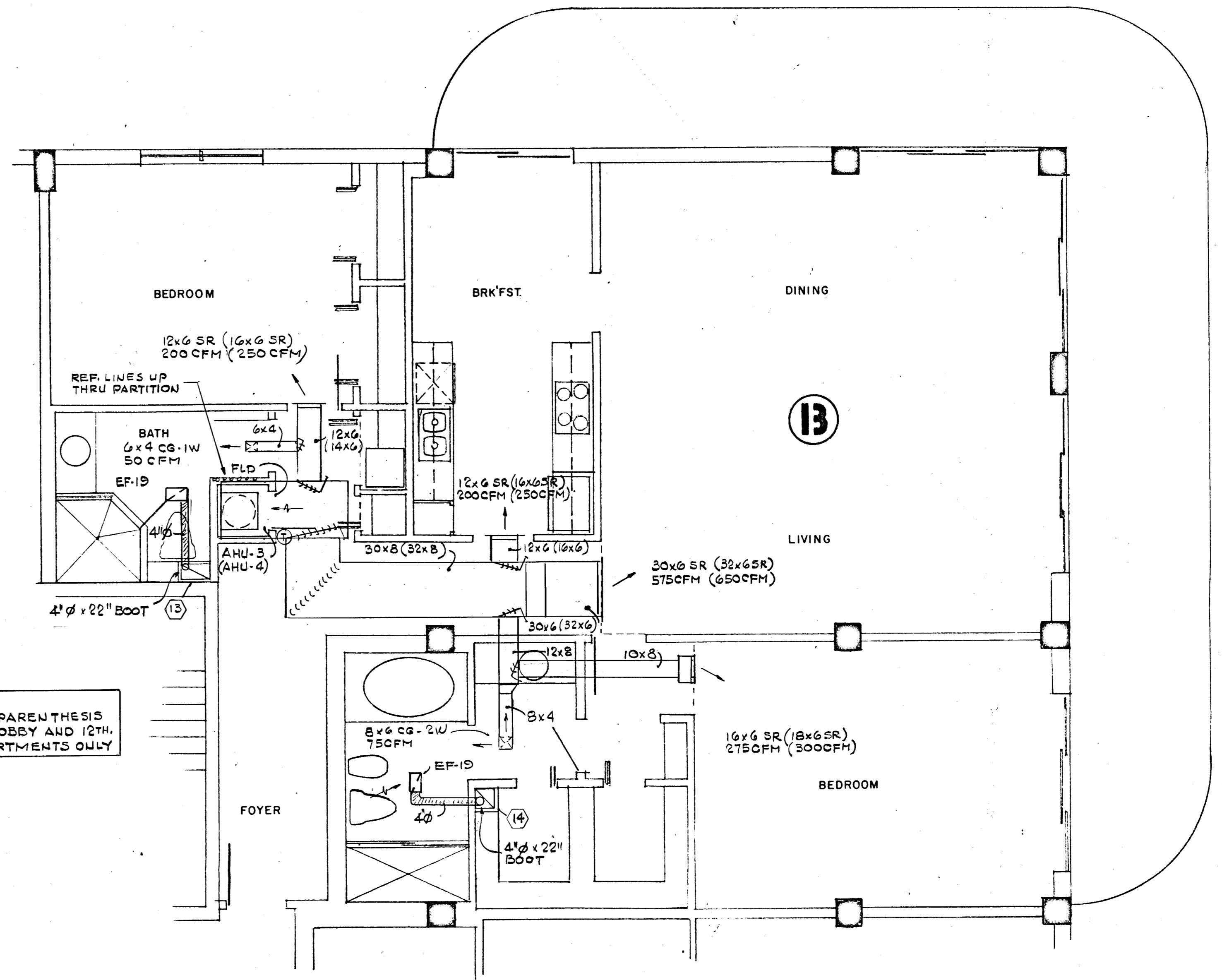
REV. 1/23

FLORIDA ENGINEERING SERVICES
252 NE 167 STREET
MILWAUKEE, FLA.
33132 945-4733

SHEETS



NOTE:
 ITEMS IN PARENTHESIS
 APPLY TO LOBBY AND 12TH,
 FLOOR APARTMENTS ONLY



Selma Miller

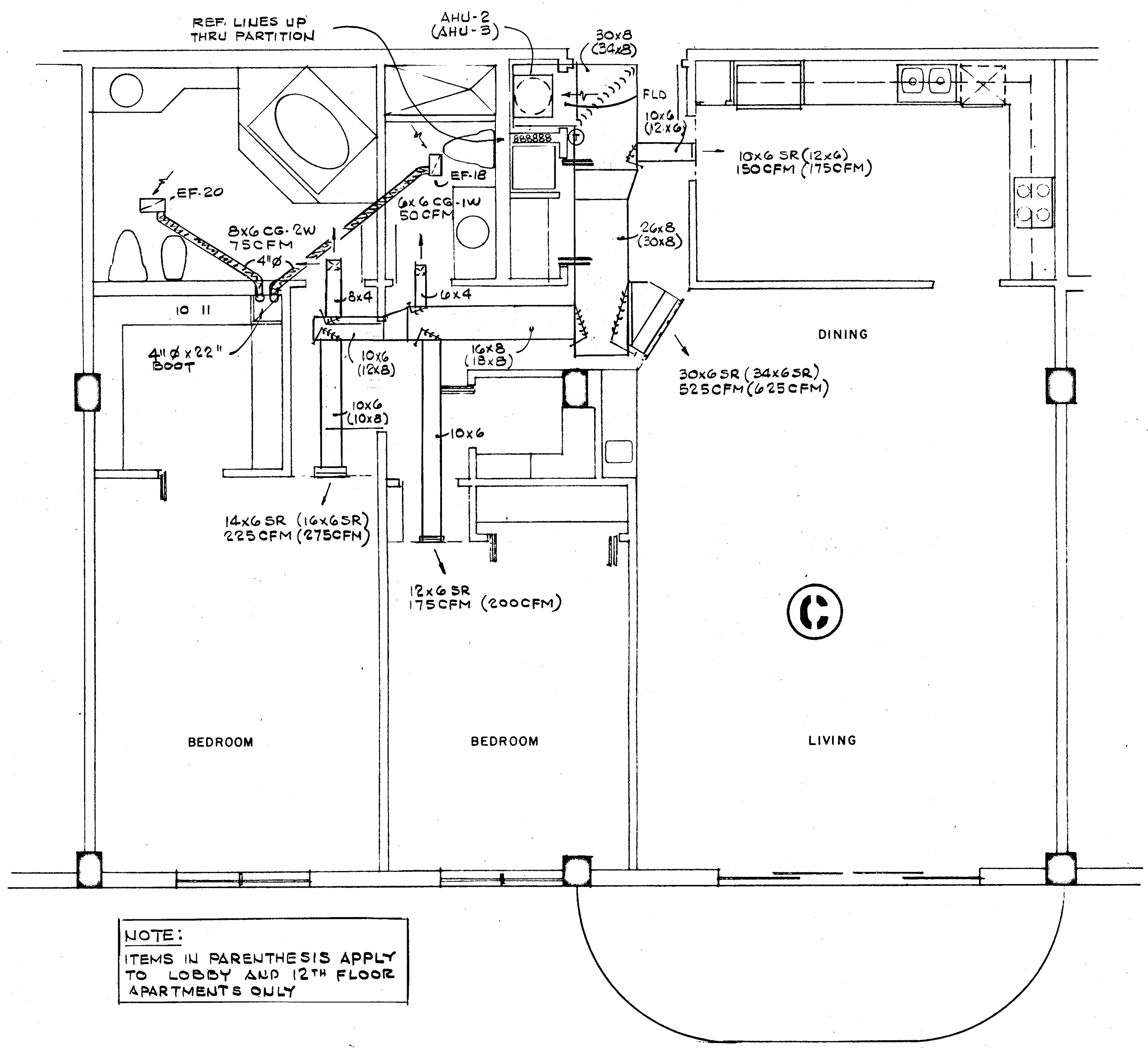
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 3588044

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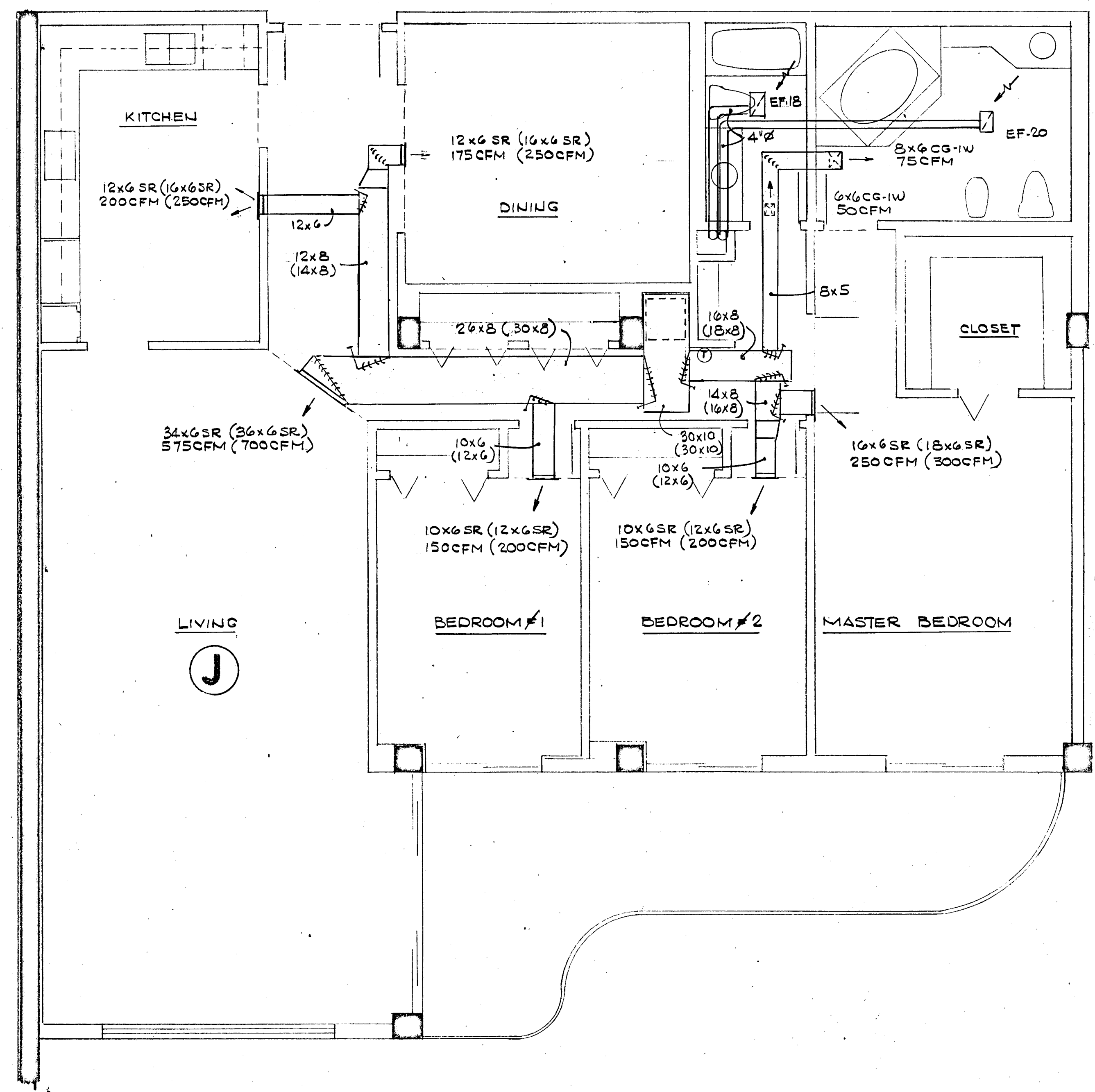
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COMM. NO. DATE: _____ SHEET No. **AC-5** OF 9 SHEETS

REV. _____



NOTE:
ITEMS IN PARENTHESIS APPLY TO LOBBY AND 12TH FLOOR APARTMENTS ONLY



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PH. 358-8044

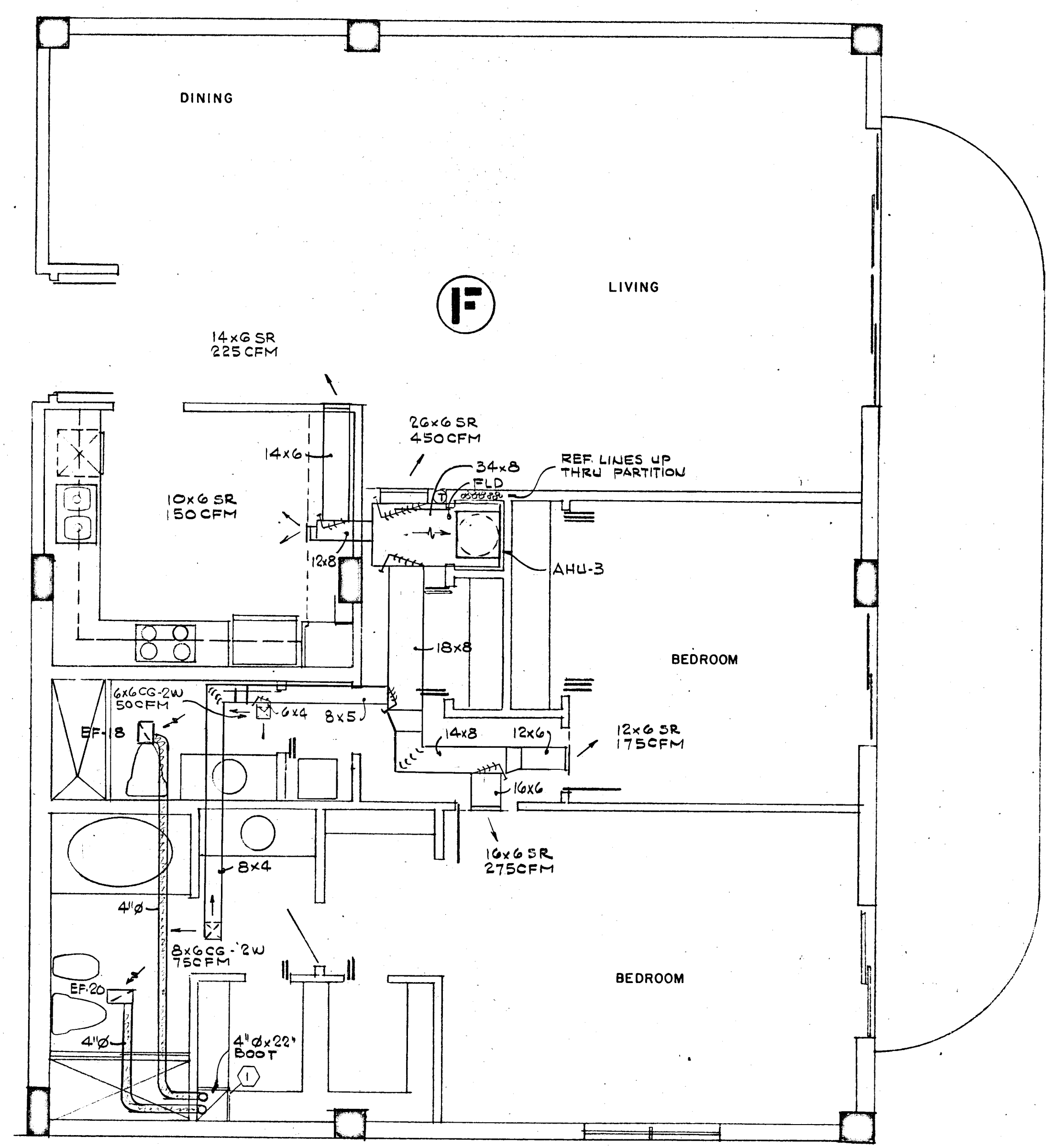
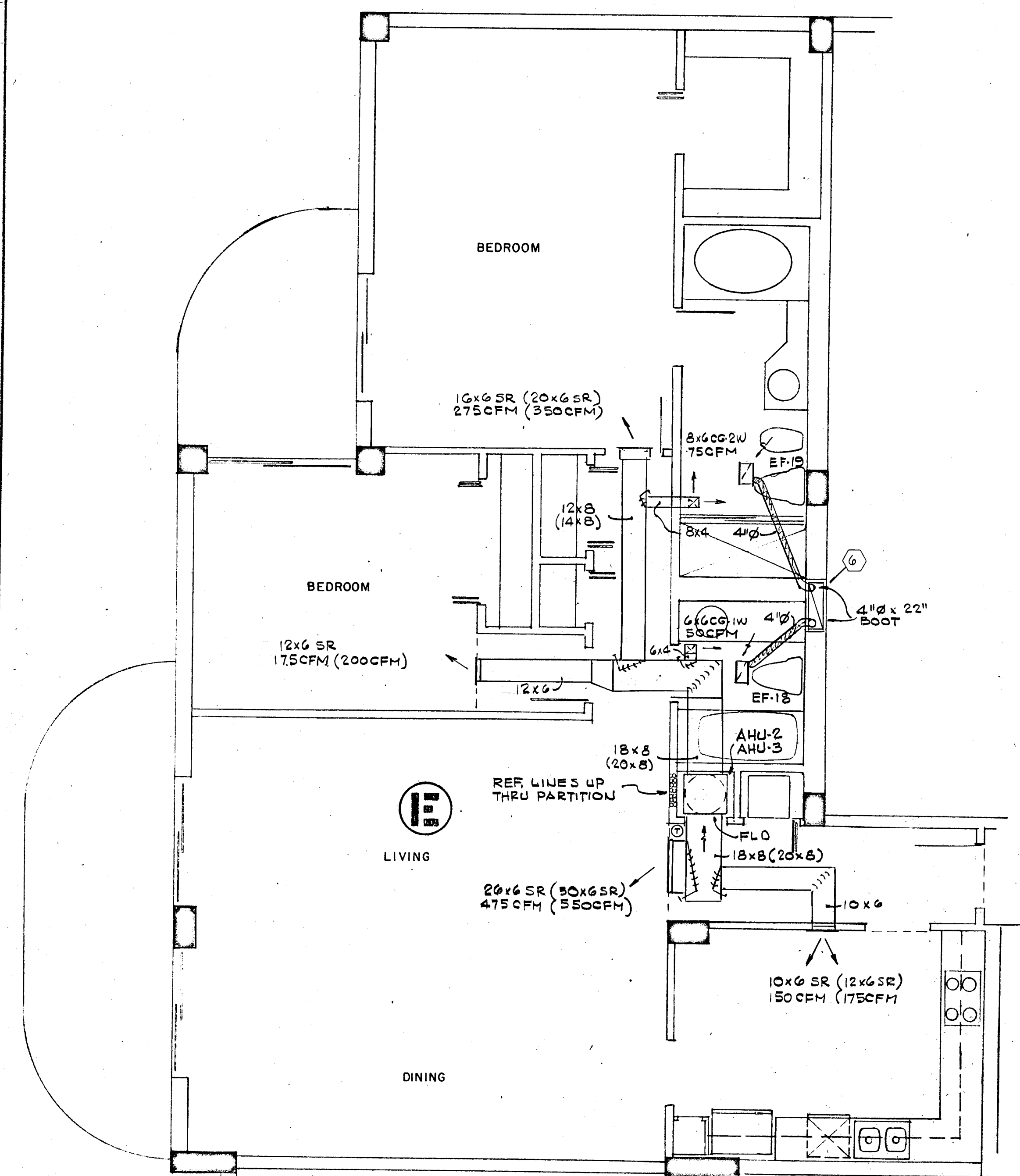
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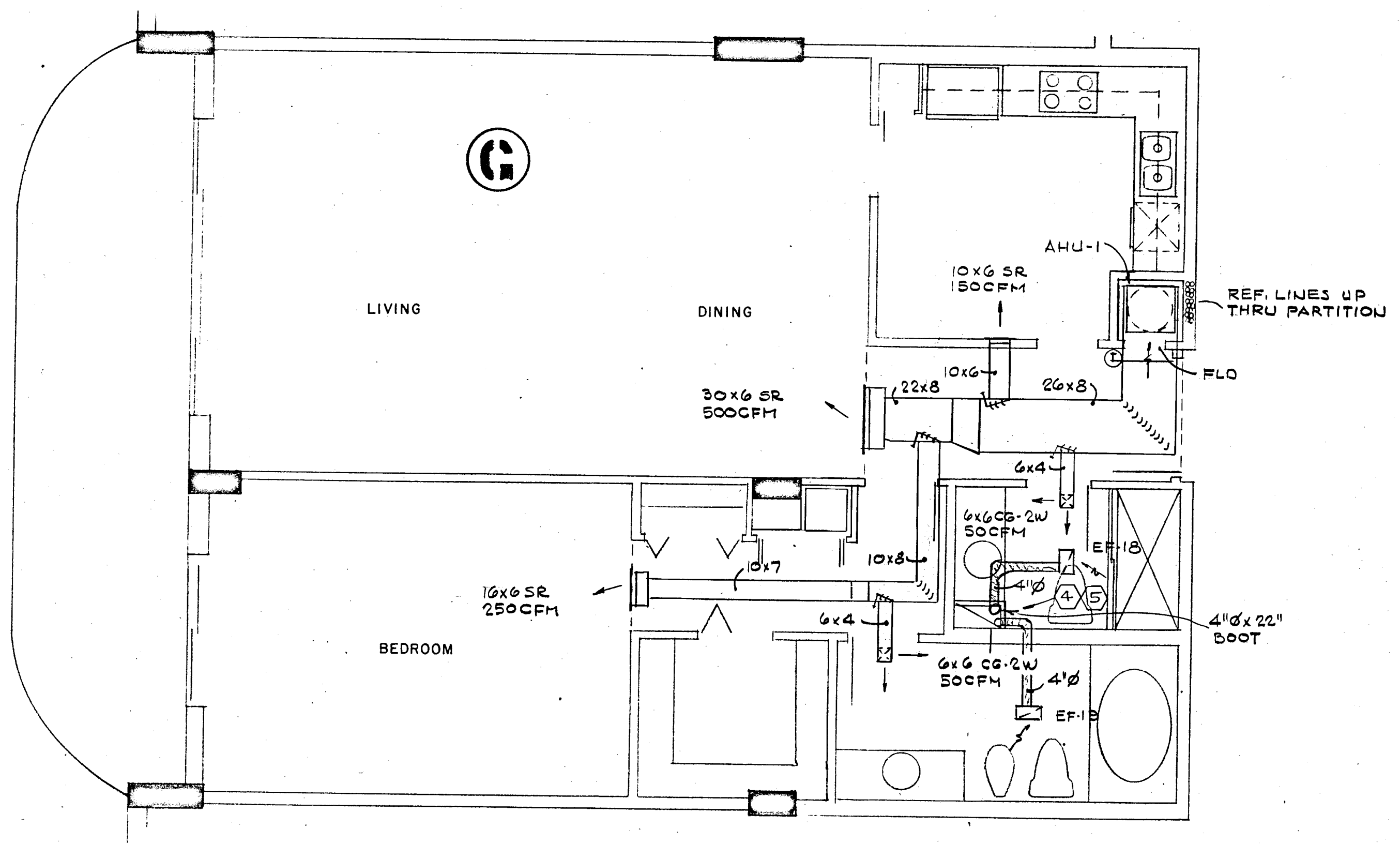
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REV.		ACG OF

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ENGINEERING
SERVICES
352 NE 167 STREET
MIAMI BCH, FLA
33162 945-4743

Selma M. ...



NOTE:
 ITEMS IN PARENTHESIS APPLY
 TO LOBBY AND 12TH FLOOR
 APARTMENTS ONLY



Salomon Miller

WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC.
 138 S.E. 14th LANE
 3328044

CHAMPLAIN TOWERS NORTH

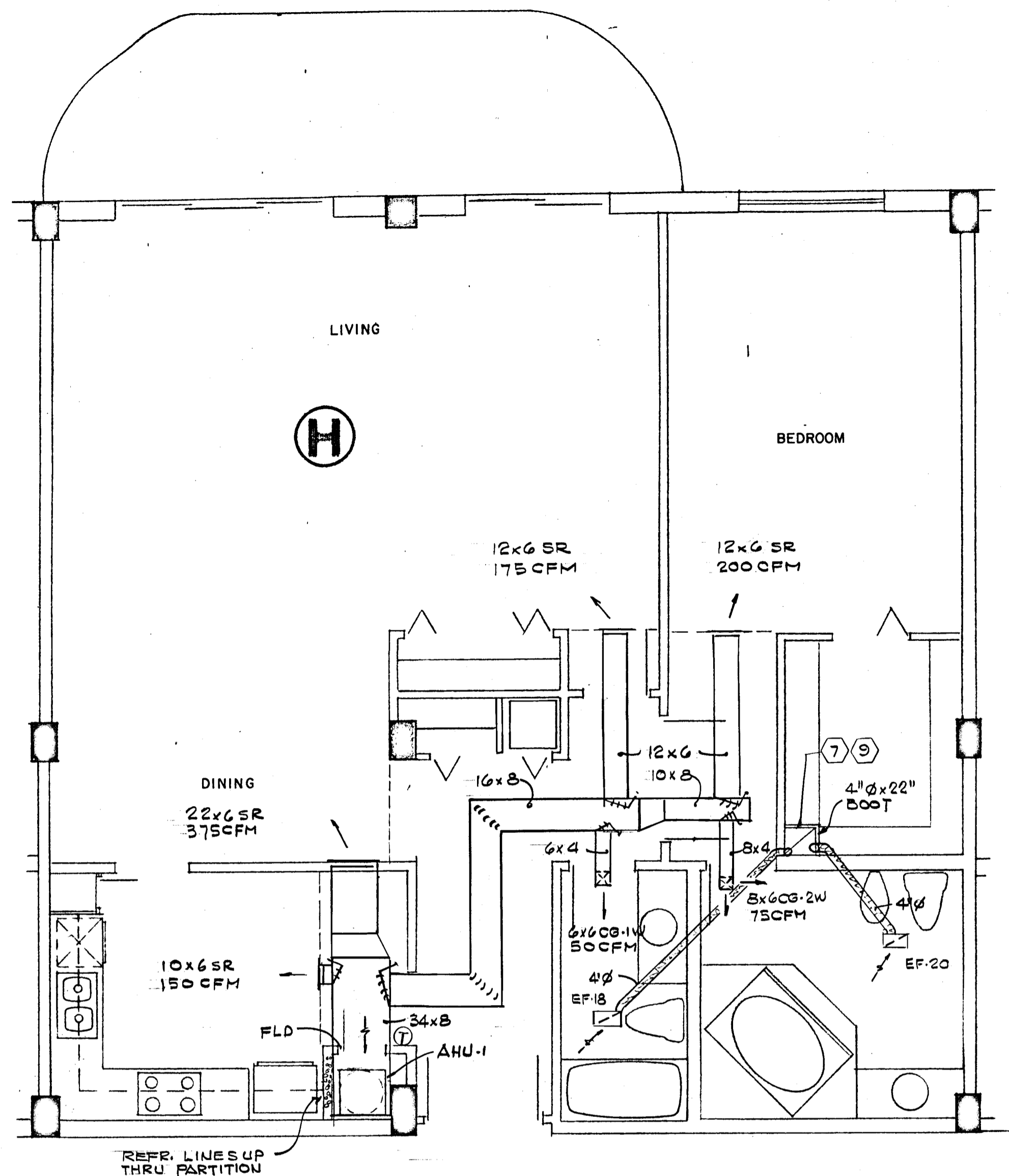
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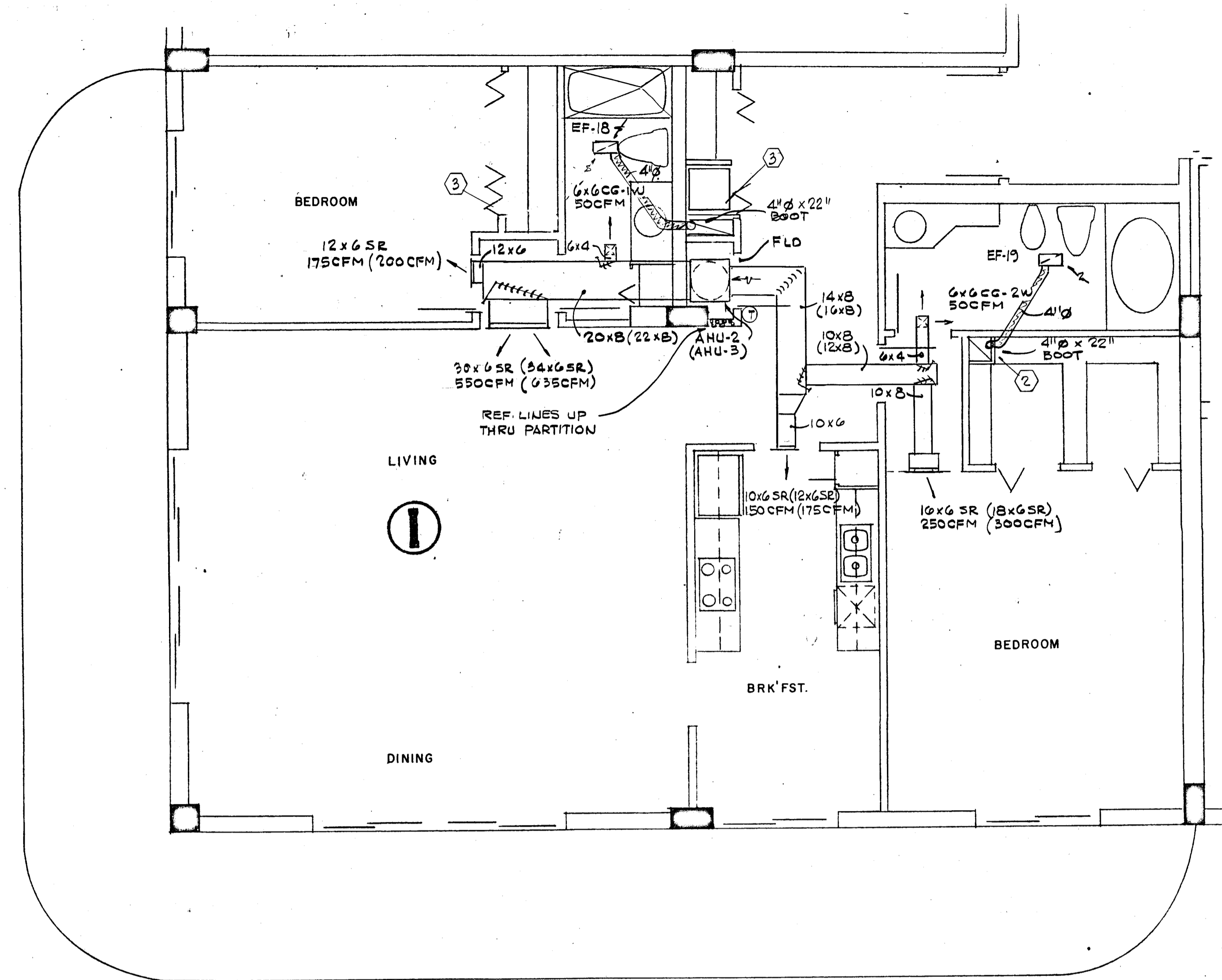
REV. _____

SHEET No. **AC-7** OF 9

SHEET#



REFR. LINES UP THRU PARTITION



NOTE:
ITEMS IN PARENTHESIS APPLY TO LOBBY AND 12TH FLOOR APARTMENTS ONLY

Solomon Andrew

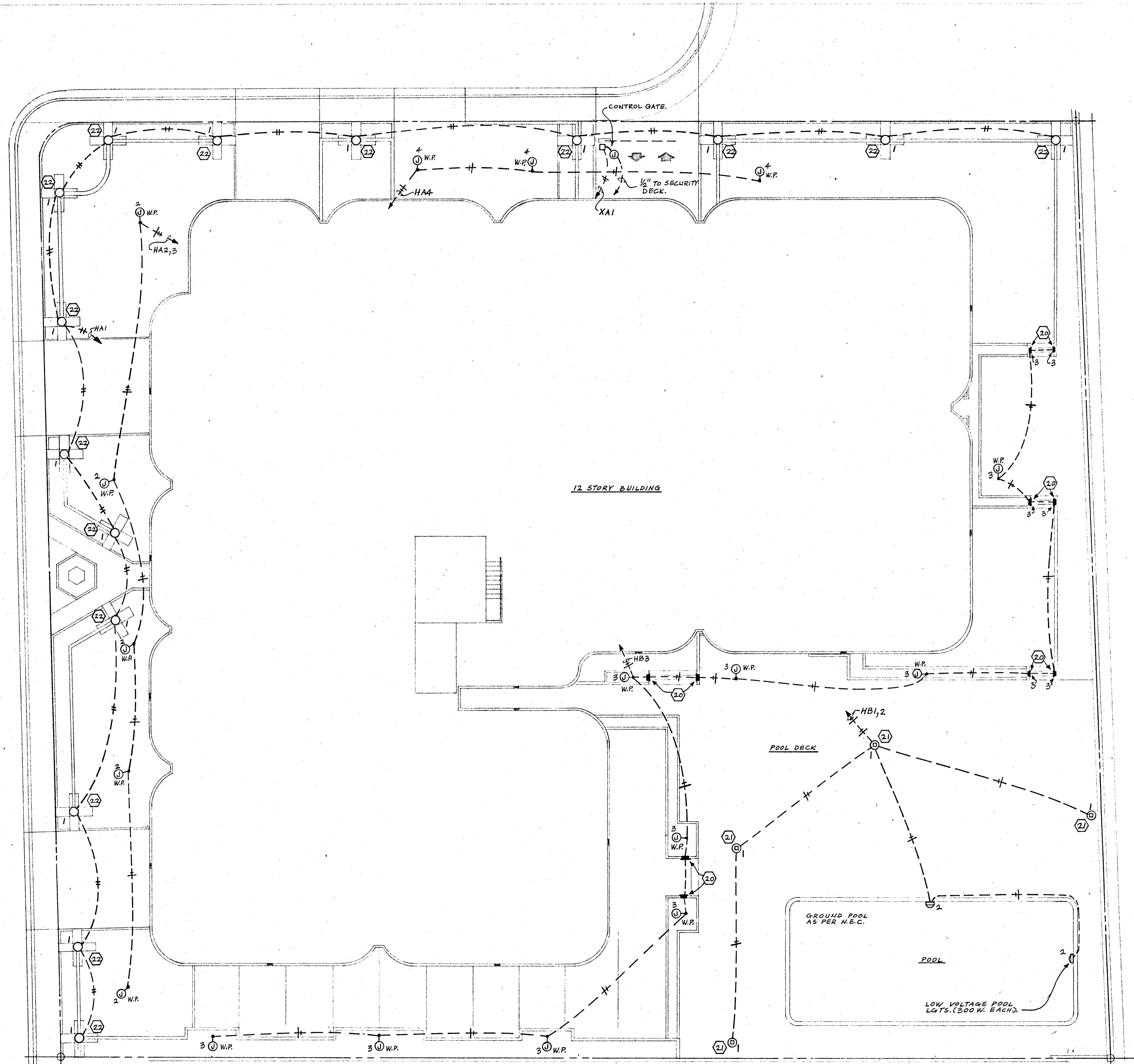
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138 S.E. 14TH LANE
3528044

CHAMPLAIN TOWERS NORTH
A-112 UNIT CONDOMINIUM

COMM. No.	DATE:	SHEET No.
REV.		of 9

SHEET

COLLINS AVE.



SITE PLAN
SCALE: 3/32" = 1'-0"

Salomon M. Miller

- 15A, 120V, DUPLEX RECEPTACLE
- 15A, 120V, DUPLEX RECEPTACLE (MOUNTED ABOVE COUNTER)
- 15A, 120V, SPLIT WIRE DUPLEX RECEPTACLE (SWITCH TOP ONLY)
- 240V, SPECIAL PURPOSE RECEPTACLE
- 15A, 120V, SPST TOGGLE SWITCH
- 15A, 120V, THREE WAY TOGGLE SWITCH
- TELEPHONE OUTLET
- TELEVISION OUTLET
- WALL MOUNTED OUTLET
- CEILING MOUNTED OUTLET
- WALL MOUNTED JUNCTION BOX
- CEILING MOUNTED JUNCTION BOX
- FLUORESCENT STRIP
- CEILING OR WALL MOUNTED EXH. FAN (FURNISHED BY OTHERS)
- EXIT SIGN
- THERMOSTAT (SEE A/C PLANS)
- POST MOUNTED FIXTURE (POOL DECK)
- SWIMMING POOL LIGHT (GROUND AS PER N.E.C.)
- HEAT LAMP (APT. BATHROOMS)
- 120V, 20A, SPLIT WIRE DUPLEX RECEPT., FOR TWO CRTS. (APT. COMPACT DRYER AND WASHER)
- DISCONNECT SWITCH, 3 = NO. OF POLES, 30 = AMPS RATING, NF = NO FUSE
- DISCONNECT SWITCH, 3 = NO. OF POLES, 30 = AMPS RATING, 20 = FUSE SIZE
- INDICATES FIRE ALARM RISER
- INDICATES TELEPHONE RISER
- INDICATES TELEVISION RISER
- ELECTRICAL PANEL
- 120V, FLOOR DUPLEX RECEPT.
- MOTOR, NUMBER INDICATES HORSE POWER RATING.
- MOTOR STARTER (FURNISHED BY OTHERS AND INSTALLED BY THE ELECTRICAL CONTRACTOR)
- RECESSED FLUORESCENT FIXTURE
- FLUORESCENT FIXTURE
- RECESSED INCANDESCENT OR MERCURY VAPOR FIXTURE
- INDICATES OUTLET ON EMERGENCY CIRCUIT.
- FIRE ALARM PANEL AND AMPLIFIER IN ELECTRICAL ROOM
- FIRE ALARM AND VOICE COMMUNICATION PANEL IN SECURITY OFFICE
- FIRE ALARM PULL STATION
- FIRE ALARM SPEAKER, (RECESSED IN SLAB)
- FIRE ALARM SPEAKER, (RECESSED IN APARTMENT WALL)
- FIRE ALARM SMOKE AND HEAT DETECTOR.
- 120V, SMOKE DETECTOR INSIDE APARTMENT.
- FIRE ALARM TELEPHONE JACK
- FIRE ALARM RELAY AT ROOF PRIMARY AIR HANDLING UNIT
- FIRE ALARM FLOW AND TAMPER SWITCH (FURNISHED BY SPRINKLER CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR)
- BELL BOX WITH 120V TOGGLE SWITCH FOR ROOF EXHAUST FAN DISCONNECT
- TELENTRY SYSTEM PANEL
- DOOR STRIKE
- TELENTRY SYSTEM COMPUTER UNIT
- INDICATES TYPE OF LIGHTING FIXTURE (SEE SCHEDULE)
- CONDUIT CONCEALED IN WALL OR SLAB
- CONDUIT RUN CONCEALED IN SLAB
- FIRE ALARM CONDUIT RUN
- EMERGENCY SYSTEM CONDUIT RUN
- COMBINATION HEAT LAMP AND EXHAUST FAN (FURNISHED BY OTHERS AND INSTALLED BY THE ELECTRICAL CONTRACTOR)
- COMBINATION EXHAUST FAN AND LIGHT (FURNISHED BY OTHERS AND INSTALLED BY THE ELECTRICAL CONTRACTOR)

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ARCHITECTS, INC.

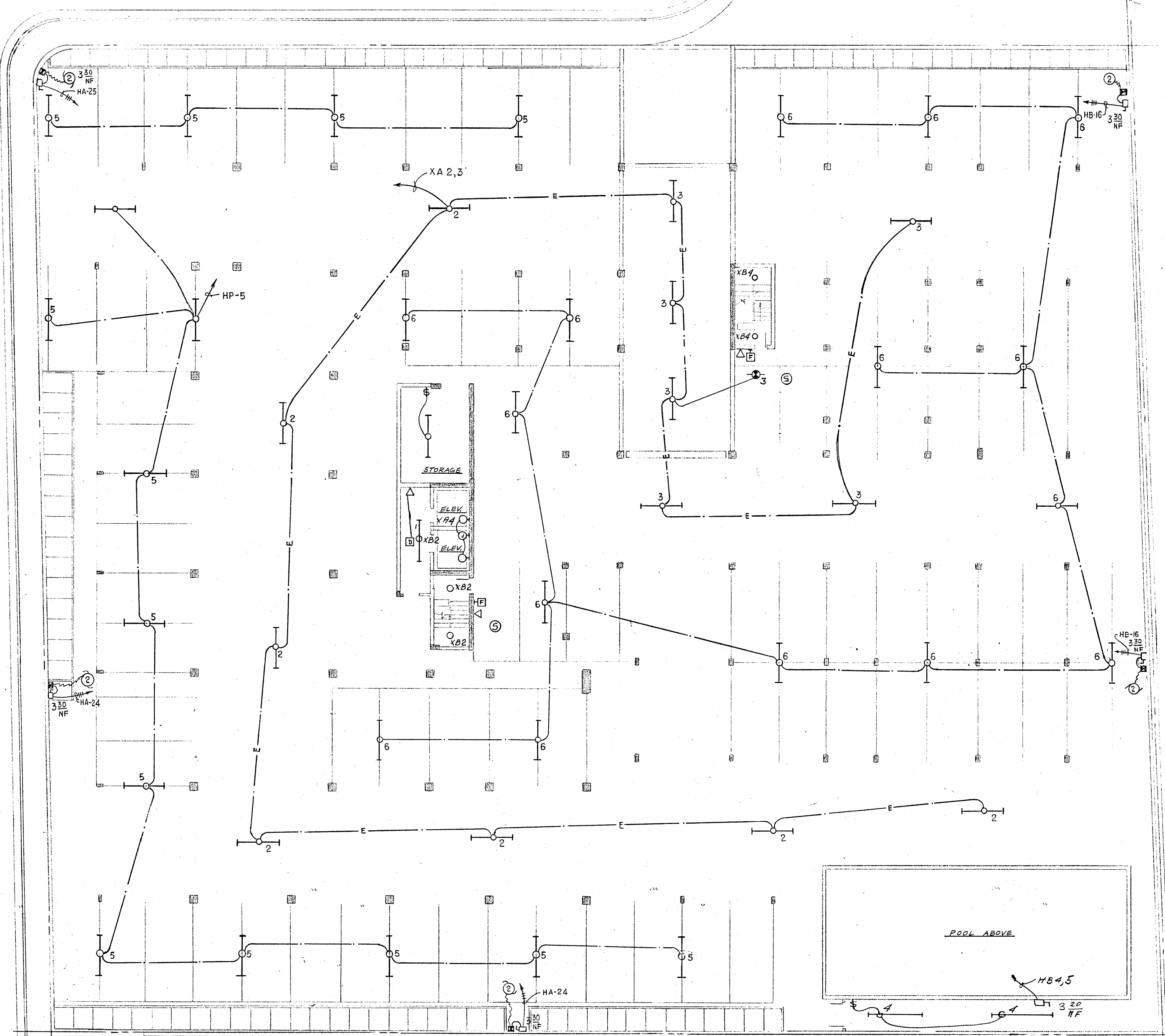
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PH. 3588044

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8877 COLLINS AVE.

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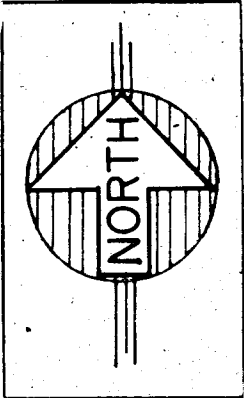
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1 OF 11



GARAGE LEVEL-FLOOR PLAN
SCALE: 3/32" = 1'-0"

Salomon Miller

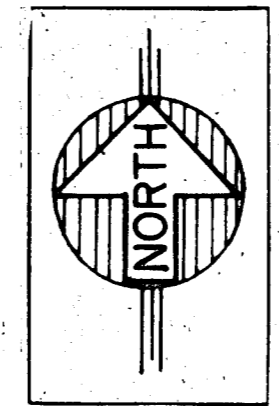
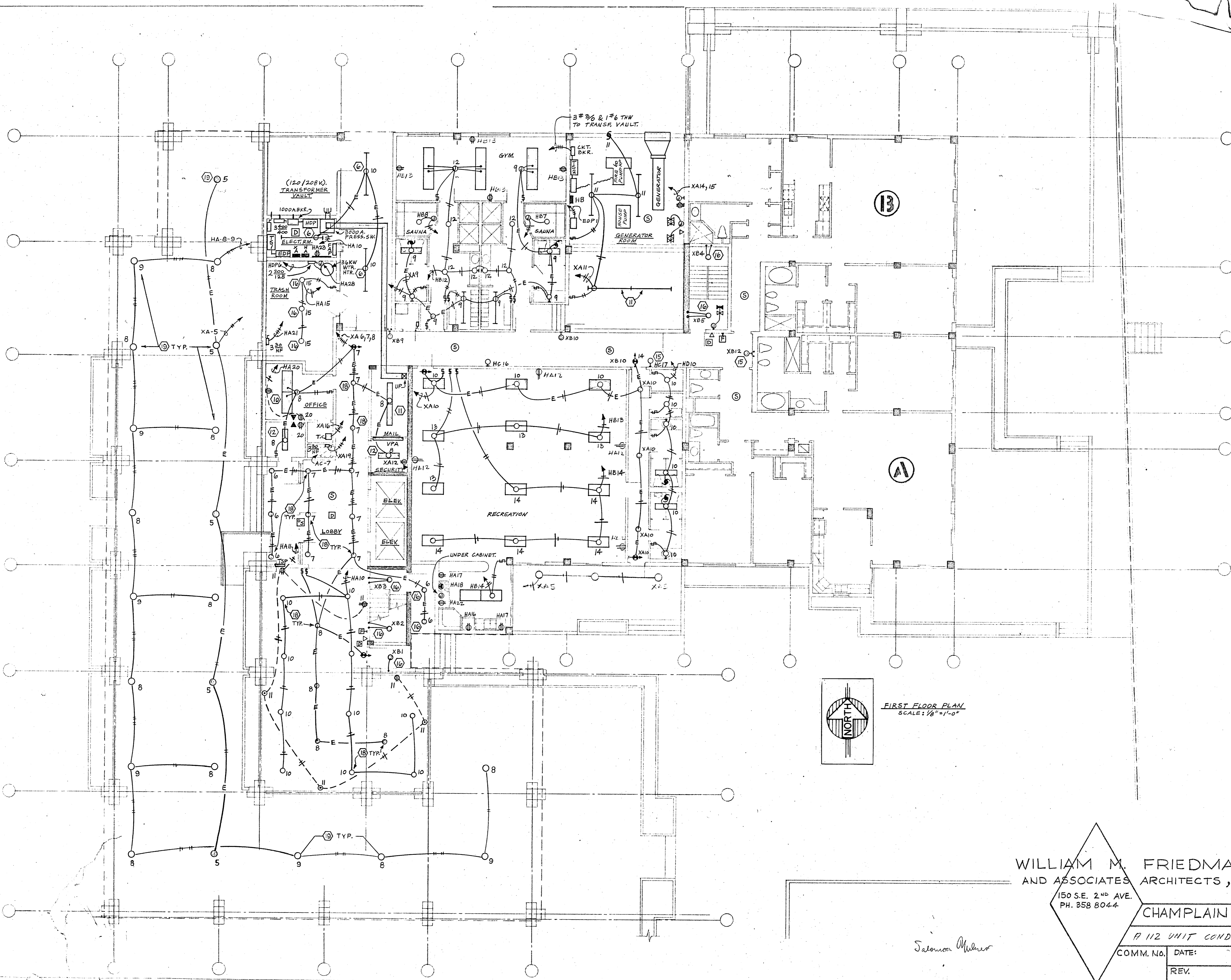


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358 8044

CHAMPLAIN TOWERS NORTH

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COMM NO.	DATE	SHEET NO.
		2 OF 11
REV.		



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

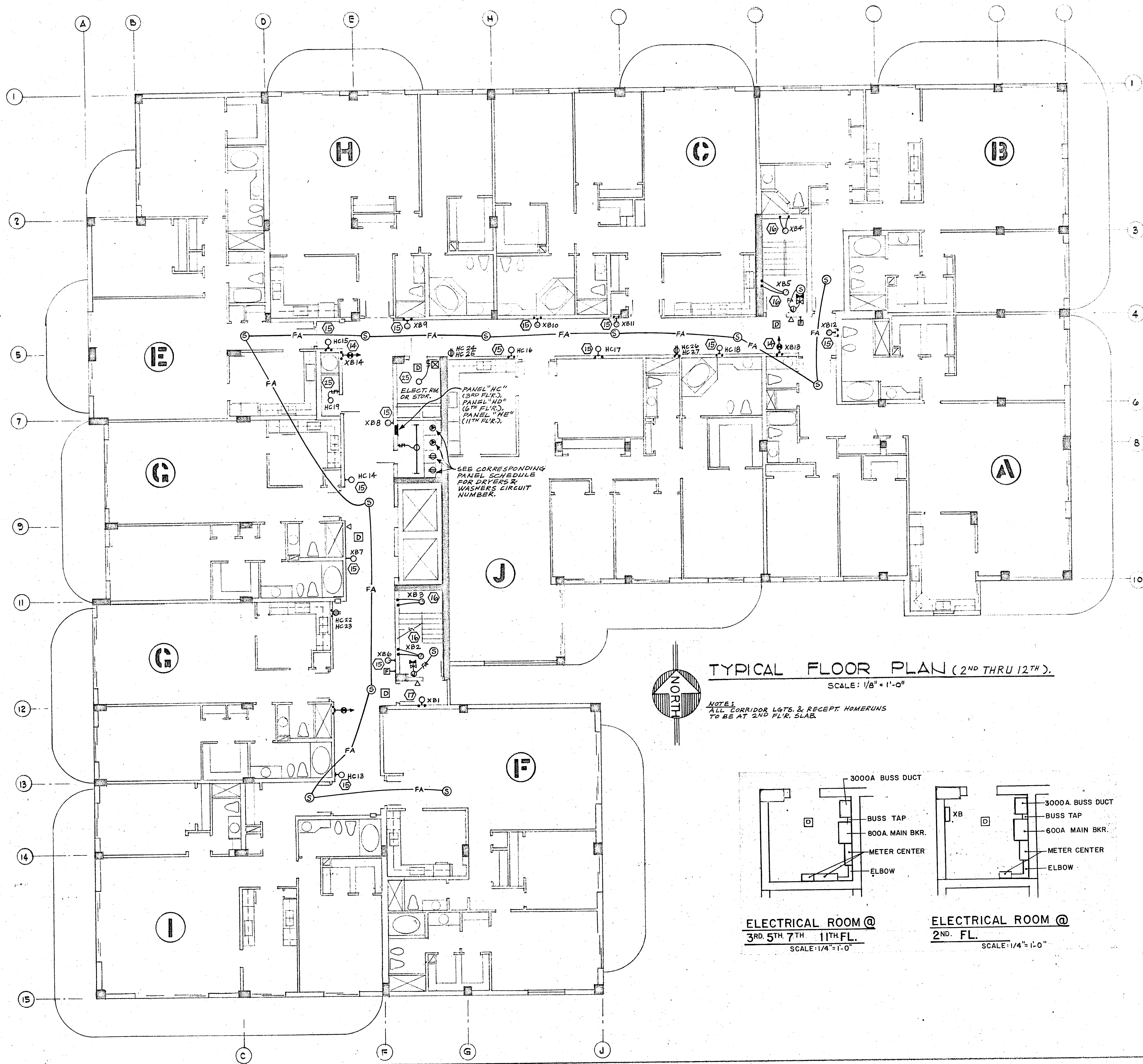
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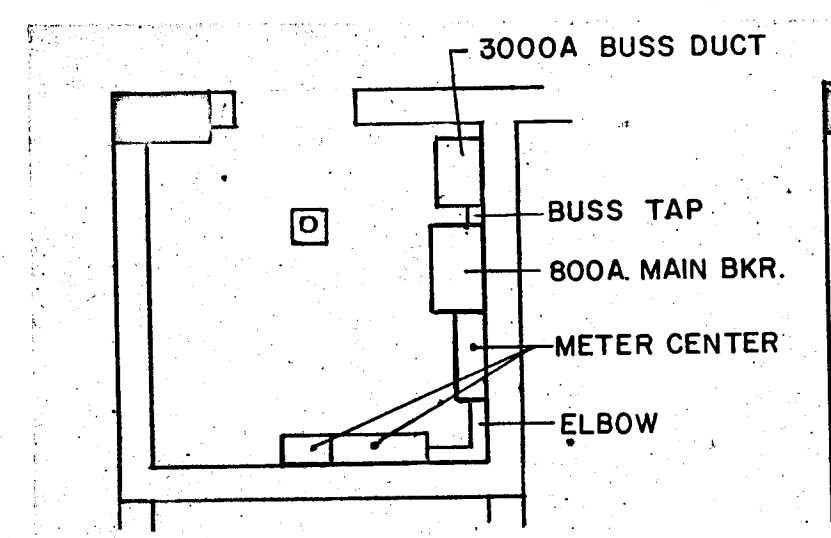
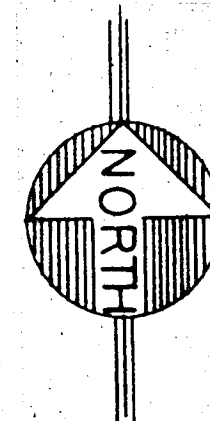
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REV.		13 OF

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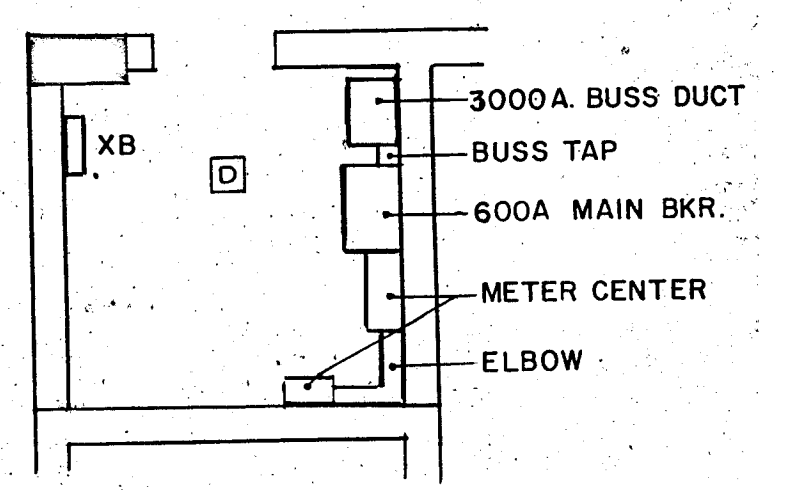


TYPICAL FLOOR PLAN (2ND THRU 12TH).
SCALE: 1/8" = 1'-0"

NOTE:
ALL CORRIDOR LGTS. & RECEPT HOMERUNS
TO BE AT 2ND FL'R. SLAB.



ELECTRICAL ROOM @
3RD, 5TH, 7TH, 11TH FL.
SCALE: 1/4" = 1'-0"



ELECTRICAL ROOM @
2ND FL.
SCALE: 1/4" = 1'-0"

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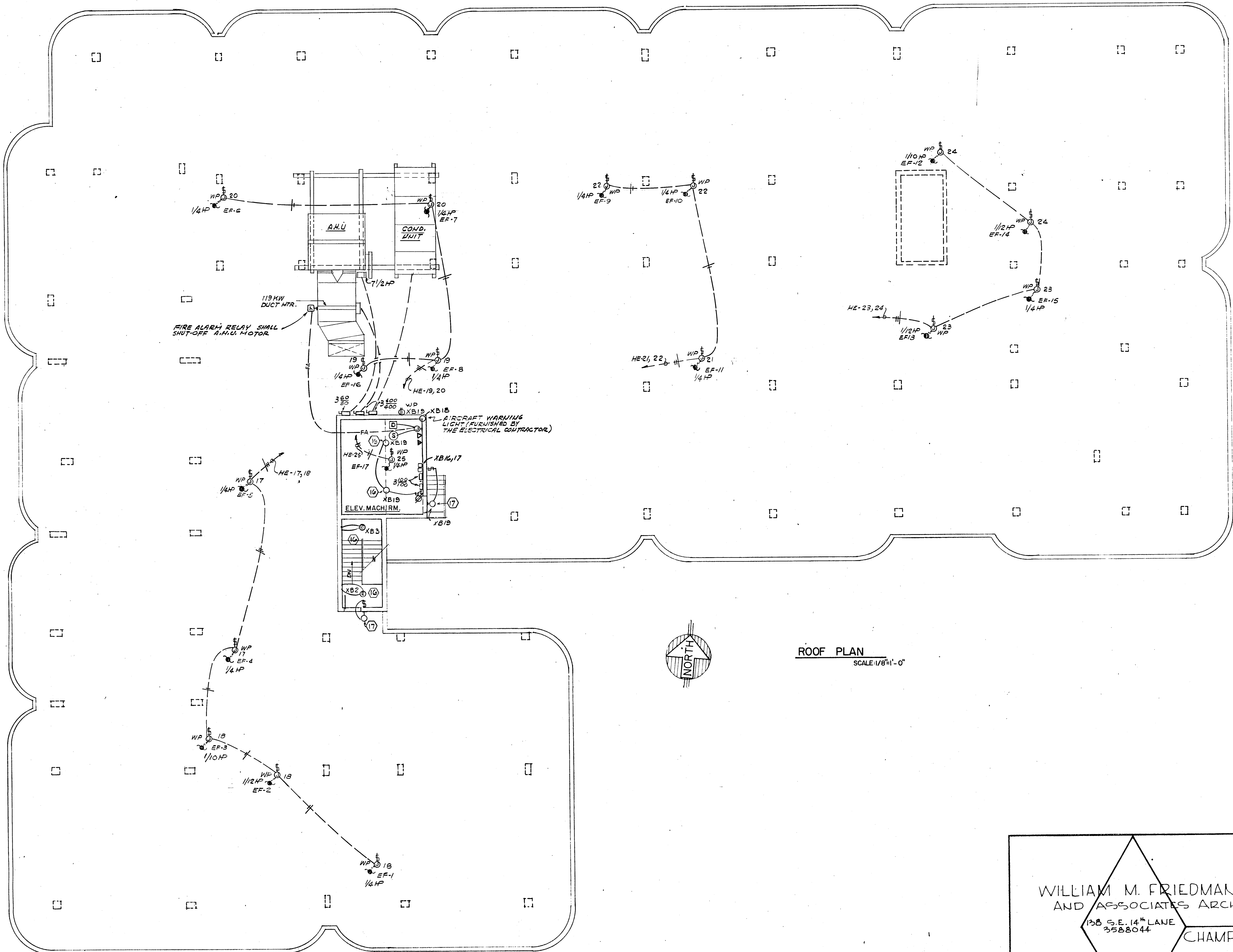
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REV.		16 of 11



ROOF PLAN
SCALE: 1/8" = 1'-0"

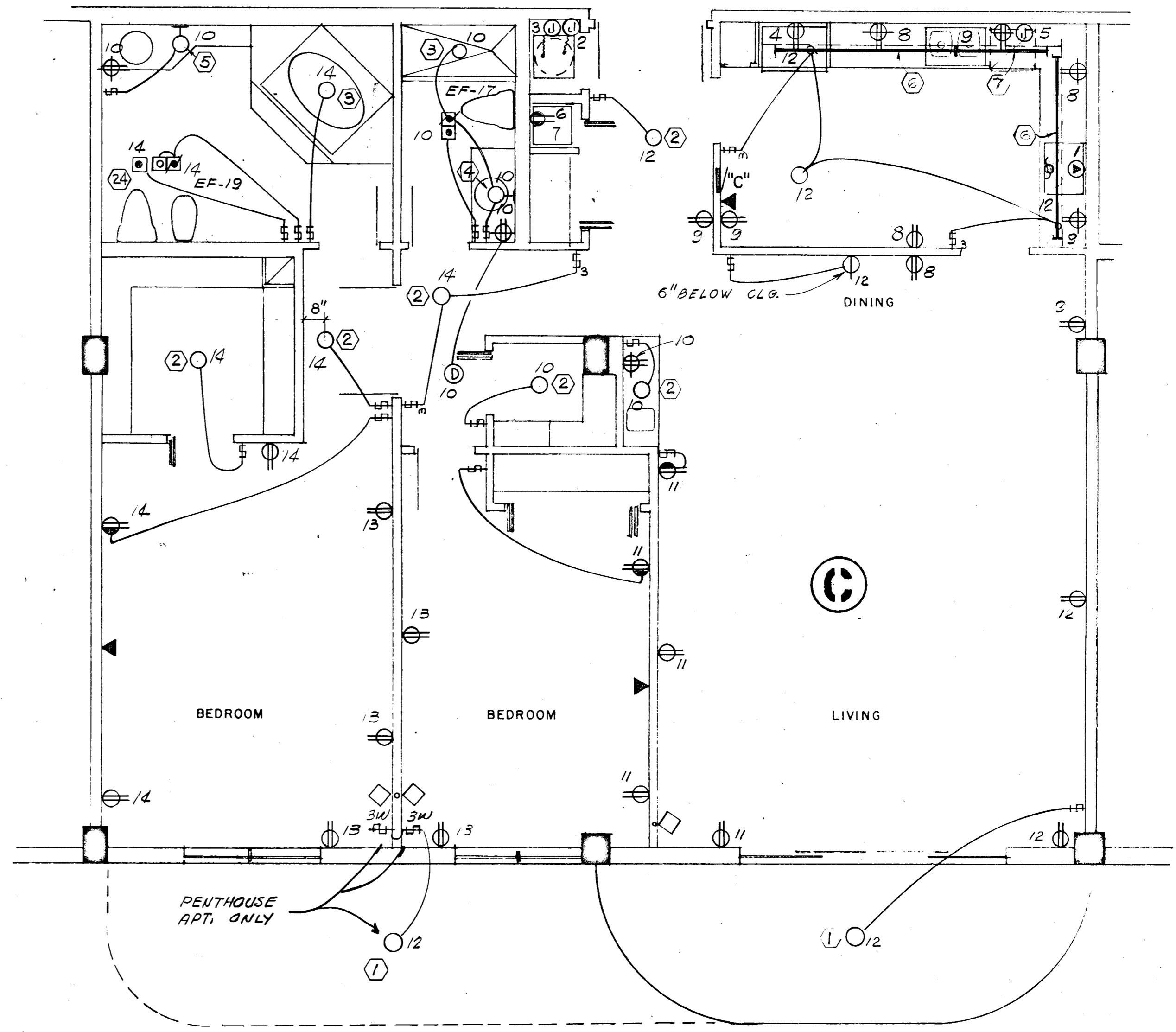
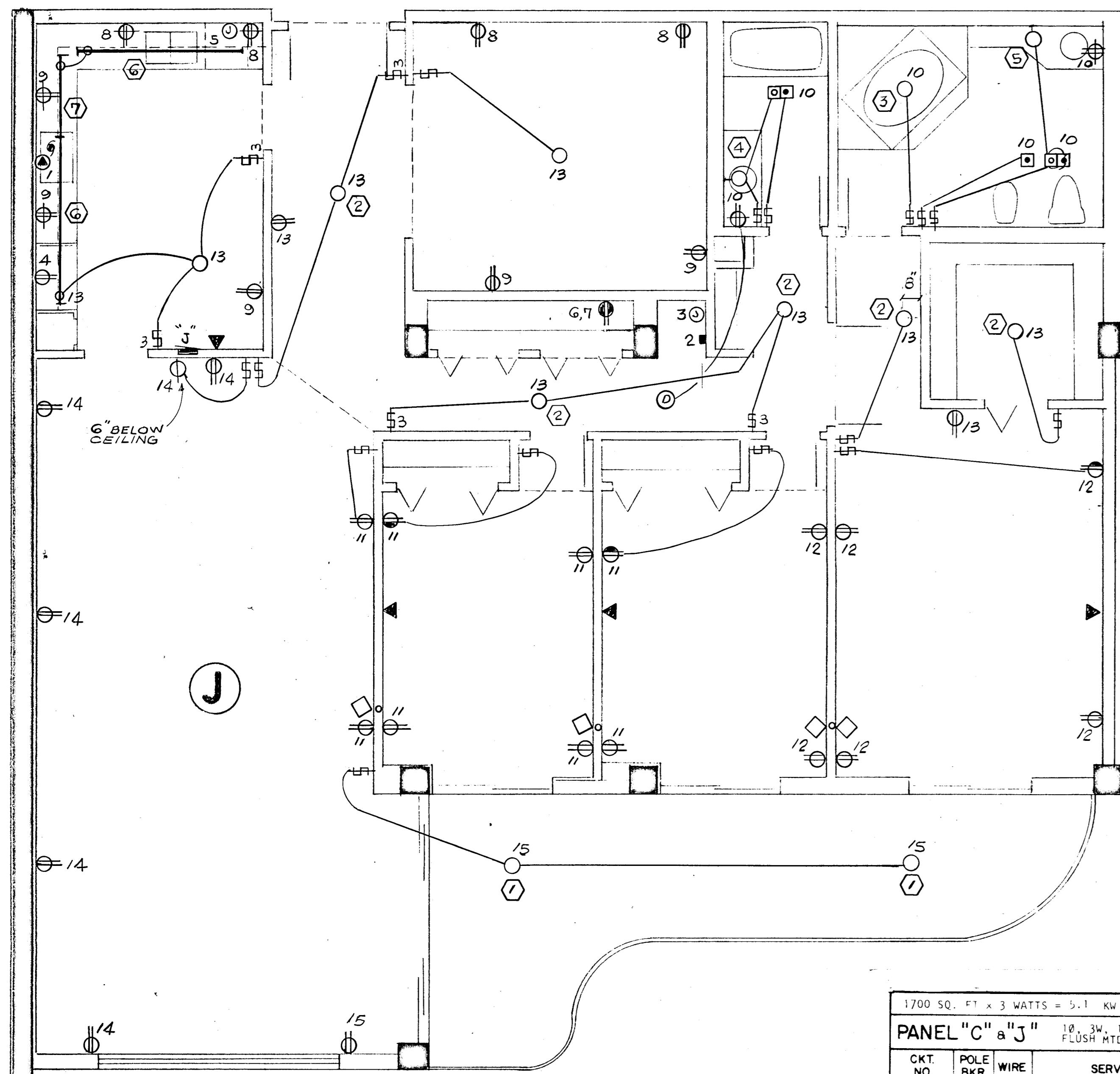
Salomon Alderson

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138 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS NORTH
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FLORIDA ENGINEERING SERVICES
322 NE 167 STREET
MIAMI BEACH, FLA.
33132

COMM. NO.	DATE:	SHEET 11
REV.		5 of 11



1700 SQ. FT x 3 WATTS = 5.1 KW

PANEL "C" a "J" 18, 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	KW	
				LINE	NEUT
1	2-50	6	RANGE	12.0	8.4
2	2-50	6	AIR COND. (HTR & A.H.U.)	8.2	---
3	2-30	10	WATER HEATER	4.5	---
4	1-20	12	REFRIGERATOR	0.7	0.7
5			DISH WASHER	1.2	1.2
6			DRYER (COMPACT-FUTURE)	1.0	1.8
7			WASHER (COMPACT-FUTURE)	0.9	0.9
8-9			SMALL APPLIANCES	3.0	3.0
10-14			LIGHTS & RECEPTACLES	5.1	5.1

* CIRC NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

FIRST 10.0 KW = 100% ----- 10.0

NEXT 19.2 KW = 40% ----- 7.6

AIR COND. (HEATING) ----- 5.5

TOTAL KW ----- 23.1

NEUTRAL

FIRST 3.0 KW = 100% ----- 3.0

NEXT 9.4 KW = 35% ----- 3.3

RANGE 12.0 KW = 70% ----- 8.4

TOTAL KW ----- 14.7

WATTS TO AMPS (LINE) 23,100 - 208V = 111 AMPS

WATTS TO AMPS (NEUT.) 14,700 - 208V = 70 AMPS

FEEDER: 2# 2 & 1# 4 THW CU - 12"

• 7.5 KW x 65% = 4.8 KW + 0.7 KW A.H.U. = 5.5 KW

LIGHTING FIXTURE SCHEDULE

NO	MANUFACT	CAT. NO.	LAMPS		VOLTAGE	MOUNTING	REMARKS
			NO	TYPE			
1	PRESCOLITE	9446	1	75WA19	120	SURFACE	
2	MARKSTONE	1810	2	60WA19		SURFACE	
3	PROGRESS	P9610	1	60WA19		RECESSED	
4	PRESCOLITE	9320-8	8	25G16 1/2 C/W		WALL	
5	PRESCOLITE	9320-10	10	25G16 1/2 C/W		WALL	
6	LITHONIA	8TS140HRS	2	F40CW		SURFACE	
7		S140HRS	1	F40CW			
8		S130HRS	1	F30CW			
9		S120TS	1	F20T12			
10		2G440A12	4	F40CW		RECESSED	
11		F OR G240A12	2	F40CW		RECESSED	VERIFY TYPE OF CEILING BEFORE PURCHASING OF FIXTURES.
12		SC240A	2	F40CW		SURFACE	
13		ES1R	2	25W		SURFACE	
14		ES2R	2	25W		SURFACE	
15	PRESCOLITE	408S	1	75WA19		WALL	
16	MARKSTONE	751	1	75WA19		SURFACE	

NO	MANUFACT	CAT. NO.	LAMPS		VOLTAGE	MOUNTING	REMARKS
			NO	TYPE			
17	MARKSTONE	761	1	75WA19		WALL	
18	KURT VERSEN	A7140	1	100WA19		RECESSED	
19	KURT VERSEN	R7220-100208	1	E233 MERC. VAPOR	208	RECESSED	
20	KURT VERSEN	W4520	1	40WT-101F	120	RECESSED STEP LIGHT	
21	STONCO	DLL-2	1	150WA21	120	ON 10'-0" STEEL POLE	PROVIDE PRECAST CONCRETE BASE
22	STONCO	OLA18-101MM	1	100W MERC. VAPOR	208	ON 2'-0" 3" OD PIPE	
23	STONCO	VCXL-11GC	1	75WA19	120	ELEV. PIT WALL	
24	NUTONE	9410	1	250WR/40	120	RECESSED	
25	LEVITTON	PORCELAIN RECEPT.	1	60WA19	120	SURFACE	

Salomon Miller

WILLIAM M. FRIEDMAN AND ASSOCIATES ARCHITECTS, INC.
 133 S.E. 14TH LANE
 333804

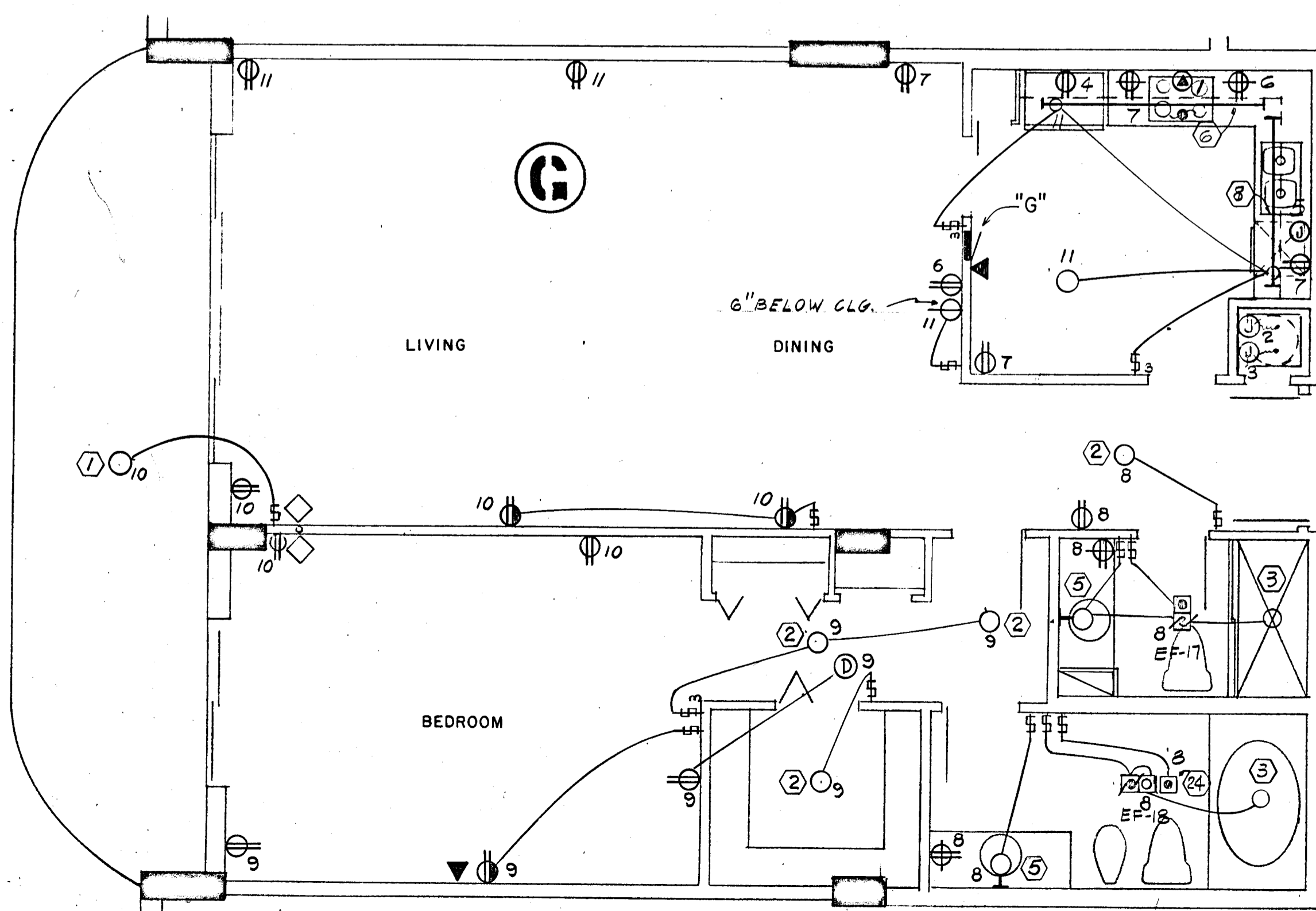
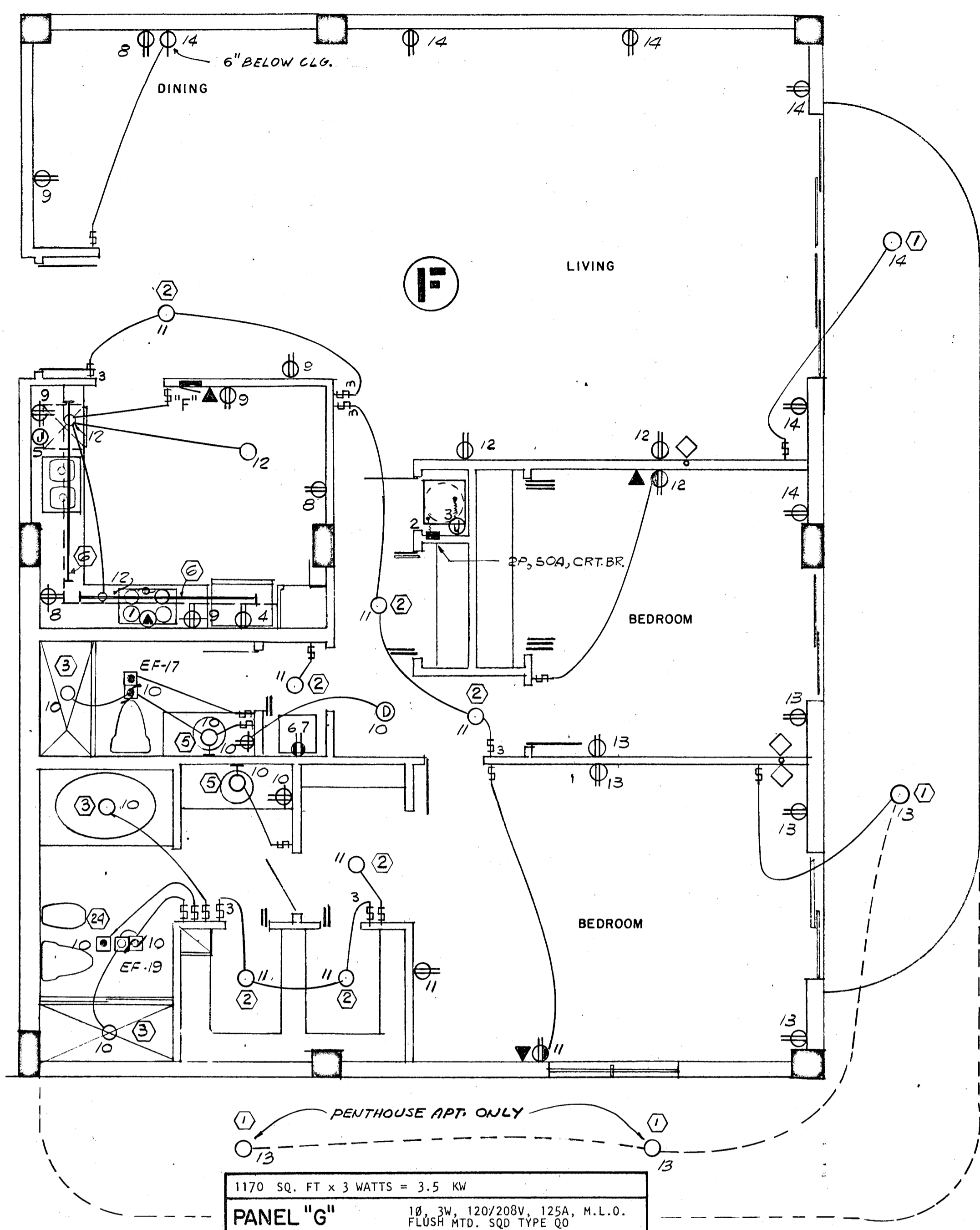
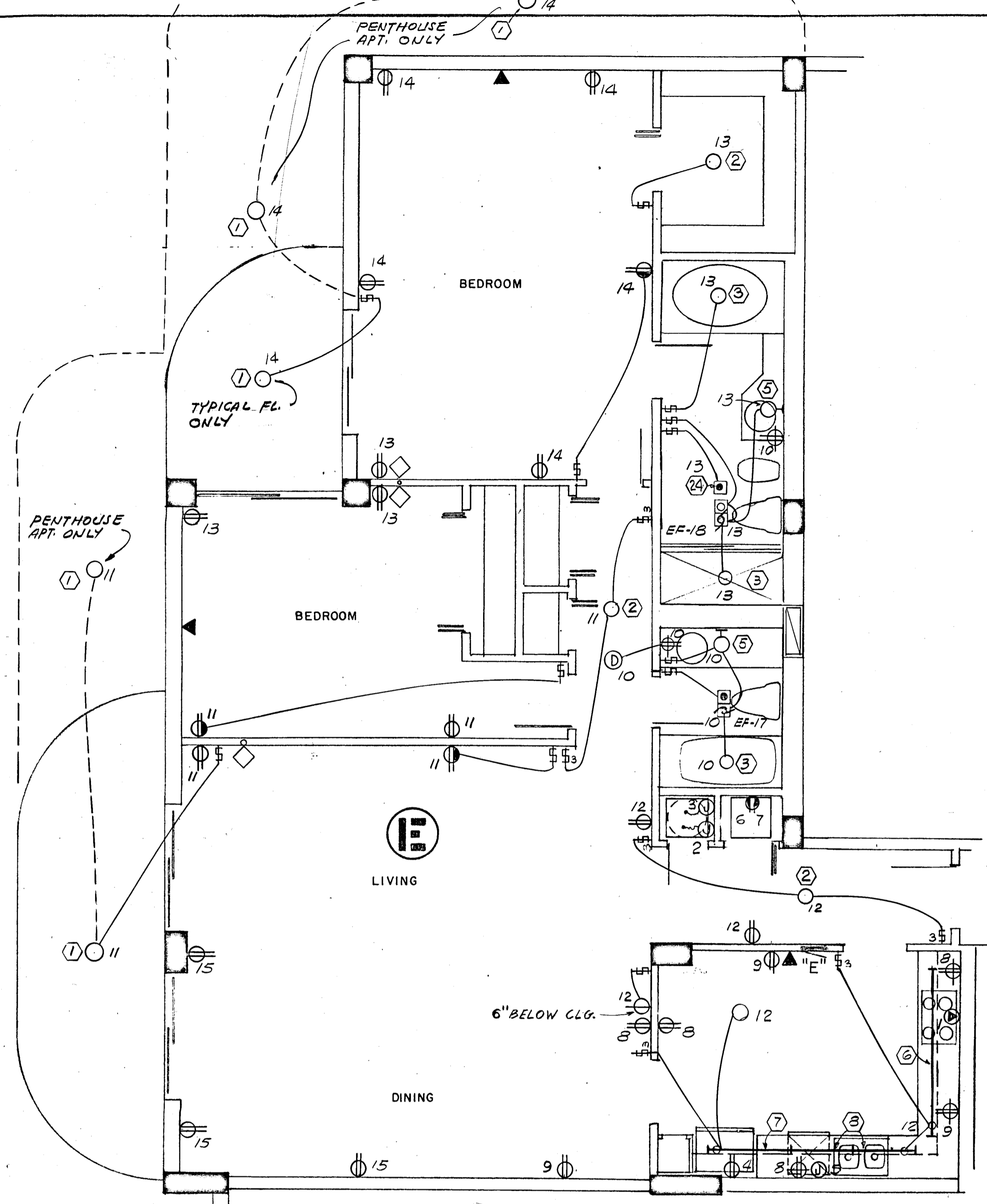
CHAMPLAIN TOWERS NORTH

A-112 UNIT CONDOMINIUM

COMM. No. DATE: SHEET No. 7 of 11

REV. SHEET

FLORIDA ENGINEERING SERVICES
 352 NE 127 STREET
 SUITE 202
 MIAMI, FL 33138



1170 SQ. FT x 3 WATTS = 3.5 KW

PANEL "G" 1Ø, 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	KW	
				LINE	NEUT.
1	2-50	6	RANGE	12.0	8.4
2	2-40	8	AIR COND.	6.3	---
3	2-30	10	WATER HEATER	4.5	---
4	1-20	12	REFRIGERATOR	0.7	0.7
5			DISH WASHER	1.2	1.2
6-7			SMALL APPLIANCES	3.0	3.0
*8-11	1-15	14	LIGHTS & RECEPTACLE	3.5	3.5

* CIR. NO. 8 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

FIRST 10.0 KW @ 100% ----- 10.0

NEXT 15.1 KW @ 40% ----- 6.0

AIR COND. (HEATING) ----- 4.3

TOTAL KW ----- 20.3

NEUTRAL

FIRST 3.0 KW @ 100% ----- 3.0

NEXT 5.4 KW @ 35% ----- 1.8

RANGE 12.0 KW @ 70% ----- 8.4

TOTAL KW ----- 13.2

WATTS TO AMPS (LINE) 20,300 ÷ 208V = 97 AMPS

WATTS TO AMPS (NEUT.) 13,200 ÷ 208V = 63 AMPS

FEEDER: 2# 3 & 1# 4 THW CU - 1 1/2"

• 5.6 KW x 65% = 3.6 KW + 0.7 KW A.H.U. = 4.3 KW

1538 SQ. FT x 3 WATTS = 4.6 KW

PANEL "E" 1Ø, 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	KW	
				LINE	NEUT.
1	2-50	6	RANGE	12.0	8.4
2	2-50	6	AIR COND.	8.2	---
3	2-30	10	WATER HEATER	4.5	---
4	1-20	12	REFRIGERATOR	0.7	0.7
5			DISH WASHER	1.2	1.2
6			DRYER (COMPACT-FUTURE)	1.8	1.8
7			WASHER (COMPACT-FUTURE)	0.9	0.9
8-9			SMALL APPLIANCES	3.0	3.0
*10-15	1-15	14	LIGHTS & RECEPTABLES	4.6	4.6

* CIR. NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

FIRST 10.0 KW @ 100% ----- 10.0

NEXT 18.7 KW @ 40% ----- 7.4

AIR COND. (HEATING) ----- 5.5

TOTAL KW ----- 22.9

NEUTRAL

FIRST 3.0 KW @ 100% ----- 3.0

NEXT 9.2 KW @ 35% ----- 3.2

RANGE 12.0 KW @ 70% ----- 8.4

TOTAL KW ----- 14.6

WATTS TO AMPS (LINE) 22,900 ÷ 208V = 110 AMPS

WATTS TO AMPS (NEUT.) 14,600 ÷ 208V = 70 AMPS

FEEDER: 2# 2 & 1# 4 THW CU - 1 1/2"

• 7.5 KW x 65% = 4.8 KW + 0.7 KW A.H.U. = 5.5 KW

1645 SQ. FT x 3 WATTS = 4.9 KW

PANEL "F" 1Ø, 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	KW	
				LINE	NEUT.
1	2-50	6	RANGE	12.0	8.4
2	2-50	6	AIR COND.	8.2	---
3	2-30	10	WATER HEATER	4.5	---
4	1-20	12	REFRIGERATOR	0.7	0.7
5			DISH WASHER	1.2	1.2
6			DRYER (COMPACT-FUTURE)	1.8	1.8
7			WASHER (COMPACT-FUTURE)	0.9	0.9
8-9			SMALL APPLIANCES	3.0	3.0
*10-14	1-15	14	LIGHTS & RECEPTABLES	4.9	4.9

* CIR. NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

FIRST 10.0 KW @ 100% ----- 10.0

NEXT 19.0 KW @ 40% ----- 7.6

AIR COND. (HEATING) ----- 5.5

TOTAL KW ----- 23.1

NEUTRAL

FIRST 3.0 KW @ 100% ----- 3.0

NEXT 9.5 KW @ 35% ----- 3.3

RANGE 12.0 KW @ 70% ----- 8.4

TOTAL KW ----- 14.7

WATTS TO AMPS (LINE) 23,100 ÷ 208V = 111 AMPS

WATTS TO AMPS (NEUT.) 14,700 ÷ 208V = 70 AMPS

FEEDER: 2# 2 & 1# 4 THW CU - 1 1/2"

• 7.5 KW x 65% = 4.8 KW + 0.7 KW A.H.U. = 5.5 KW

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14TH LANE
3588044

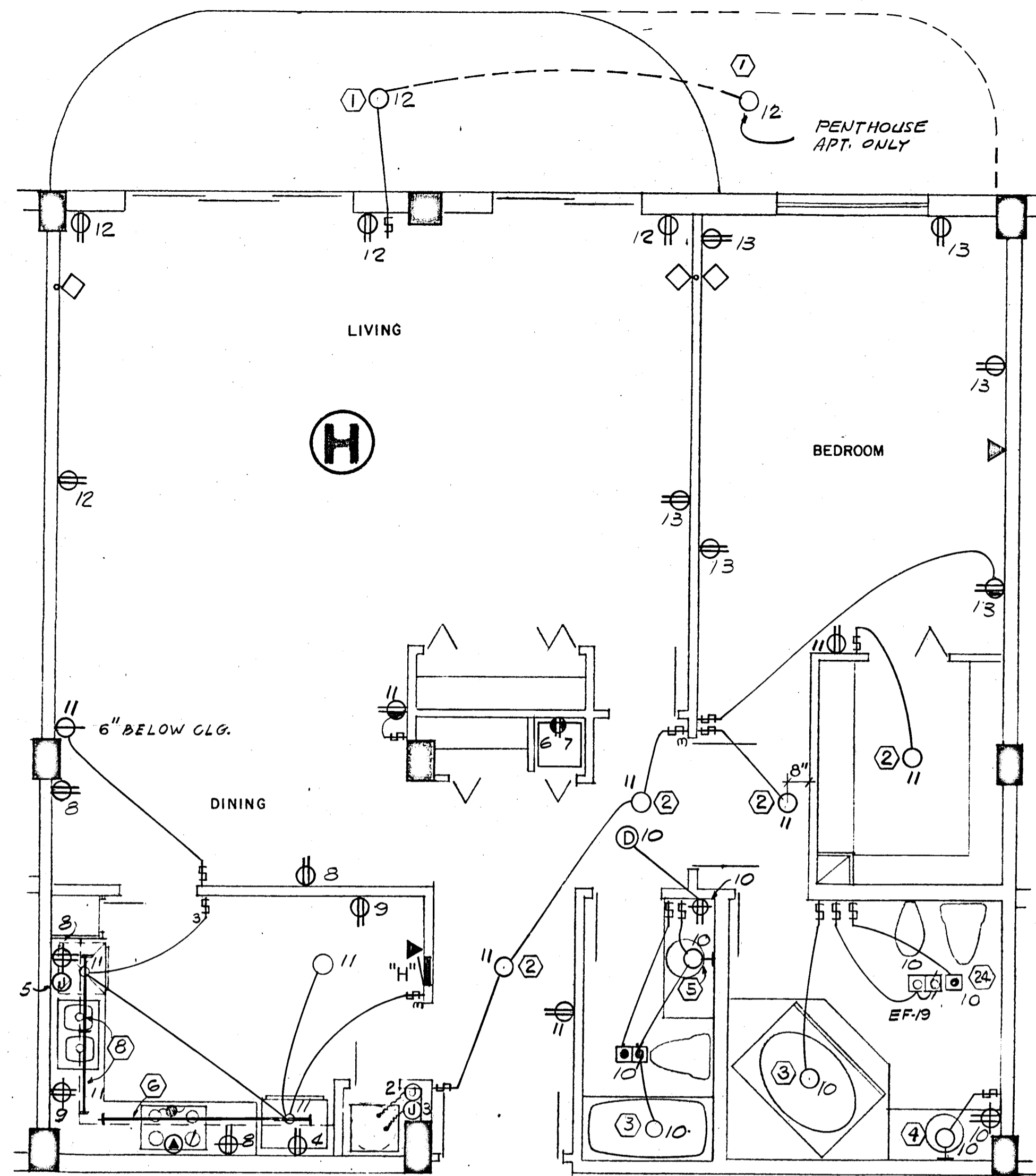
CHAMPLAIN TOWERS NORTH

A- 112 UNIT CONDOMINIUM

COMM. No. DATE: SHEET No. 11 of 11

FLORIDA ENGINEERING SERVICES
352 NE 167 STREET
N. MIAMI BCH, FLA.
33162 945-4742

Solomon Miller



1369 SQ. FT x 3 WATTS = 4.1 KW

PANEL "H" 1Ø, 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	KW	
				LINE	NEUT.
1	2-50	6	RANGE	12.0	8.4
2	2-40	8	AIR COND.	6.3	---
3	2-30	10	WATER HEATER	4.5	---
4	1-20	12	REFRIGERATOR	0.7	0.7
5			DISH WASHER	1.2	1.2
6			DRYER (COMPACT-FUTURE)	1.8	1.8
7			WASHER (COMPACT-FUTURE)	0.9	0.9
8-9			SMALL APPLIANCES	3.0	3.0
*10-13	1-15	14	LIGHTS & RECEPTACLES	4.1	4.1

* CIRC NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

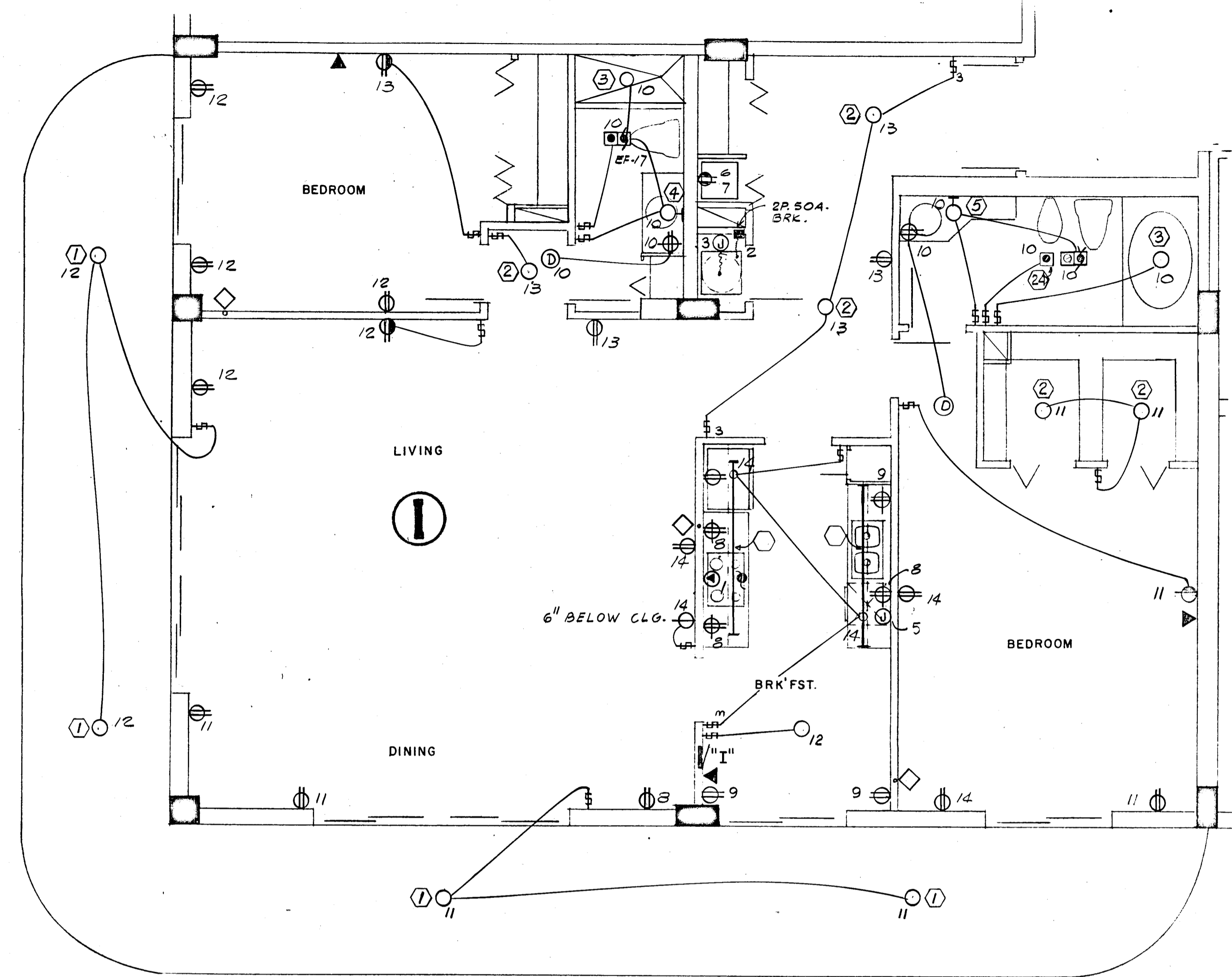
FIRST 10.0 KW @ 100% ----- 10.0
NEXT 18.2 KW @ 40% ----- 7.2
AIR COND. (HEATING) ----- 4.3
TOTAL KW ----- 21.5

NEUTRAL

FIRST 3.0 KW @ 100% ----- 3.0
NEXT 8.7 KW @ 35% ----- 3.0
RANGE 12.0 KW @ 70% ----- 8.4
TOTAL KW ----- 14.4

WATTS TO AMPS (LINE) 21,500 ÷ 208V = 103 AMPS
WATTS TO AMPS (NEUT.) 14,400 ÷ 208V = 69 AMPS
FEEDER: 2# 2 & 1# 4 THW CU - 1 1/2"

• 5.6 KW x 65% = 3.6 KW + 0.7 KW A.H.U. = 4.3 KW



1539 SQ. FT x 3 WATTS = 4.7 KW

PANEL "I" 1Ø, 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	KW	
				LINE	NEUT.
1	2-50	6	RANGE	12.0	8.4
2	2-50	6	AIR COND.	8.2	---
3	2-30	10	WATER HEATER	4.5	---
4	1-20	12	REFRIGERATOR	0.7	0.7
5			DISH WASHER	1.2	1.2
6			DRYER (COMPACT-FUTURE)	1.8	1.8
7			WASHER (COMPACT-FUTURE)	0.9	0.9
8-9			SMALL APPLIANCES	3.0	3.0
*10-14	1-15	14	LIGHTS & RECEPTACLES	4.7	4.7

* CIRC NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

FIRST 10.0 KW @ 100% ----- 10.0
NEXT 18.8 KW @ 40% ----- 7.5
AIR COND. (HEATING) ----- 5.5
TOTAL KW ----- 23.0

NEUTRAL

FIRST 3.0 KW @ 100% ----- 3.0
NEXT 9.3 KW @ 35% ----- 3.2
RANGE 12.0 KW @ 70% ----- 8.4
TOTAL KW ----- 14.6

WATTS TO AMPS (LINE) 23,000 ÷ 208V = 110 AMPS
WATTS TO AMPS (NEUT.) 14,600 ÷ 208V = 70 AMPS
FEEDER: 2# 2 & 1# 4 THW CU - 1 1/2"

• 7.5 KW x 65% = 4.8 KW + 0.7 KW A.H.U. = 5.5 KW

Salvador Medina

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS - NORTH

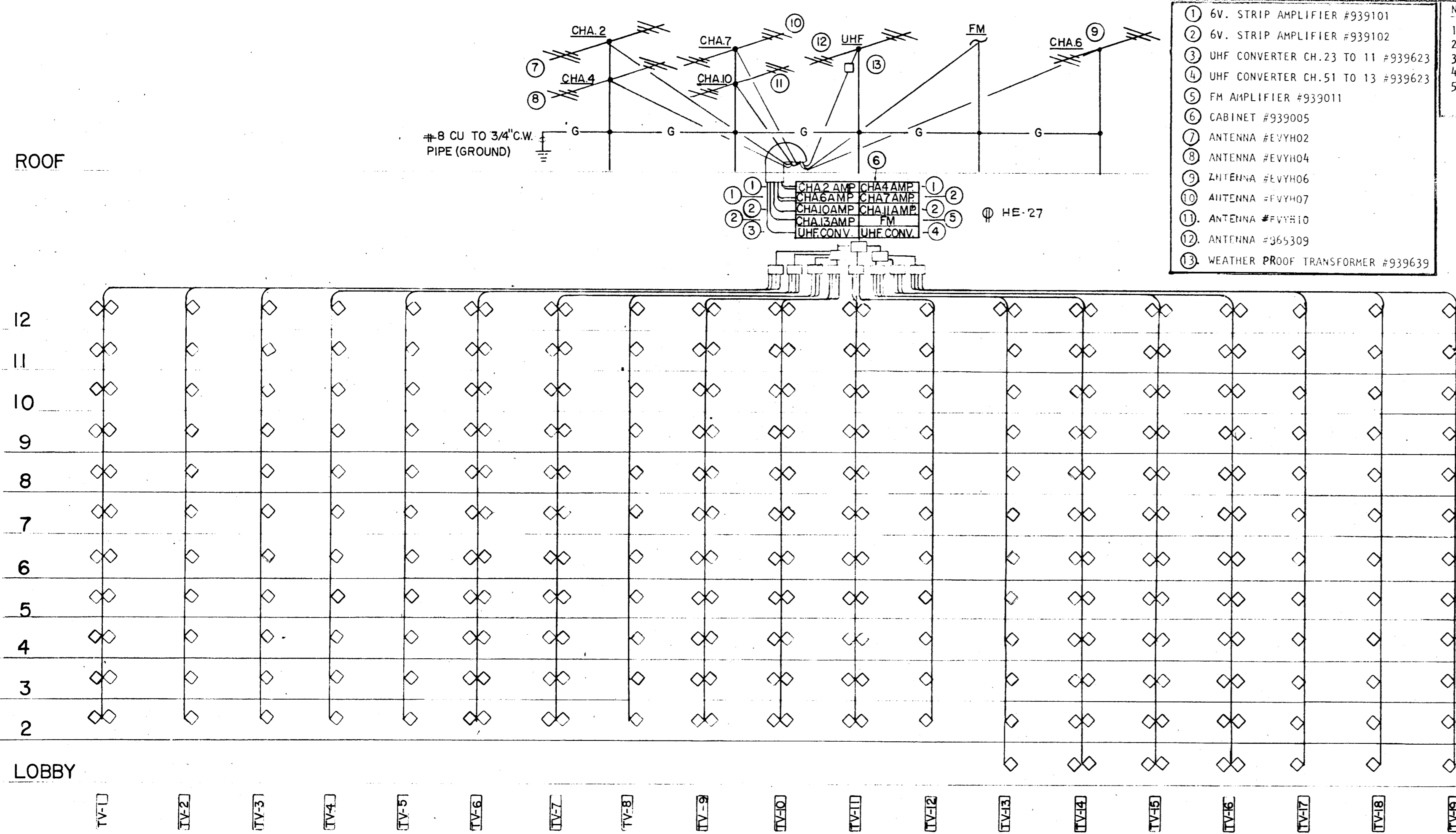
A-112 UNIT CONDOMINIUM

COMM. No. DATE: _____

REV. _____

FLORIDA ENGINEERING SERVICES
352 NE 167 STREET
MIAMI BEACH, FLA. 33162 945-4743

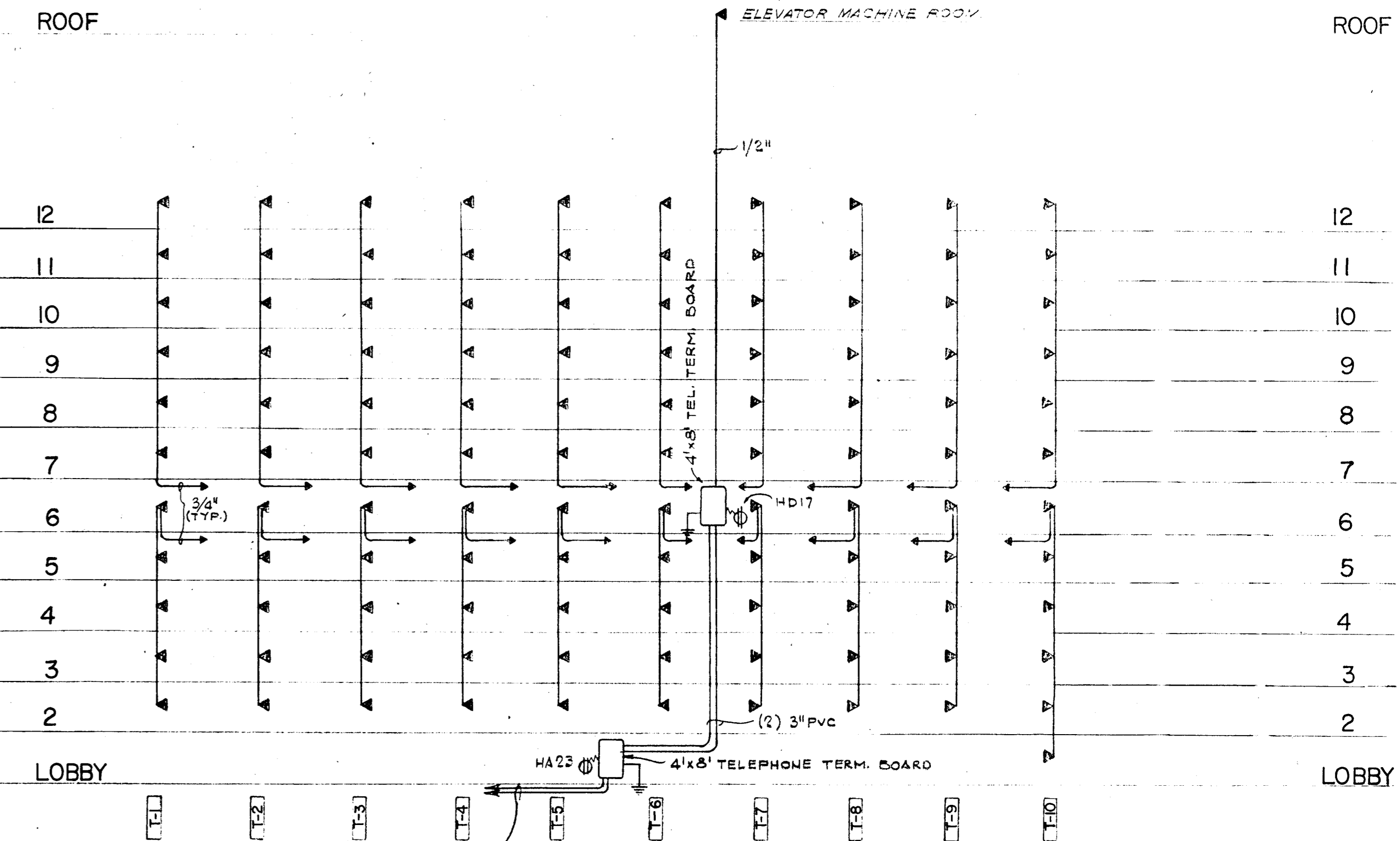
SHEET No. 11 OF 11
SHEET 3



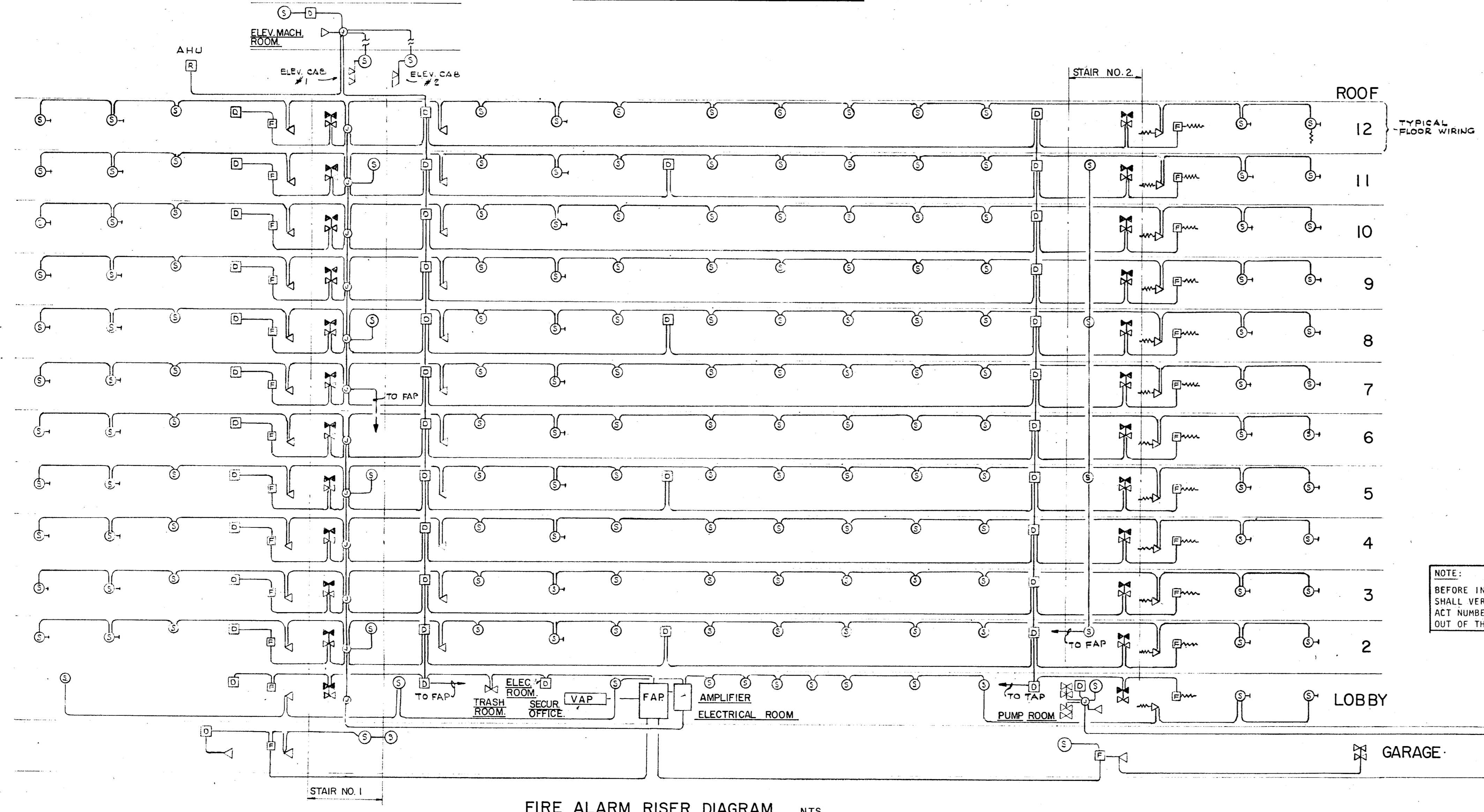
TELEVISION RISER DIAGRAM. N.T.S.

- NOTE:
- 1) 4 WAY SPLITTER TO BE #939689.
 - 2) 2 WAY SPLITTER TO BE #939688.
 - 3) CABLE TO BE #939616 LOW LOSS.
 - 4) BEDROOMS TAP OFF TO BE #939717.
 - 5) LIVING ROOM TAP OFF TO BE #939720 (WITH FM OUTLET).

- 1 6V. STRIP AMPLIFIER #939101
- 2 6V. STRIP AMPLIFIER #939102
- 3 UHF CONVERTER CH.23 TO 11 #939623
- 4 UHF CONVERTER CH.51 TO 13 #939623
- 5 FM AMPLIFIER #939011
- 6 CABINET #939005
- 7 ANTENNA #EYH02
- 8 ANTENNA #EYH04
- 9 ANTENNA #EYH06
- 10 ANTENNA #EYH07
- 11 ANTENNA #EYH10
- 12 ANTENNA #955309
- 13 WEATHER PROOF TRANSFORMER #939639



TELEPHONE RISER DIAGRAM. N.T.S.



FIRE ALARM RISER DIAGRAM N.T.S.

BUILDING FIRE ALARM SYSTEM SHALL MEET THE REQUIREMENTS OF SECTION #5100 OF THE SOUTH FLORIDA BUILDING CODE. THE SYSTEM WILL CONTAIN A FIRE ALARM PANEL, AMPLIFIER RACK, VOICE ALARM CONSOLE WITH ANNUNCIATOR TO FUNCTION AS FOLLOWS.

ACTIVATION OF A MANUAL STATION, SMOKE DETECTOR, OR FLOW SWITCH WILL TRANSMIT A TONE ALARM TO THE ACTIVATED FLOOR ONLY. AFTER A TIME DELAY OF 0-10 MINUTES. IF THE SYSTEM IS NOT RESET, THE SYSTEM WILL GO INTO A GENERAL ALARM. TAMPER SWITCHES WILL ANNUNCIATE BUT WILL NOT ACTIVATE FIRE ALARM.

FLOW SWITCH AND VALVE POSITION SWITCH WILL ANNUNCIATE PER DEVICE. REST OF DEVICES ANNUNCIATE BY FLOOR OR ZONE.

ELEVATORS WILL RETURN TO THE FIRST FLOOR UPON ALARM. THE VOICE CONSOLE WILL CONTAIN A MICROPHONE FOR FIRE MARSHALL PAGING. A SELECTOR PANEL WILL ALLOW PAGING PER FLOOR AND ALL CALL. A TELEPHONE HANDSET WILL BE PROVIDED FOR COMMUNICATION BETWEEN THE FIRE MARSHALL AND FIREMAN. A SELECTOR PANEL WILL ALLOW CALL ANNUNCIATION PER FLOOR FOR PHONE JACKS. ALL ENCLOSED STAIR CAGES WILL HAVE ONE SPEAKER ZONE WITH SPEAKERS EVERY THIRD FLOOR. EACH ELEVATOR WILL HAVE ONE SPEAKER AND 2 JACKS. ALL OF THE ABOVE CIRCUITS WILL BE SUPERVISED PER FLOOR, EXCEPT TAMPER SWITCHES AND ANNUNCIATE LIGHTS FOR FLOW SWITCHES, TAMPER SWITCHES, STATIONS, SMOKE AND HEAT DETECTORS.

CONSOLE TO CONTAIN SWITCHES TO START THE EMERGENCY GENERATOR. SYSTEM TROUBLE LIGHTS WILL BE PROVIDED FOR AMPLIFIERS, TONE GENERATORS, AND ALL LINE EQUIPMENT.

FIRE ALARM LEGEND (ALL EQUIPMENT BY FARADAY)	
	FIRE ALARM PANEL #19006 - R, 3L, 2XK, 2ZD, XEA, XG AND AMPLIFIER RACK #05E-002 WITH AMPLIFIERS AND TROUBLE SUPPRESSION.
	FIRE ALARM VOICE CONSOLE. MIRTONE SERIES OSB-032 INCLUDING OSP-031 ENCLOSURE.
	1-QST-202 MICROPHONE CONTROL
	1-QST-211 TELEPHONE CONTROL
	1-QSP-217 TROUBLE PANEL
	4-QSP-212 SPEAKER ZONE PANEL
	4-QSP-205 TELEPHONE ZONE PANEL
	6-QST-203 PORTABLE TELEPHONES
	1 ANNUNCIATION SECTION AS REQUIRED
	FLOW SWITCH - #163401
	TAMPER SWITCH - #163400-5P-2 POLE
	ELEVATOR SMOKE AND HEAT DETECTOR #9352
	A.H.U. DUCT DETECTOR 9462/9331 OF RELAY 120V APTS. SMOKE AND HEAT DETECTORS -3052
	SPEAKER (FLUSH) SOUNDLELIR -131
	GARAGE HORN SPEAKER MIRTONE -05 H5T
	PULL STATION #10123-4
	TELEPHONE JACK MIRTONE -QST-032

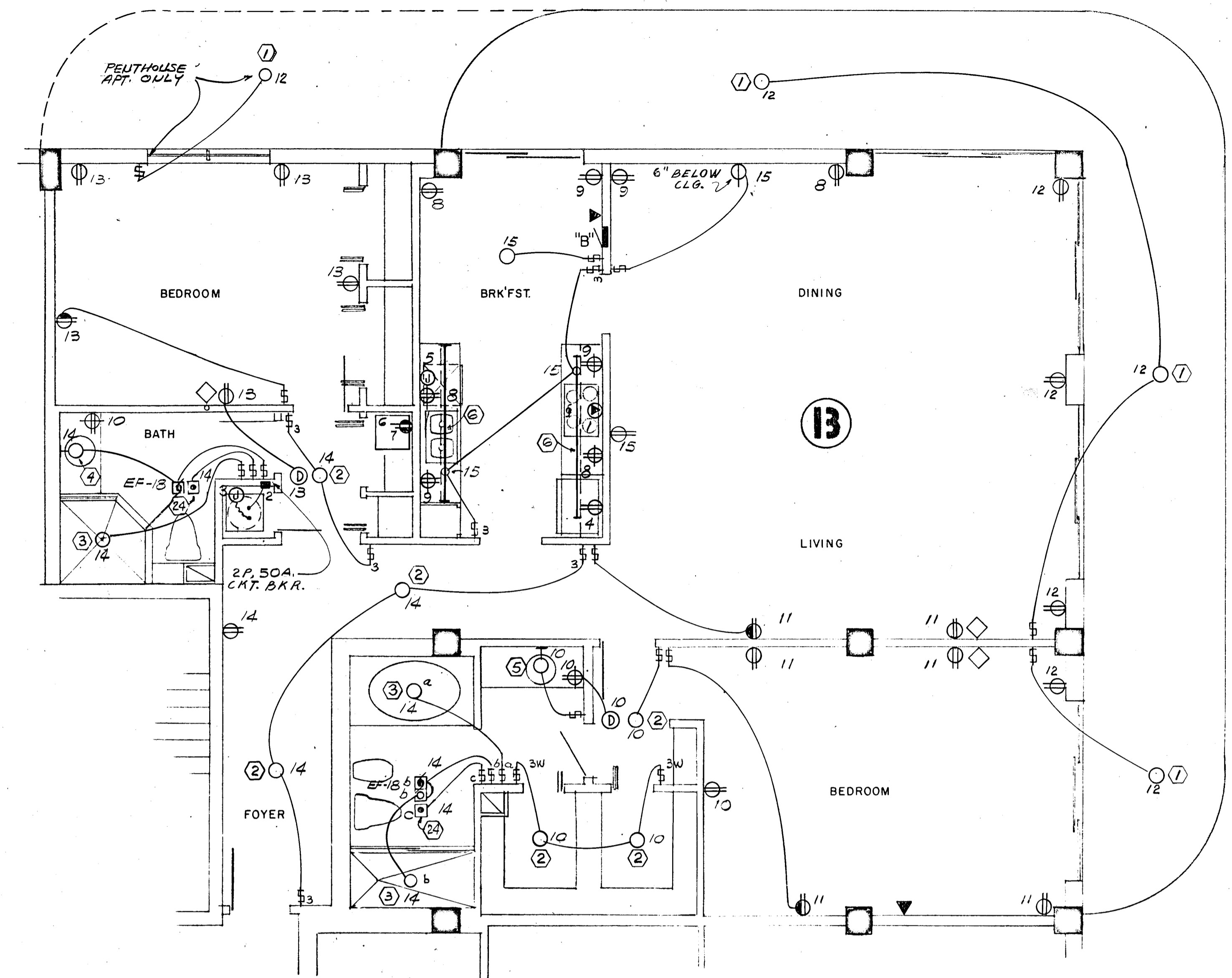
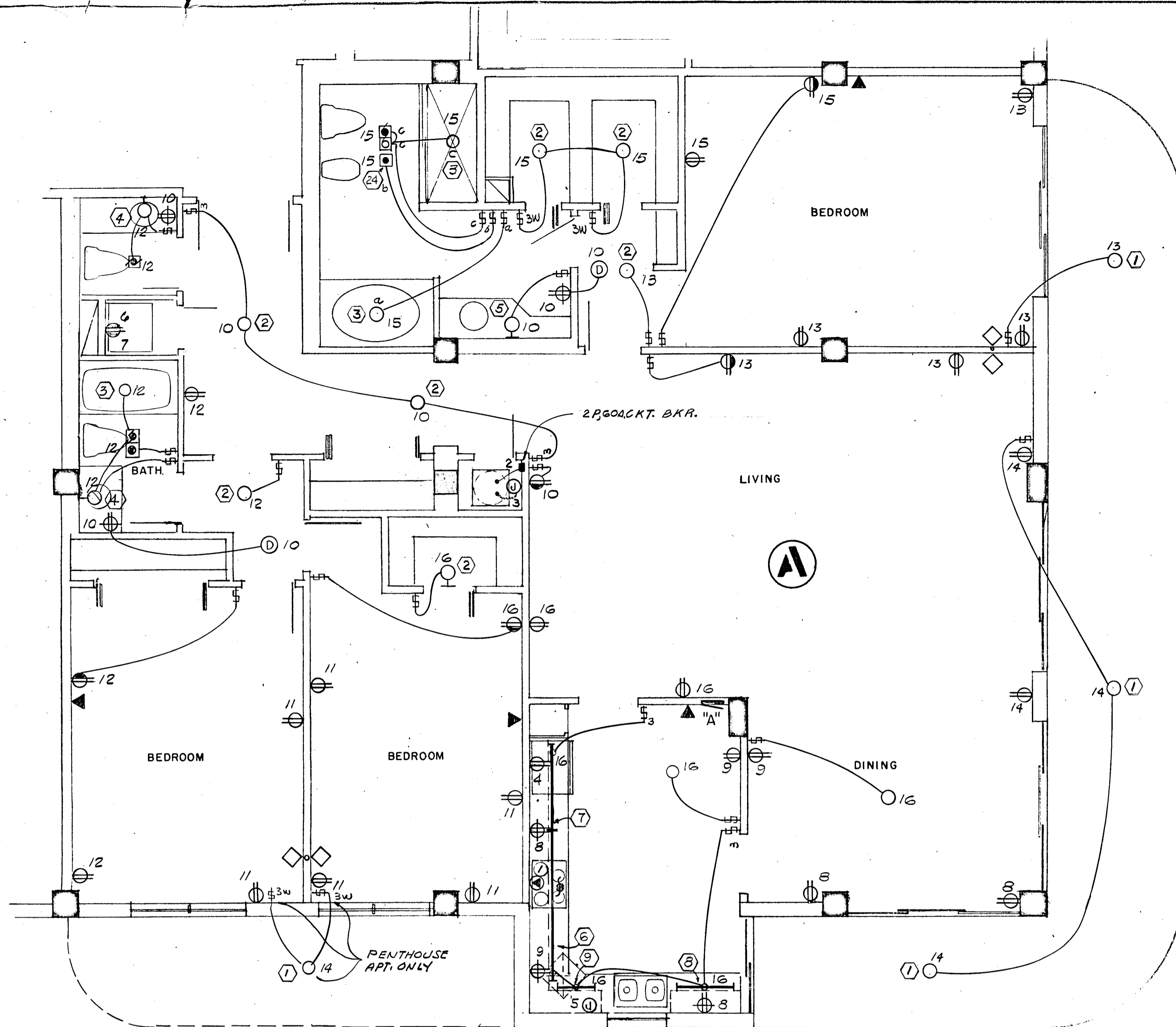
NOTE:
BEFORE INSTALLATION THE ELECTRICAL CONTRACTOR SHALL VERIFY WITH THE EQUIPMENT VENDOR THE EXACT NUMBER OF WIRES REQUIRED AND THE EXACT LAYOUT OF THE RACEWAY SYSTEM.

WILLIAM M. FRIEDMAN AND ASSOCIATES ARCHITECTS, INC.
138 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS NORTH
A-112 UNIT CONDOMINIUM
COMM. NO. DATE: 10/23/79 SHEET NO. 11 OF 11

FLORIDA ENGINEERING SERVICES
23 N.E. 167 STREET
MIAMI, FL 33132

REVISIONS



2085 SQ. FT x 3 WATTS = 6.2 KW

PANEL "A" 1Ø 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	LINE	NEUT.	KW
1	2-50	6	RANGE	12.0	8.4	
2	2-60	6	AIR COND. (HTR & A.H.U.)	10.9	---	
3	2-30	10	WATER HEATER	4.5	---	
4	1-20	12	REFRIGERATOR	0.7	0.7	
5			DISH WASHER	1.2	1.2	
6			DRYER (COMPACT-FUTURE)	1.8	1.8	
7			WASHER (COMPACT-FUTURE)	0.9	0.9	
8-9			SMALL APPLIANCES	3.0	3.0	
10-16	1-15	14	LIGHTS & RECEPTACLES	6.2	6.2	

* CIRC NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

FIRST 10.0 KW @ 100% ----- 10.0

NEXT 20.3 KW @ 40% ----- 8.1

AIR COND. (HEATING) ----- 7.4

TOTAL KW ----- 25.5

NEUTRAL

FIRST 3.0 KW @ 100% ----- 3.0

NEXT 11.0 KW @ 35% ----- 3.8

RANGE 12.0 KW @ 70% ----- 8.4

TOTAL KW ----- 15.2

WATTS TO AMPS (LINE) 25,500 ÷ 208V = 122 AMPS

WATTS TO AMPS (NEUT.) 15,200 ÷ 208V = 73 AMPS

FEEDER: 2# 1 & 1# 4 THW CU - 1 1/2"

• 10 KW x 65% = 6.5 KW + 0.9 KW A.H.U. = 7.4 KW

2ND THRU 11TH FLOOR

1795 SQ. FT x 3 WATTS = 5.3 KW

PANEL "B" 1Ø 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	LINE	NEUT.	KW
1	2-50	6	RANGE	12.0	8.4	
2	2-50	6	AIR COND. (HTR & A.H.U.)	8.2	---	
3	2-30	10	WATER HEATER	4.5	---	
4	1-20	12	REFRIGERATOR	0.7	0.7	
5			DISH WASHER	1.2	1.2	
6			DRYER (COMPACT-FUTURE)	1.8	1.8	
7			WASHER (COMPACT-FUTURE)	0.9	0.9	
8-9			SMALL APPLIANCES	3.0	3.0	
10-15	1-15	14	LIGHTS & RECEPTACLES	5.3	5.3	

* CIRC NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

FIRST 10.0 KW @ 100% ----- 10.0

NEXT 19.4 KW @ 40% ----- 7.7

AIR COND. (HEATING) ----- 5.5

TOTAL KW ----- 23.2

NEUTRAL

FIRST 3.0 KW @ 100% ----- 3.0

NEXT 9.9 KW @ 35% ----- 3.4

RANGE 12.0 KW @ 70% ----- 8.4

TOTAL KW ----- 14.8

WATTS TO AMPS (LINE) 23,200 ÷ 208V = 111 AMPS

WATTS TO AMPS (NEUT.) 14,800 ÷ 208V = 71 AMPS

FEEDER: 2# 2 & 1# 4 THW CU - 1 1/2"

• 7.5 KW x 65% = 4.8 KW + 0.7 KW A.H.U. = 5.5 KW

LOBBY & 12TH FLOOR

1795 SQ. FT x 3 WATTS = 5.3 KW

PANEL "B" 1Ø 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	LINE	NEUT.	KW
1	2-50	6	RANGE	12.0	8.4	
2	2-60	6	AIR COND.	10.9	---	
3	2-30	10	WATER HEATER	4.5	---	
4	1-20	12	REFRIGERATOR	0.7	0.7	
5			DISH WASHER	1.2	1.2	
6			DRYER (COMPACT-FUTURE)	1.8	1.8	
7			WASHER (COMPACT-FUTURE)	0.9	0.9	
8-9			SMALL APPLIANCES	3.0	3.0	
10-15	1-15	14	LIGHTS & RECEPTACLES	6.2	6.2	

* CIRC NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

FIRST 10.0 KW @ 100% ----- 10.0

NEXT 19.4 KW @ 40% ----- 7.7

AIR COND. (HEATING) ----- 7.4

TOTAL KW ----- 25.1

NEUTRAL

FIRST 3.0 KW @ 100% ----- 3.0

NEXT 9.9 KW @ 35% ----- 3.4

RANGE 12.0 KW @ 70% ----- 8.4

TOTAL KW ----- 14.8

WATTS TO AMPS (LINE) 25,100 ÷ 208V = 120 AMPS

WATTS TO AMPS (NEUT.) 14,800 ÷ 208V = 71 AMPS

FEEDER: 2# 1 & 1# 4 THW CU - 1 1/2"

• 10 KW x 65% = 6.5 KW + 0.9 KW A.H.U. = 7.4 KW

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS NORTH

A-112 UNIT CONDOMINIUM

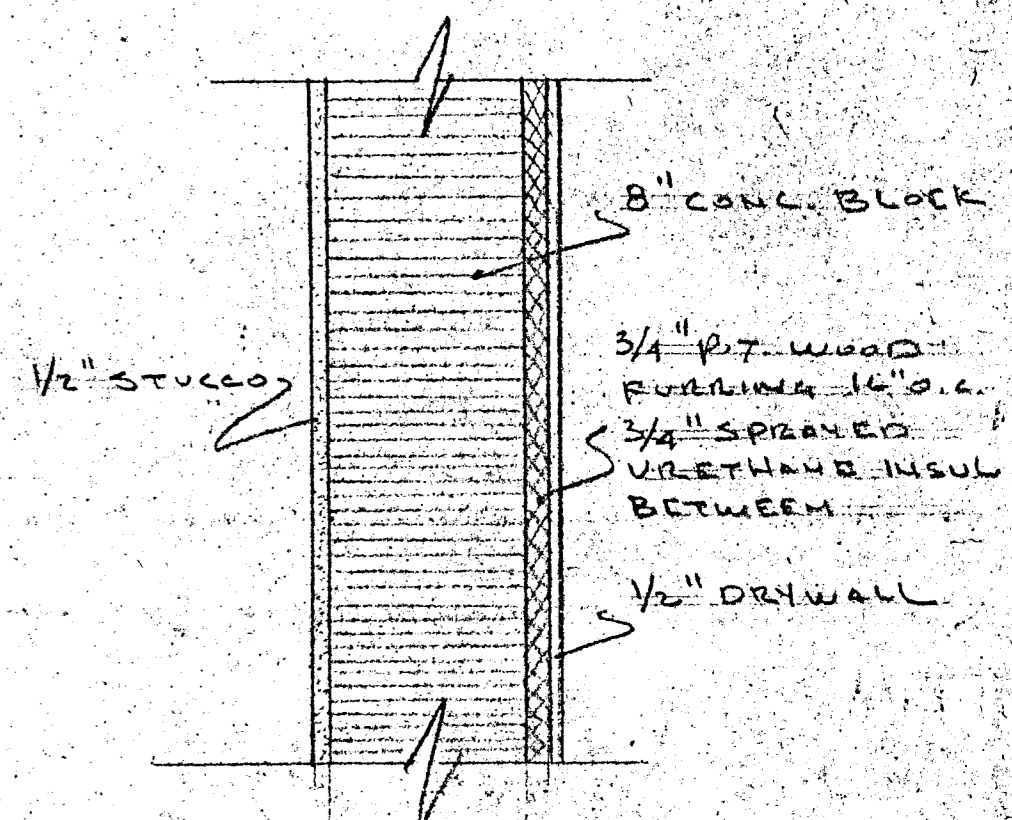
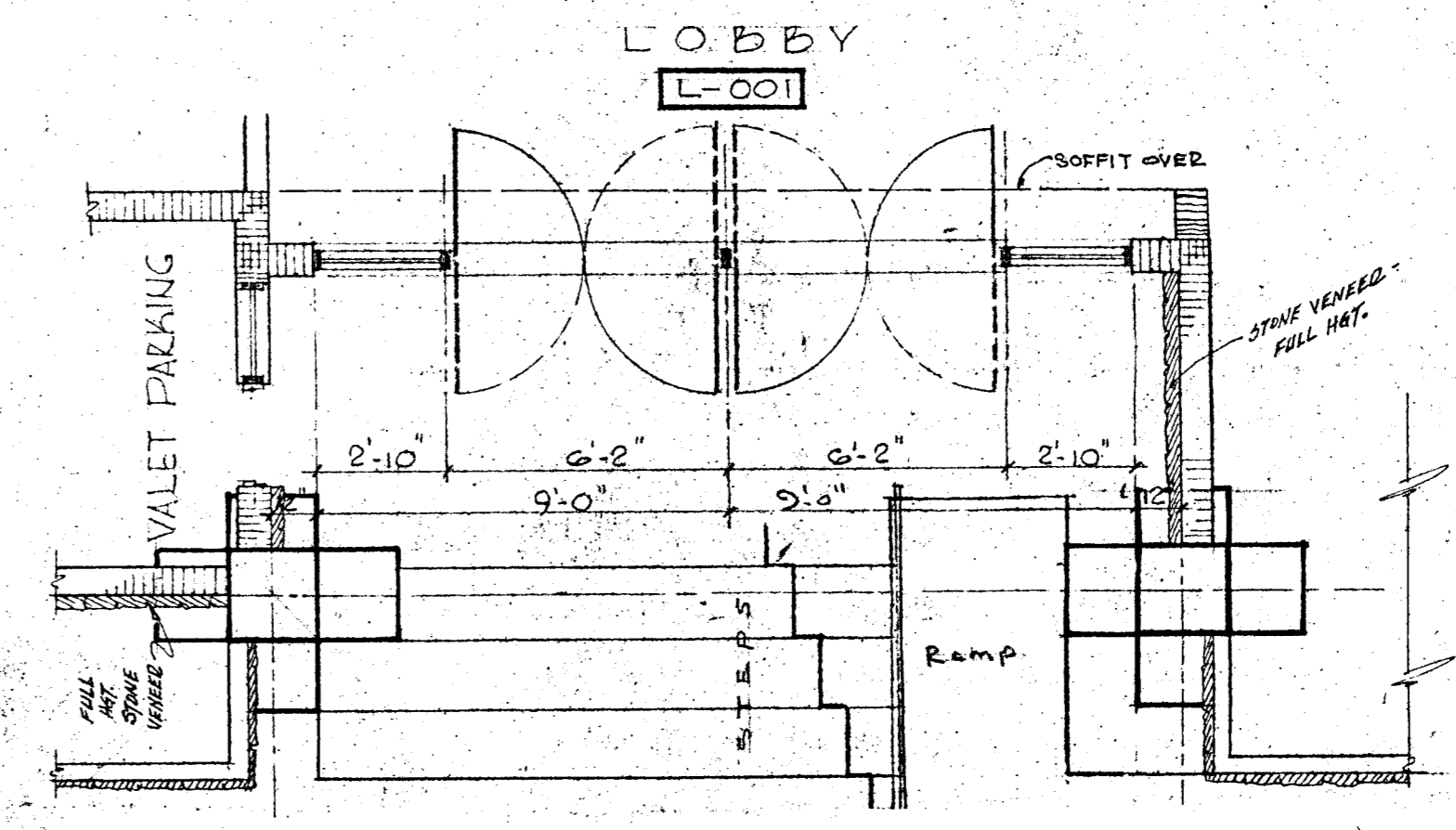
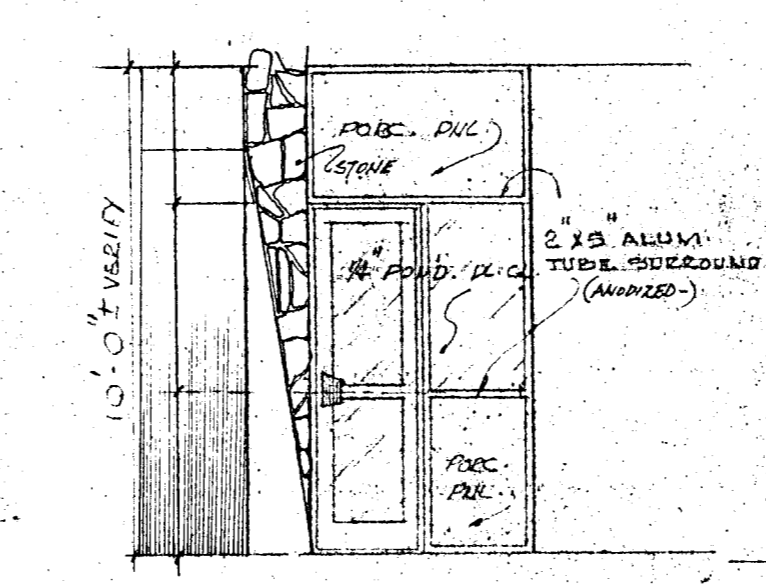
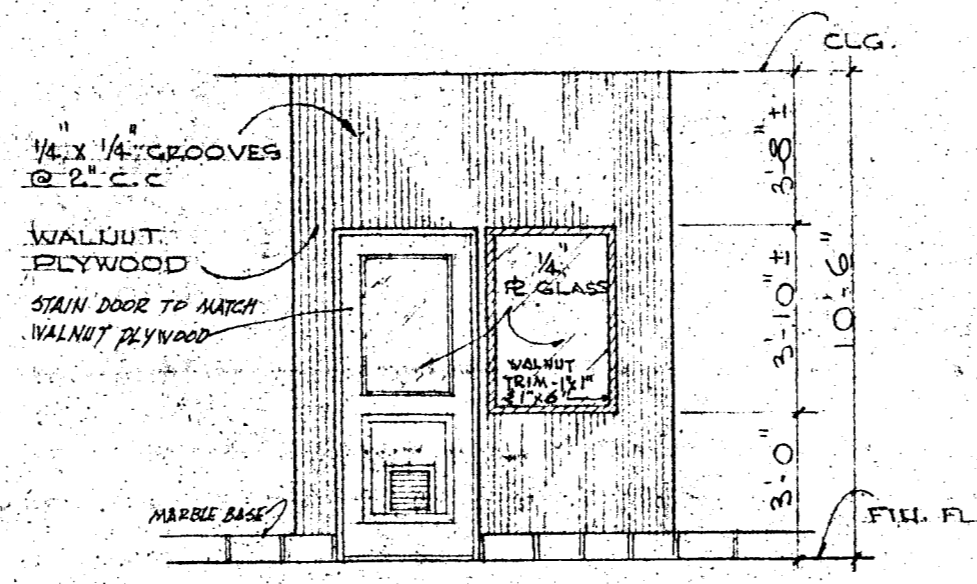
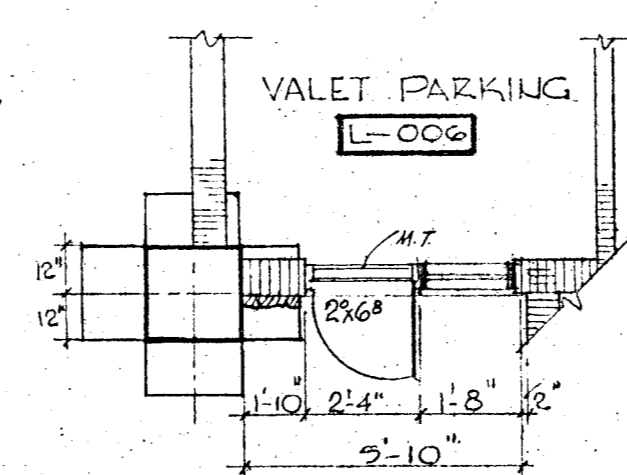
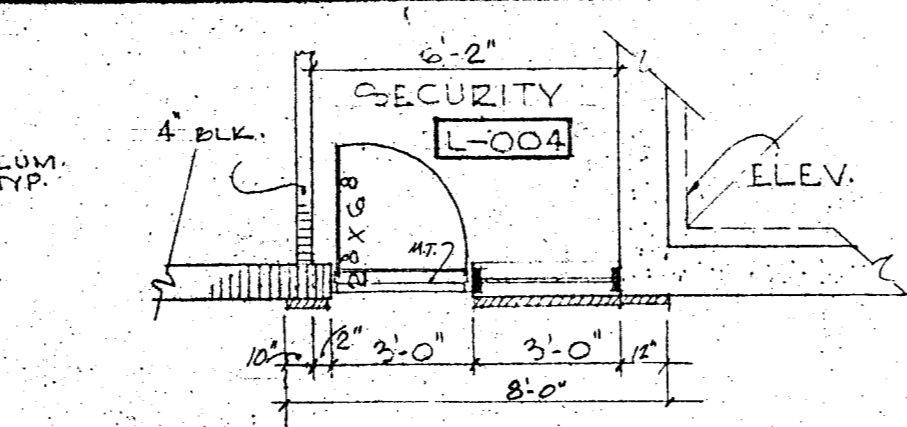
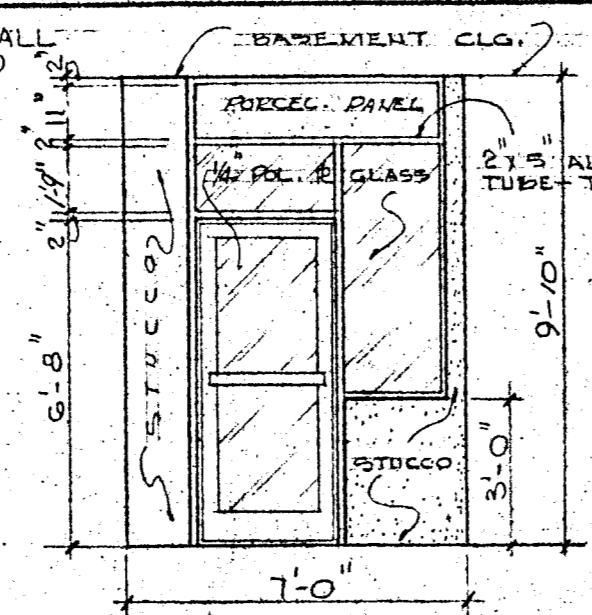
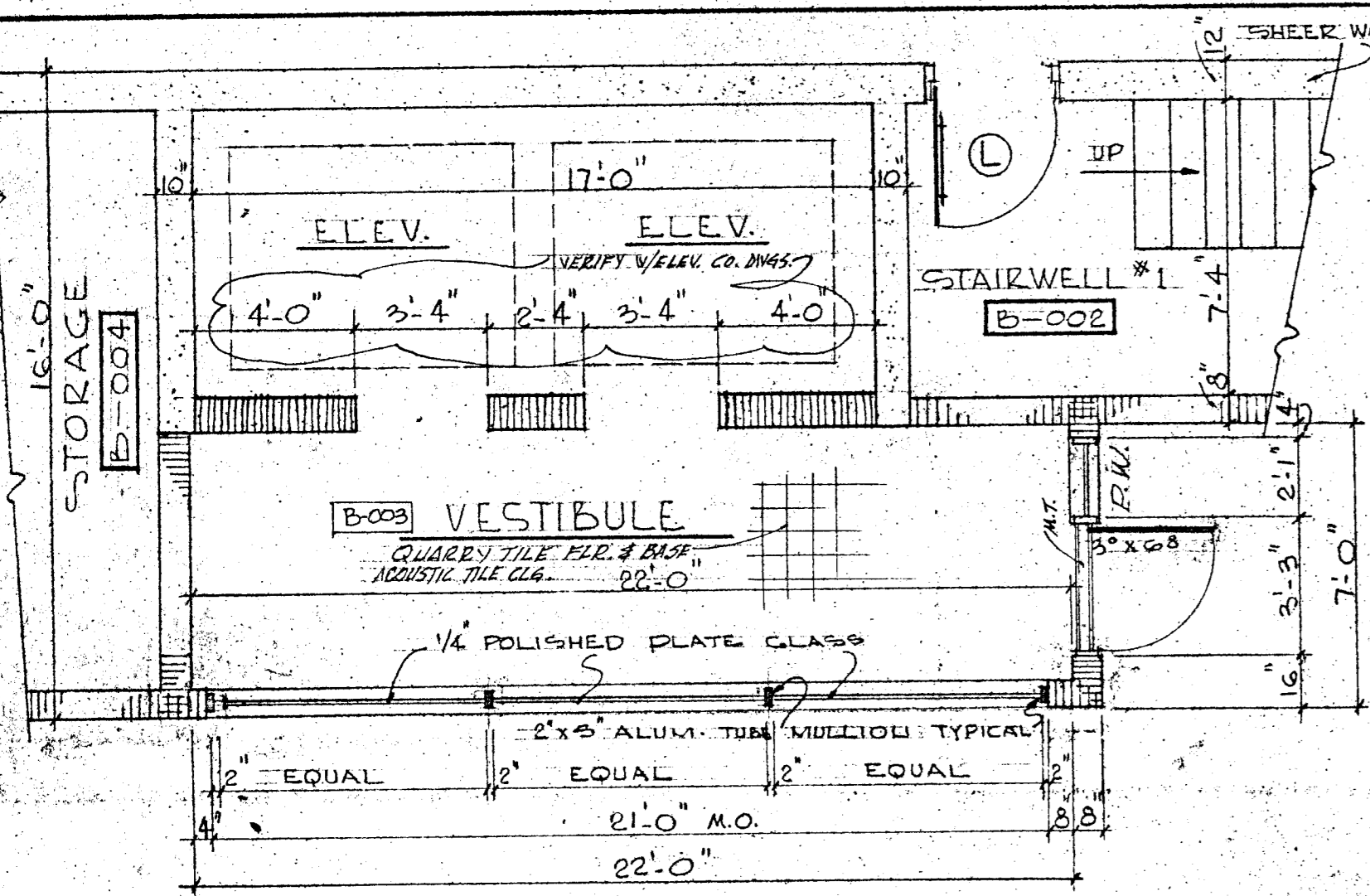
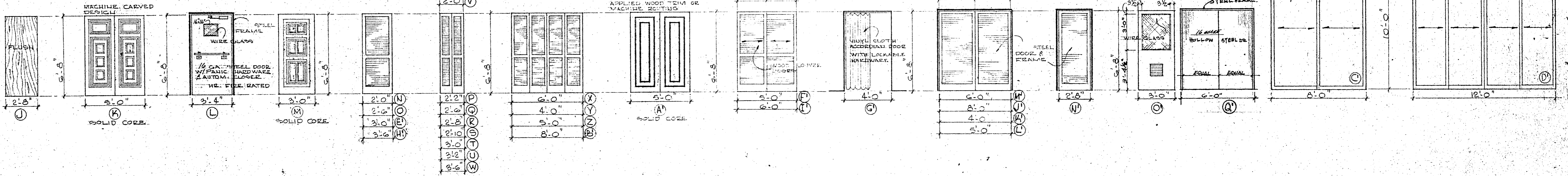
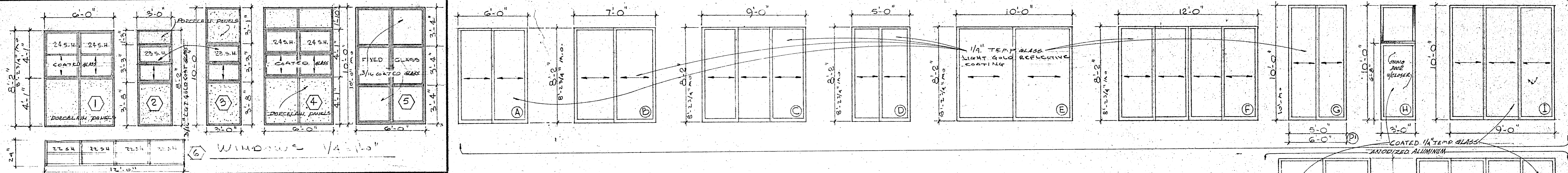
COMM. NO. DATE: _____

REV. _____

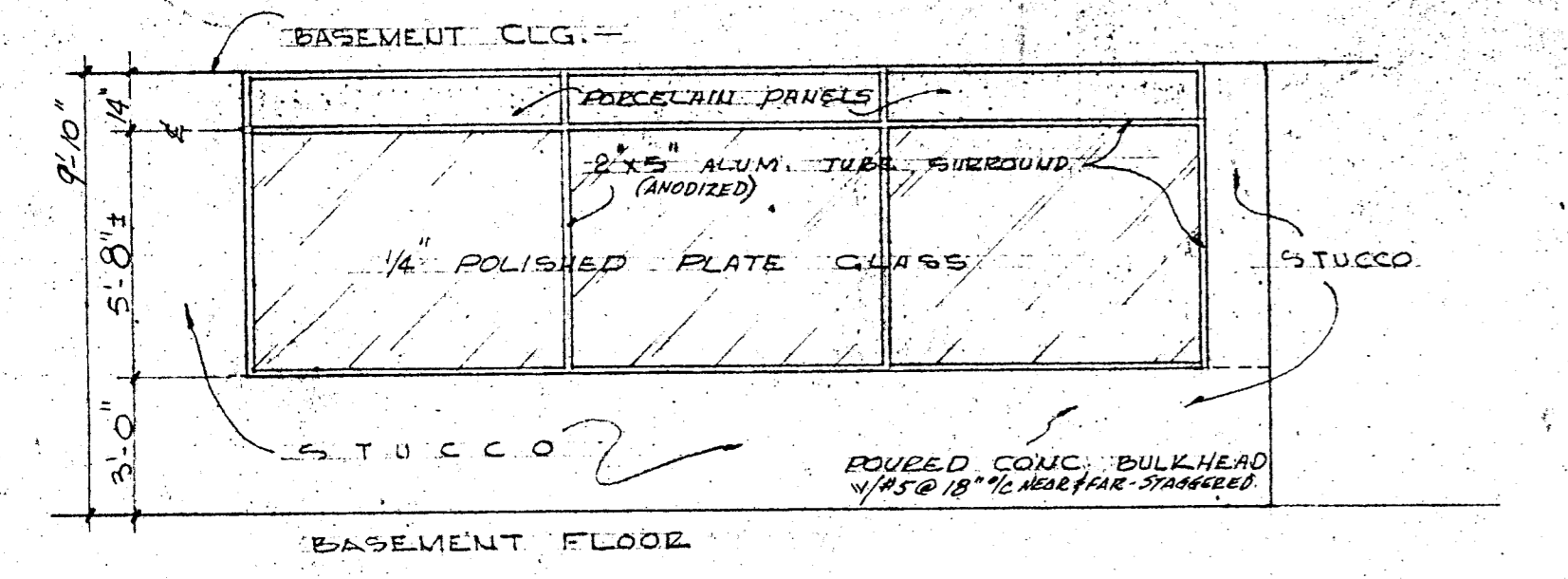
SHEET 115
OF 111

FLORIDA ENGINEERING SERVICES
352 NE 167 STREET
MIAMI BCH, FLA.
33132 945-4743

Salomon Medina



TYPICAL BLOCK WALL SECTION
1 1/2" = 1'-0"



WILLIAM M. FRIEDMAN
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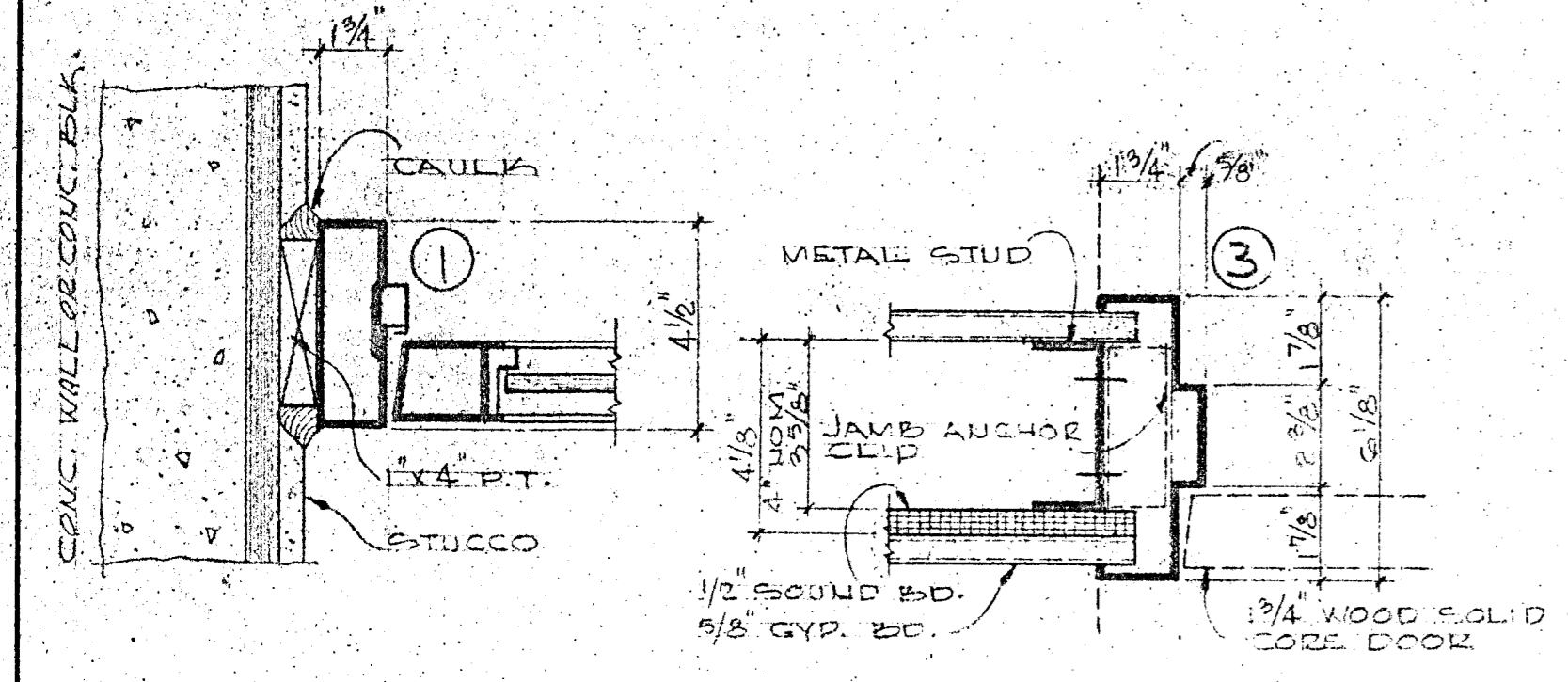
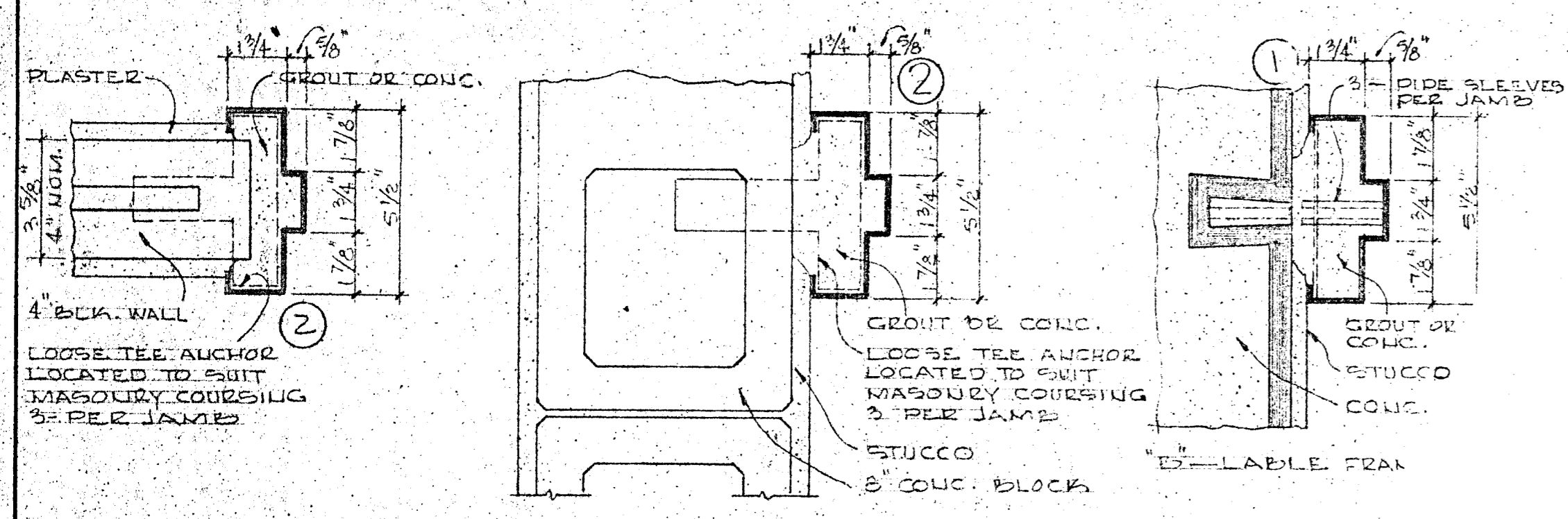
150 N. 24th
3558044

CHAMPLAIN TOWERS SOUTH
8977 COLLINGS AVE.

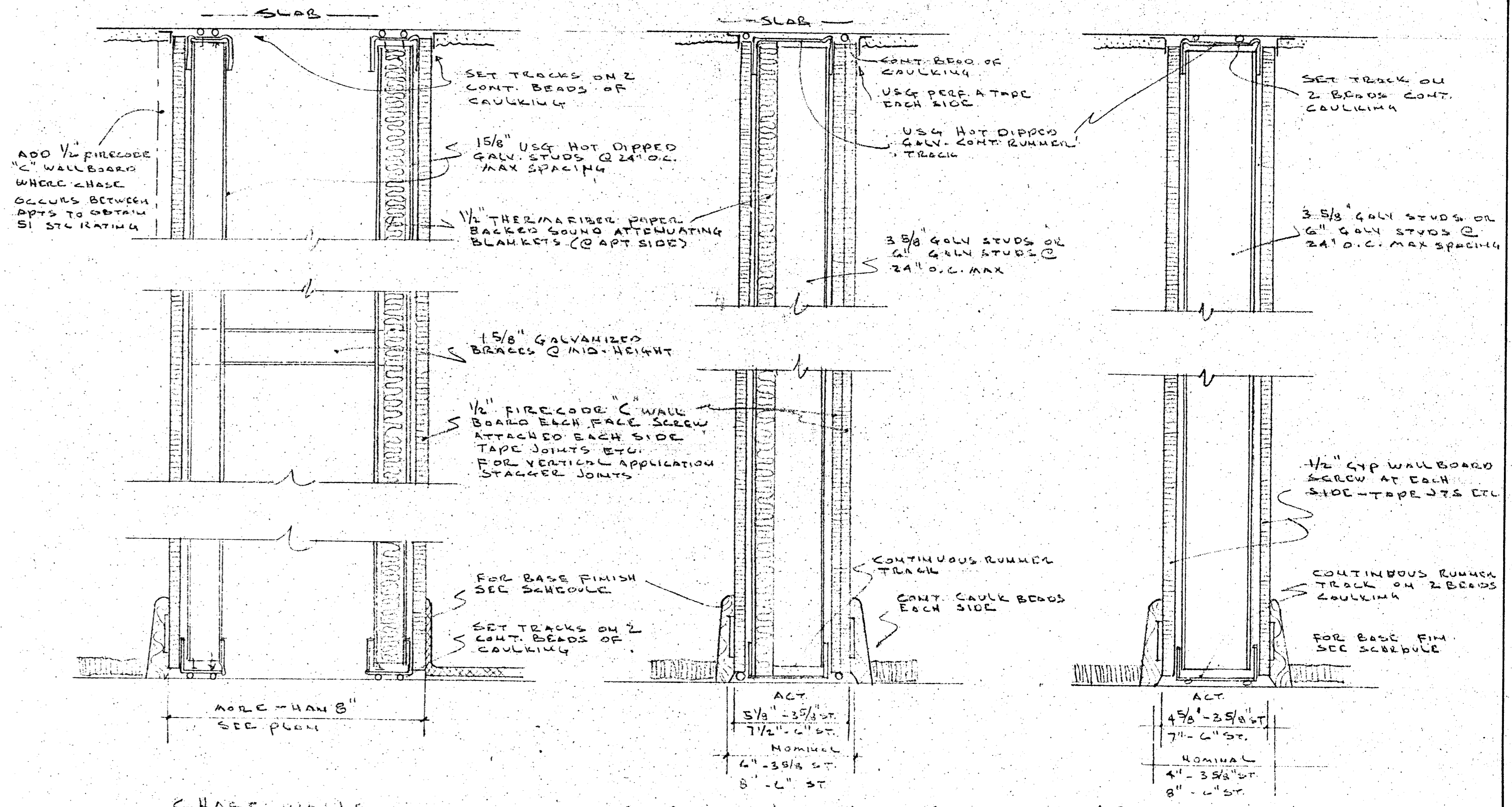
A-112 UNIT CONDOMINIUM

COMM. No. DATE: SHEET

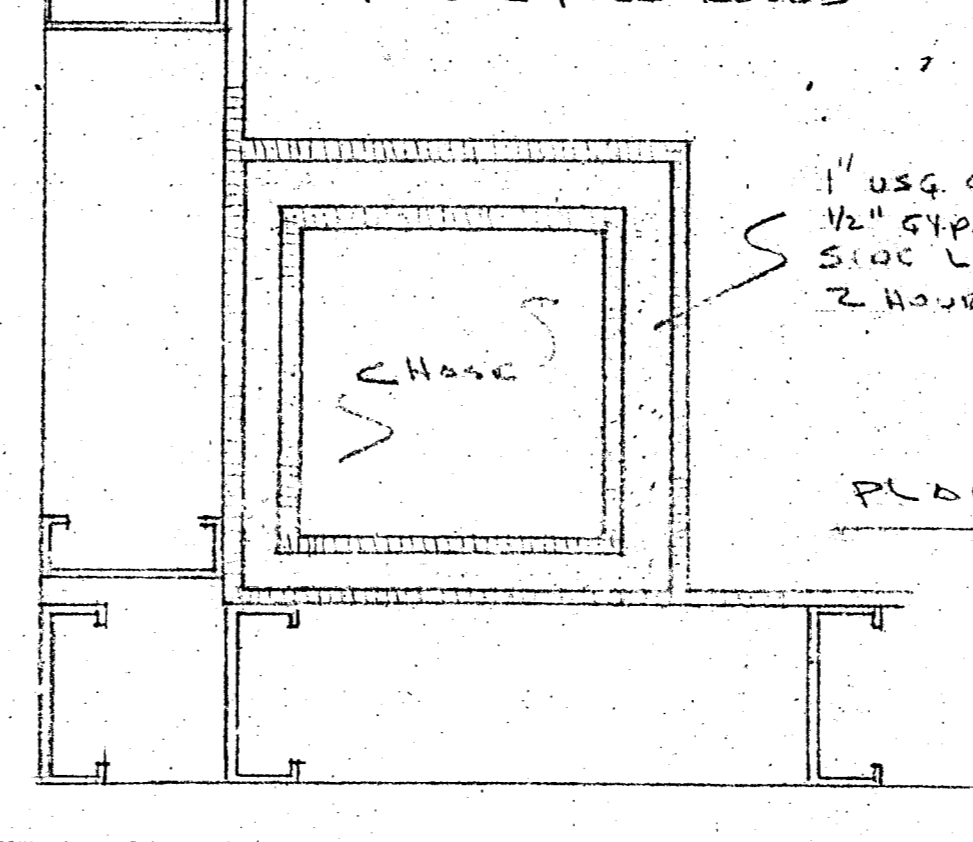
REV. 23 OF 27



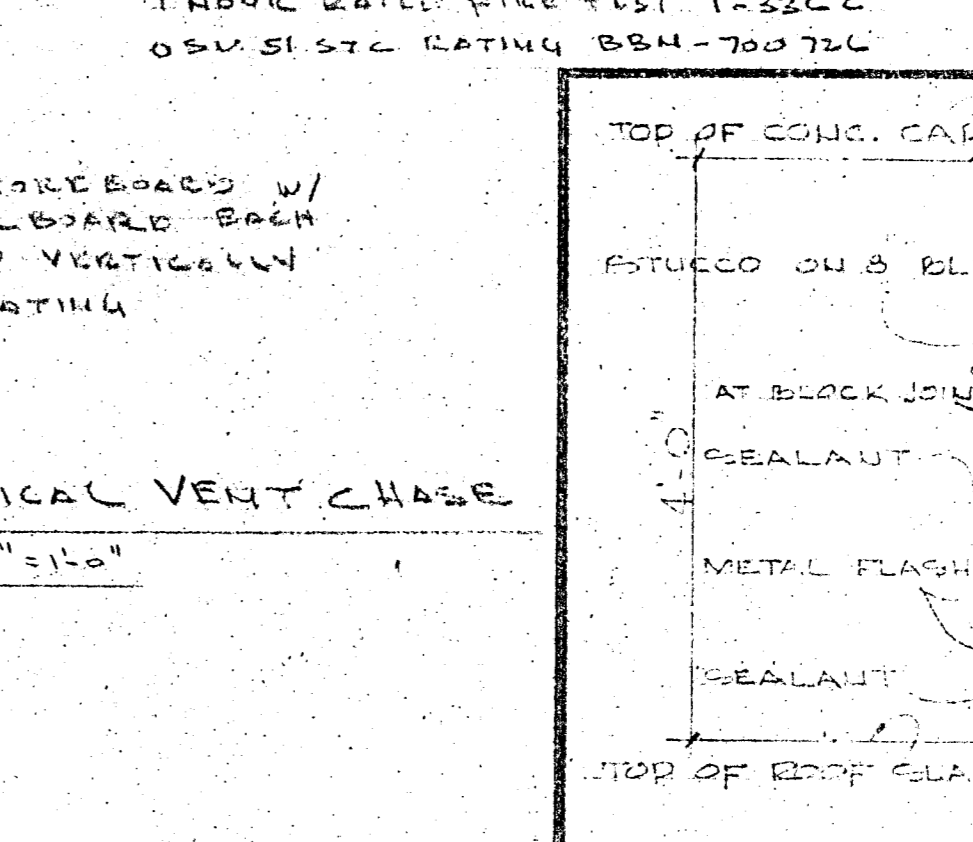
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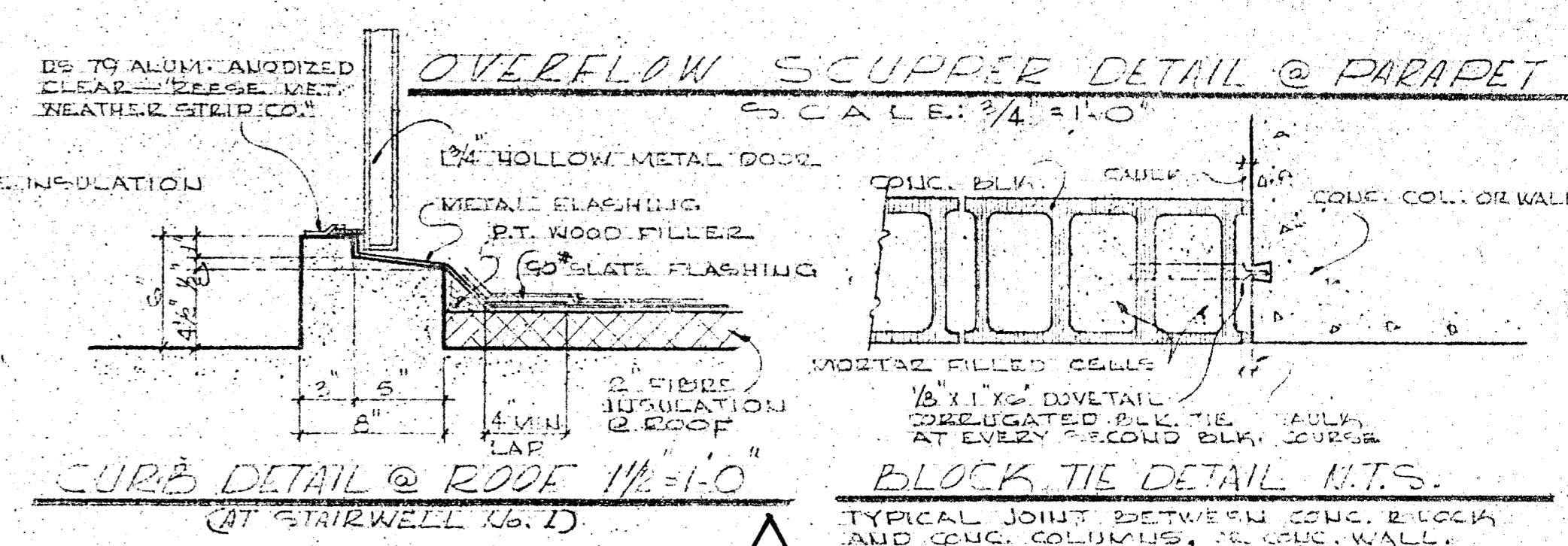
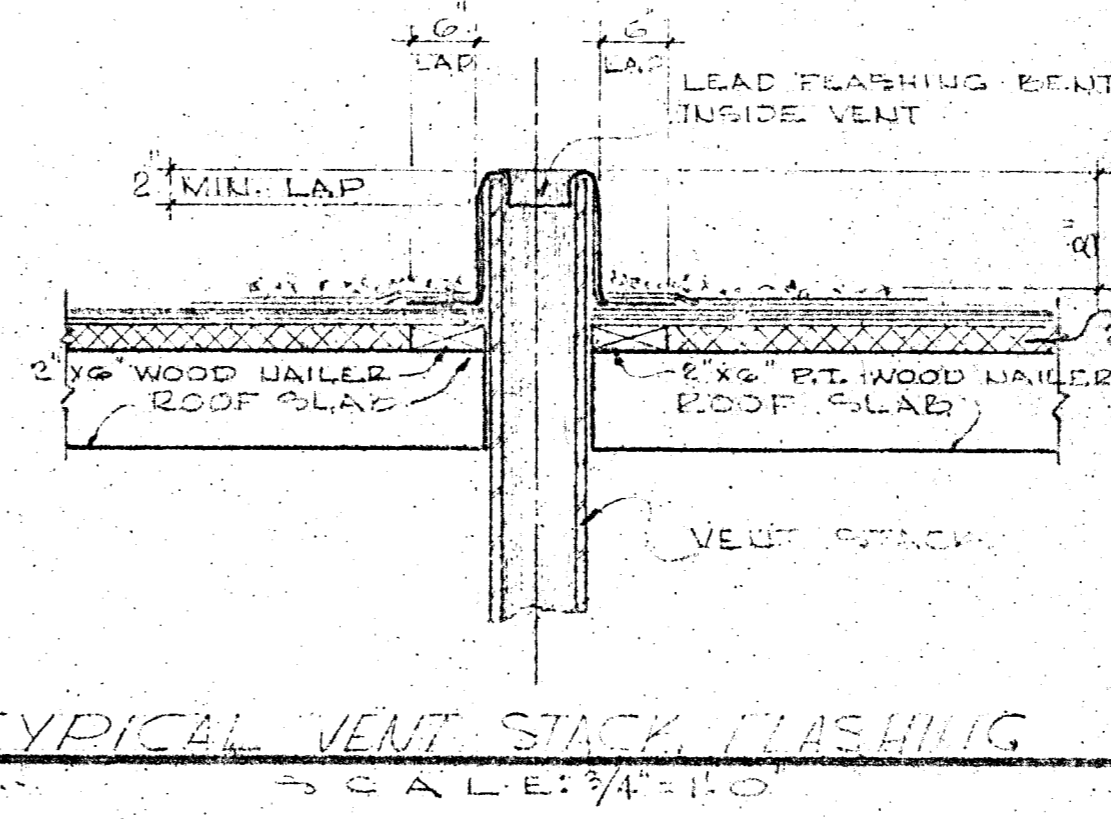
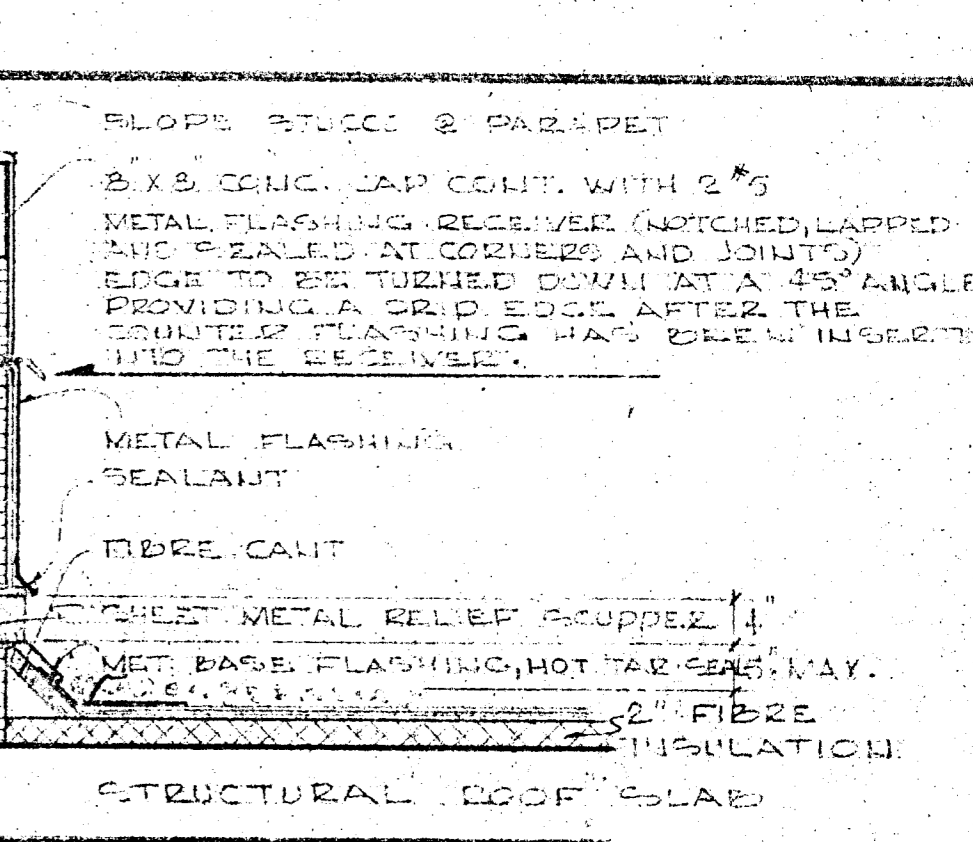
CHASE WALLS



CORRIDOR & PARTY WALLS



APT. INTERIOR WALLS



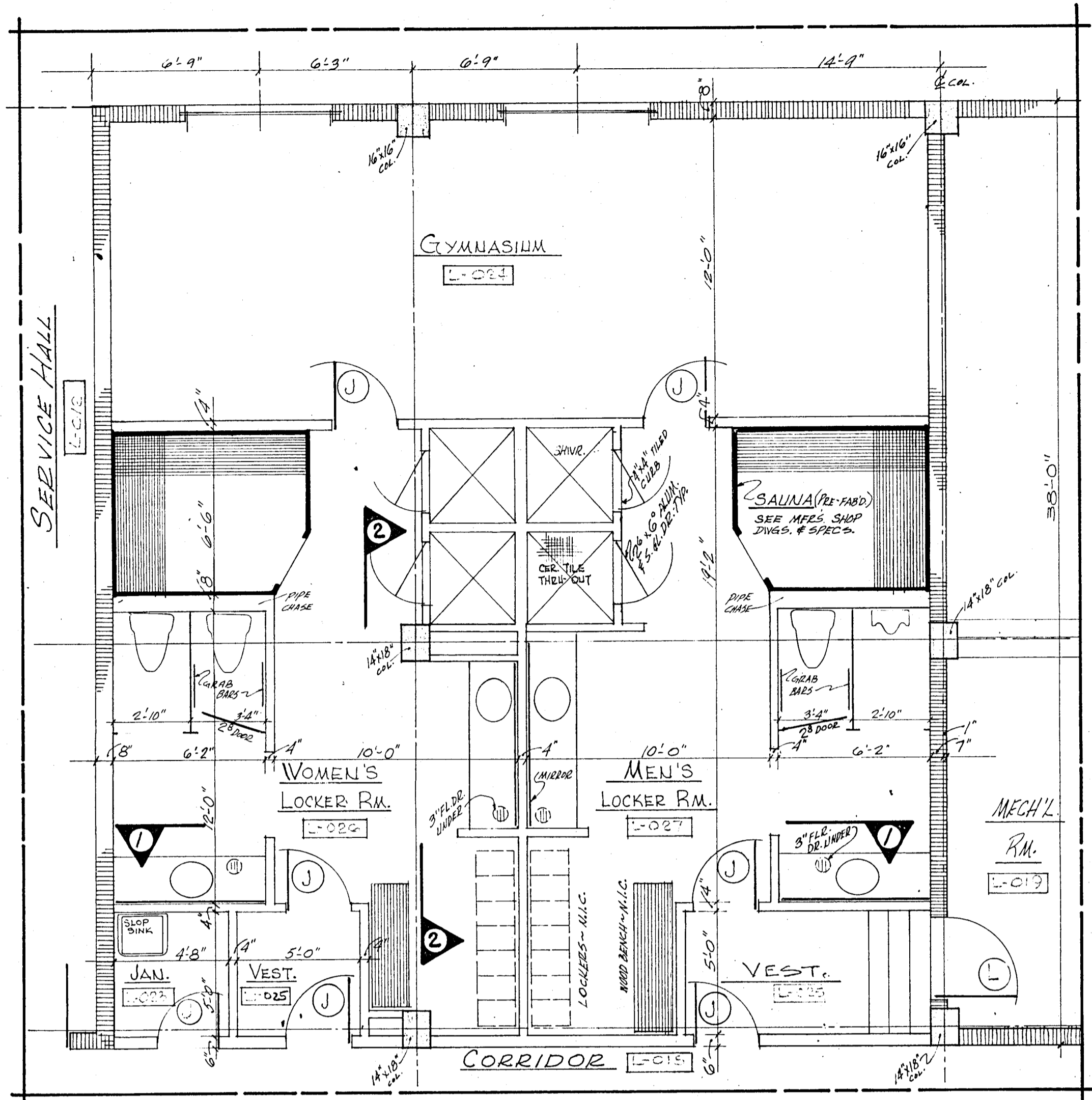
WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

150 E. 21ST ST
3688044

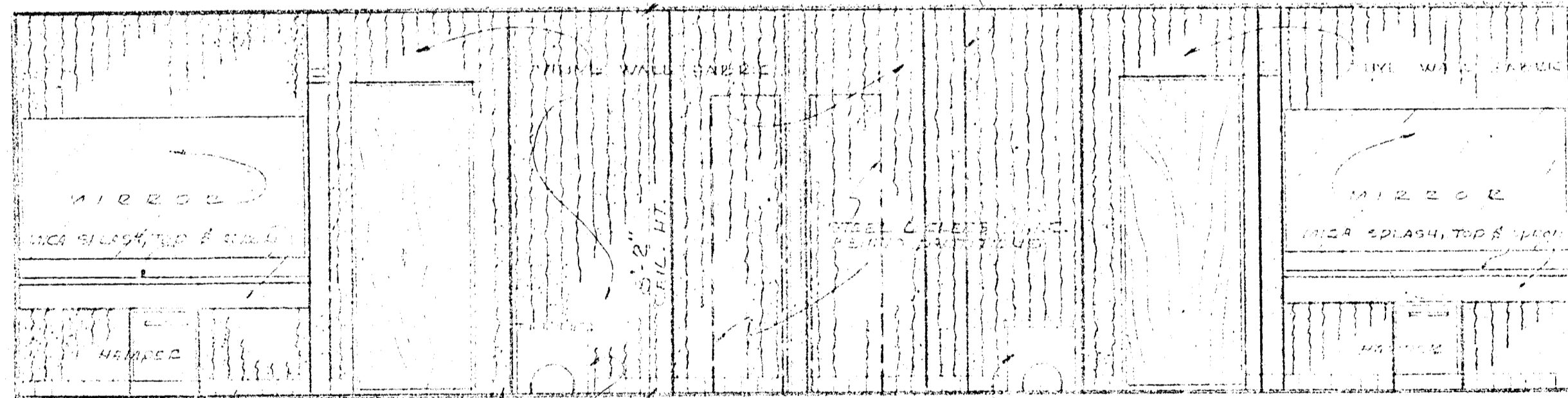
CHAMPLAIN TOWERS UNIT 11
8977 COLLINGS AVE.

A-112 UNIT CO-OWNERSHIP

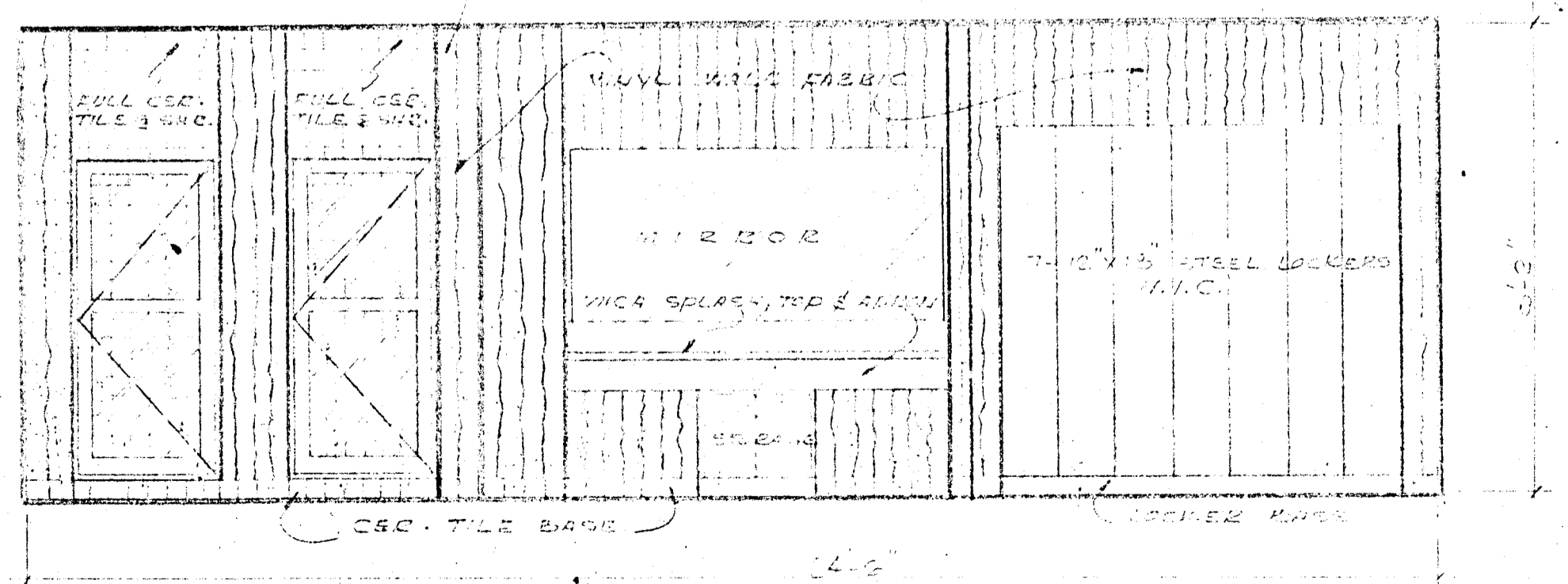
COMM. NO. DATE: C-SHEET
REV. 24 OF 27



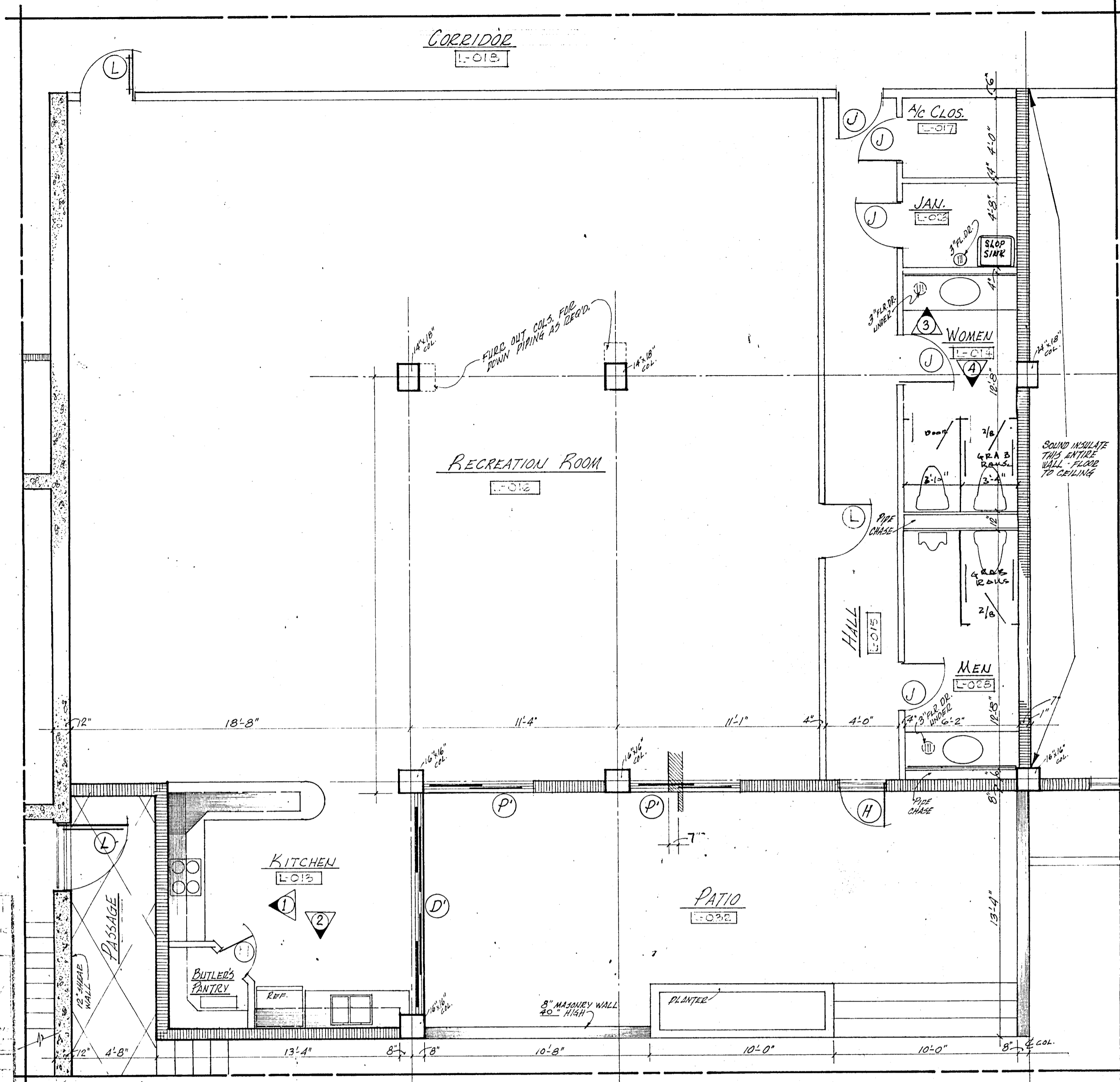
MEN'S & WOMEN'S SAUNA, LOCKERS, & GYMNASIUM @ 1/4" = 1'-0"



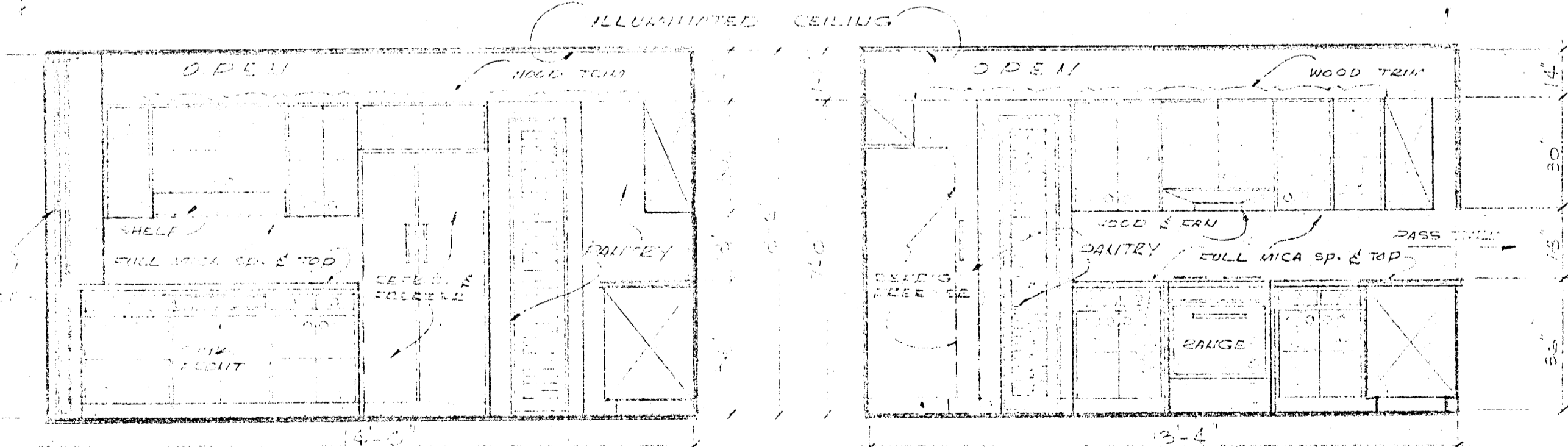
DETAIL ELEVATION 1 - MEN'S & WOMEN'S LOCKER ROOM @ 3/8" = 1'-0"



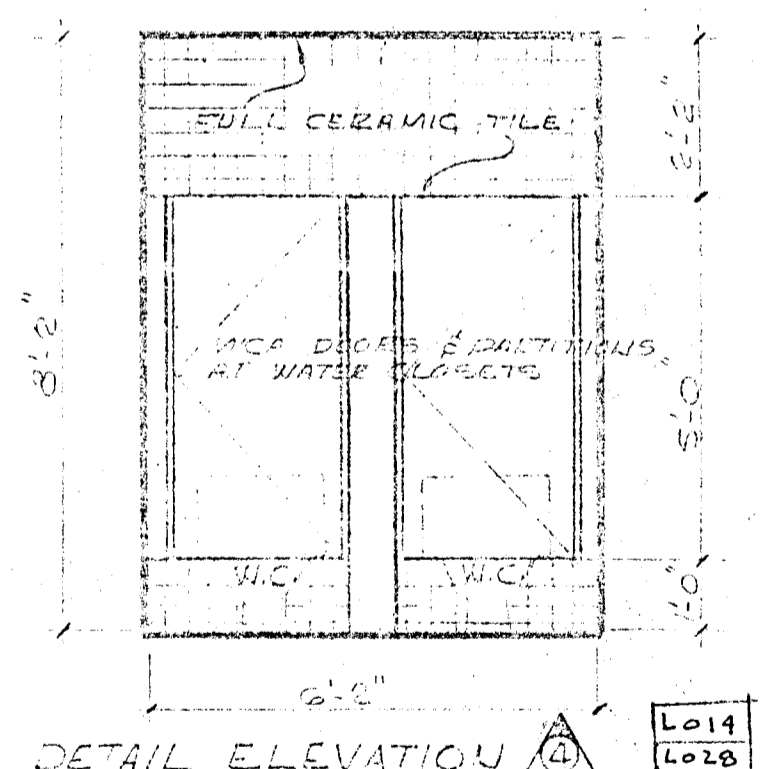
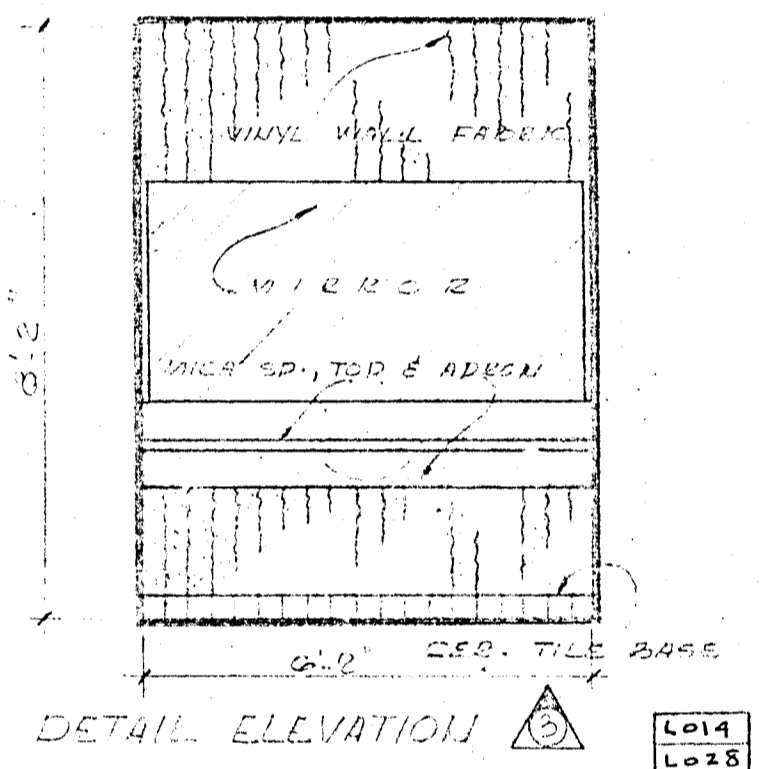
DETAIL ELEVATION 2 - WOMEN'S LOCKER ROOM @ 3/8" = 1'-0"



RECREATION ROOM & REST ROOMS @ 1/4" = 1'-0"



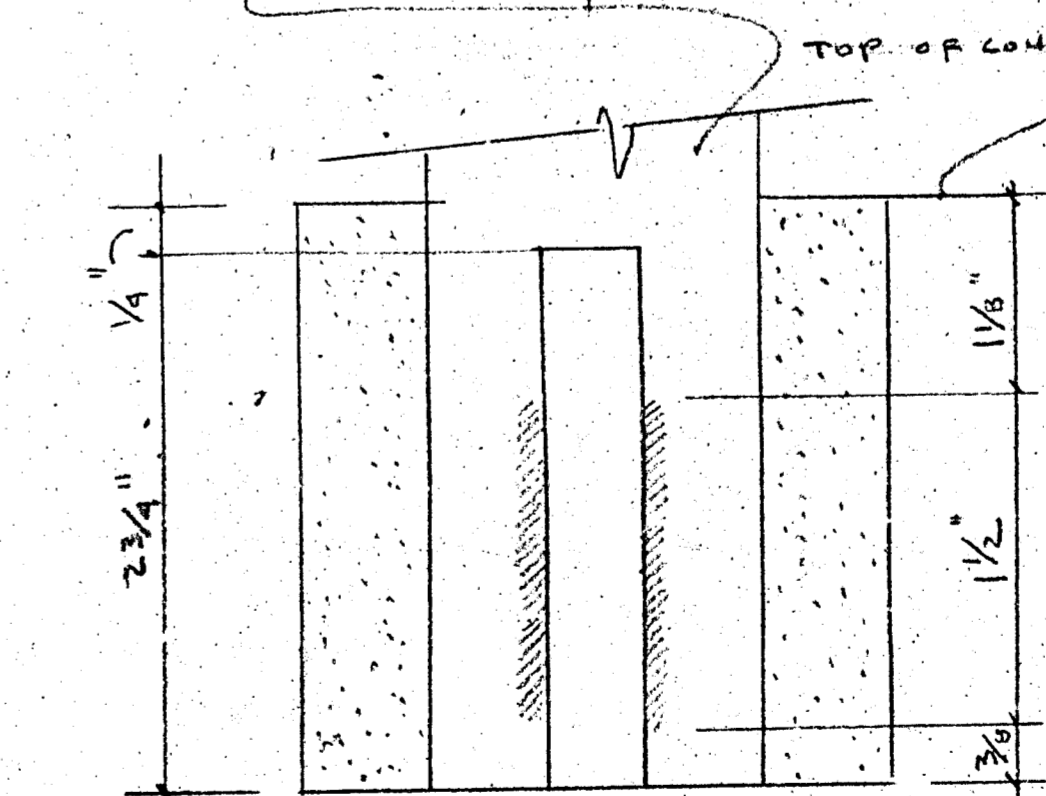
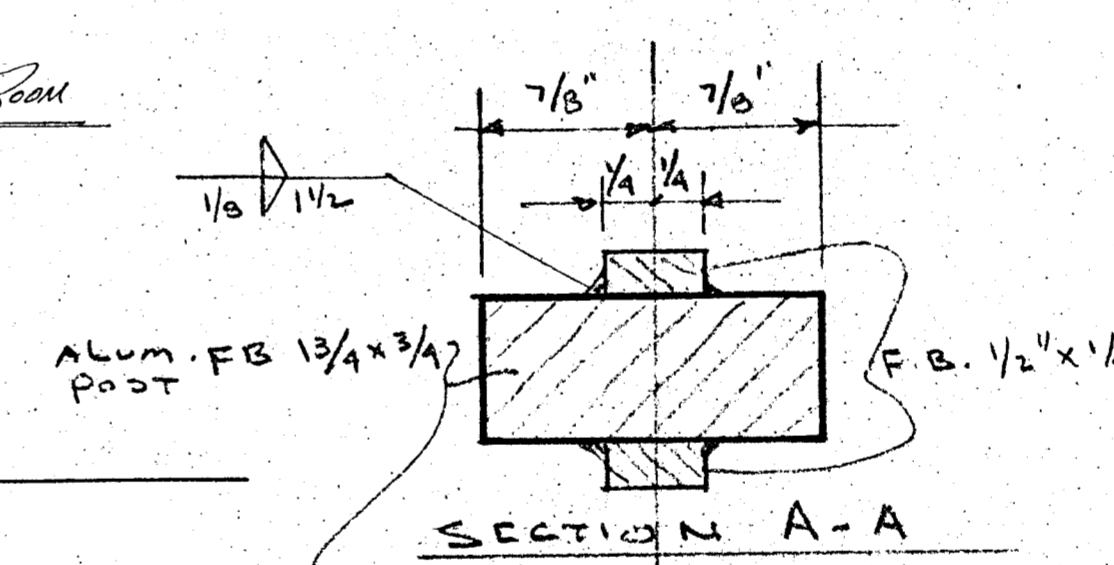
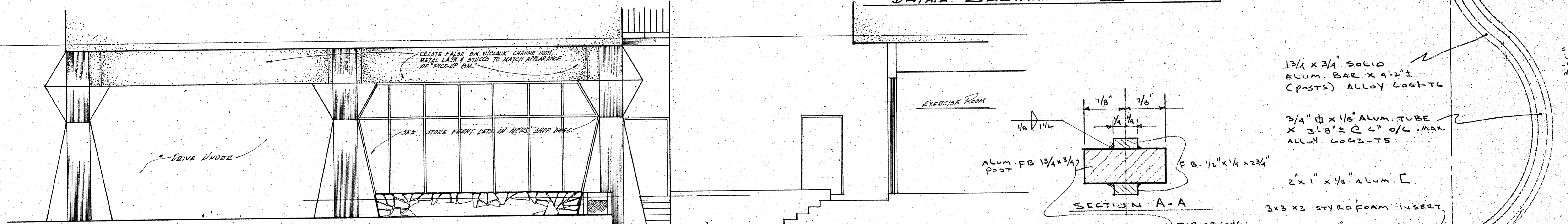
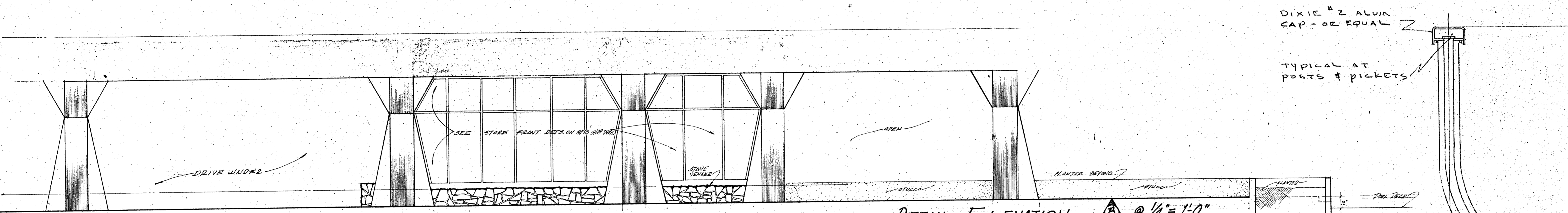
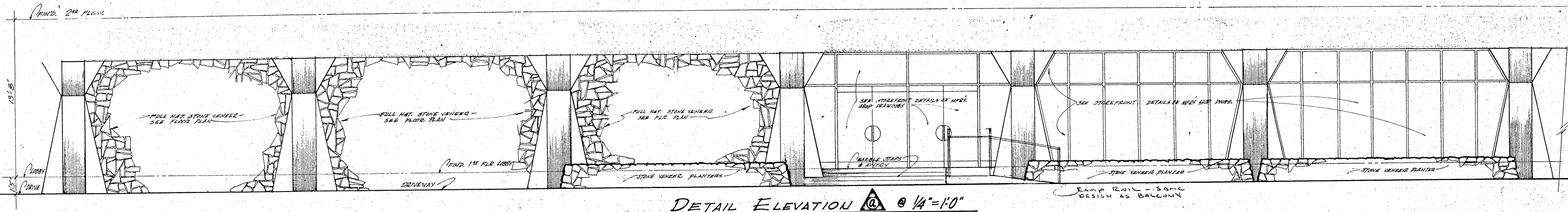
RECREATION KITCHEN ELEVATIONS @ 3/8" = 1'-0"



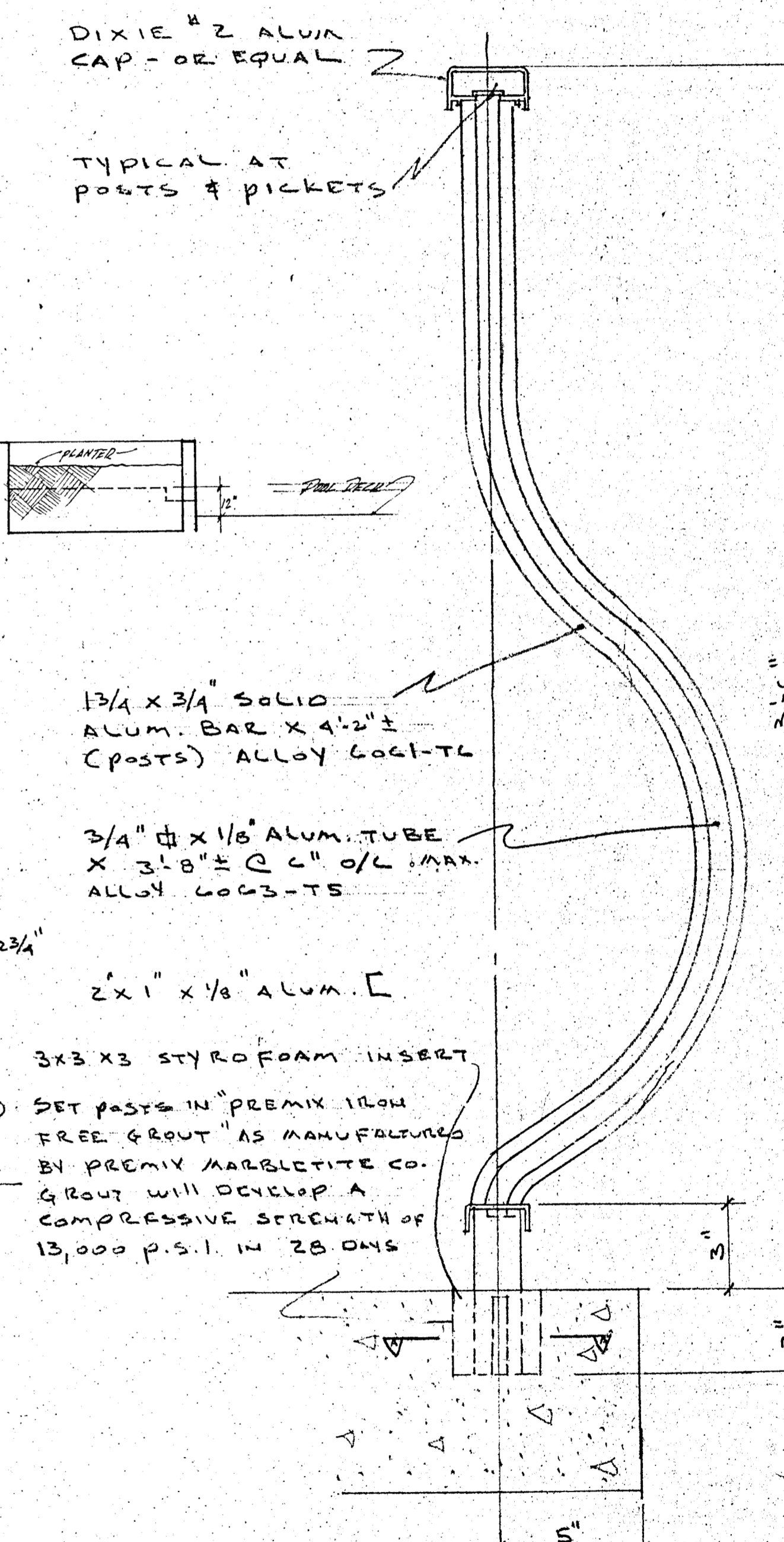
WOMEN'S ROOM @ RECREATION AREA @ 3/8" = 1'-0"

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

150 S.E. 24th AVE. 2588044	CHAMPLAIN TOWERS NORTH 8877 COLLINGS AVE.
CONV. No.	DATE:
REV. DATE:	SHEET
	25 OF 27



RAIL POST FULL SIZE
RAILING DETAILS



TYPICAL SECTION
3"=1'-0"

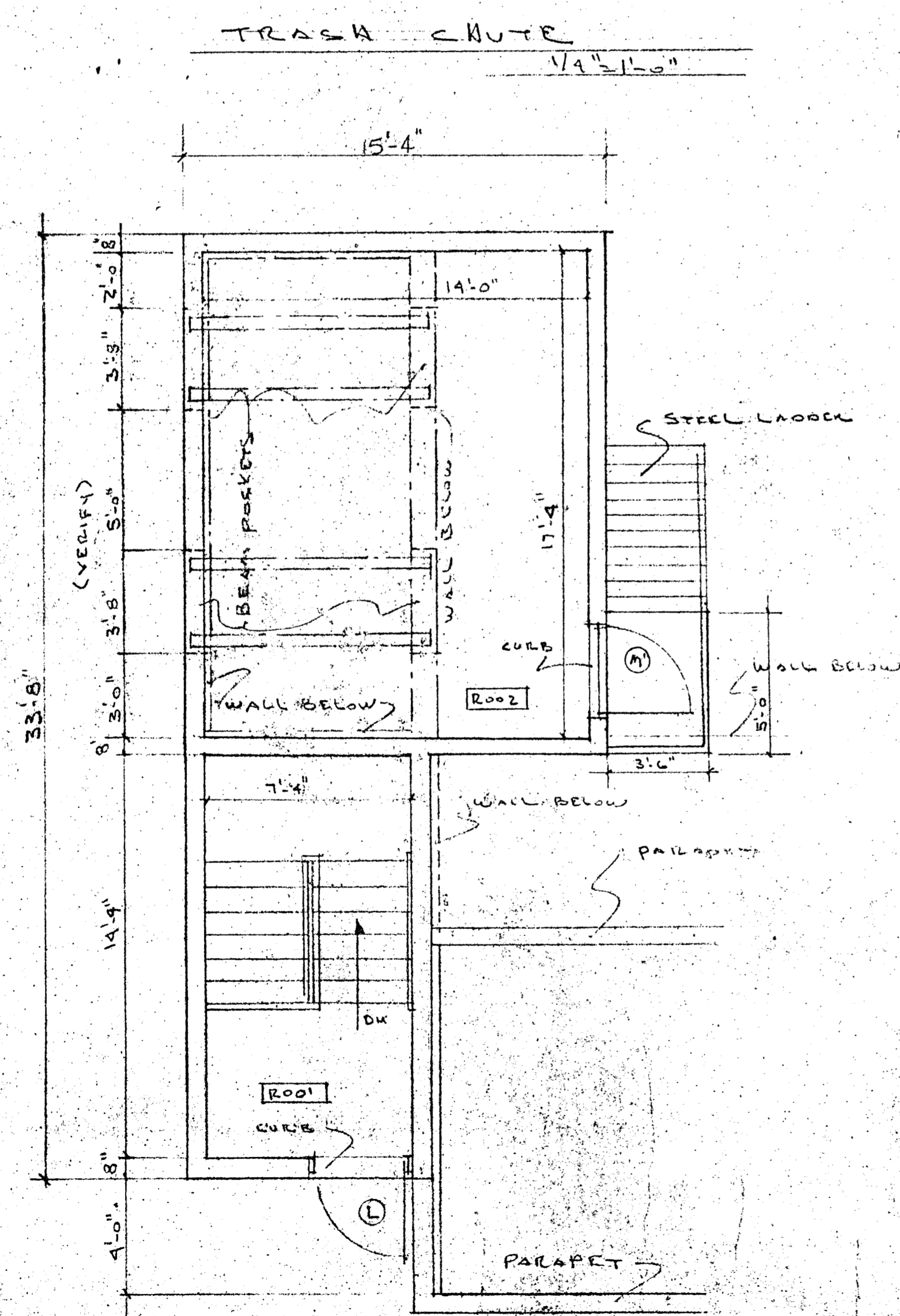
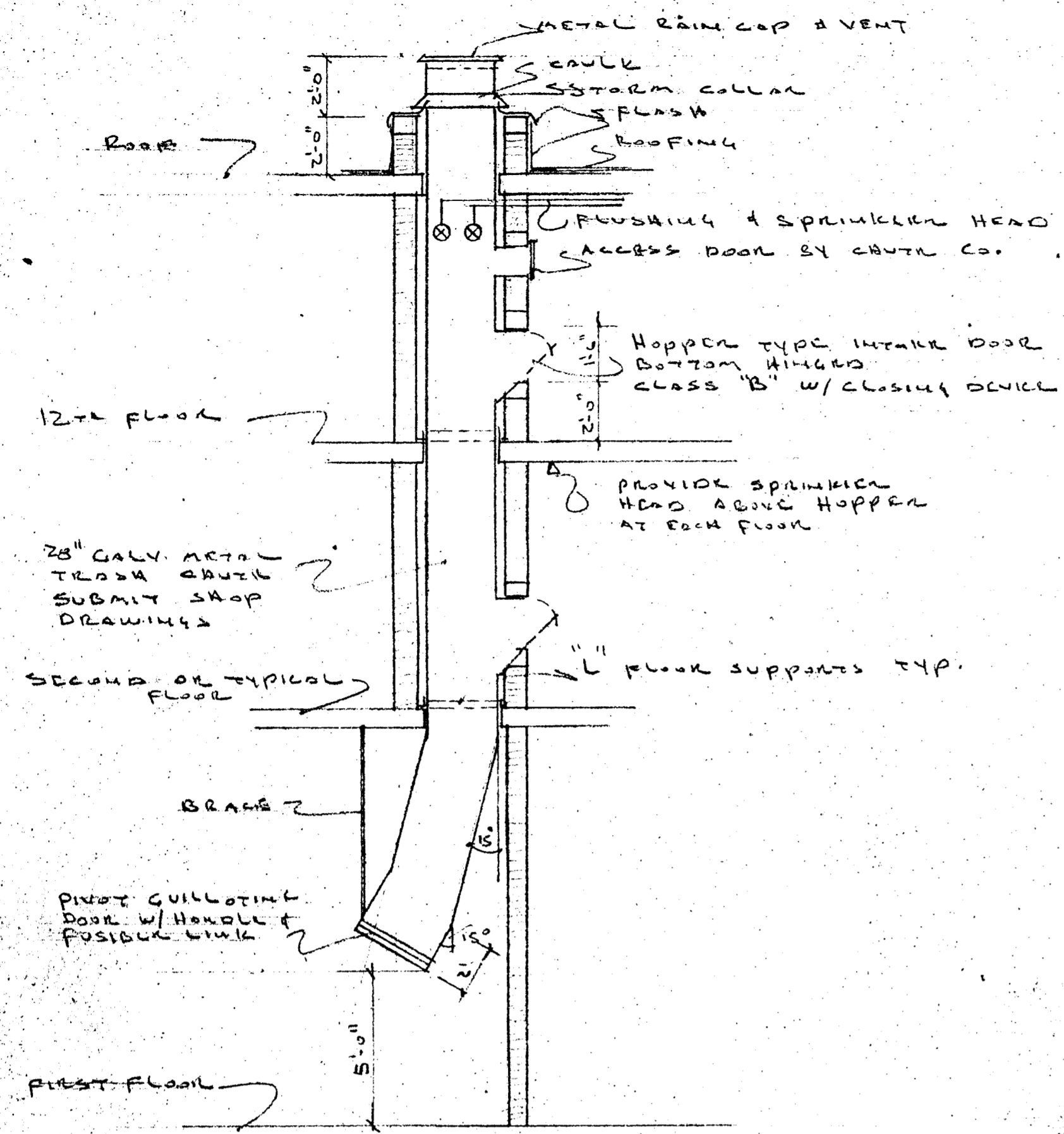
WILLIAM M. FRIEDMAN & ASSOCIATES ARCHITECTS, INC.

240 3588044

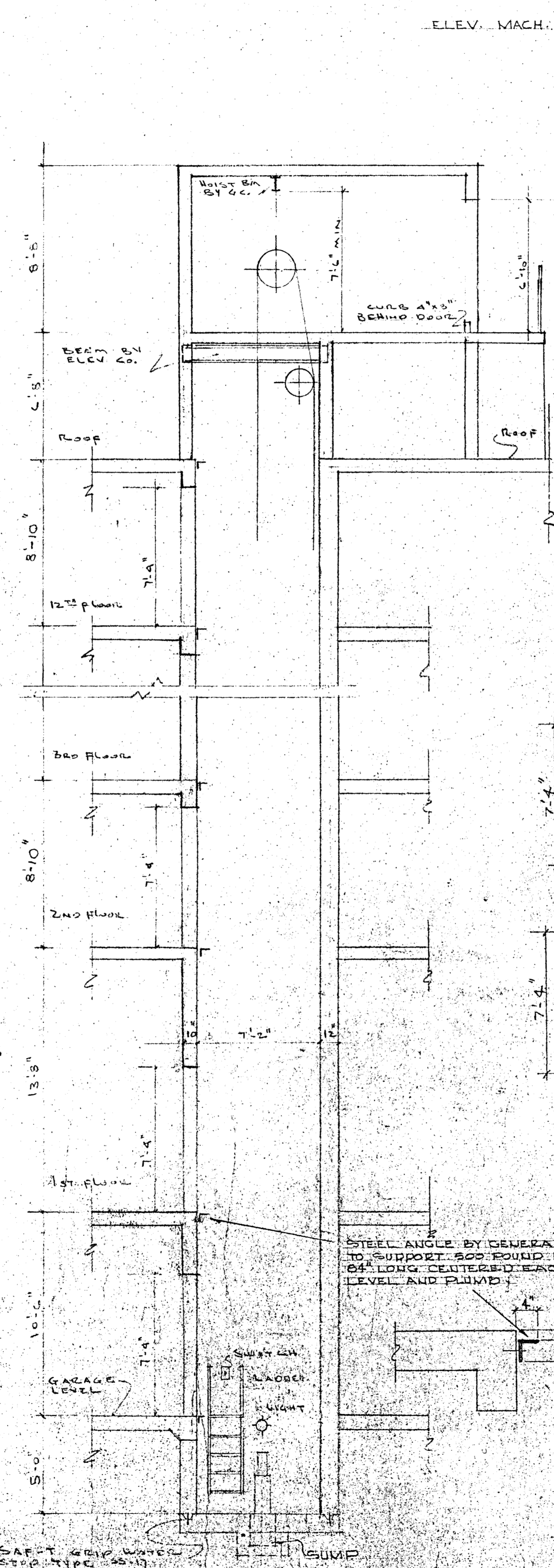
CHAMPLAIN TOWERS UNIT 111
55 COLLINS AVE.

A-112 UNIT CONDOMINIUM

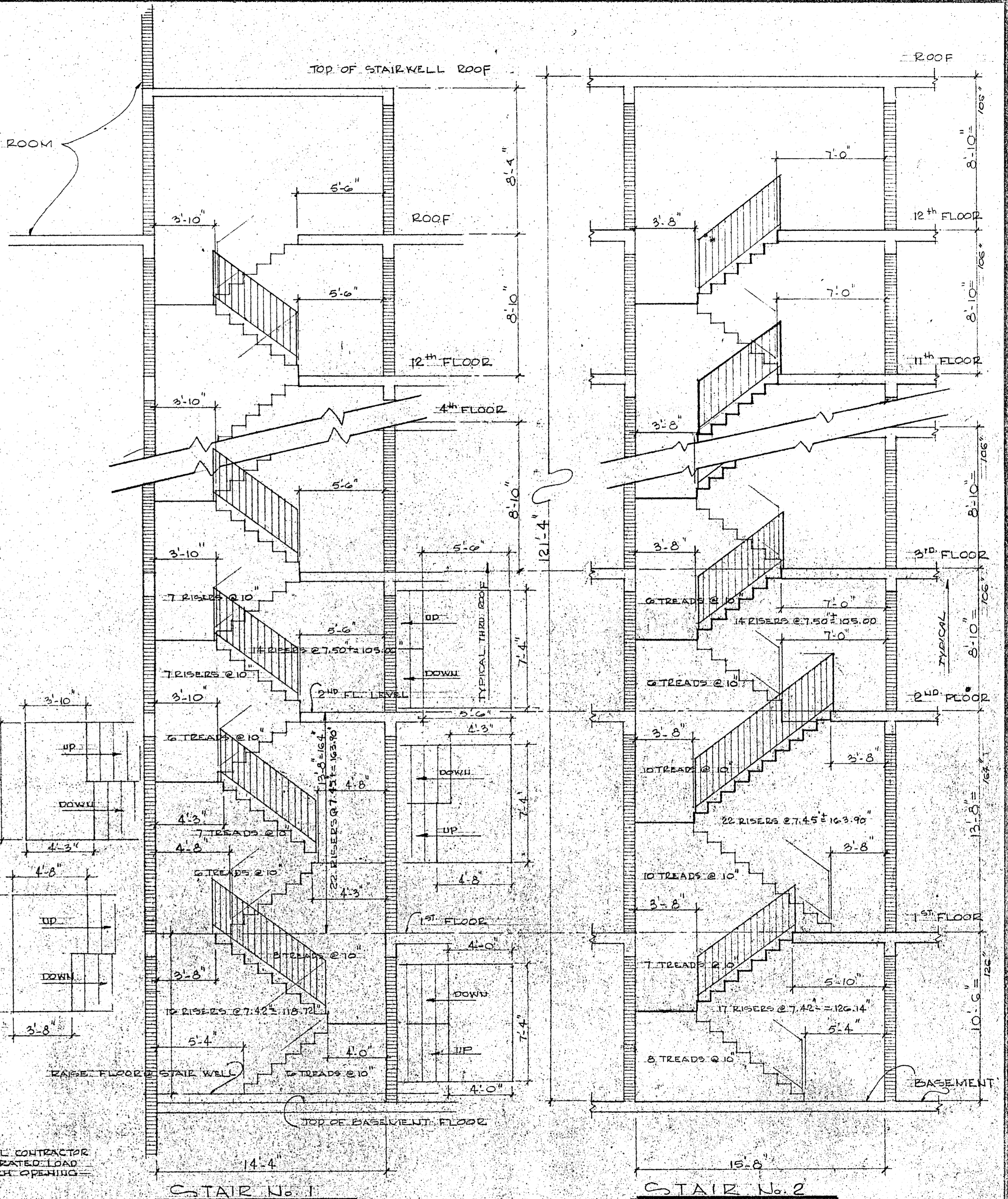
COMM. No. DATE: SHEET
REV. 26 OF 27



FLOOR PLAN OF ELEVATOR MACHINE ROOM & STAIR WELL @ ROOF @ 1/4"=1'-0"



SECTION THRU ELEV. SHAFT @ 1/4"=1'-0"



STAIR SECTIONS @ 1/4"=1'-0"

STAIR NOTE:
 STEEL STAIRS AS MANUFACTURED BY "PICO" WITH 10" JUNIOR CHANNEL 6.5# STRINGERS, 14GA. STAIR PAIRS (CONC. FILLED) WITH SOLID RISERS, AND ONE COAT RED LEAD PRIMER.
 SUBMIT SHOP DRAWINGS FOR APPROVAL.

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 AND ASSOCIATES ARCHITECTS, INC.

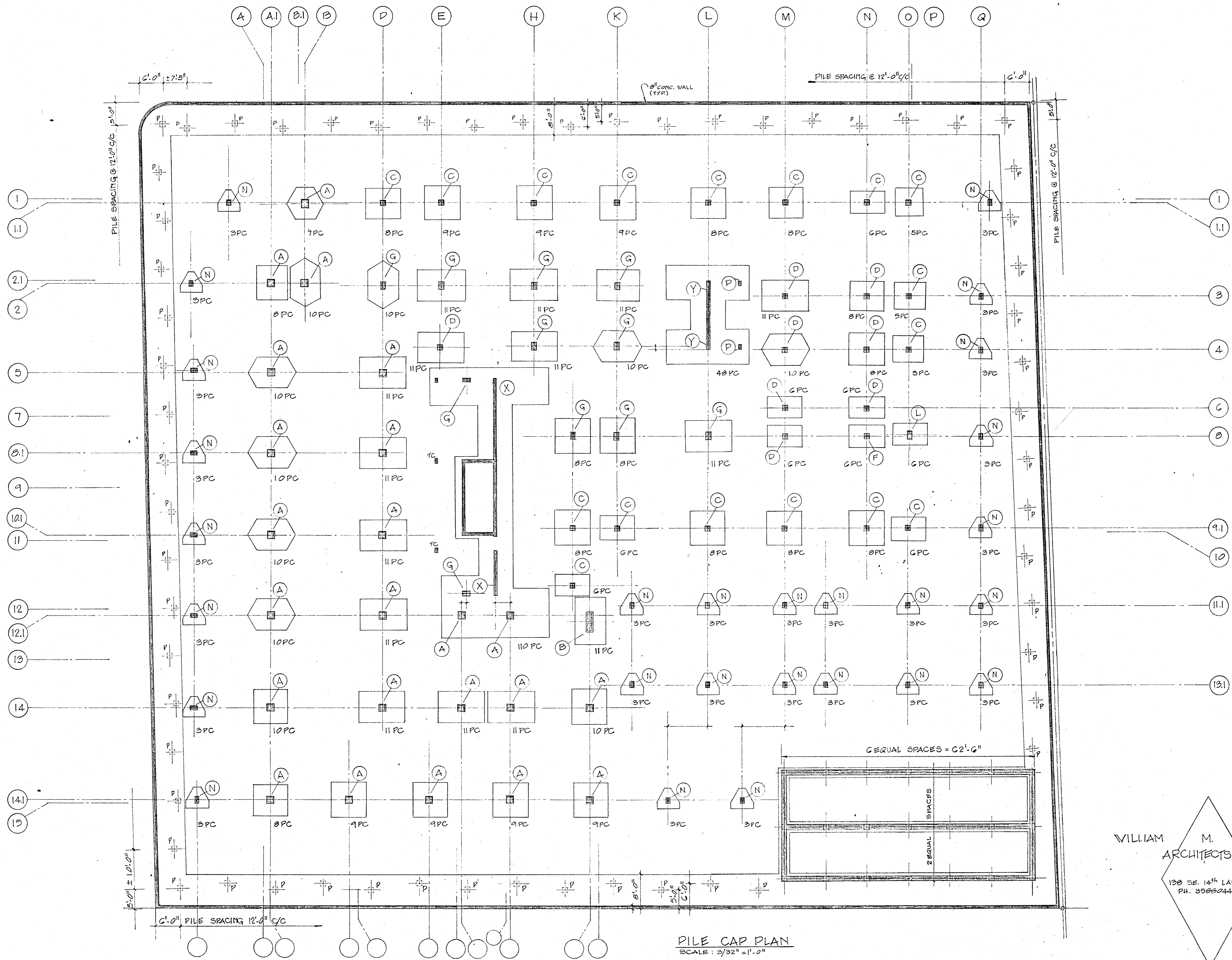
3588044

CHAMPLAIN TOWERS
 COLLINS AVE.

PHASE 2 UNIT CONDOMINIUM

COMM. No. DATE: SHEET

REV. 27 of 27



NOTES
 - ALL UNDERGROUND PIPING SHALL BE COORDINATED W/ STRUCTURAL FOUNDATION.
 - ALL TOP OF CONCRETE CAPS TO BE EL. BUT THE 11PC AT ELEVATOR TO BE EL.
 - FOR DIMENSIONS SEE SHEET S-2

PILE CAP PLAN
 SCALE: 3/32" = 1'-0"

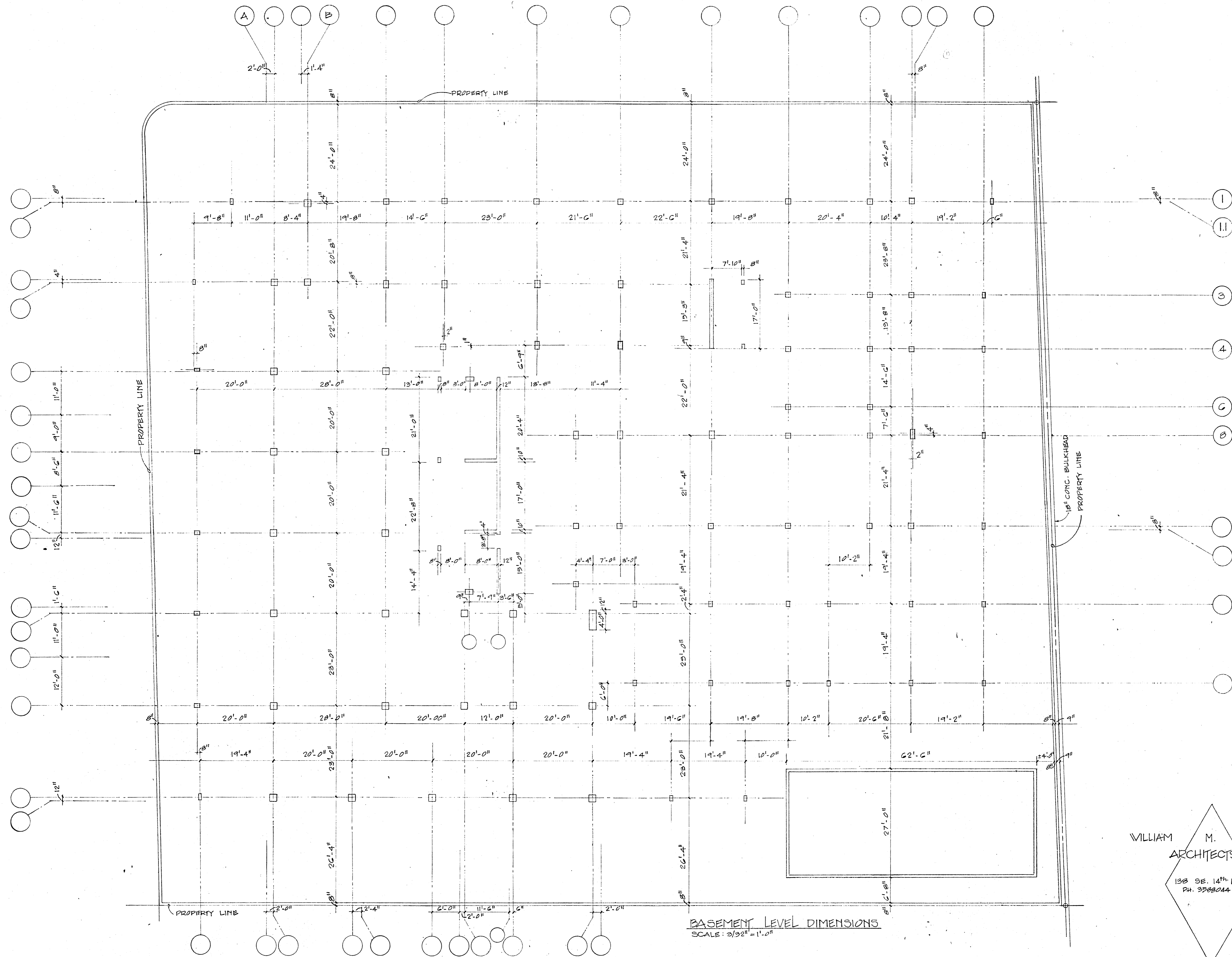
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WILLIAM M. FRIEDMAN & ASSOCIATES ARCHITECTS, INC. *WJF*

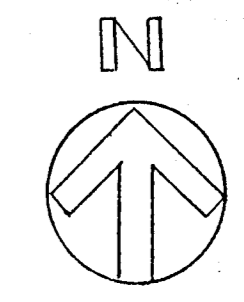
138 SE. 14TH LANE
 PH. 3583044

CHAMPLAIN TOWERS NORTH
 COLLINS AVE.
 A. 112 UNIT CONDOMINIUM

COMM. No.	DATE:	SHEET
REV.		31 of 14



BASEMENT LEVEL DIMENSIONS
SCALE: 3/32" = 1'-0"



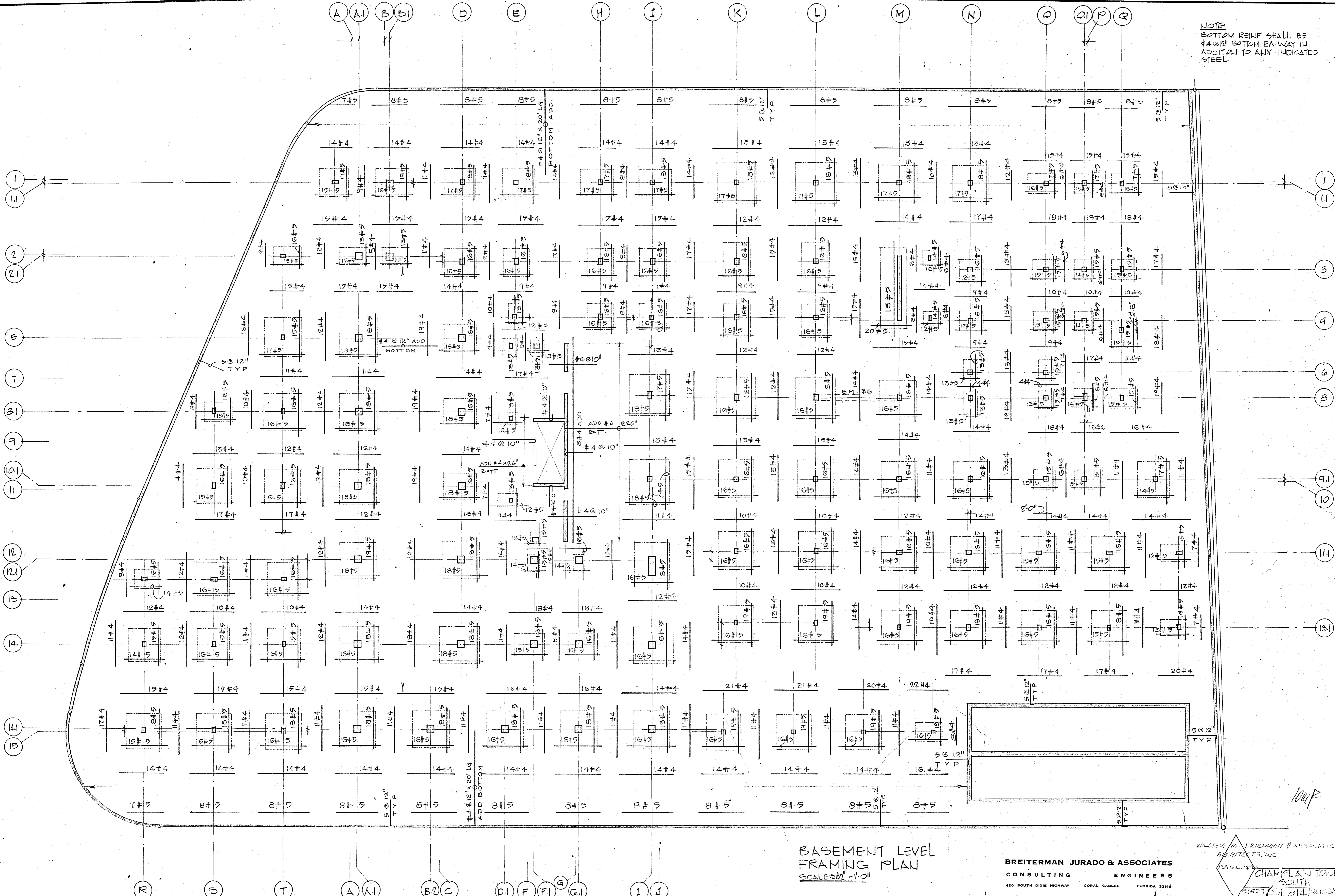
WILLIAM M. FRIEDMAN & ASSOCIATES ARCHITECTS, INC. *WMF*

138 SE. 14TH LANE
PH. 3988044

CHAMPLAIN TOWERS
COLLINS AVE.
A 112 UNIT CONDOMINIUM

COMM. No.	DATE:	SHEET
REV.		52

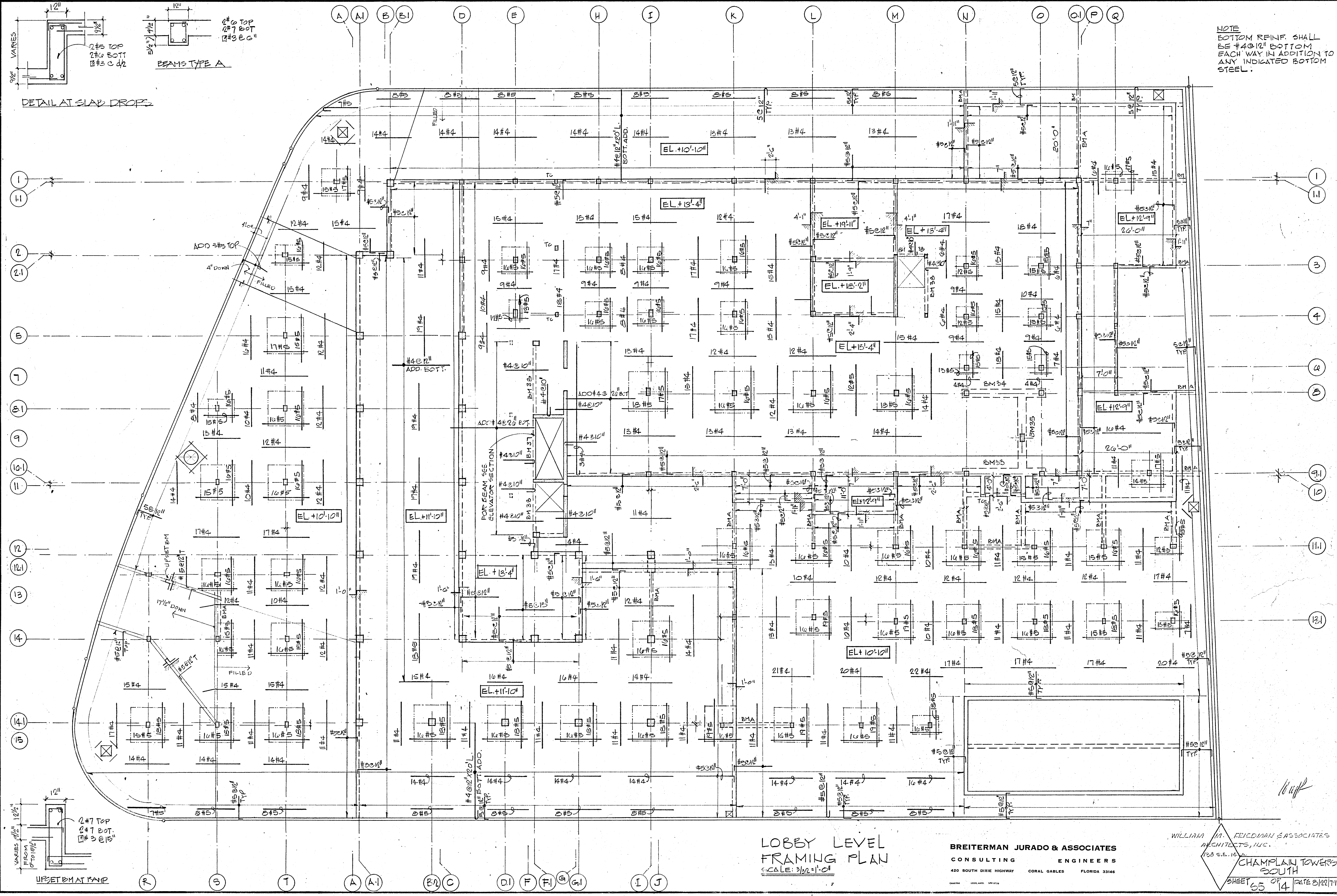
NOTE:
 BOTTOM REINF SHALL BE
 #4 @ 12" BOTTOM EA. WAY IN
 ADDITION TO ANY INDICATED
 STEEL.



**BASEMENT LEVEL
 FRAMING PLAN**
 SCALE: 3/8" = 1'-0"

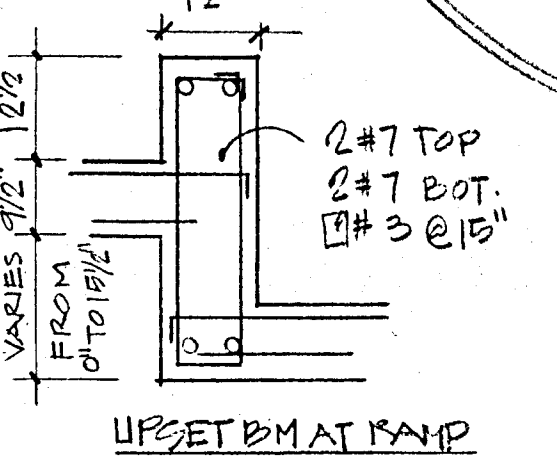
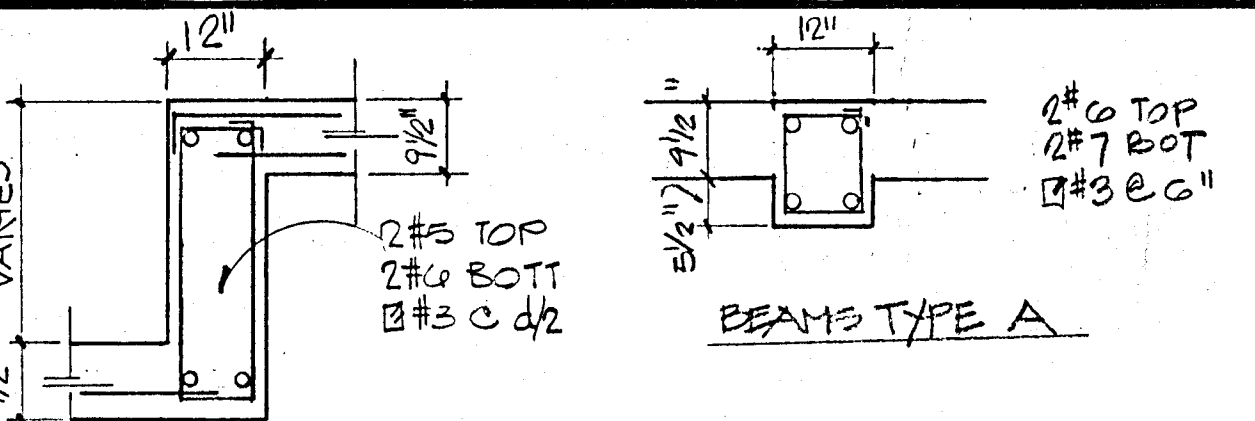
BREITERMAN JURADO & ASSOCIATES
 CONSULTING ENGINEERS
 420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

WILLIAM H. FRIEDMAN & ASSOCIATED
 ARCHITECTS, INC.
 125 S.E. 14TH
 CHARLAIN TOWERS
 SOUTH
 SHEET 14.014



NOTE
 BOTTOM REINF. SHALL
 BE #4@12" BOTTOM
 EACH WAY IN ADDITION TO
 ANY INDICATED BOTTOM
 STEEL.

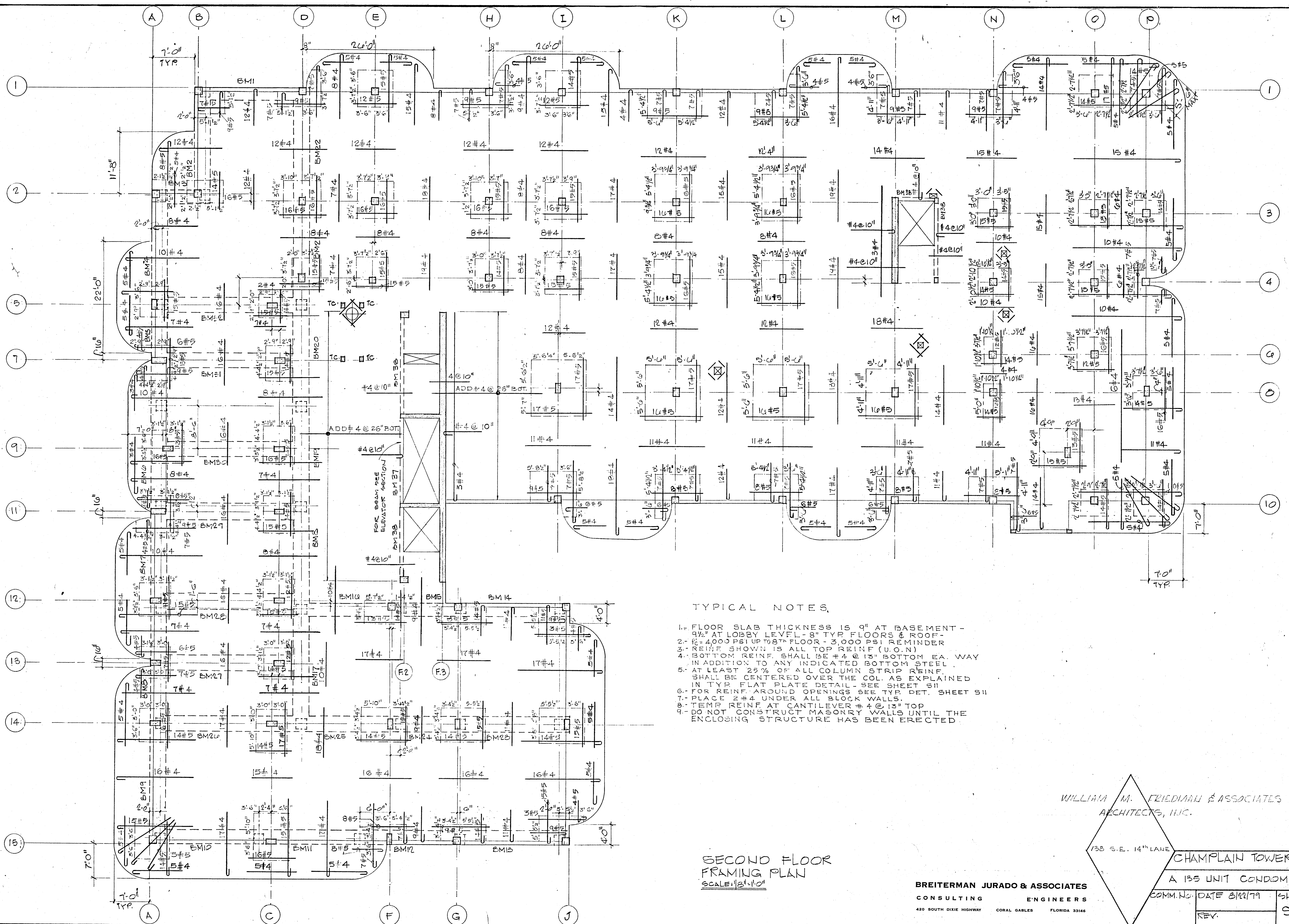
DETAIL AT SLAB DROPS



LOBBY LEVEL
 FRAMING PLAN
 SCALE: 3/32"=1'-0"

BREITERMAN JURADO & ASSOCIATES
 CONSULTING ENGINEERS
 420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

WILLIAM M. FELDMAN & ASSOCIATES
 ARCHITECTS, INC.
 123 S.E. 11th St.
 CHAMPLAIN TOWERS
 SOUTH
 SHEET 55 OF 14 DATE 8/10/74



TYPICAL NOTES

1. FLOOR SLAB THICKNESS IS 9" AT BASEMENT - 9 1/2" AT LOBBY LEVEL - 8" TYP FLOORS & ROOF - 2. F = 4000 PSI UP TO 8TH FLOOR - 3000 PSI REMINDER
3. REIN SHOWN IS ALL TOP REIN (U.O.N)
4. BOTTOM REIN SHALL BE #4 @ 13" BOTTOM EA. WAY IN ADDITION TO ANY INDICATED BOTTOM STEEL
5. AT LEAST 25% OF ALL COLUMN STRIP REIN. SHALL BE CENTERED OVER THE COL AS EXPLAINED IN TYP. PLATE DETAIL SEE SHEET S11
6. FOR REIN. AROUND OPENINGS SEE TYP. DET. SHEET S11
7. PLACE #4 UNDER ALL BLOCK WALLS.
8. TEMP. REIN. AT CANTILEVER #4 @ 13" TOP
9. DO NOT CONSTRUCT MASONRY #4 @ 13" TOP UNTIL THE ENCLOSING STRUCTURE HAS BEEN ERRECTED.

SECOND FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"

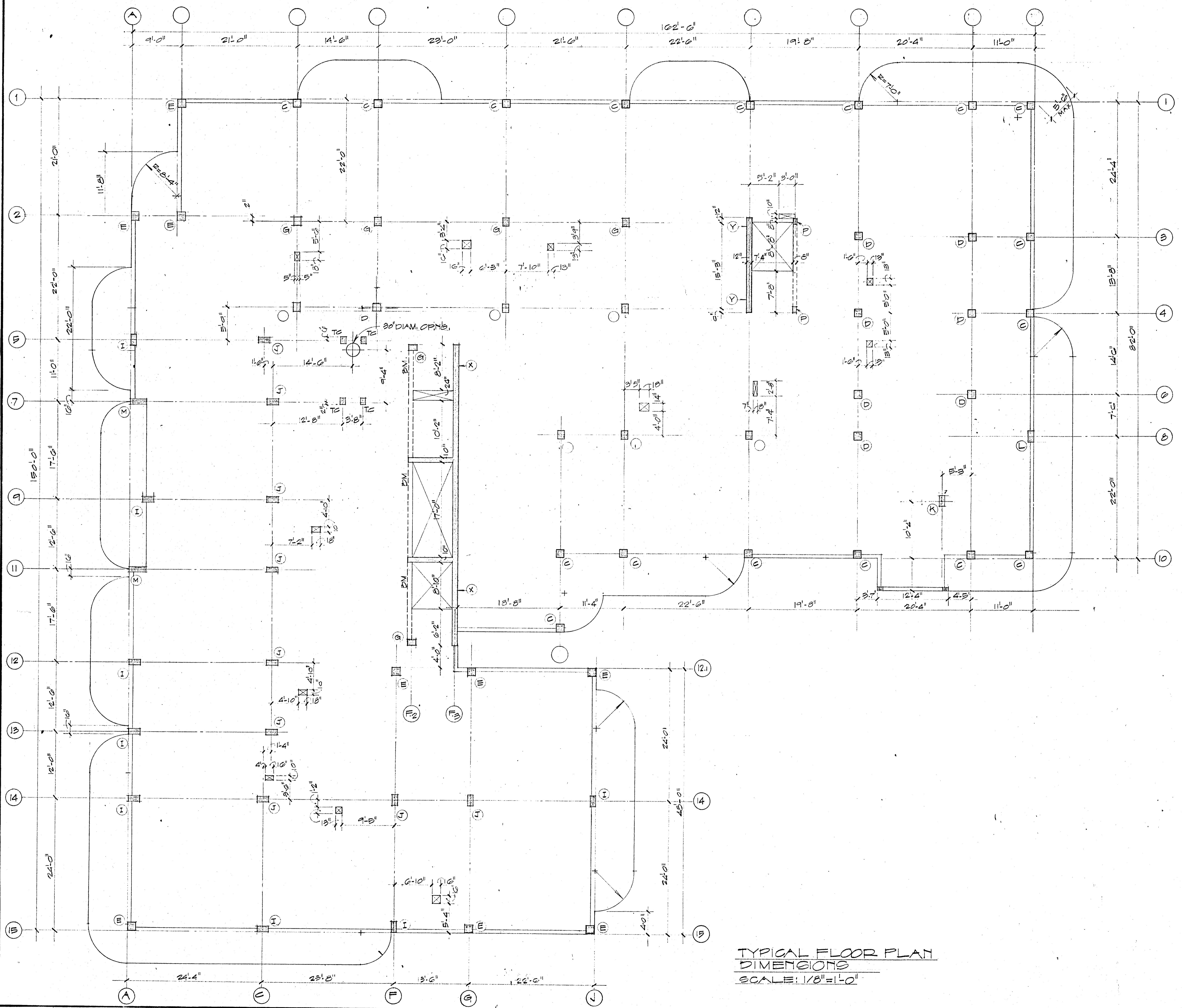
WILLIAM M. FRIEDMAN & ASSOCIATES ARCHITECTS, INC.

138 S.E. 14th LANE

CHAMPLAIN TOWERS SOUTH
A 135 UNIT CONDOMINIUM

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

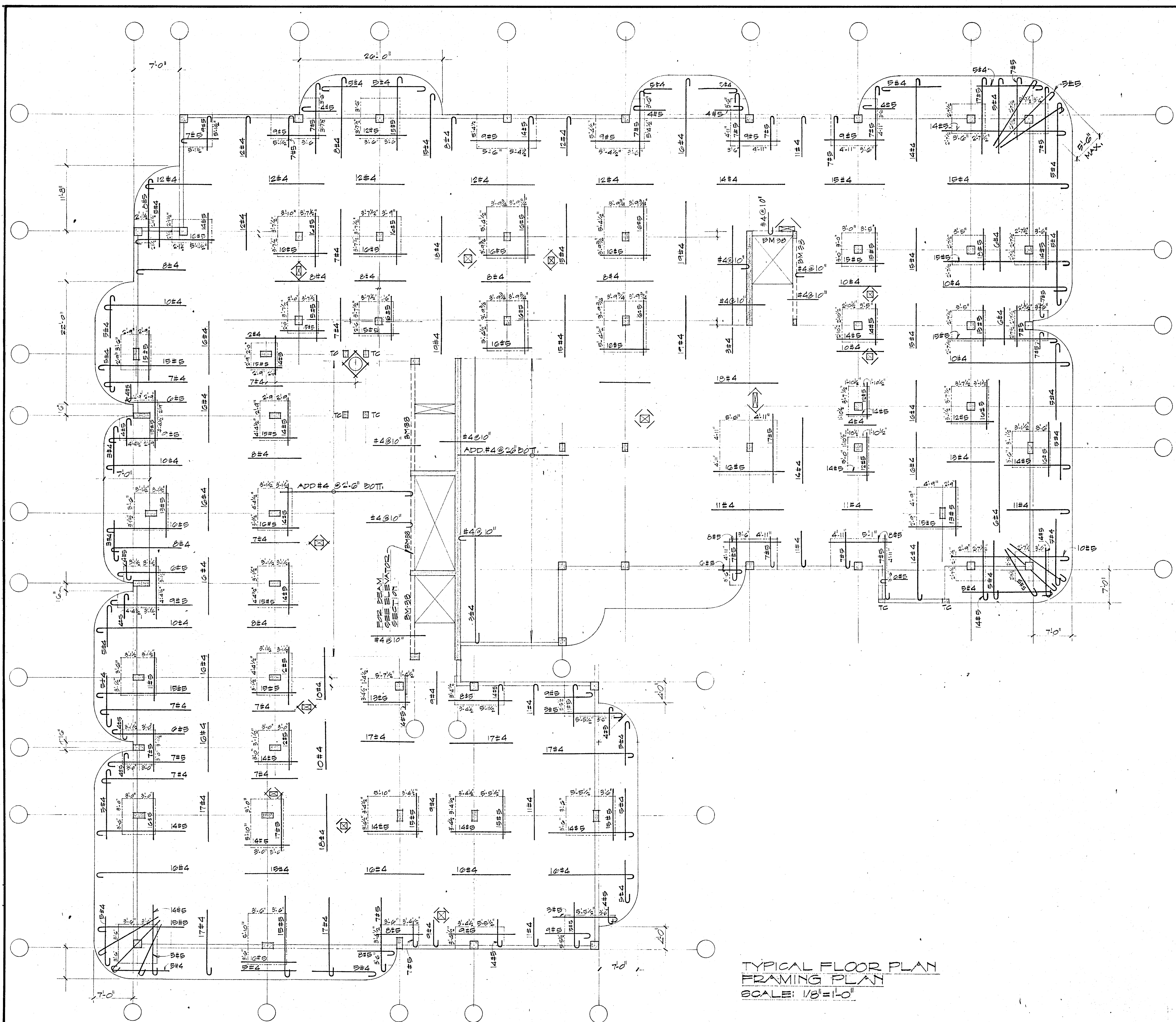
COMM. NO.	DATE 8/22/79	SHEET NO.
REV.		56 of 14



TYPICAL FLOOR PLAN DIMENSIONS
SCALE: 1/8"=1'-0"

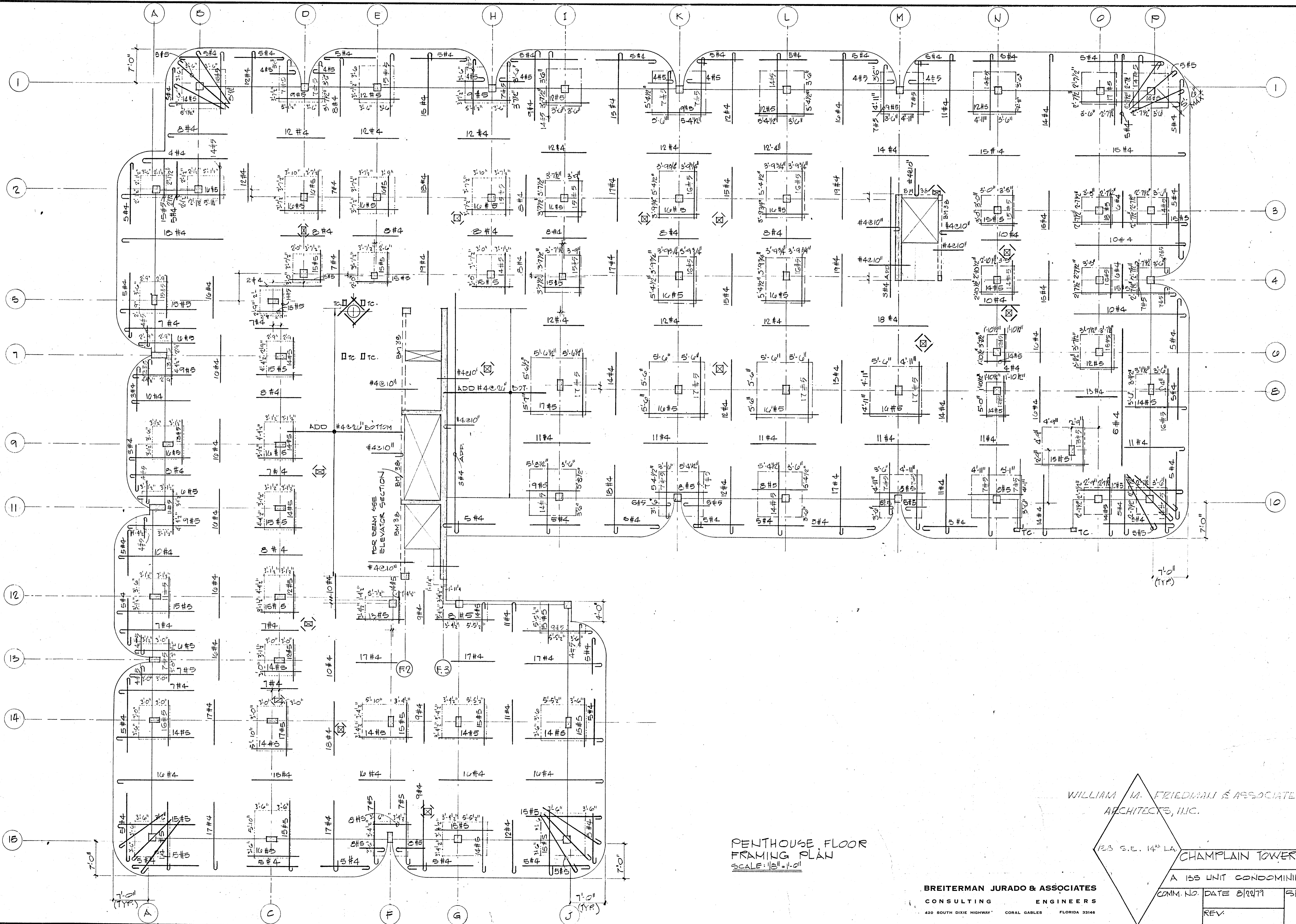
CHAMPLAIN TOWERS NORTH
8777 COLLINS AVE.
A. 112 UNIT CONDOMINIUM

COMM. No. 79020 DATE: SHEET 57 of 14
REV.



TYPICAL FLOOR PLAN
FRAMING PLAN
SCALE: 1/8" = 1'-0"

CHAMPLAIN TOWERS NORTH 8777 COLLINS AVE. A 112 UNIT CONDOMINIUM		
COMM. No. 79020	DATE: REV.	SHEET. No. 38 of 14



PENTHOUSE FLOOR
FRAMING PLAN
SCALE: 1/8" = 1'-0"

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, LLC.

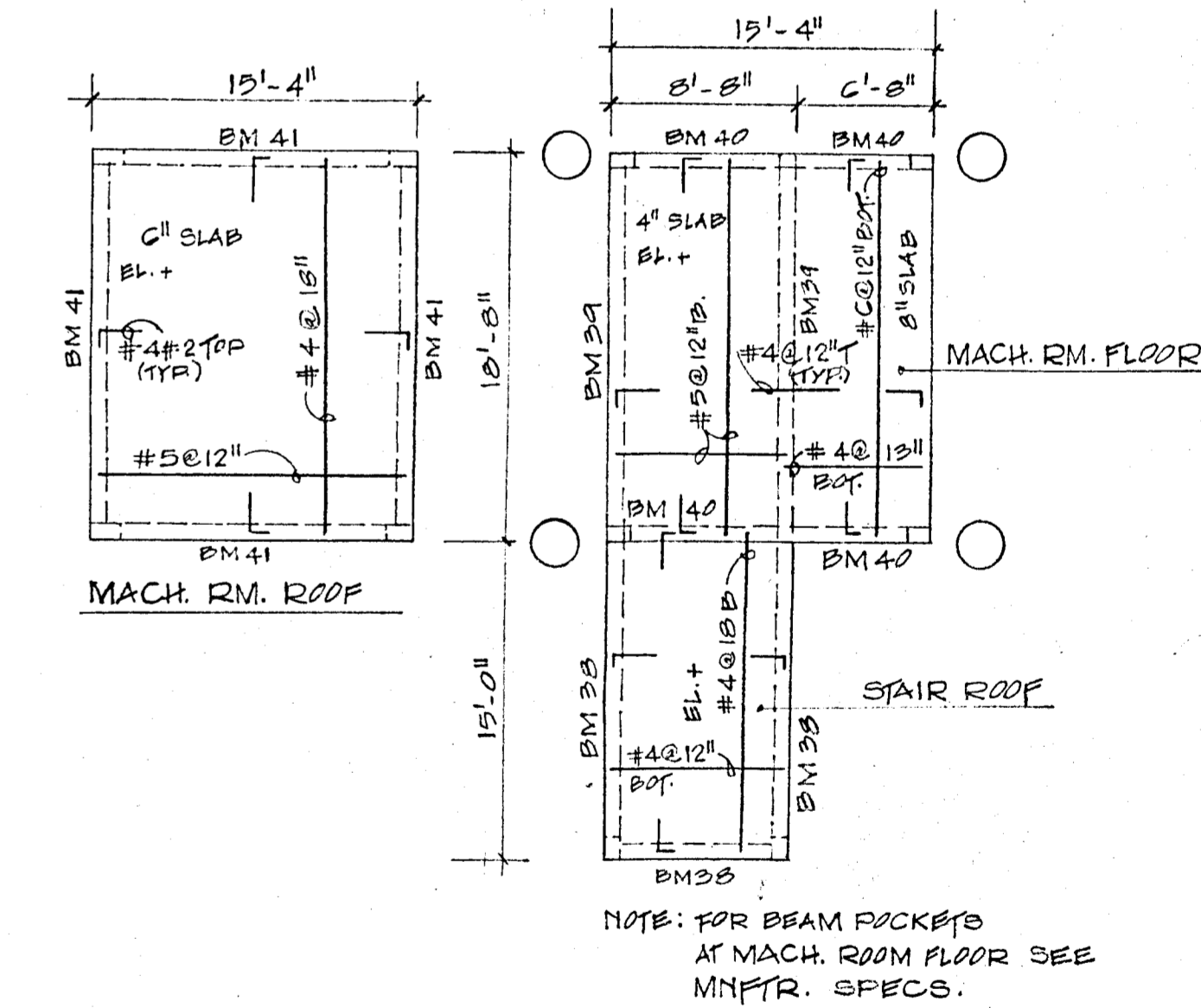
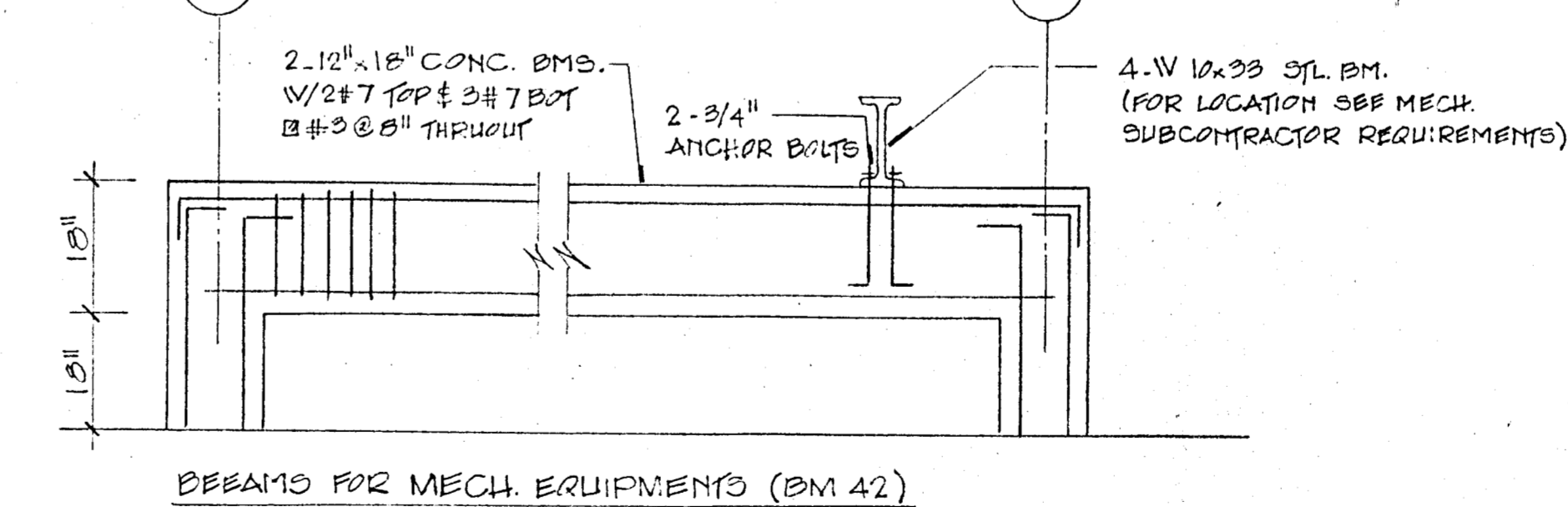
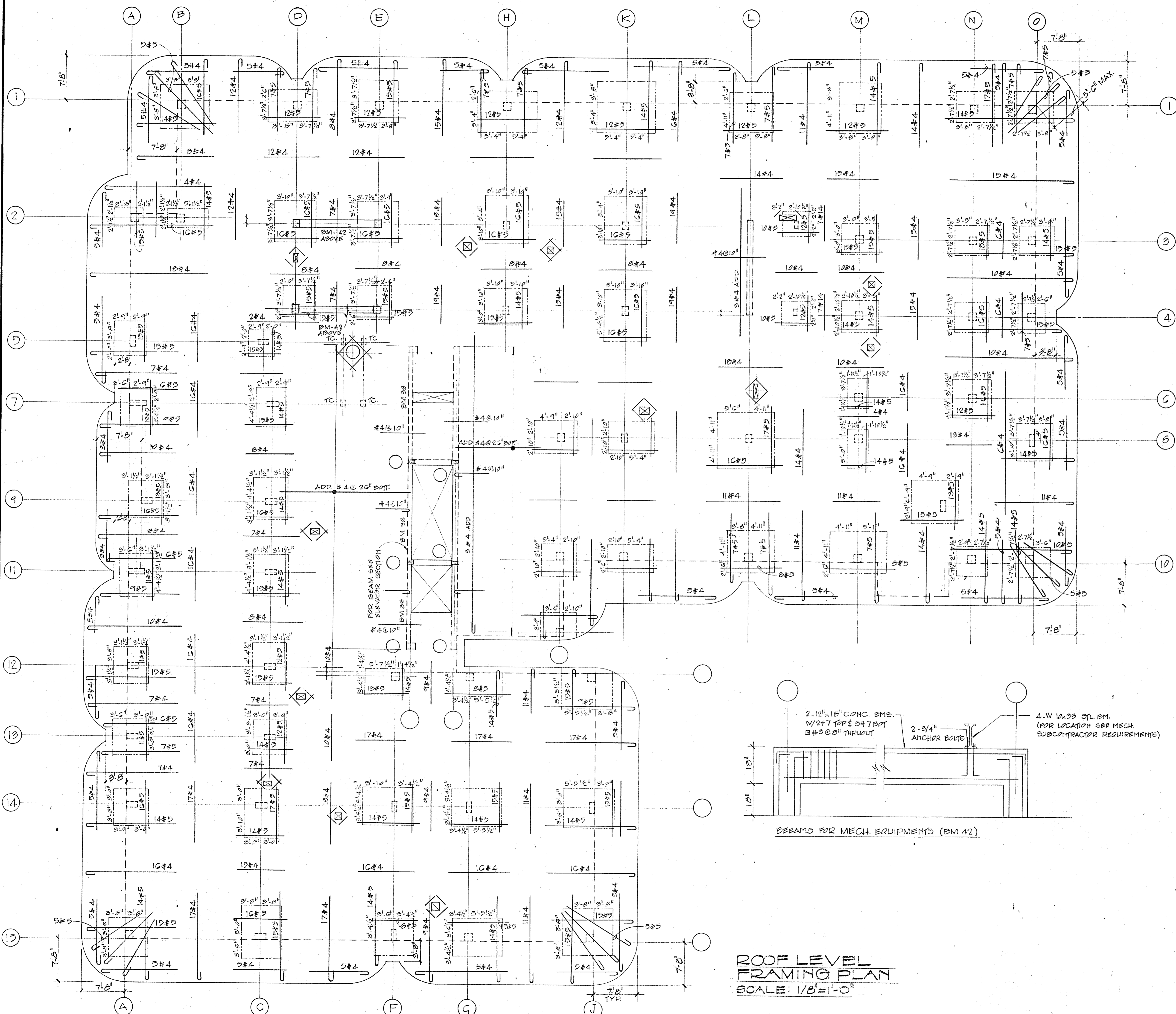
WMP

CHAMPLAIN TOWERS SOUTH

A 133 UNIT CONDOMINIUM

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

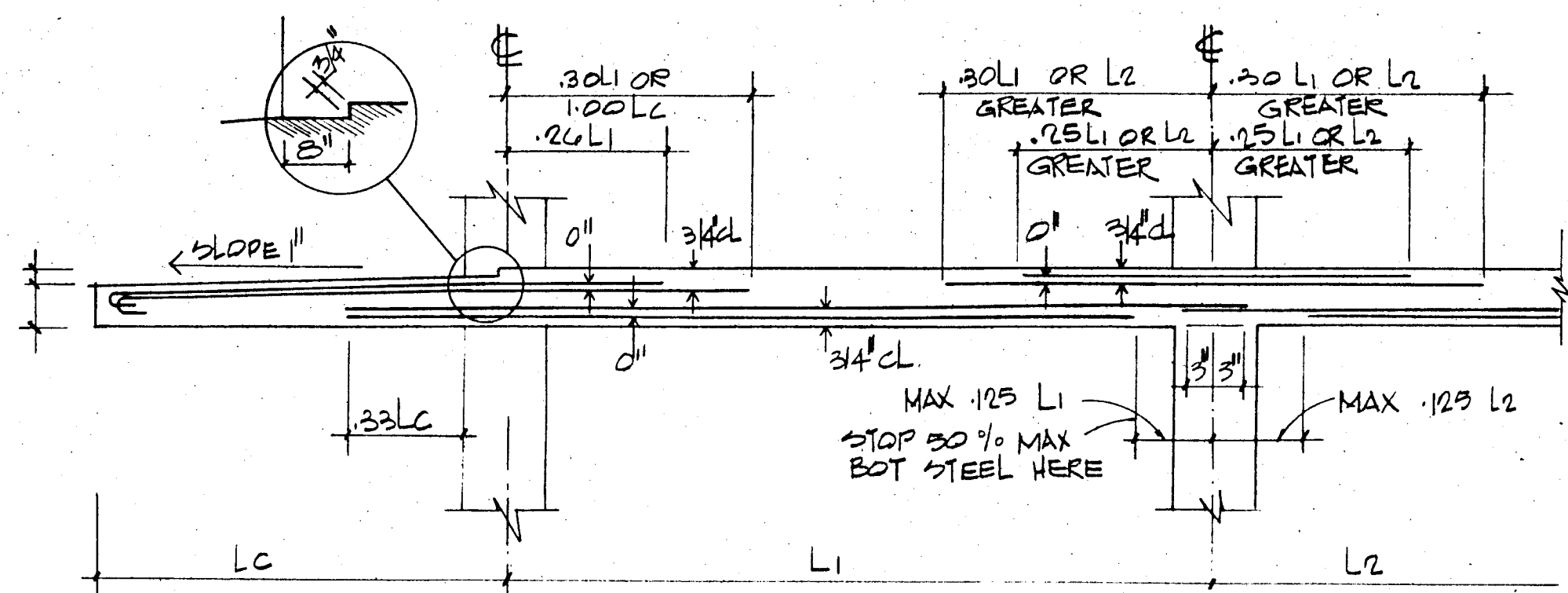
COMM. NO.	DATE 8/20/79	SHEET NO.
REV.		59 OF 14



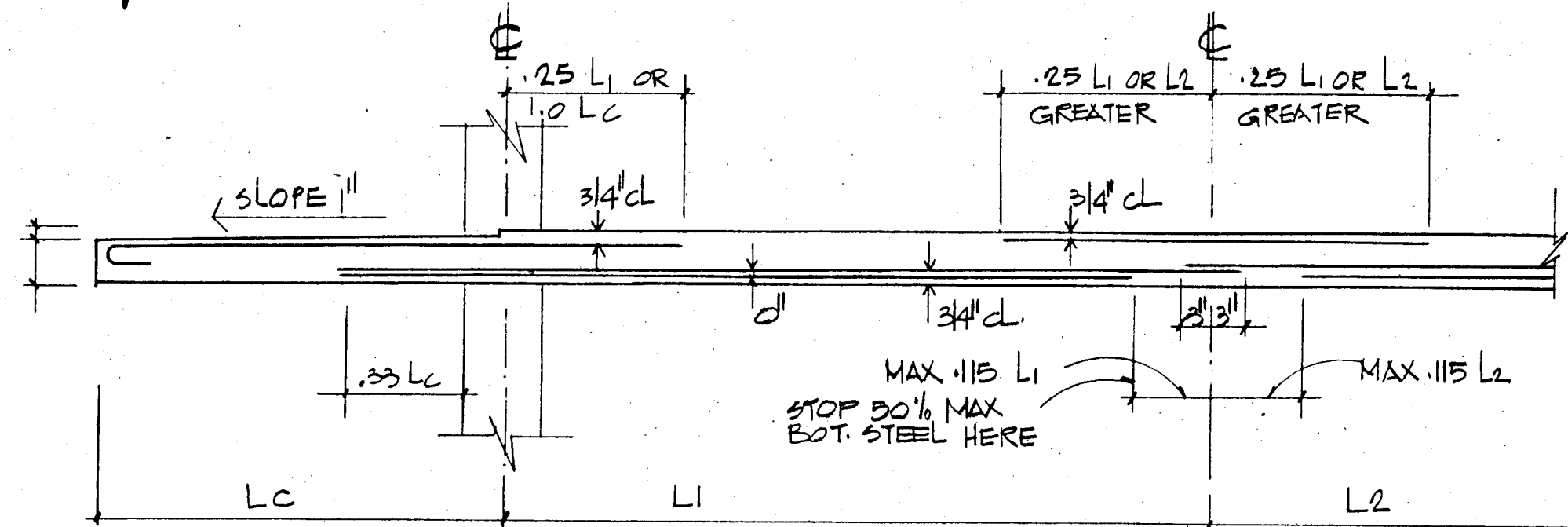
ROOF LEVEL FRAMING PLAN
SCALE: 1/8" = 1'-0"

CHAMPLAIN TOWERS NORTH
8777 COLLINS AVE.
A-112 UNIT CONDOMINIUM

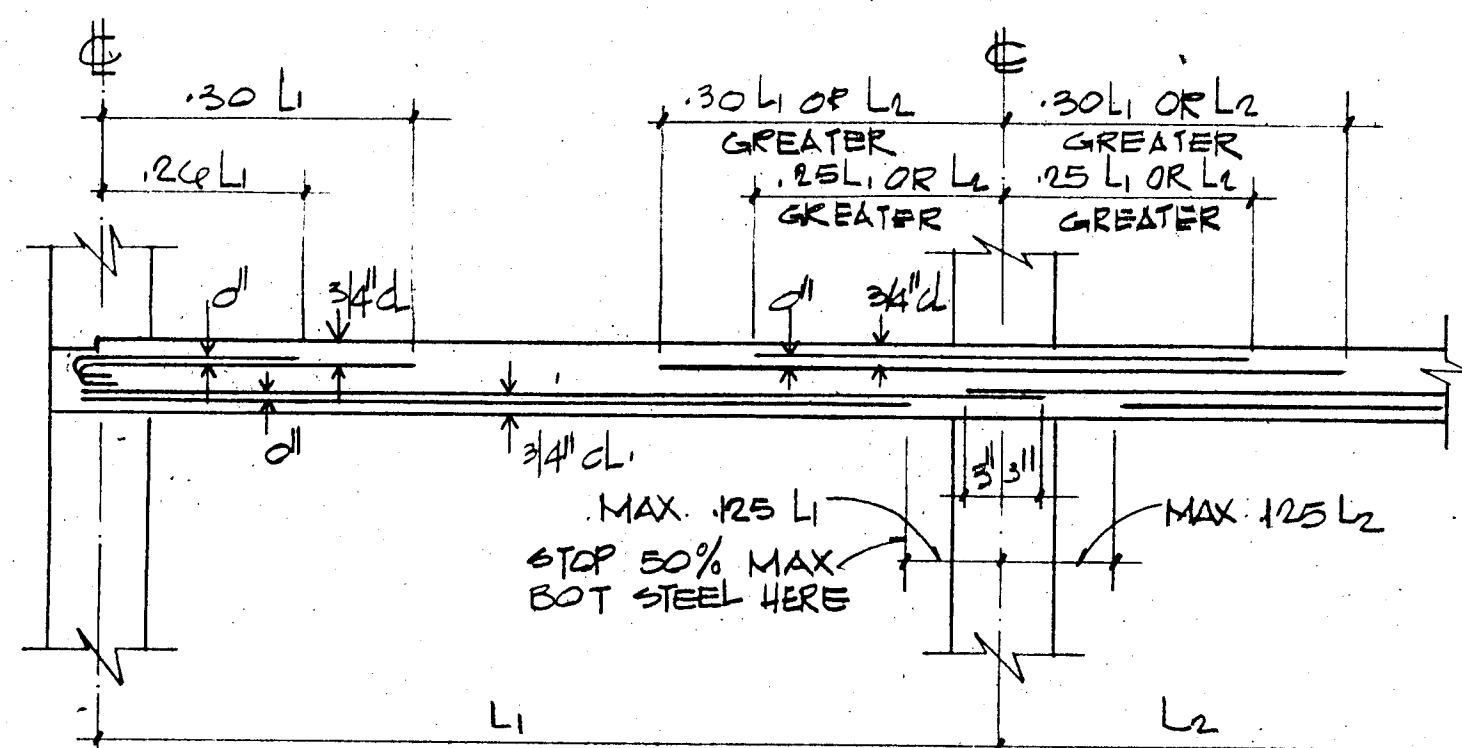
COMM. NO. 74020	DATE:	SHEET No. 510-14
REV:		



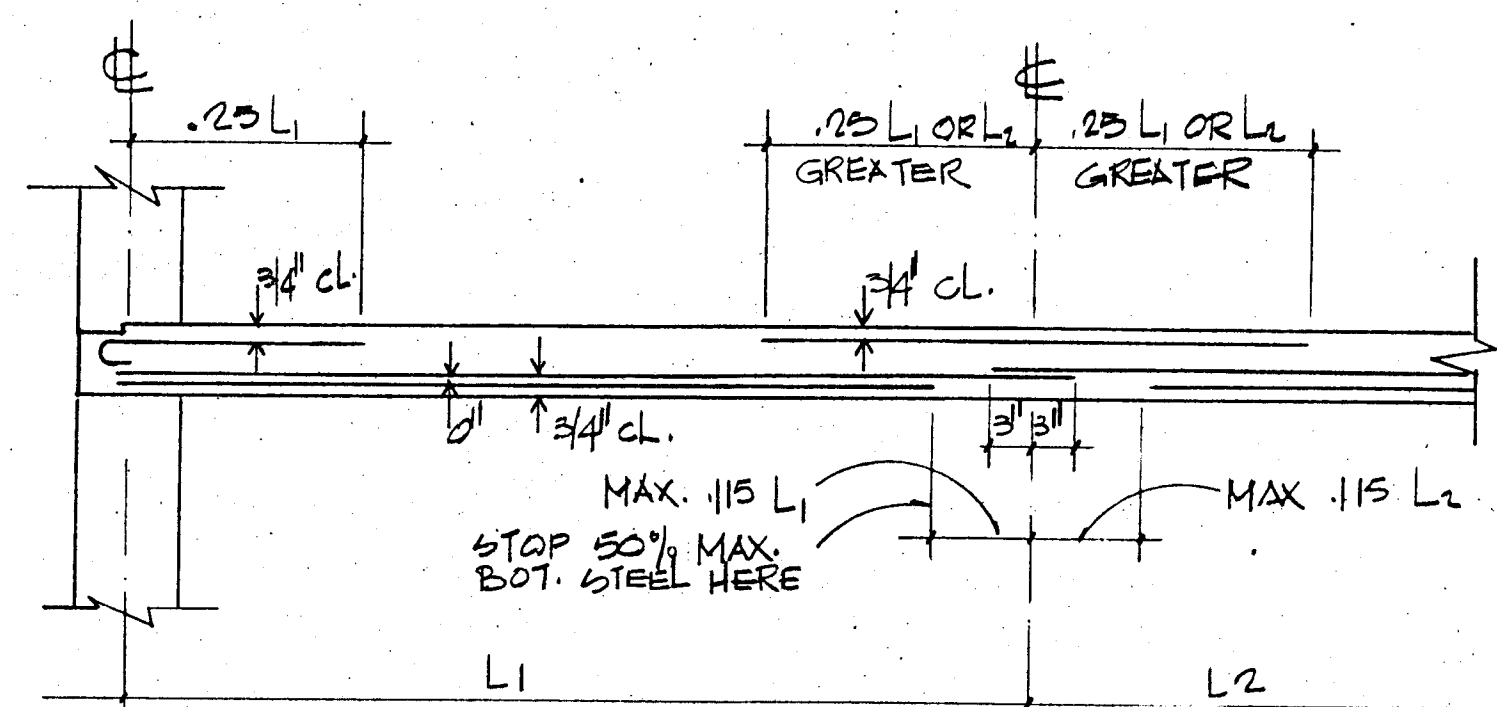
TYP. COLUMN STRIP WITH CANTILEVER
NTS



TYP. MIDDLE STRIP WITH CANTILEVER
NTS

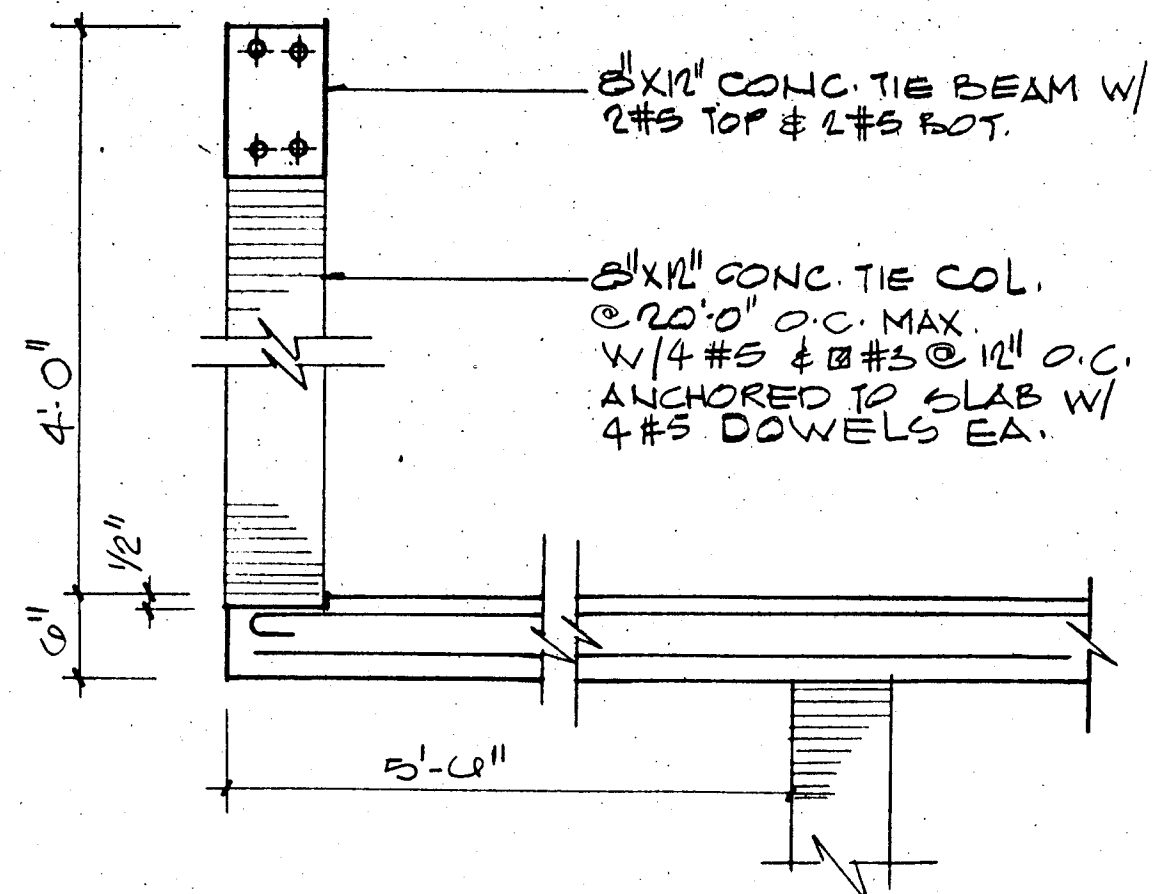


TYP. COLUMN STRIP
NTS

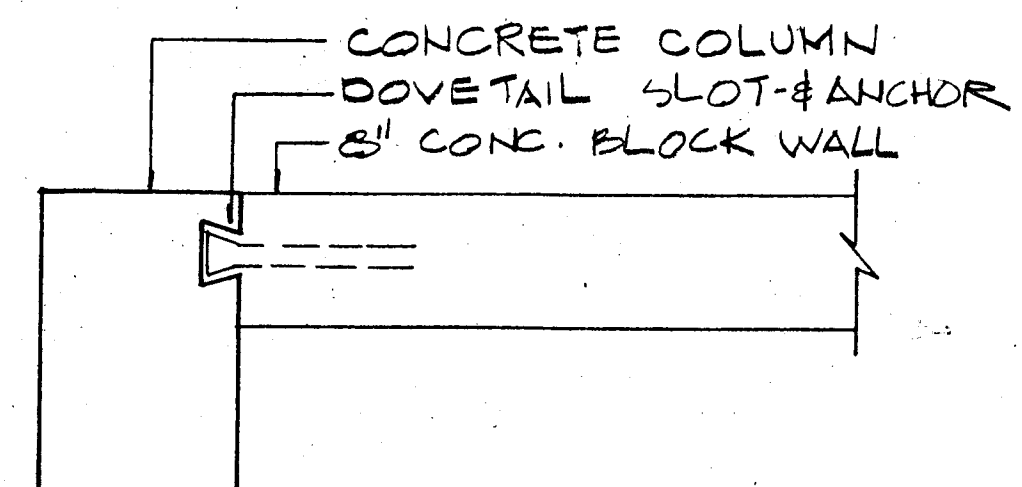


TYP. MIDDLE STRIP
NTS

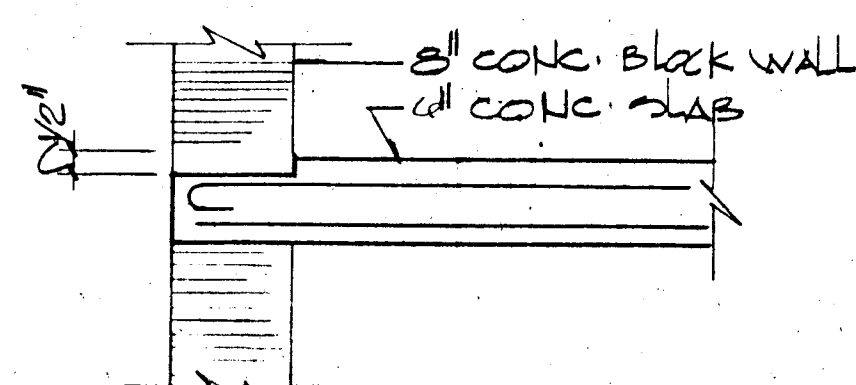
TYPICAL BAR DIAGRAM-FLAT SLABS
(UNLESS OTHERWISE NOTED)



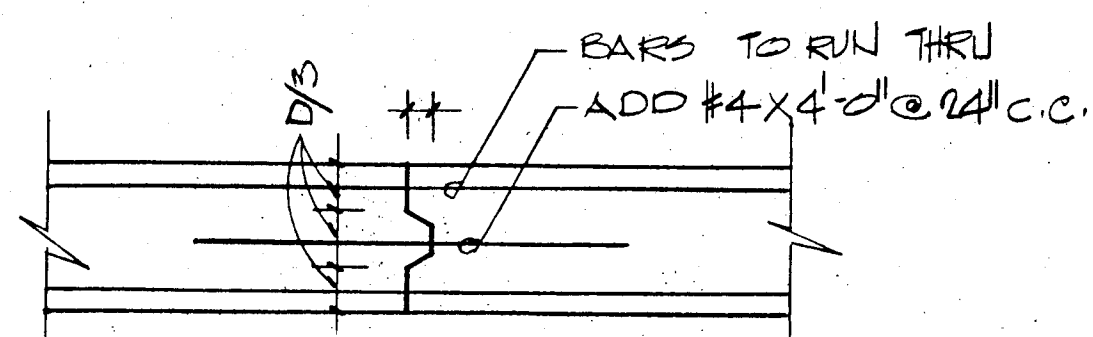
PARAPET DETAIL (TYPICAL)



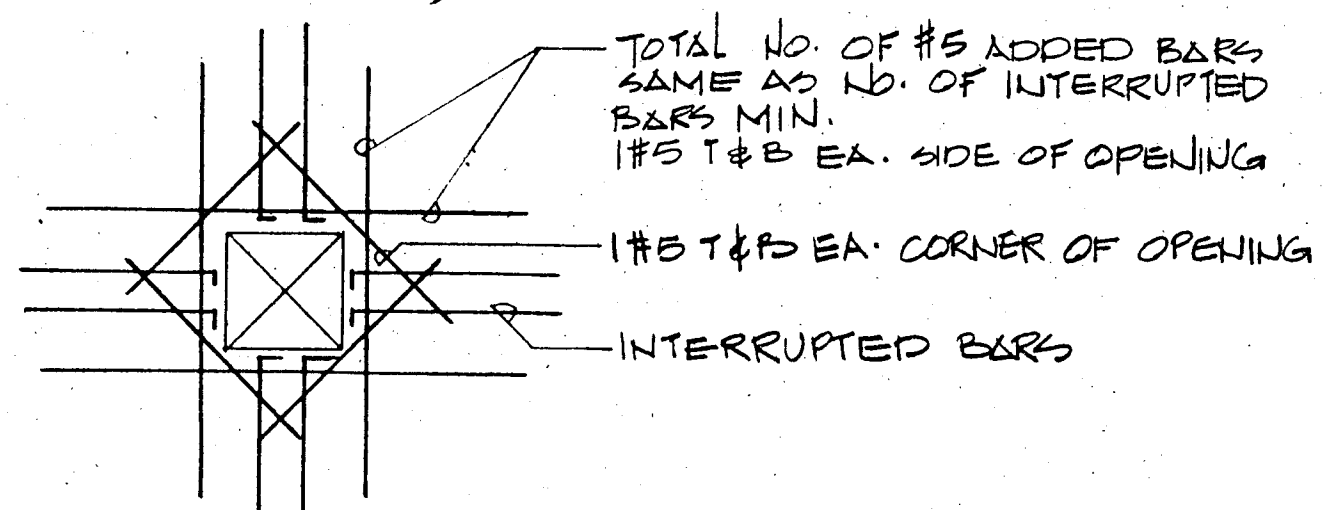
MASONRY ANCHORAGE DETAIL
NTS



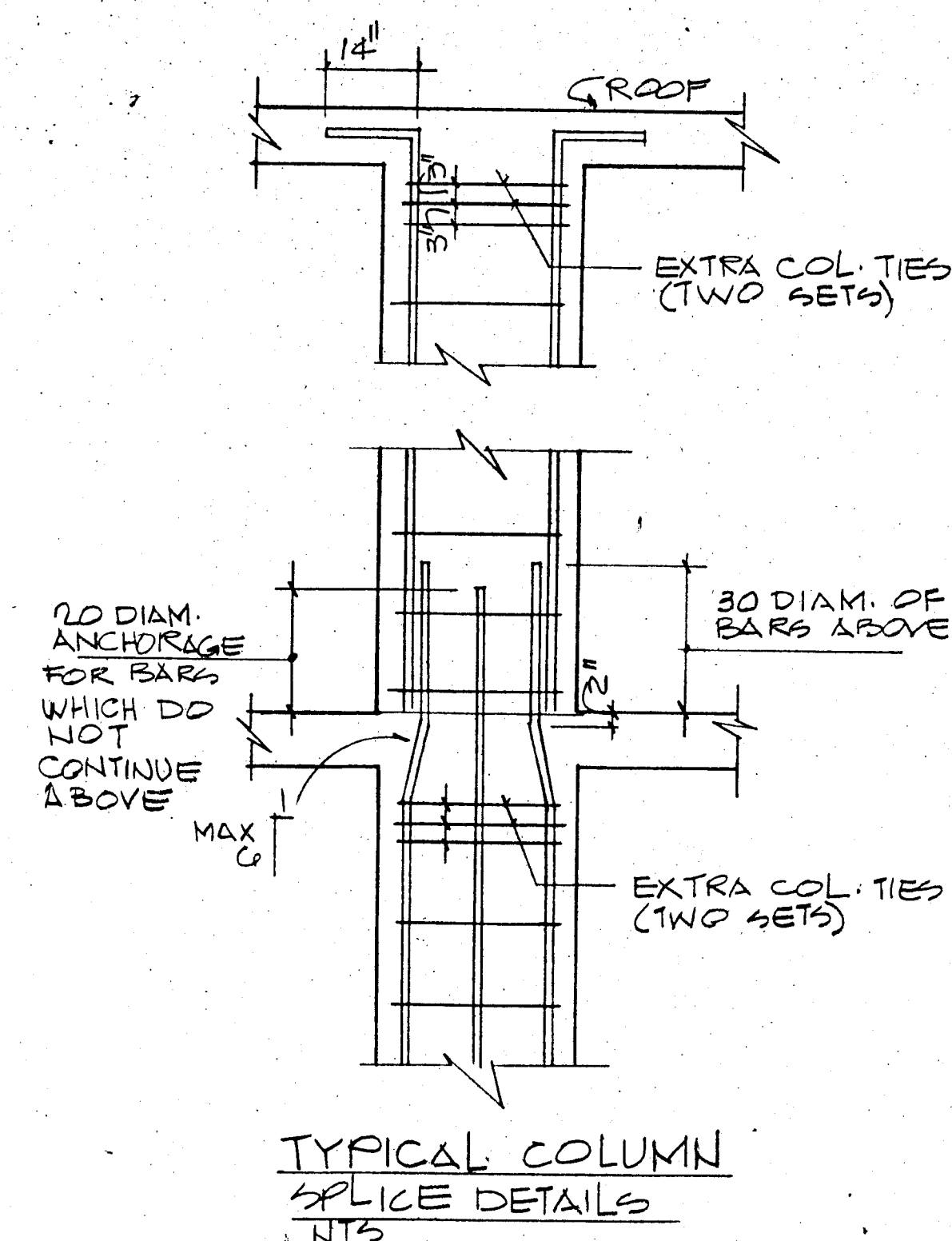
SLAB DEPRESSION AT EXTERIOR WALLS



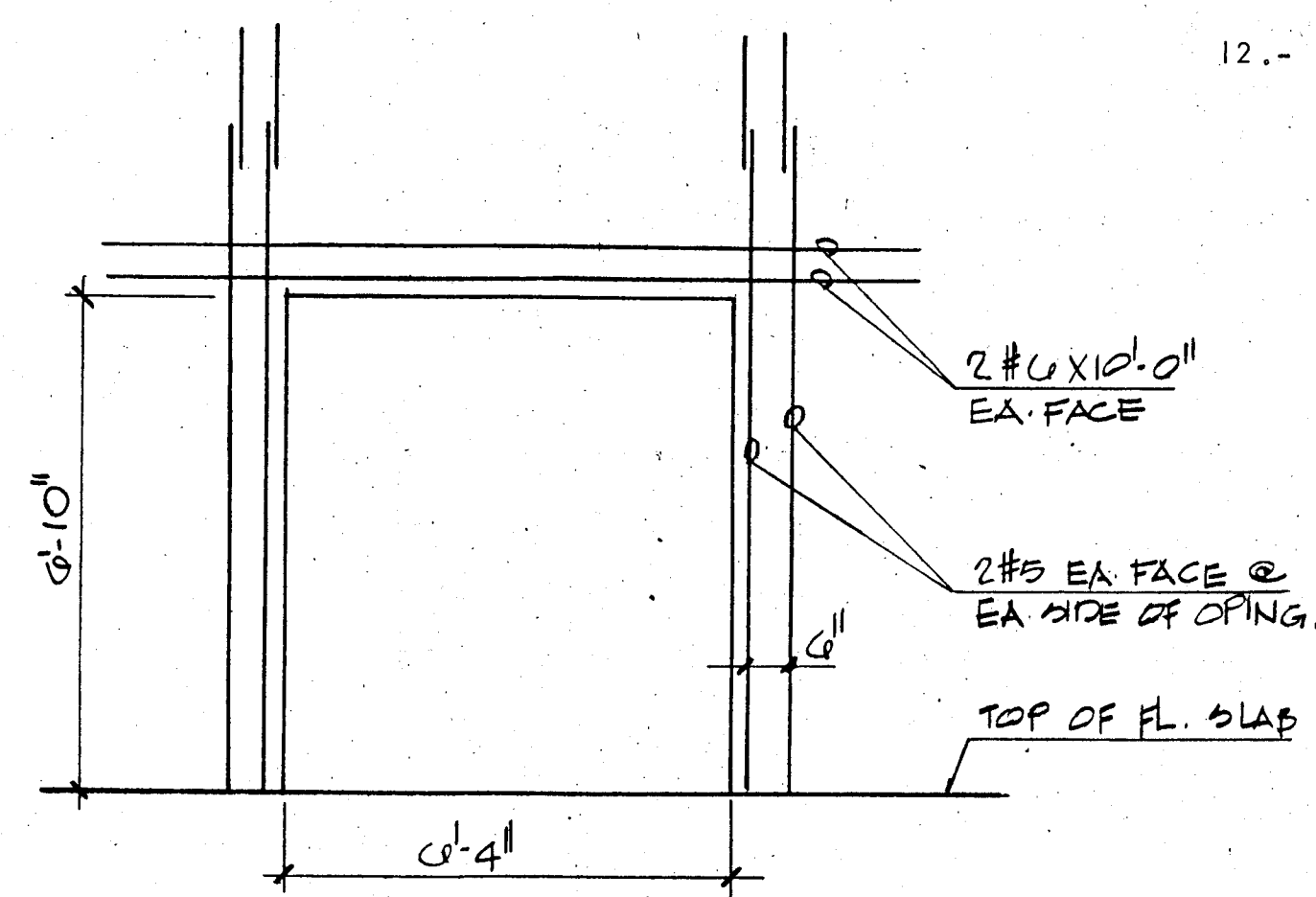
CONSTRUCTION JOINT DETAIL
NTS



SLAB OPENING DET



TYPICAL COLUMN SPLICE DETAILS
NTS



SECTION THRU DOOR OPENING AT SHEAR WALL

GENERAL STRUCTURAL NOTES:-

- 1.- CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301-72 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" EXCEPT AS MODIFIED BY THE SUPPLEMENTAL REQUIREMENTS BELOW.
- 2.- CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH WORK.
- 3.- ALL PILES TO BE 14" x 14" PRECAST CONCRETE DRIVEN TO 50 TONS.
- 4.- CONTRACTOR SHALL COORDINATE WITH ALL MECHANICAL & ELECTRICAL TRADES ALL SLAB OPENINGS & ELEVATOR DIMENSIONS. LOCATION OF OPENINGS IN SLAB IN EXCESS OF 8" SHOULD BE SUBMITTED TO A/E FOR APPROVAL.
- 5.- REINFORCING BARS TO MEET ASTM A-615 GRADE 60, DETAILED AND PLACED IN ACCORDANCE WITH ACI-318-77, AND SFBC 1976 EDITION. REINFORCING TO BE HELD SECURELY IN POSITION WITH STANDARD ACCESSORIES DURING PLACING OF CONCRETE. WELDED WIRE FABRIC TO COMPLY WITH ASTM A-185.
- 6.- ALL CONCRETE STRENGTH TO BE AS SHOWN ON PLANS. IF NOT OTHERWISE SPECIFIED F'C = 3,000 PSI.
- 7.- VERTICAL CONSTRUCTION JOINTS, USING APPROVED BULKHEADS, CAN BE MADE AT CENTER OF BEAM OR SLAB IF REQUIRED. NO HORIZONTAL CONSTRUCTION JOINTS SHALL BE MADE IN BEAMS OR SLABS.
- 8.- SEE ARCHITECTURAL DRAWINGS FOR ELEVATIONS.
- 9.- TIE BEAMS (MARKED T.B.) REFER TO 8 X 12 INCHES TIE BEAMS REINFORCED WITH 2 #5 TOP AND 2 #5 BOTT. TIE COLUMNS (MARKED T.C.) ARE 8 X 12 INCHES TIE COLUMNS REINFORCED WITH 4 #5 BARS AND #2 TIES SPACED AT 12 INCHES O.C.
- 10.- REINFORCING BAR SPLICED, WHERE REQUIRED SHALL BE DETAILED AND MADE IN ACCORDANCE WITH AC-318-77.
- 11.- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL ORDINANCES.
- 12.- ALL PRECAST PRESTRESSED UNITS TO BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH APPLICABLE ACI STANDARDS.

FLAT PLATE SECTIONS AND DETAILS
NTS

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

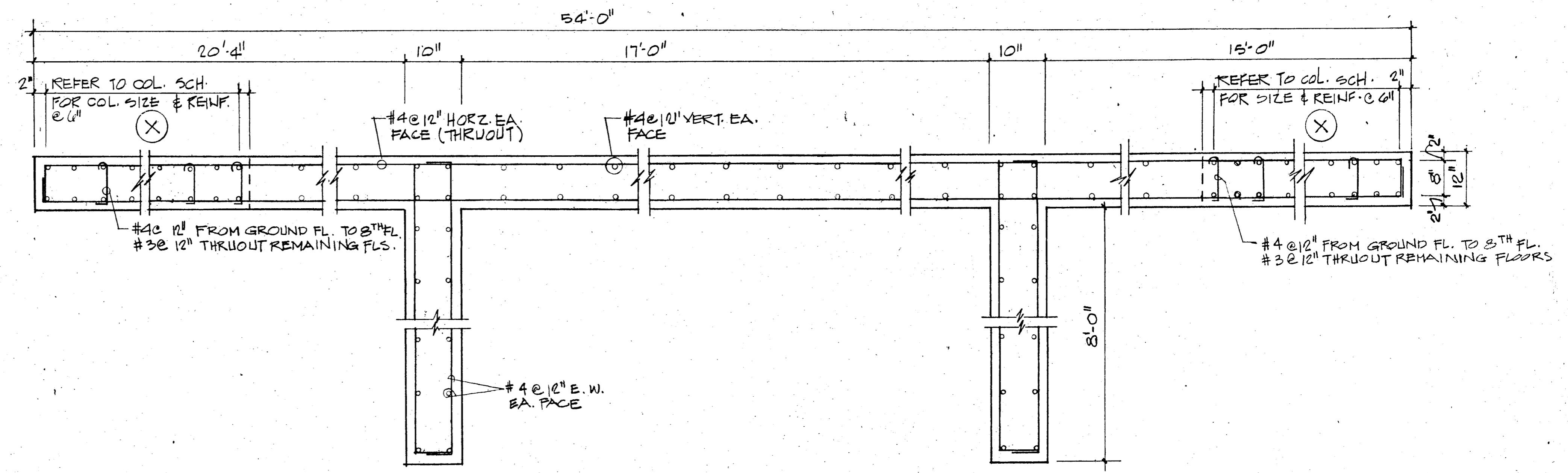
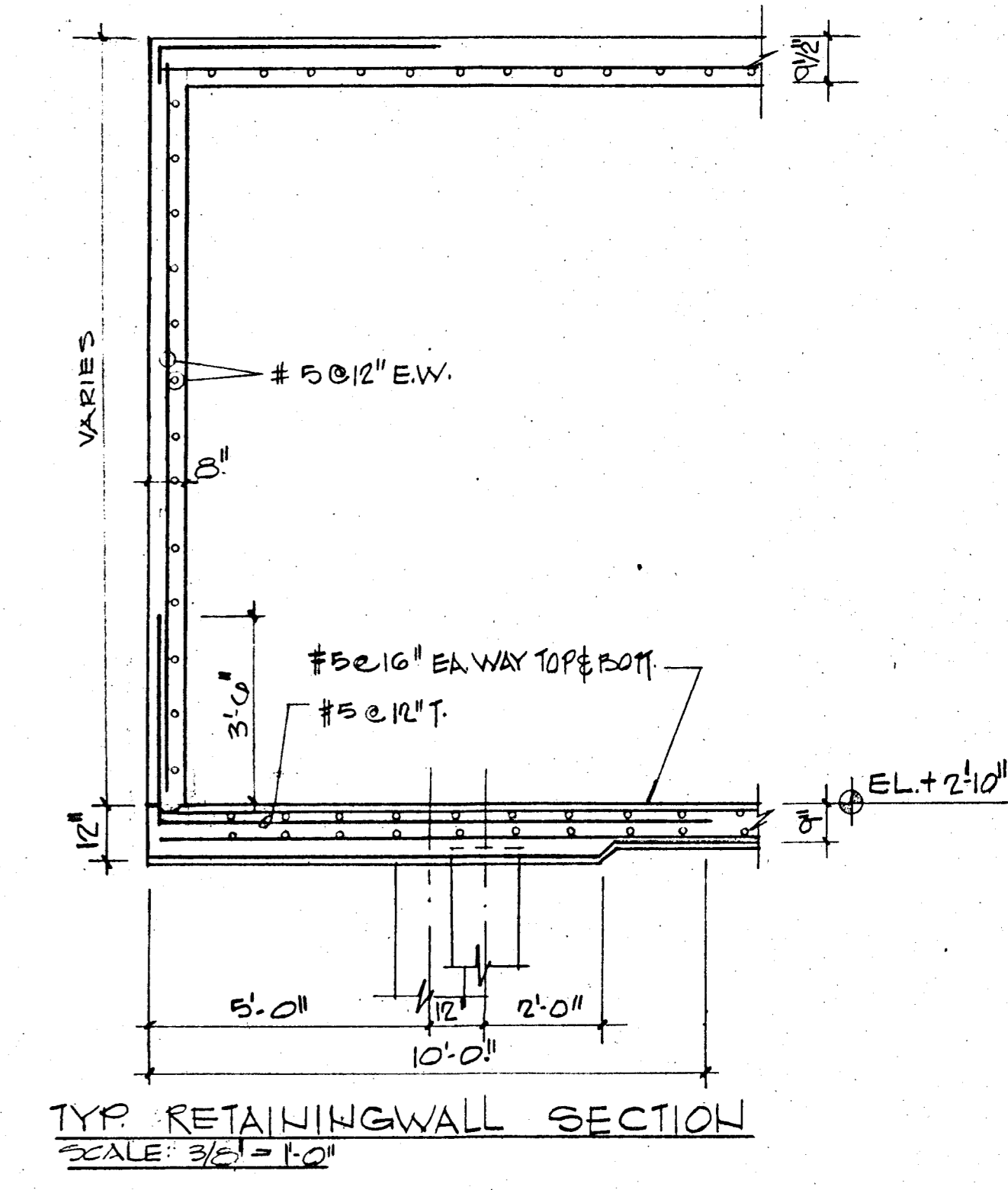
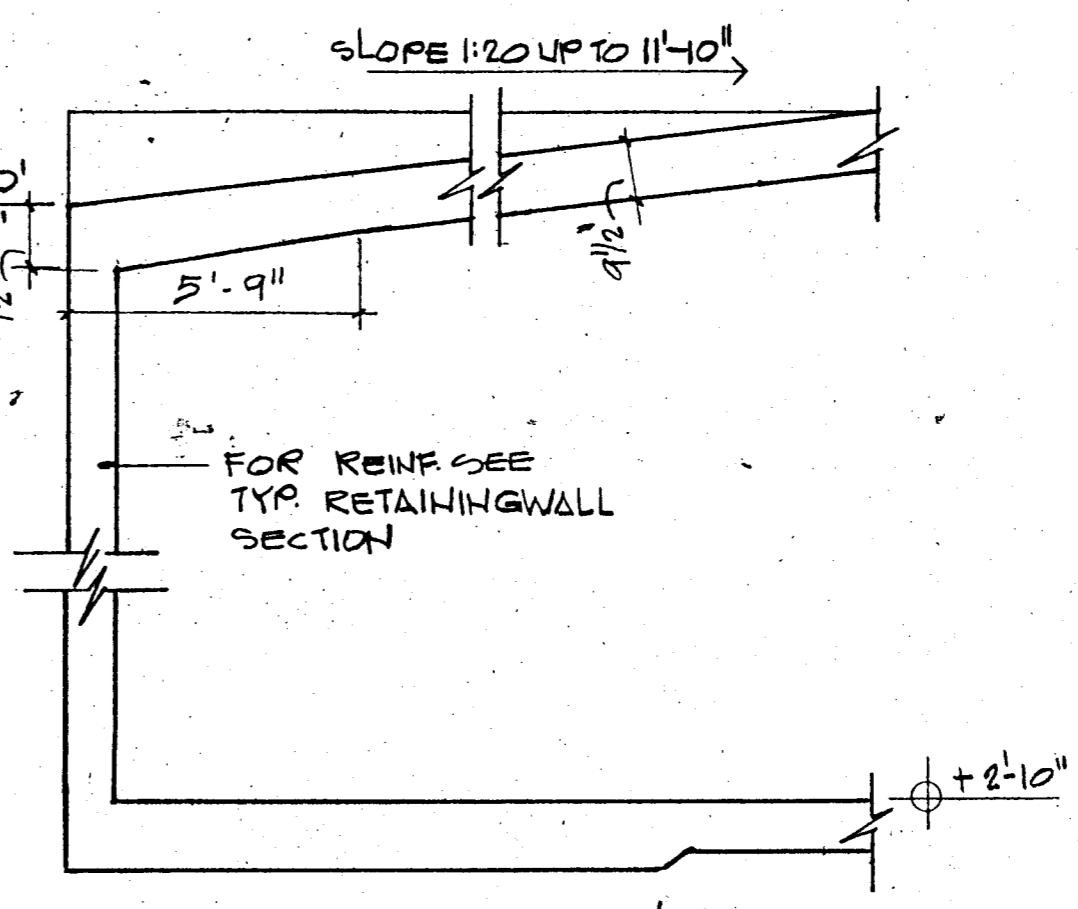
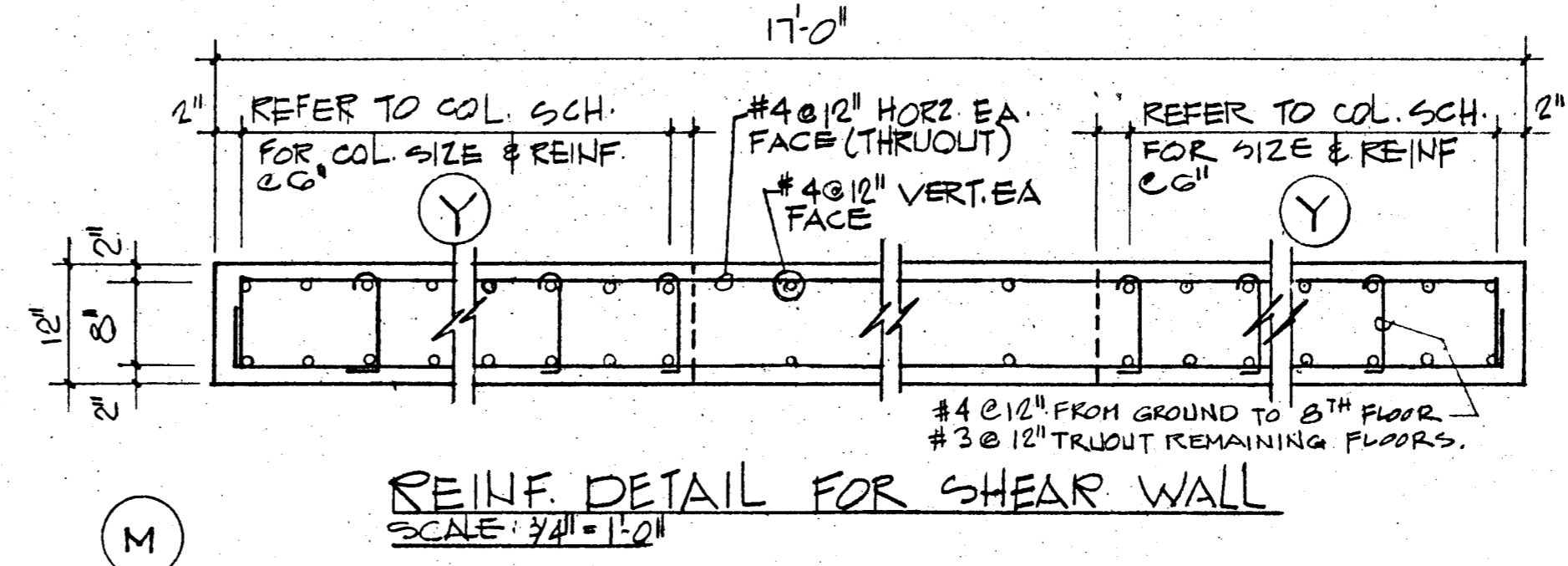
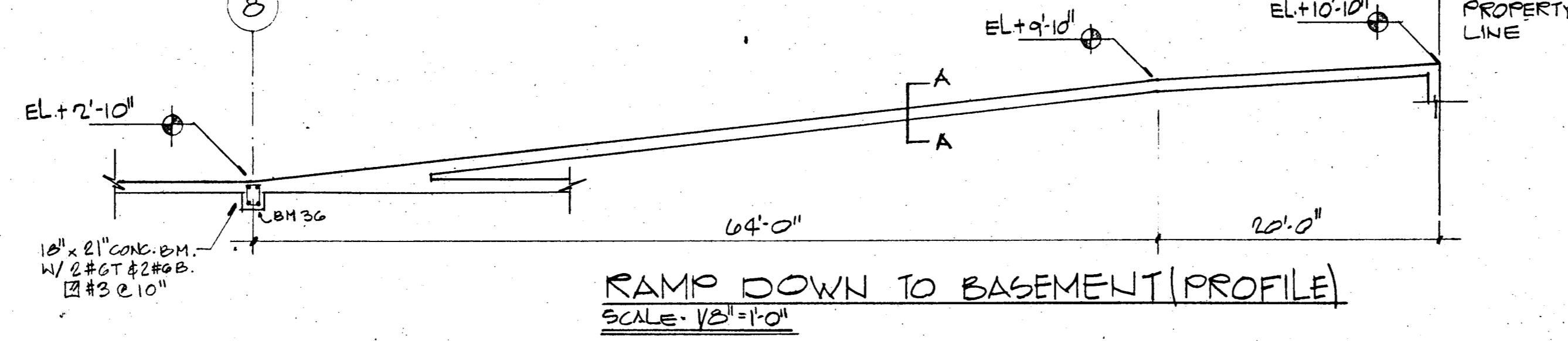
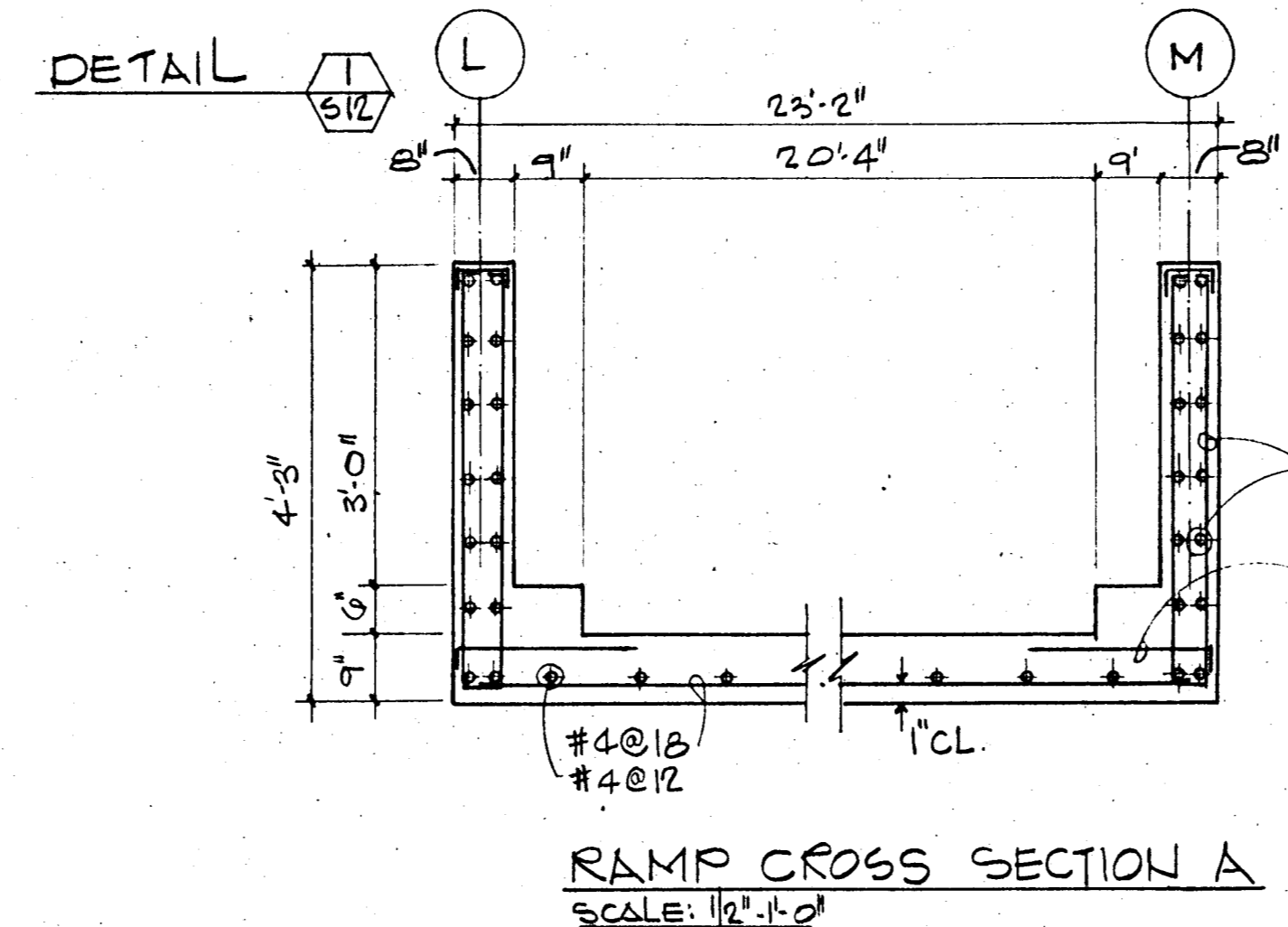
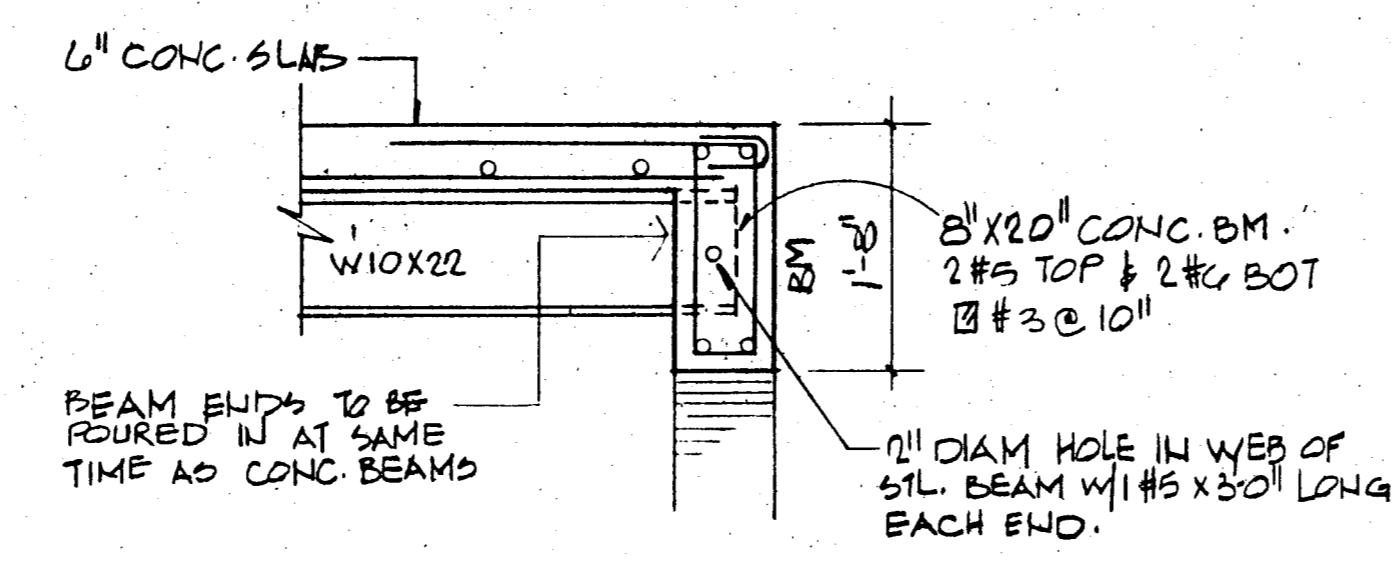
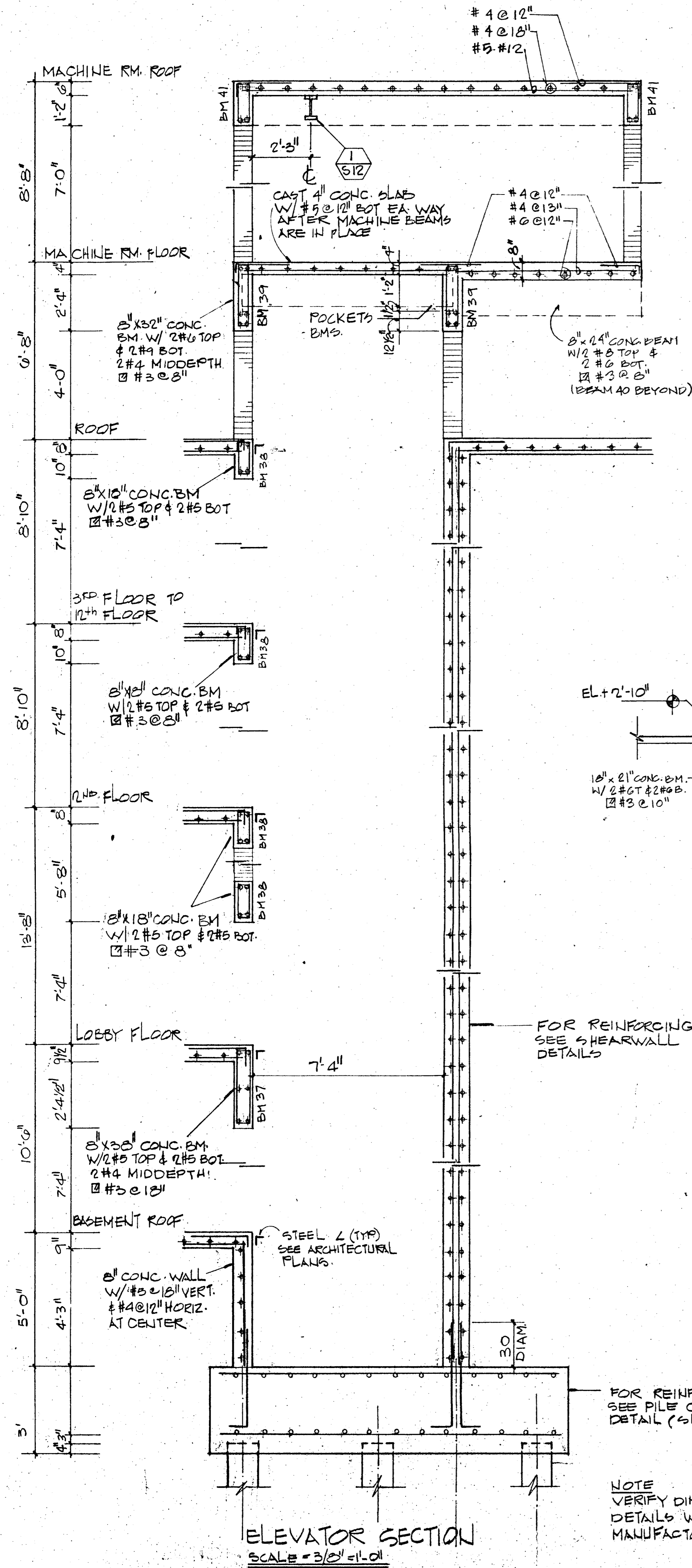
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BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

CHAMPLAIN TOWERS NORTH

A 112 UNIT CONDOMINIUM

COMM. NO.	DATE	SHEET NO.
		511 of 14
REV.		



REIN. DETAIL FOR SHEAR WALL
SCALE: 3/4" = 1'-0"

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

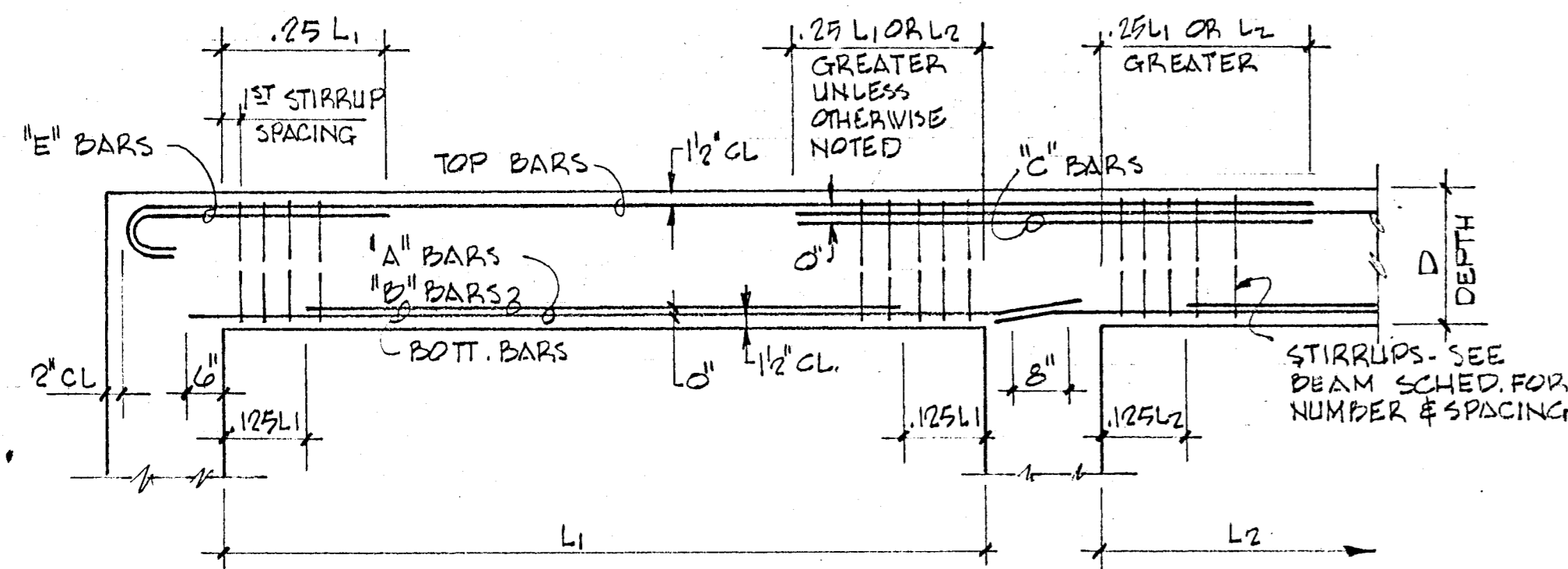
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CHAMPLAIN TOWERS NORTH

A 112 UNIT CONDOMINIUM

COMM. NO.	DATE	SHEET NO.
		312 OF 14
REV.		

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CONSULTING ENGINEERS
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TYPICAL BAR PLACING BEAM DIAGRAM

BEAM SCHEDULE

MARK	EL. BOTT. CONCRETE	SIZE B x D	LONGITUDINAL		"E" COL.#	STIRRUPS	REMARKS
			BOTT	TOP			
BM 1	+23'-6"	30" x 42"	6 #8	4 #3	2 #3 EE	#5 @ 18"	
BM 2		36" x 42"	6 #8	4 #2	2 #3 EE	#5 @ 18"	
BM 3			6 #8	6 #3	-	#5 @ 18"	
BM 4			8 #9	6 #9	2 #9	#5 @ 18"	
BM 5			14 #11	6 #11	4 #11	#5 @ 6" THROUGH	
BM 6			*12 #11	6 #11		#5 @ 6"	*2 LAYERS - 10 BARS IN OUTER LAYER
BM 7			8 #9	6 #11		#5-4 @ 5" 4 @ 6" REM. @ 18"	
BM 8			*16 #11	6 #11		#5 @ 6" T.O.	*2 LAYERS - 10 BARS IN OUTER LAYER
BM 9			8 #9	6 #9	2 #9	#5 @ 18"	
BM 10		30" x 42"	8 #9	6 #9	2 #9	4 #10	#5 @ 18"
BM 11			10 #10	6 #10		4 #10	#5-8 @ 6" WEST END REM. @ 18"
BM 12			10 #11	6 #10			#5-10 @ 6" EE REM. @ 18"
BM 13			8 #9	6 #10	2 #10		#5 @ 16"
BM 14			8 #9	*6 #9	4 #10		#5 @ 16" *CONTINUOUS TOP STEEL
BM 15			8 #9	*6 #9	4 #9		#5 @ 16" *CONTINUOUS TOP STEEL
BM 16			10 #10	6 #10	2 #10		#5-2 @ 6" EAST END REM. @ 18"
BM 17		36" x 42"	*16 #11	6 #11	2 #11		#5 @ 6" *2 LAYERS - 10 BARS IN OUTER LAYER
BM 18			8 #10	6 #11			#5 @ 18"
BM 19			*12 #11	6 #11	4 #11		#5 @ 6" *2 LAYERS - 10 BARS OUTER LAYER
BM 20			*12 #11	6 #11	2 #11		#5 @ 6" *2 LAYERS - 10 BARS OUTER LAYER
BM 21			*14 #11	6 #11			#5-8 @ 6" CONTR. END REM. @ 18"
BM 22			8 #10	6 #8	2 #8		#5 @ 18"
BM 23			8 #10	*4 #11	6 #11		#5 @ 18" *CONTINUOUS TOP STEEL
BM 24			8 #10	*4 #11	4 #8		#5 @ 18" *CONTINUOUS TOP STEEL
BM 25			*12 #11	6 #11	2 #11		#5-6 @ 6" EAST END REM. @ 18"
BM 26			*16 #11	6 #11	2 #11		#5-10 @ 6" EAST END REM. @ 18"
BM 27			*14 #11	6 #11	2 #10 EE		#5-10 @ 6" EAST END REM. @ 18"
BM 28			*14 #11	6 #11	2 #10 EE		#5-10 @ 6" EAST END REM. @ 18"
BM 29			*14 #11	6 #11	2 #10 EE		#5-10 @ 6" EAST END REM. @ 18"
BM 30			*14 #11	6 #11	2 #10 EE		#5-10 @ 6" EAST END REM. @ 18"
BM 31			*14 #11	6 #10	2 #10 EE		#5-10 @ 6" EAST END REM. @ 18"
BM 32	+23'-6"		*14 #11	6 #10	2 #10		#5-10 @ 6" EAST END REM. @ 18"
BM 33	+9'-10"	24" x 42"	*10 #11	4 #10			#5-10 @ 6" EAST END REM. @ 18"
BM 34			*10 #11	4 #10			#5-10 @ 6" EAST END REM. @ 18"
BM 35	+9'-10"		*12 #11	4 #10			#5 @ 8" THROUGH *2 LAYERS - 6 BARS EA.
BM 36	+1'-1"	8" x 21"	2 #6	2 #6			#3 @ 10"
BM 37	+10'-2"	8" x 38"	2 #5	2 #5			#3 @ 18" ADD 2 #4 AT MIDDEPTH
BM 38	VARIES	8" x 18"	2 #5	2 #5			#3 @ 8"
BM 39	+127'-7"	8" x 32"	2 #9	2 #6			#3 @ 8" ADD 2 #4 AT MIDDEPTH
BM 40	+128'-10"	8" x 24"	2 #6	2 #5			#3 @ 8"
BM 41	+137'-10"	8" x 24"	2 #6	2 #5			#3 @ 10"
BM 42	+125'-8"	12" x 18"	3 #7	2 #7			#3 @ 8"

BEAM SCHEDULE

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

Wmf

135 S.E. 14TH L.A.
CHAMPLAIN TOWERS SOUTH
A 135 UNIT CONDOMINIUM
COMM. No. DATE 8/22/79 SHEET No. 513 of 14
REV.

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

COLUMN SCHEDULE

TYPES	(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)	(I)	(J)	(K)	(L)	(M)	(N)	(P)	(Q)	(R)	(S)	(T)	(X)	(Y)	
SIZES	24'x24"	24'x24" 3E, 7E, 1E 24'x24" 1E, 1E, 1E 24'x24"	16'x16"	16'x16"	16'x16"	16'x16"	14'x18"	14'x18"	12'x24"	12'x24"	12'x24"	12'x24"	12" x 30"	12'x16"	8'x12"	8'x12"	8'x12"	8'x12"	8'x12"			
MACH. RM. ROOF +139'-6"																						
MACH. RM. FLOOR +130'-10"																						
ROOF +124'-2"																						
12 th FLOOR (PENTHOUSE) +115'-4"			4#8	4#8	4#8		4#8	4#8	4#8	4#8	4#8	4#8	6#8		4#8						8#8 12'x18"	8#8 12'x18"
11 th FLOOR +108'-6"			↑	↑	↑		↑	↑	↑	↑	↑	↑	↑		↑						↑	↑
10 th FLOOR +97'-8"																					↓	↓
9 th FLOOR +88'-10"																					8#8 12'x18"	↓
8 th FLOOR +80'-0"				↓	↓		↓	↓	↓	↓	↓	↓	↓								10#8 12'x24"	8#8 12'x18"
7 th FLOOR +71'-2"			↓	4#8	4#8		4#8	4#8	↓	4#8	4#8	4#8									10#6 12'x24"	8#7 12'x18"
6 th FLOOR +62'-4"			4#8	6#8	4#9		4#9	4#9	4#8	6#8	6#8	6#8									10#7 12'x24"	8#9 12'x18"
5 th FLOOR +53'-6"			6#8	8#8	6#9		6#9	6#9	6#8	8#8	8#8	8#8			4#6						12#8 12'x30"	10#9 12'x24"
4 th FLOOR +44'-8"			8#8	8#9	8#9		8#9	8#9	8#8	8#9	8#9	8#9			4#7						16#8 12'x42"	10#10 12'x24"
3 rd FLOOR +35'-10"			8#8	8#9	8#9		8#9 4L-2S	8#9	8#8	8#9	8#9	8#9			4#7						16#9 12'x42"	12#10 12'x24"
2 nd FLOOR +27'-0"			8#9	8#10	8#10 3EF		8#10 4L-2S	8#10 4L-2S	8#9 4L-2S	8#10 4L-2S	8#10	8#10			4#8						16#11 12'x42"	12#11 12'x30"
LOBBY FL. +13'-4"	12#10 4EF	12#10 4EF	8#10	8#11			10#10 4L-3S					10#10 5L-2S	10#10		4#9						20#11 12'x34"	12#11 12'x30"
BASEMENT +2'-10"	12#10 4EF	12#10 4EF	8#11 3EF	12#11 4EF		4#8	10#11 4L-3S					12#10 6L-2S		4#7	4#9						24#11 12'x66"	14#11 12'x36"
				COL. E-4 UP TO EL. 125'-8"			COL. E-2 H2, H4 UP TO EL. 125'-8"															

NOTES:
 • TIES FOR NO. 11 MAIN BARS USE #4 TIES, ALL OTHERS TO BE #3 DETAILED IN ACCORDANCE WITH ACI-318.
 • COLUMN DIMENSIONS TO BE SAME NO. AND SIZE AS MAIN REINFORCING.

COLUMN SCHEDULE

CHAMPLAIN TOWERS NORTH
8777 COLLINS AVE.
A 112 UNIT CONDOMINIUM

COMM. No. 79030 DATE: SHEET No. 514 OF 14

REV.

CHAMPLAIN

TOWERS

NORTH

**TOWN OF SURFSIDE
BUILDING DEPT.**

JOB COPY

8877 Collins Avenue
Surfside, Florida

112 UNIT CONDOMINIUM

UNIT	Number	sq ft	type
A	12	2242	3-2
B	12	1794	2-2
C	11	1673	2-2
J	11	2252	3-2
E	11	1590	2-2
F	11	1728	2-2
G	22	1200	1-2
H	11	1425	1-1c-2
I	11	1648	2-2

TOWN MANAGER

TOWN OF SURFSIDE

APPROVED:

Architectural Com. _____ Date _____

Zoning Committee _____ Date _____

Planning Committee _____ Date _____

Bldg. Inspector _____ Date 11/15/79 as noted see E-11

Electrical Inspector _____ Date 10/22/79 approved as noted see E-11

Plumbing Inspector _____ Date 10/23/79 - SEE NOTES (EXCEPTIONS)

Mechanical Insp. _____ Date 10-25-79

Reviewed: _____ Date 11/6/79

Planning & Zoning Board

TOWN MANAGER

Richard Blake

11/6/79
W. M. Friedman
Clammer

Page P-1
" P-2
" P-3
" P-5
" P-10
" P-11

WILLIAM M. FRIEDMAN
ARCHITECT

SERGIO BREITERMAN
ENGINEER

FLORIDA ENGINEERING SERVICES

ARCHITECTURAL

- A-1 COVER SHEET AND INDEX
- A-2 SPECIFICATIONS
- A-3 SPECIFICATIONS
- A-4 SPECIFICATIONS
- A-5 SPECIFICATIONS
- A-6 SITE, ROOF & LANDSCAPE PLAN
- A-7 WEST ELEVATION
- A-8 NORTH ELEVATION
- A-9 EAST ELEVATION
- A-10 SOUTH ELEVATION
- A-11 GARAGE & BASEMENT PLAN
- A-12 FIRST FLOOR PLAN
- A-13 TYPICAL FLOOR PLAN
- A-14 PENT HOUSE FLOOR PLAN
- A-15 1/4" TYPICAL UNIT — "C" & "B"
- A-16 1/4" TYPICAL UNIT — "A" & "D"
- A-17 1/4" TYPICAL UNIT — "E" & "G"
- A-18 1/4" TYPICAL UNIT — "H" & "I"
- A-19 1/4" TYPICAL UNIT — "I"

STRUCTURAL

- A-20 ROOM FINISH SCHEDULE
- A-21 DOOR FINISH SCHEDULE
- A-22 DOOR FINISH SCHEDULE
- A-23 DOOR & WINDOW ELEVATIONS
- A-24 DETAILS
- A-25 1/4" FIRST FLOOR DETAILS
- A-26 FRONT & RAILING DETAILS
- A-27 STAIRWELLS, ELEV., & TRASH CHUTE

- S-1 PILE CAP PLAN
- S-2 BASEMENT LEVEL DIMENSIONS
- S-3 PILE CAP DETAIL PLAN
- S-4 BASEMENT PLAN FRAMING
- S-5 LOBBY LEVEL FRAMING PLAN
- S-6 SECOND FLOOR FRAMING PLAN
- S-7 TYPICAL FLOOR PLAN DIMEN'S
- S-8 TYPICAL FLOOR FRAMING PLAN
- S-9 PENTHOUSE FLOOR FRAMING PLAN
- S-10 ROOF LEVEL FRAMING PLAN
- S-11 FLAT PLATE SECTIONS & DETAILS
- S-12 PARTIAL SECTIONS PLANS
- S-13 BEAM SCHEDULE
- S-14 COLUMN SCHEDULE

ELECTRICAL

- E-1 SITE PLAN
- E-2 GARAGE PLAN
- E-3 LOBBY PLAN
- E-4 TYPICAL
- E-5 ROOF
- E-6 1/4" TYPICAL UNIT — "A" & "B"
- E-7 1/4" TYPICAL UNIT — "C" & "D"
- E-8 1/4" TYPICAL UNIT — "E" & "G"
- E-9 1/4" TYPICAL UNIT — "H" & "I"
- E-10 ELECTRICAL SCHEDULE
- E-11 T.V., TELEPHONE, & FIRE ALARM RISEZ.

PLUMBING

- P-1 SITE PLAN & DETAILS
- P-2 GARAGE PLAN & DETAILS
- P-3 LOBBY PLAN & DETAILS
- P-4 TYPICAL FLOOR PLAN
- P-5 ROOF PLAN
- P-6 1/4" TYPICAL UNIT — "A" & "B"
- P-7 1/4" TYPICAL UNIT — "C" & "D"
- P-8 1/4" TYPICAL UNIT — "E" & "G"
- P-9 1/4" TYPICAL UNIT — "H" & "I"
- P-10 PLUMBING RISERS
- P-11 WATER & SANITARY RISERS

SPRINKLERS

- SP1 GARAGE PLAN
- SP2 LOBBY PLAN
- SP3 TYPICAL & RISERS

AIR CONDITIONING

- AC-1 GARAGE PLAN
- AC-2 LOBBY PLAN
- AC-3 TYPICAL
- AC-4 ROOF
- AC-5 1/4" TYPICAL UNIT — "A" & "B"
- AC-6 1/4" TYPICAL UNIT — "C" & "D"
- AC-7 1/4" TYPICAL UNIT — "E" & "G"
- AC-8 1/4" TYPICAL UNIT — "H" & "I"
- AC-9 SCHEDULE & DETAILS

DATE: _____
REVISIONS: _____
A-1 OF 27
1 OF 27

SPECIFICATIONS

SECTION I DESCRIPTION OF CONTRACT DOCUMENTS & GENERAL CONDITIONS

ART. I

- A. A.I.A. Form A 1 - "Agreement between contractors and owner" Fifth Addition 5 Pages
B. Drawings and plans by the Architect - as prepared by WILLIAM FRIEDMAN & ASSOCIATES ARCHITECT'S INC.
C. These specifications as prepared by the architect and all subsequent addenda agreed to by owner and contractor in writing.
D. All shop and fabrication drawings approved by the architect or engineer pertaining to the various sub-contractors and material suppliers engaged by the contractor.
E. Certified Survey Certificate
F. All sub-contractors will be held responsible for examination of construction on surfaces on which their work is to be applied or to which it connects and report, in writing, to the architect of any conditions which exist that may affect the quality of their work.
G. Where manufacturers names are set forth in these specifications, they are used to set a standard of quality and finish and are not intended as specifying the particular manufacturer to the exclusion of any others.

SECTION II SUPPLEMENTARY GENERAL CONDITIONS

- A. Bids: The owner reserves the right to reject any or all bids.
B. Scope of Specifications, Codes, Ordinances and Legal Requirements
1) Particular attention is called to the fact as it covers and affects the work included under these headings and no attempt has been made to duplicate any of the information or to enumerate the requirements covered by codes, ordinances or other legal requirements.
2) Special attention is called to the fact that, while these specifications follow the general classes of building work, the various headings do not necessarily include all the work to be done by the tradesmen under the said headings and each sub-contractor should therefore examine the entire plans and specifications carefully.
C. Cleaning
1) Remove rubbish and debris daily.
2) Leave job clean upon completion of work including cleaning of hardware fixtures and removal of stains, dust, dirt, and paint. Windows shall be washed by professional window cleaner.
3) Remove all temporary construction.
D. Dimensions: General contractor shall be responsible for the accuracy of layout and all dimensions. Any discrepancies must be reported to the architect before commencing actual construction.
E. Materials: shall be new, of quality specified, delivered in ample supply to prevent delay of the work. Substitutions shall require prior approval by the architect or owner.
F. Manufacturer's Directions: For the applications, installations, and methods shall be followed and are herewith made a part of this specifications. All manufacturer's guarantees, warranties underwriters certificates, shall be properly filed and delivered to the architect upon completion of work.
G. Permits: The general contractor shall secure and pay for building permit and other lawful fees. The general contractor shall secure certificates of inspection and occupancy from authorities having jurisdiction and deliver them to the owner upon completion of work. Inspection fees and reports as required by building authorities shall be paid for by the general contractor.
H. Workmanship: By skilled mechanics under supervision of a competent foreman acceptable to the architect and in accordance with best trade practices.
I. Specifications listings do not limit scope of work, other items shown, or noted on drawings or mentioned elsewhere in specifications, are also to be included.

SECTION III EXCAVATION AND PREPARATION OF SITE

ART. I

- A. Removal or relocation of all utility items necessitated by construction is the responsibility of the contractor.
B. Excavate to levels shown for grade beams, slabs and footings, etc. Clean all bottoms before pouring concrete.
C. Fill and backfill to final finish grades and bottoms of slabs.
D. Plumbing and electrical contractors to excavate and backfill as required for their work.
E. Brace and shore as conditions require. Contractors shall protect adjacent structures and foundations from damage and shall be responsible for any damage to adjacent structures or properties.
F. Fill for slabs: Whenever concrete slabs are shown on the drawings occurring on ground floor fill shall be well compacted - gravel and sand flooded to prevent undue settlement.

SECTION IV CONCRETE AND MASONRY

ART. I Work Included

- A. Current integral concrete finished as noted on drawings.
B. Reinforced concrete footings, columns, beams, and slabs, including all reinforcing steel and mesh and setting chairs, supports, dowels, inserts and anchors.
C. Concrete block walls and simulated brick on concrete block as indicated on drawings.
D. Approved sidewalk curbing in concrete slab on ground.
E. Concrete slabs as shown on site plan.
F. Concrete foundations.

ART. II Materials

- A. Concrete Block - ASTM Spec. C-90 Cured 28 Days; 3 Core 8x8x16 blocks. Special blocks for jambs, corners, etc. 2 cell block may be substituted.
B. Portland Cement - ASTM Spec. C-150-44 for Type 1 Cement.
C. Sand - clean, coarse, washed, free from clay, loam or chemical salts.
D. Rock - crushed stone or gravel, well graded, clean, free from shale or other soft materials.
E. Lime - STM Spec. C-207-46T
F. Water - city water
G. Wire Mesh - ASTM Spec. A-82
H. Reinforcing Steel - Domestic, Intermediate grade deformed bars rolled from new billet steel. ASTM - Spec. A-15 deformation Spec. ASTM A-305-49. Refer to notes on structural plans.

ART. III Methods and Workmanship - Concrete and Masonry

- A. Minimum strength concrete for this structure shall be 2500 lbs. per PSI in 28 days and as specified on engineering plans.
B. Storing - in a weather-tight enclosure. Hardened or partially set cement shall not be used in structure and will immediately be moved from the site.
C. Forms - shall be made to conform to the shape size and dimensions of the members shown on the plans. They shall be properly braced and tied to maintain shape and size and insure safety. They shall be tight to prevent leakage of mortar. Temporary access panels shall be provided at the base of all columns to permit cleaning and inspection of same. Forms shall not be stripped until concrete has developed two-thirds of its required strength and not less than four (4) days after placing at columns or slabs; also not less than seven (7) days under cantilever slabs with high early concrete.
D. Reinforcing - shall be free of all mill and rust scale before placing, shall conform to dimensions indicated on the plans and shall be secured with annealed wire, 16 ga. or larger, or suitable clips of shain.
E. Water Cement Ratio and Mix - The proportioning of materials shall be based on the requirements of a plastic and workable mix. Concrete deliveries not conforming to specifications requirements shall be rejected and removed from the project. Water shall not be added to mixed concrete after the truck leaves the batching plant, except with specific direction of the engineer. Each load of concrete is to be examined by a competent observer representing the general contractor and, if found to be of a slump not within range acceptable, shall be rejected as unfit for use on this project.
F. Mixing - For not less than one minute after all materials are in the drum of an approved batch mixer. For not more than 90 min. stay in transit mixer truck from loading to time of being unloaded.
G. Shop Drawings - Engineers approval of steel shop and placing drawings prior to fabrication and placing. Officially approved prints of these drawings shall be used on the job for actual work, and work shall not proceed without same.
H. Protecting and Curing - Protecting exposed surfaces from premature drying and keep damp for five days. The method selected shall ensure the continuous wetting without alternate wetting and drying of art areas during the five day period.
I. Patching - Defective concrete or concrete out of alignment shall be considered as not conforming to the intent of these specifications and shall be removed, at the contractor's expense, and replaced unless the architect approves patching the areas. This patching to be done in accordance with the architects directions. Gunite method patching shall be used where directed by the engineer to correct honeycombing or voids at which reinforcing bars are exposed in minor areas. Cut out defective work to solid concrete as directed and obtain architect's inspection and approval before patching.
J. Anchorage - Set bolt anchors as required. Build in hangers, inserts, ties, nailing strips, blocking, slots and keys, required to secure the work of other trades.
K. Exposed Concrete - Remove fins, patch all holes and rub to even plane.
L. Finished Concrete Floors - At interior spaces generally, provide integral finish level and smooth, by mechanical and/or hand troweling on top of concrete slab following placement. Provide proper slopes for drainage.
M. 1) General Work shall be plumb, true and accurate to dimensions shown. Blocks shall be set in running bond and intersections bonded or keyed with wall ties. Blocks shall be cut accurately to fit around pipes, ducts and openings and voids slushed full. All joints full 3/8" wide and struck flush.
2) Mortar - For Concrete Block: Cement Lime mortar - 1:1:6

ART. IV

Exterior Sidewalks - shall be installed as shown on drawings as to thickness, reinforcing and slopes. Brush finish surfaces throughout with all outside corners rounded.

SECTION 5 CARPENTRY

ART. I Work Included

- A. Forms, Centering, bracing for concrete work including below grade.
B. Framing for work of all trades
C. Nailing strips, grounds, blocking, and furring for all pipes and ducts.
D. Wood stud partitions, plates.
E. Wood bucks for doors, windows, panels, etc. as required.
F. Rough and builders hardware including nails, bolts, nuts, anchors, screws, etc. as required and not specifically called for under other divisions.
G. Set finish hardware.
H. Set door frames and doors where scheduled.
I. Do incidental work as necessary to complete the building.

ART. II Materials

- A. Rough Carpentry lumber: No. 2 common lf or Douglas Fir unless otherwise shown on plan.
B. All wood throughout in contact with concrete shall be pressure treated or dipped in "Woodlife" minimum of 20 minutes, by approved treating plant.

ART. III Workmanship: by skilled mechanics under the supervision of a competent foreman acceptable to the architect.

SECTION 6 WATERPROOFING AND DAMPROOFING

ART. I

- A. All ground slabs to receive approved ad-mixtures at mixing plant in quantities as specified by the manufacturer.
B. Flashings, etc. as set out in "Roofing and Sheet Metal".

SECTION 7 STRUCTURAL STEEL

ART. I

- A. Scope of Work: Supply all labor, tools, materials and equipment required for the fabrication and erection of all angle lintels, plates and all structural steel shapes shown on the plans & the bolts therefor.
B. Shop Drawings: The contractor shall furnish shop drawings to the engineer for approval before fabrication or any structural steel.
C. Materials - All steel shall conform to ASTM Spec. A-7 for Structural Steel of most recent adoption.
D. Fabrication and Erection of the structural steel shall be done in accordance with the A. I. S. C. "Specification for Fabrication and Erection" of most recent issue.
E. Painting - all structural steel shall receive two shop coats of red lead paint. All field welds and damages to the shop coat shall be painted in the field by this sub-contractor.

SECTION 8 ROOFING & SHEET METAL

ART. I Scope of Work:

- A. Built up Roofing
B. Sheet metal flashing and counter flashing.
C. Pitch pans or lead sleeves for all vent stacks and other installation.
D. Metal leaders, heads and overflow scuppers

ART. II Materials:

- A. All roofing materials shall be delivered on site in original packages, bearing manufacturer's labels and shall be Barnett Division, Allied Chemical and Dye Corp., or approved equal.
B. Roofing felt - Barnett, or approved equal 15 lb. felt
C. Asphalt - Barnett, or approved equal
D. Plastic cement - Barnett Elastiflex or approved equal
E. Sheet metal - galvanized or .032 sheet aluminum
F. Nails - metal to concrete - 3/4" concrete nails
G. Solder - 50% lead, 50% in new metals.
H. Gravel - Hard, thoroughly washed, dry, free from dirt and range in size 1/4 to 3/8".

ART. III Execution of Work: General

- A. Asphalt shall not be heated above 400 degrees F. and shall be applied between 350 and 375 degrees F.
B. One hundred sixty (160) pounds of asphalt shall be used for construction each (100) one hundred square feet of completed roof.
C. Felts so laid as to be free from wrinkles and buckles so that no pronounced ridges are formed at laps.
D. Moppings of pitch shall be used between piles and shall uniformly cover the entire lapped surfaces so that in no place felt touches felt.
E. Installation of 4 ply built up roof areas shall conform to Barnett's specifications for 10 years Bondable roofs. If bond is required owner is to pay for bond at the rate of \$1.75 per 100 sq. ft. of roof areas.
F. For roof decks:
1) Over entire surface lay 4 plies of tarred felt, lapping each sheet 2 1/2" over preceding one.
2) Over entire surface, pour a flood coat of asphalt and white hot inbed not less than 200 lbs. of gravel for each 100 sq. ft. of roof area.
3) Under all flashings, reinforce with 4 additional plies of tarred felt feathered up side and out the roof deck 6", 7", 8" and 9" in both directions. The first layer reinforcing felts shall be imbedded in pitch and all layers including the top layer shall be covered with heavy uniform layer of pitch base plastic.
4) Set all stack and vent lead flashings as supplied by plumbing contractor.
5) Install scupper drains and down spouts with adjacent flashing as described in plans at locations shown.

SECTION 9 VINYL ASBESTOS TILE

ART. I Work Required

- A. Install Tile
B. Surface preparation

ART. II Materials

- A. Vinyl asbestos plastic tile 1/8" by John Mansville or American Biltrite. All colors to be selected by owner or architect.
B. 4" or 6" cover base
C. Mastic

Stamp area containing project name 'CHAMPLAIN TOWERS', address '537 COLLINS AVE.', unit information 'UNIT CONDOMINIUM', date '8/20/79', sheet number '2 OF 27', and architect name 'WILLIAM M. FRIEDMAN & ASSOCIATES ARCHITECTS, INC.' with a diamond-shaped logo.

ART. III Execution of Work

- A. Inspect and level floor
- B. Apply cement in accordance with manufacturers specifications.
- C. Install tile in strict accordance with manufacturer's specifications

SECTION 10 INSULATION

ART. I Scope

- A. Supply and install rock wool bats in partitions where shown on plans. All walls that have insulation to have lathing attached with resilient clips.
- B. All roof areas to have 2" thick board type insulation to be installed in accordance with manufacturers specifications under roofing. **NOTE: SEE PLANS FOR ALL INSULATION.**

SECTION 11 WOOD DOORS AND MILLWORK

ART. 1

- A. Door frames and trim, etc.
- B. Doors
- C. Wood preservative treatment
- D. The following are included under the other sections:
 - 1) Installation of millwork, Section 5
 - 2) Finishing, Section 15

ART. 2 Materials

- A. Lumber shall be sound, thoroughly seasoned and shall be in accord with the lumber manufacturing association's grading rules as herein specified or approved equal and shall be selected to eliminate objectional defects.
- B. Lumber type and grade:
 - 1) Exterior trim and frame - "B" grade pine, or "B" or btr. V.G. Fir. Dwg. Fin.
 - 2) Interior frames, trim, etc. - clear Poplar or white pine, snap grade selected
- C. Doors = see door schedule
 - 1) Flush type hollow core interior doors.
 - 2) Flush type solid - Exterior as selected.

ART. 3 Wood Preservative: Woodlife, as distributed by A. H. Ramsey and Sons, Inc. or approved equal.

SECTION 12 LATHING, PLASTERING AND STUCCO

ART. 1 Work Required

- A. Gypsum Lathing
- B. Plastering - Lime
- C. Stucco

ART. 2 Materials

- A. All manufactured materials delivered in original packages, containers or bundles bearing the name of the manufacturer and brand.
- B. All cementitious materials must be kept dry until ready for use - must be kept off the ground, under cover and away from sweating walls and damp surfaces.
- C. Sand - Standard specifications of the ASTM Code, latest edition.
- D. Water: City
- E. Gypsum Plaster - Fed. Spec. SS-P-402 Type N, Fibermat and unbranded.
- F. Masonry Cement - Fed. Spec. SS-C-181-R Type 1
- G. Portland Cement - Fed. Spec. SS-C-102 Type 1 Domestic
- H. Waterproofing - Section #1 by SEC Manufacturing Co. or approved equal.
- I. Metal Lath - Fed. Spec. QQ B 101C, Type F expanded metal
- J. Gypsum lath - Fed. Spec. SS-P-431c, 3/8" thick
- K. Corner beads - zinc, small nose, expanded type

ART. 3 Execution of Work

- A. Preparation for lathing - ceiling - apply wood furring strips 1x4 @ 16" o.c.
- B. Lathing Gypsum for ceilings
 - 1) Gypsum lath nailed to furring strips, 6 lath nails each contact point.
 - 2) Transverse joints between lath broken. Lath shall not be butted tightly together or more than 1/8" apart.
- C. Gypsum Lath on Wood Framing
 - 1) Gypsum lath laid with long dimension across supports and nailed to wall - 4 lath nails at each support.
 - 2) Staggered vertical joists - Lath not butted tightly together more than 1/2" apart.
- D. Lathing General
 - 1) Corner beads at all external corners of plastered surfaces.
 - 2) Apply wire lath on each surface at internal corners.
- E. Plastering
 - 1) General - Material which is partially set shall not be re-tempered or used. Caked or lumpy material shall not be used. The mixer or mixing box and tools to be thoroughly cleaned of all set or hardened material before material for a new patch is loaded.

- 2) Concrete surfaces shall have sufficient roughness to provide proper bond. If surfaces are not rough they shall be hacked or bush hammered, or a dash coat of cement grout, composed of 1 part cement to 1 1/2 parts sand mixed to a mushy consistency shall be used.
- 3) All masonry surfaces broomed off and evenly wetted, not saturated, immediately before the plaster is applied.
- 4) Gypsum Plaster - Brown - 1 part gypsum neat plaster and not more than 3 parts sand, by weight, well rodded, screeded and floated with all angles, true, straight and plumb, and just back of the grounds. First coat on gypsum lath.
- 5) Finish coat on gypsum plaster - Lime putty and gauging plaster troweled to a dense hard, smooth surface. Surface face shall be rod and be even with grounds.
- 6) Stucco on masonry - Scratch coat - 1 part portland cement, 1 part masonry cement, mixed with a minimum of 5 parts to a maximum of 6 parts sand. Apply with sufficient pressure to form a good bond, fill out low places, double back to produce uniform surface. Scratch uniformly.
- 7) Final coat - shall be gauged with integral waterproofing 1 qt. to 1 bag cement, float texture finish min. 1/8" thick but applied in sufficient thickness to provide level surface.
- 8) Preparation for tile work - scratch coat over masonry window sills to receive tile & bed grout.

SECTION 13 CAULKING & WEATHERSTRIPPING

ART. I Work Required

- A. Caulking of all exterior openings
- B. Thresholds and weatherstripping

ART. II Materials

- A. weatherstripping - doors - Quaker City #598 Spring Aluminum or approved equal
- B. Aluminum thresholds of an approved type and manufacture
- C. Meeting strip on door at threshold, aluminum as approved
- D. Caulking of an approved type and manufacture.

ART. III Execution of Work

- A. Clean all spaces and areas to receive caulking thoroughly.
- B. Joints to be 1/2" deep and 3/8" wide.
- C. Appl. caulking so that joint will not trap water, and provide an outward pitch for bottom joints.
- D. Use knife grade for horizontal joints and sashgrade for vertical joints.
- E. Point joints neatly with coving tool and remove excess material.

SECTION 14 ROUGH HARDWARE

ART. I Work Required

- A. Door hinges, nails, screws, etc.
- B. Structural steel anchors, bolts, etc. covered in sections 7 and 8

ART. II Materials - Domestic manufactured of an approved size and grade

ART. III Execution of work

- A. All hardware connections and installations are to be done in a neat and skilled workmanlike manner.
 - B. Hinges to be shop prime coated before installation.
- ART. IV LOCKS - All locks and knobs to be Schlage - Tulip design, aluminum polished finish, master keyed throughout.

ART. V Schedule - Finish hardware schedule to be submitted to owner for approval.

SECTION 15 PAINTING

ART. I Work Required

- A. Exterior Woodwork
- B. Exterior Metalwork
- C. Interior Plaster (walls)
- D. Interior woodwork and doors
- E. Interior metal work
- F. Interior galvanized and primed hardware
- G. Painting or finishing of the following not required:
 - 1) Aluminum work
 - 2) Other surfaces which come pre-finished
 - 3) Interior structural steel covered in section 14

ART. II Materials

- A. Putty - 10% white lead
- B. Sandpaper etc., as required and approved
- C. All paint materials in and out "Dodge" or approved equal as scheduled in "Execution of Work" below.

ART. III Execution of Work

- A. Workmanship - All materials shall be applied by skilled mechanics and shall be evenly and smoothly flowed on, leaving no superfluous material, sags or runs.
- B. All work shall be clean cut and all dividing lines that separate colors shall be straight.
- C. All surfaces not to be painted are to be left clean and free from paint.
- D. Storage and mixing of paints shall be confined to one room or one specified area of building.

- E. All materials used on the job by painting contractor shall be delivered to the job in original sealed containers by the vendor, and it shall be the responsibility of the painting contractor that material in these packages is as labeled.
- F. Mineral Spirits shall not be used as a reducer and no mineral spirits shall be kept on the job, except in the paint room for cleaning purposes only.
- G. All colors of finish coats are to be selected by the owner.
- H. Application

- 1) With the exception of primer sealers, all individual coats of paint shall be applied in such manner as to give full coverage.
 - 2) The term full coverage shall mean applying paint over all surfaces in a manner which gives uniform color and sufficient density that it is opaque and all paints shall be applied in this manner.
 - 3) All wood and metal surfaces are to be sanded smooth between each coat of paint material applied. This does not apply to exterior house paint.
 - 4) The term "smooth", shall mean free from all roughness, ridges and projections on the surface.
 - 5) In the case of surfaces where pitch or resin has leaked through, same shall be removed and surface affected shall receive a heavy coat of approved shellac prior to the application of other paint materials.
 - 6) All areas to be caulked shall be back primed with 2 coats of approved stucco oil paint prior to the application of any caulking.
 - 7) All nail holes, cracks and other cavities shall be primed with an approved wood primer and then puttied flush with original surface.
 - 8) Application
 - a) Exterior workwork - three coats, first coat - Devco All weather house paint undercoat. Second and third coats: Devco All-weather House Paint Top Coat.
 - b) Exterior metal work: Galvanized surfaces - 2 coats. First coat - Devco Zinc Dust Primer. Second coat - Devco All Weather House Paint Top Coat.
 - c) Interior - Plaster walls receive paint at this time. Do entire interior plastered surfaces including ceilings. 3 coat work as follows: First coat: Devco #8010 primer and sealer, white. Second Coat: Devco # 8030 enamel undercoat, white. Third coat: Devco Valour white gloss enamel.
 - d) Interior woodwork - 2 coats. First coat - Devco # 8030 Enamel undercoat. Second Coat - Devco Valour Alkyd Flat Enamel.
 - e) Interior Galvanized and Primed Steel exposed 3 coats - same as section (d).
- All work shall be left in a clean and workmanlike manner and left free of all defects. Inspection by owner is to be made with paint contractor present before general contractor is authorized to pay painting contractor on his final requisition.

SECTION 16 ELECTRICAL WIRING

ART. I Scope of work

- A. The applicable portions of the instructions, orders and of general conditions shall be included herein.
- B. The work of the electrical contractor shall consist of furnishing and installing all equipment and materials for a complete operating electrical system as shown on the plans, and as described in these specifications. The work shall include, but is not restricted to the following:
 - 1) A temporary electrical service as required for all trades during construction as required by the general contractor.
 - 2) A complete secondary wiring system from point of service to and through main switch, distribution panels, branch panels, to and including all outlets and devices.
 - 3) Secondary circuit and cable from the Florida Power and Light Company pole to the distribution center.
 - 4) Connection of all motors, starters and controls, and all other electrical work incidental to other trades for a complete working installation of their electrically driven equipment. This contractor is to furnish all materials beyond the disconnecting means to affect the connection of starters, controllers and motors furnished by others.
 - 5) Cutting, patching, excavating and backfilling.
 - 6) Fees, permits, inspections, tests, service and guarantee.
 - 7) Installing and lamping of fixtures furnished by this subcontractor.

ART. II Materials

- A. General - Electrical materials and appliances of types for which there are Underwriters Laboratories standard requirements shall have labels attached signifying compliance with such requirements. Where materials do not bear such a label, a certificate of compliance shall be furnished if requested. All materials shall be new and of the quality noted herein.
- B. Conductors - Lighting and power conductors
 - 1) shall be hard draw copper, 100% conductivity, 90v volt type TW insulation for general use, unless otherwise indicated.
 - 2) Type RH-FW shall be used in lieu of type TW for "Trapped" runs.
- C. Raceways - all conductors shall be contained in raceways. All raceways shall be hot-dipped galvanized as by Allied Tube. Rigid heavy wall conduit shall be used where raceways are run exposed to weather, concealed in masonry, under concrete or under ground. Electro-mechanical tubing (EMT) may be used for all purposes except as noted. All connections to motors or other vibrating equipment shall be made with Greenfield Cable.
- D. Outlet boxes - outlet boxes shall be galvanized metal troughplate stamped steel, 2 1/2 x 4 x 1 1/2" deep, except where larger boxes are required by code, by virtue of conductor size, number of conductors, or where required by the size of the device to be installed.
- E. Wiring Devices - wiring devices shall be furnished as shown on the plans and listed in the "Symbol List"
- F. Panelboards shall be as called for on the plans. All panels shall be single door construction with snap latch.
- G. Safety switches shall be as listed on the plans. Enclosures conform to location.

ART. III Execution of work

- A. All work necessary to complete this installation as intended by these specifications and the drawings, shall be executed in the most thorough, neat and workmanlike manner. The electrical

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3358044

CHAMPLAIN TOWERS NORTH
2877 COLLINS AVE.
A 112 UNIT CONDOMINIUM

COMM. No.	DATE:	SHEET
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Section 16, Article 3

- A. (con't) contractor shall place upon the job a qualified foreman who shall remain on the job continually through the regular working hours during periods when electrical work is in progress. Only experienced, qualified workmen shall be employed.
- B. This contractor shall cooperate with all other contractors on the job and shall install his work as fast as progress of the balance of the work will permit.
- C. This contractor is to be responsible for the actions of his employees and for the compliance with all laws and ordinances governing his work. He shall lay out lines for conduit sleeves, locate wall chases, etc., in ample time so that all coordination with other trades will be accomplished without necessity for cutting and patching. He shall at all times take proper precaution to protect his work from damage and disfigurement.
- D. The complete electrical system shall conform to all laws, ordinances and regulations of Municipal, County or state bodies, and the Florida Power and Light Co. and the individuals having legal authority to supervise the work. In general, the regulations of the National Board of Fire Underwriters and Rating Bureaus shall be strictly adhered to, except where those regulations conflict with regulations of the utility companies and local codes, which shall take precedence.
- E. The contractor shall obtain all permits for work under this contract, shall pay all expenses in connection therewith, and shall furnish certificates of inspection.
- F. The contractor shall provide all necessary instruments, special apparatus, and expert service to make all tests required to show that the system is absolutely clear of grounds, short circuits, and is properly installed to meet the intent and requirements of these specifications.
- G. The Electrical Contractor shall guarantee all workmanship and materials covered by these specifications for a period of one year after acceptance, and shall make good all defects, either labor or materials, discovered within the one year period, without additional charge over and above the bid price.
- H. It shall be the responsibility of the bidders to visit the site of the work, and to acquaint themselves with all available information regarding service facilities. Failure of the bidders to inform themselves fully of the conditions will not entitle them to an extra charge over and above the bid price.
- I. Conductor Installation:
 - 1) No joints or taps will be allowed in feeder runs under any conditions.
 - 2) Conductor sizes specified are minimum sizes, and shall not be decreased.
 - 3) Insulation resistance of joints shall be equal to or greater than that of the wire.
 - 4) Changes in equipment furnished by others may necessitate changes in wire size. In such cases the contractor shall increase wire sizes accordingly.
 - 5) No conductors shall be installed until all rough work by other trades is complete, and roof is in place.
 - 6) For branch circuits, no wire smaller than 14 AWG shall be used, and for home runs in excess of 100 feet, # 10 AWG shall be used.
 - 7) For control wiring of motor circuits, contractors and pilot devices, # 14 AWG wire may be used.
 - 8) Wire insulation shall be colored, using three colors and white to indicate the phases; white shall be used for the neutral.

ART. IV Raceways

- A. All conductors shall be contained in raceways. All raceways shall be run concealed unless specifically noted otherwise on the plans. Do not pierce any structural member without the written permission of the architect.
- B. All underground conduit runs shall have two protective coats of Koppers Bitumastic #50 brush applied, undiluted, before backfilling.

ART. V Outlet Boxes, covers and plates

- A. Outlet boxes shall be of the sizes and types to properly accommodate the size and number of conductors and raceways which enter them. Boxes shall be selected to suit the particular devices to be installed.
- B. Mount all boxes so that all covers and plates will finish flush with the wall or other finished surfaces. Properly center outlets in paneling or other architectural features as indicated on the architectural plans, and clean trims and corners by at least four (4") inches where possible.
- C. Close all outlets during rough construction, and during plastering and concreting, with kraft paper excelsior, or clip on blank plates.
- D. Symbols on drawings show approximate locations only. Unless exact locations are specified on architectural plans and elevations, consult architect for instructions before proceeding.
- E. All fixture outlet boxes shall be equipped with "no-bolt" type of fixture studs of sufficient size to support fixture and device loads.
- F. Suitable bar hangers shall be used throughout the work, as wooden supports, strips, or other makeshift devices will not be permitted.
- G. Unless specifically noted otherwise, all wall outlets shall be mounted as follows, measurements being made from the finished floor to the center of the outlet box.
 - 1) Switches - 4' - 0"
 - 2) Receptacles - 1' - 0"
 - 3) Bracket Outlets - 7' - 6"
 - 4) Flush Panels (to center of can) - 5'0"
 - 5) Surface panels and Main Switch, (to center) - 5'0"

ART. VI Panels and Safety Switches

- A. All panels and safety switches shall be fastened rigidly to the structure or to backing boards
- B. All safety switches mounted in groups shall be plainly marked to indicate their function.
- C. All panels shall be equipped with directory frames, and typewritten directory cards shall be inserted to indicate the function of all circuits.
- D. Backing boards, where required, shall be 3/4" thick exterior plywood rigidly fastened to 2 x 4 lumber fastened flat to the wall with machine bolts and lead inserts (concrete nails are not acceptable). Backing boards shall be given two coats of flat black paint.
- E. Panel board boxes shall be given two coats of zinc chromate primer before installation

ART. VII Service - Service to the building shall be underground for power from utility company facilities. Service to the building will be shown on electrical plans.

SECTION #17 DRIVEWAY AND RAMP SEALERS

ART. I WORK REQUIRED

- A. SEAL ALL CONCRETE DRIVEWAYS
- B. SEAL AND NON-SKID RAMP
- C. PAINT ALL PARKING STRIPES
- D. INSTALL PRECAST PARKING BUMPERS

ART. II MATERIALS

- A. DARATOP BASE AND FINISH COAT
- B. DARATOP NON-SKID TOPPING
- C. STRIPING PAINT
- D. PRECAST CONCRETE PARKING BUMPERS

ART. III EXECUTION OF WORK

- A. DARATOP CURING AND SEALING SYSTEM, BY W.R. GRACE & CO., SHALL BE APPLIED IN ACCORDANCE TO THE MANUFACTURERS SPECIFICATION.
- B. AREAS CAN BE OPENED TO TRAFFIC 24 HOURS AFTER THE APPLICATION OF THE BASE COAT. FINISH COAT CAN BE APPLIED AFTER OTHER TRADES HAVE COMPLETED THEIR WORK. IF SO THE AREA MUST BE CLEANED AS DIRECTED BY MANUFACTURER.
- C. DARATOP RAMP TOPPING AND SEALING SYSTEM, BY W.R. GRACE & CO., SHALL BE APPLIED IN ACCORDANCE TO THE MANUFACTURERS SPECIFICATION.
- D. RAMP SHOULD NOT BE OPEN TO TRAFFIC FOR AT LEAST 48 HOURS AFTER THE APPLICATION OF RAMP TOPPING.
- E. STRIPING PAINT SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION. ALL SURFACES SHALL BE DRY AND CLEAN.
- F. INSTALL PRECAST CONCRETE PARKING BUMPERS AFTER PAINT STRIPING. BUMPERS TO ANCHORED WITH MASTIC.

SECTION 18 CLEAN-UP, TRASH REMOVAL, & PATCH UP WORK

- ART. I The general contractor is responsible for the daily removal of all trash and debris, either caused by him or his sub-contractors.
- ART. II Before final inspection is given by the architect for final payment, he must have all foreign matter, trash, debris, etc., removed from the premises, and pay for all labor and equipment involved in such clean-up; also, the structure is to be left in a neat, broom clean and acceptable manner.
- ART. III Patch up work consists of any revision, alterations and additions to existing structure, incidental to the performance of his work on the new structure and outlined on the specifications and plans.

SECTION 19 PLUMBING

ART. I Scope of Work

- A. Provide all equipment, materials and labor required to construct a complete plumbing system according to these plans and specifications and comply with all codes. The major items included in this work as follows:
 - 1) water heater
 - 2) sanitary waste and soil piping
 - 3) condensate piping
 - 4) cold and hot water piping
 - 5) specialties
 - 6) Clean-outs
 - 7) Sleeves and Escutheons
 - 8) Flashings
 - 9) Floor Drains
 - 10) Plumbing fixtures
 - 11) Excavation and backfilling
 - 12) Tests and balancing
 - 13) Cleaning up
 - 14) Guarantee
 - 15) Piping for air cond. as required

ART. II Materials and Equipment

- A. All equipment and materials furnished under this contract is to be the best quality available in each grade or class.
- B. All equipment and materials will be installed in strict accordance with the manufacturers recommendations.

ART. III Sanitary Waste and Soil Piping

- A. All piping shall be service weight cast iron including fittings with cast lead and oakum joints.
- B. All piping shall be installed with a 1/8" per 1' pitch. Piping within building shall be supported with approved pipe hangers 5' on center max. Underground piping shall be continuously supported upon the bottom of the trench.
- C. All cast iron soil pipe and fittings shall be coated inside and outside with a mixture of hot tar and oil.

ART. IV Condensate Piping - Supply and run connect a 1" A.C. Cond. safe waste as shown.

ART. V Cold and Hot Water Piping

- A. Copper and Galvanized piping of approved types to be used.
- B. All piping inside building will be supported with approved pipe hangers 10 feet o.c.

SECTION 19 PLUMBING (continued)

ART V (con't)

- B. (con't) max. Under slab piping on trench bottom.

ART. VI Specialties - Install 3/4" "Crane" #8.340 brass hose bibs - see plan

ART. VII Cleanouts - Provide approved cleanouts with brass plugs and access panel as shown on riser diagram.

ART. VIII Sleeves and Escutheons - Provide standard weight galv. steel pipe sleeves where piping passes through concrete, block or walls. Sleeves through slab shall extend 3/8" above finished floor. Provide escutcheon plates (brushed chrome plated) at above locations.

ART. IX Flashings - all vent pipes through roof shall be flashed with 4 lb. lead sheet furnished by this contractor, installed by roofer.

ART. X Floor Drains - Joram 3" with cast iron body and deep seal P-trap, brass grate

ART. XI Plumbing fixtures - see mechanical plan - AMERICAN STANDARD; CRANE OR KOHLER

ART. XII Co-ordinator of Work

- A. This contractor is responsible for the full coordination of his work with all other contractors.
- B. This contractor shall furnish the general contractor with all data and dimensions for the installation of his work.

ART. XIII Excavation and backfilling - This contractor shall do all excavation and backfilling required for his work and only to the depth and width necessary for the proper installation of the work. Excess excavation shall be filled to the proper levels and well compacted as directed

ART. XIV Tests and Balancing

- A. All piping will pass the following pressure tests for 2 hours
 - 1) Sanitary piping: 5PSI - Hydrostatic
 - 2) Hot and Cold Water: 100 PSI - Hydrostatic
- B. Plumbing contractor to make all tests as Codes require

ART. XV Cleaning-up - Upon completion of this installation this contractor shall clean all dirt, grease, oil and rust from all his installation.

ART. XVI Guarantee - This contractor shall furnish the owner with a written guarantee, that the complete plumbing system is without fault in materials or workmanship; and that any defects in either or both shall be corrected promptly and without cost to the owner or general contractor. This guarantee is to be for 1 year from the date of acceptance by the owner of the installation.

SECTION 20 CERAMIC TILE

ART. I Work Required

- A. Preparation
- B. Setting
- C. Grouting and Painting

ART. II Materials

- A. 3/4" x 3/4" matte floor tile
- B. 4" x 8" stoneware tile - hard molded
- C. 3/4" x 3/4" Glazed "JO" tile
- D. Portland Cement
- E. Sand, free from clay, alkali, organic matter
- F. Metal Lath for furred surfaces
- G. Standard Sill tile all windows.

ART. III Execution of Work

- A. Preparation of floor areas to receive tile - Clean, wet and sprinkle with dry cement before applying setting band.
- B. Set, grout and clean tile in accordance with T.M.A.B.S. -k300. Protect all finishes.
- C. Use bull nose and cove where required
- E. All colors to be selected by owner or architect.

SECTION 21 WINDOWS & GLASS DOORS

SCOPE

Supply and install windows and glass doors as shown on the plan. Windows and doors to have aluminum frame complete with screen and hardware. All windows and doors to meet Dade County Building Standards.

SECTION 22 LANDSCAPING

SCOPE

Include furnishing all materials, equipment, and labor necessary for planting trees, shrubs, ground covers and lawns, maintenance, guarantee and replacement of plant materials and related items required to complete the work. Contractor shall submit detailed landscaping plan to owner for approval.

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

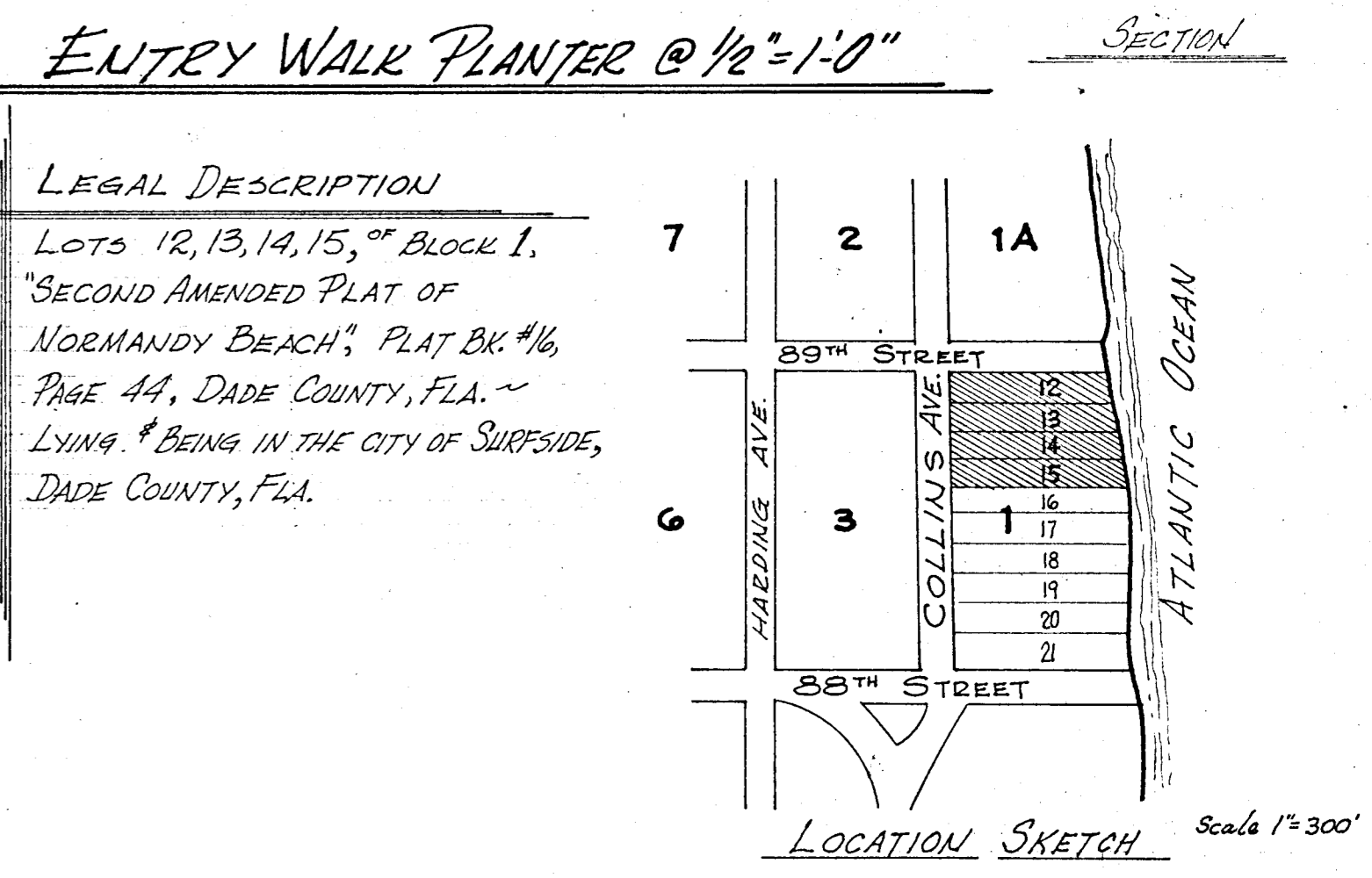
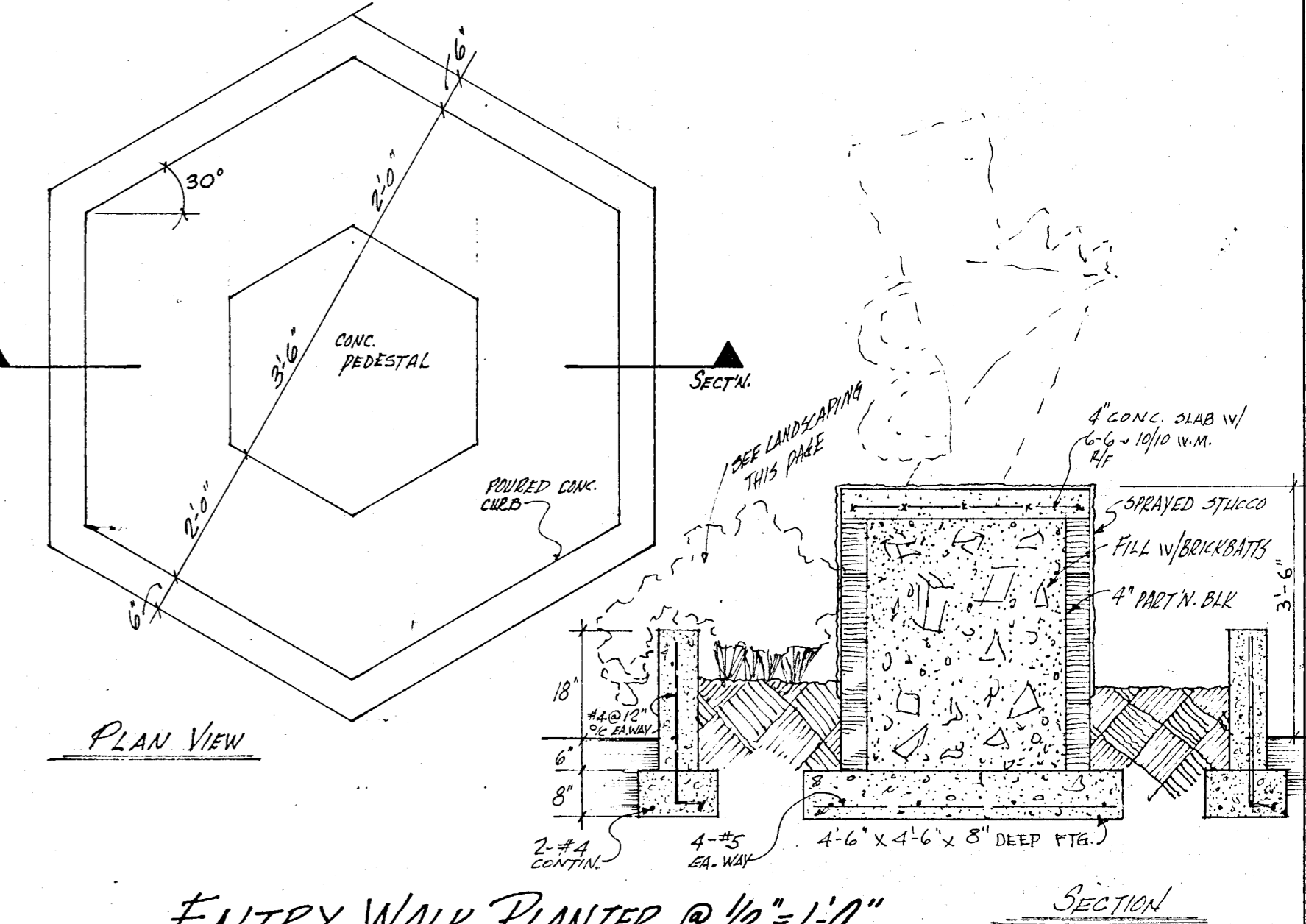
CHAMPLAIN TOWERS UNIT CONDOMINIUM
COLLIERS AVE.

UNIT CONDOMINIUM

COM. NO. DATE: SHEET

REV. 4 OF 27

LANDSCAPING SYMBOLS	
1	CORAL ROCK BOLLIER - 18" MIN. HGT. x 6" LONG x 3" WIDE
2	SHADE TREE - 5" MIN. TRUNK DIAM. & 12' MIN. HGT. - NARRAWAY, BLACK OLIVE, BUTTE BUSH, JACARANDA, PHOENIX RECUNATA, SHEFFLEDA, ARE ALL ACCEPTIBLE. CAUTION! USE SHALLOW ROOT BALL.
3	SPRINGS-A-RUNE ~ 2 CAN - MIN. 9 PLANTS PER SQ. YD.
4	WEDELIA - (GROUND COVER) - 2 CAN - MIN. 6 PLANTS PER SQ. YARD
5	LIGUSTRUM HEDGE - VARIATED LEAF - 24" HGT. - PLANTS @ 24" x 24"
6	PURPLE QUEEN - 10" x 9" EA. W/ - STAGGER PATTERN - 6" DIAM. PLANT
7	ALOEVEEA - 24" TO 30" HGT. - 36" MIN. SPAC. - 48" MIN. SPACER SPACING
8	MOUND & MULCHED MUCK SOIL - 12" HIGH, LOOSELY PACKED.
9	SHEFFLEDA - (UMBRELLA TREE) - 12' MIN. HGT. - MULTI-TRUNK PREFERRED.
10	SEA GRASS CLUSTER - 7" TO 8" MIN. HGT. & 10" TO 15" LENGTH OF SPREAD.
11	IXORA HEDGE - 24" TO 36" HGT. & PLANTS @ 24" x 24"
12	CABBAGE PALM - 3 TRUNK CLUSTER - MIN. 18" TO 26" HGT.
13	ROSE BUSHES - 36" HGT. - 3 BUSH CLUSTER - 24" MIN. x 24" MIN. x 24" MIN.
14	ALEXANDER PALM CLUSTER - 12' MIN. HGT.
15	BABY BAMBOO CLUSTER - 12' MIN. HGT.
16	AS PEDICULARIS FERN - VARIATED - PLANTS @ 18" x 9" EA. W/.
17	FLAME VINE - (GROUND COVER)
18	MARGINATA - MULTI STEM - 72" MIN. HGT.



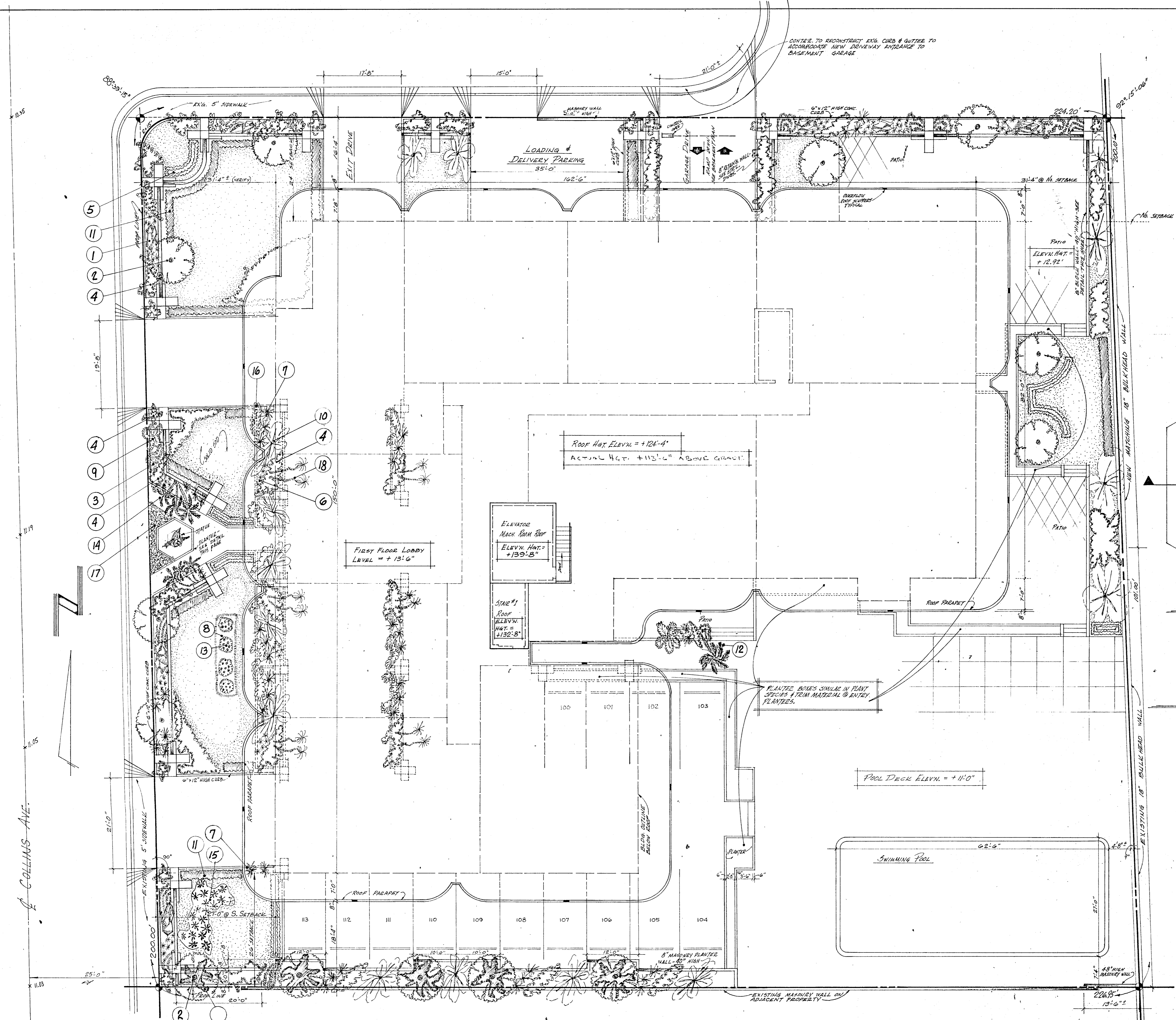
WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

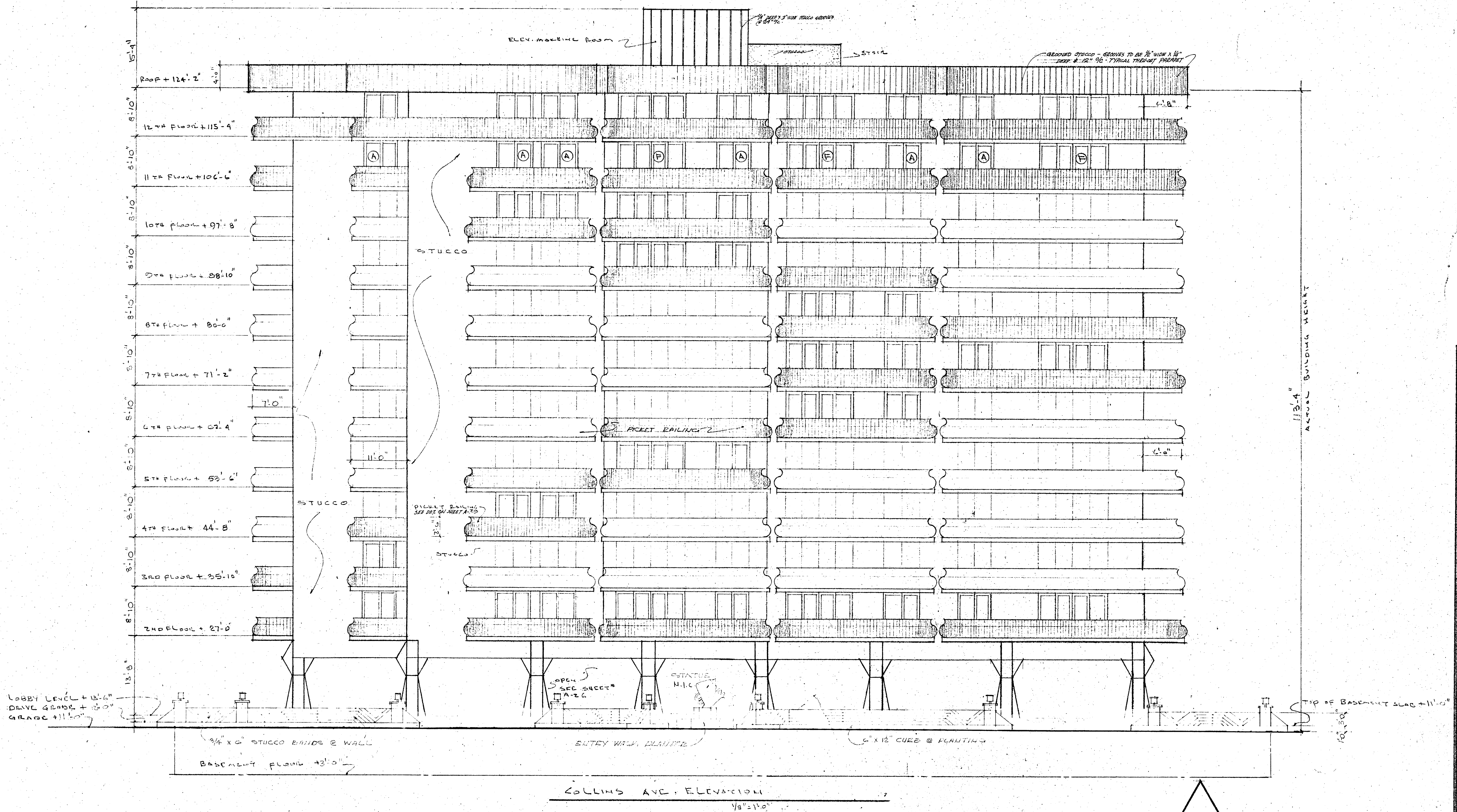
150 S.E. 2ND AVE.
PH. 3585-144

CHAMPLAIN TOWERS NORTH
8377 COLLINS AVE.
A 112 UNIT CONDOMINIUM

COLL. NO. DATE: SHEET
REV. 6 OF 27

LANDSCAPING ~ ROOF ~ SITE PLAN @ 3/32" = 1'-0"





113'-4" BUILDING HEIGHT ABOVE

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

100 S. 2nd Ave.
3688044

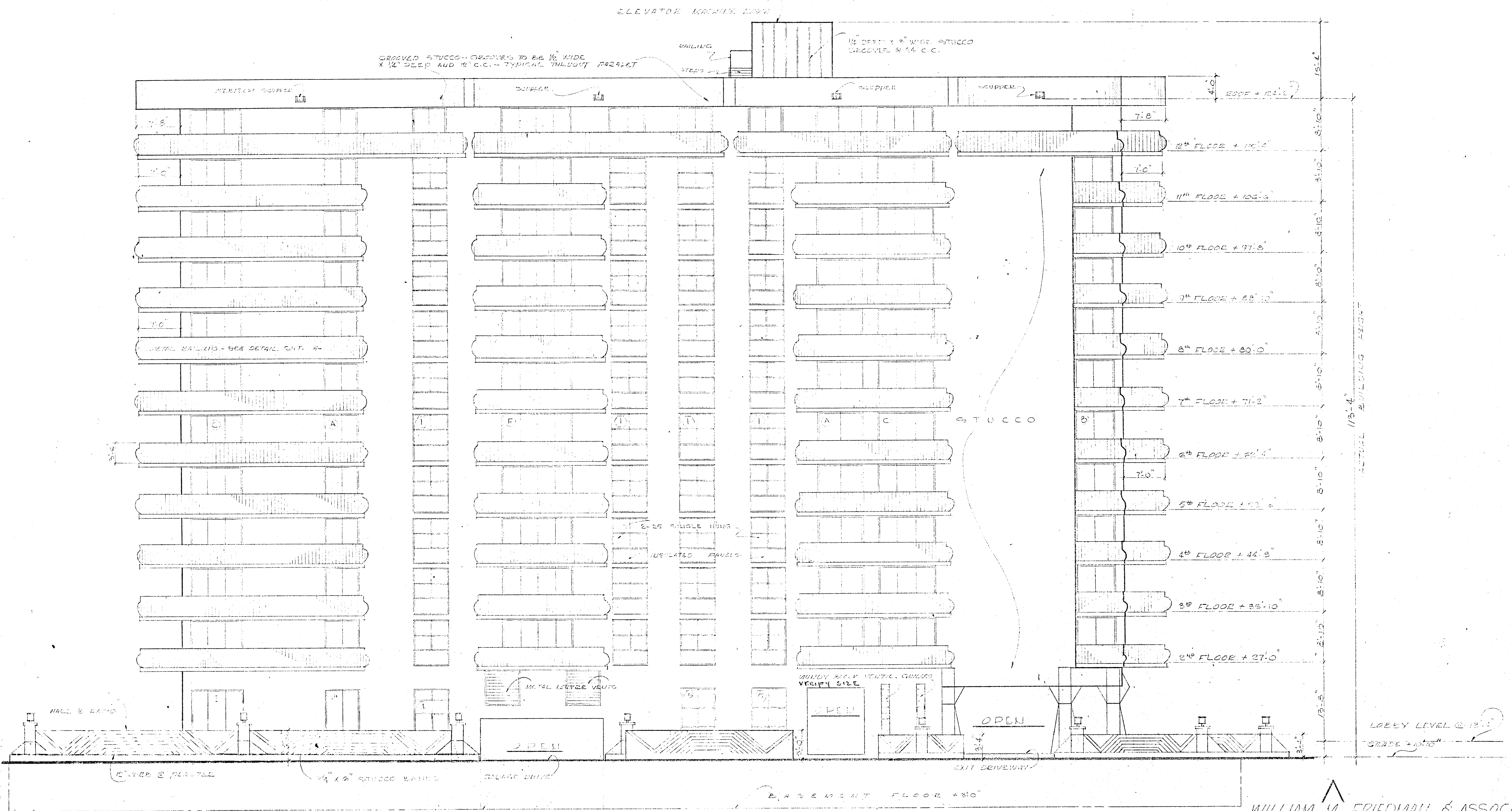
CHAMPLAIN TOWERS NORTH
8777 COLLINS AVE.

A-112 UNIT CONDOMINIUM

COMM. No. DATE: SHEET

REVISED: 7 OF 27

Wmf



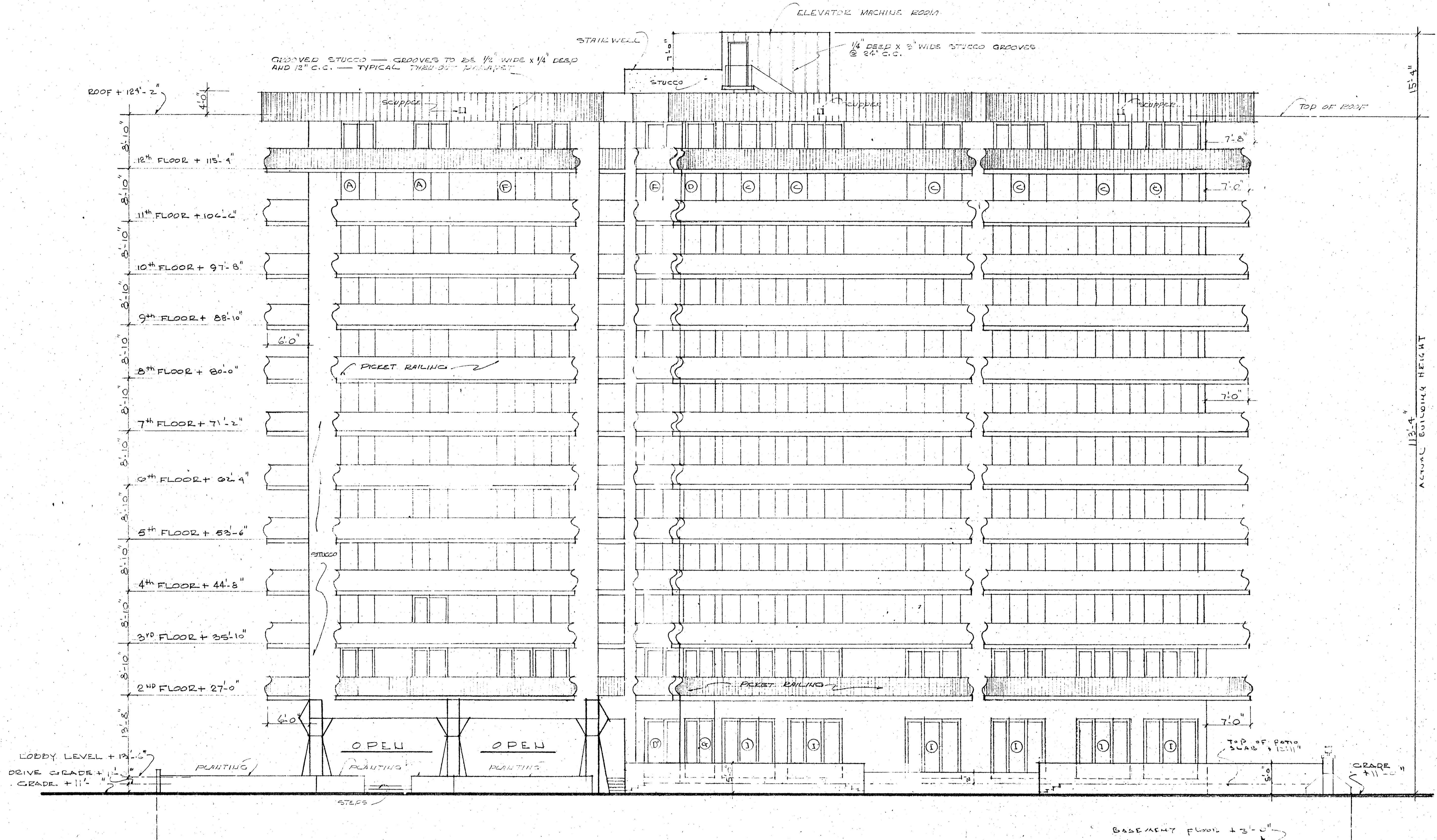
NORTH ELEVATION @ 1/8" = 1'-0"

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

150 S.E. 2ND AVE
333344 CHAMPLAIN TOWERS NORTH
8377 COLLINS AVE.
A - 112 UNIT CONDOMINIUM

COMM. NO.	DATE:	SHEET
	REV.	8 OF 27

Wmf

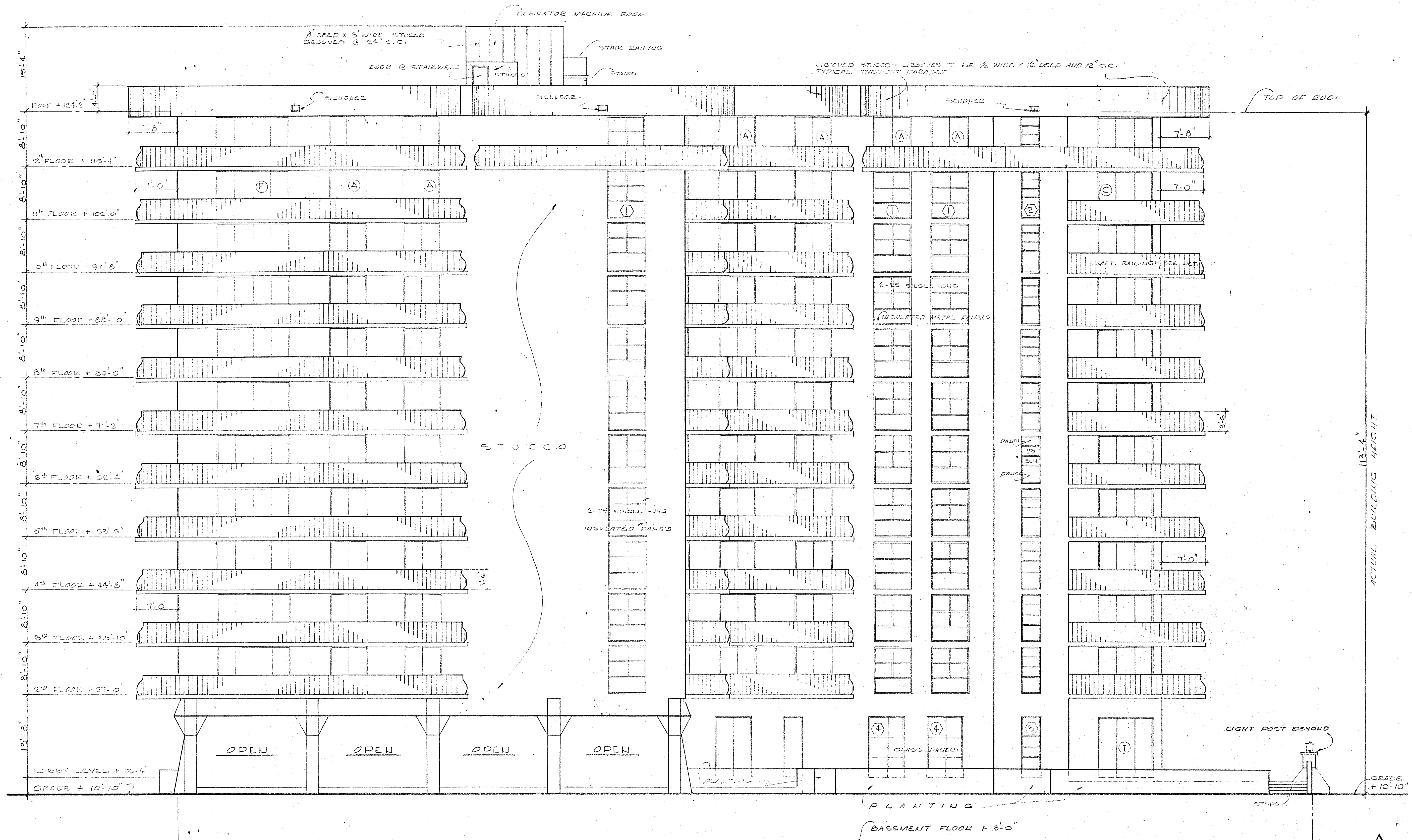


EAST ELEVATION 1/8" = 1'-0"

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

150 S.E. 2nd AVE.
3588044
CHAMPLAIN TOWERS NORTH
8577 COLLINS AVE.
A. 112 UNIT CONDOMINIUM

COMM. No.	DATE:	SHEET 13 OF 21
	REVISED:	



SOUTH ELEVATION @ 1/8"=10"

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC. *W.M.F.*

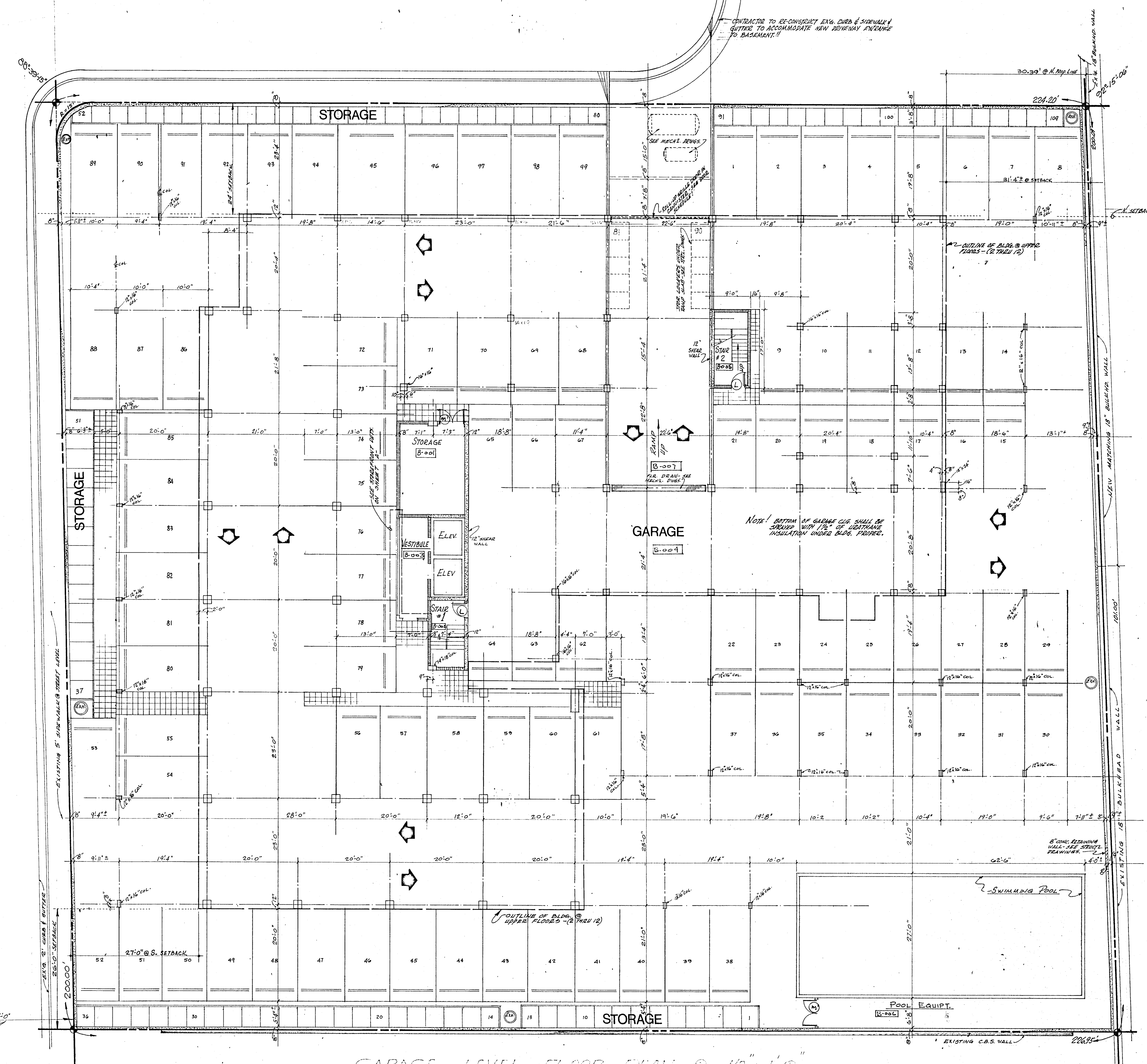
150 S.E. 2ND AVE.
3368044

CHAMPLAIN TOWERS NORTH
3377 COLLINS AVE.
A. 112 UNIT CONDOMINIUM

COMM. No.	DATE: _____	SHEET 10 OF 27
REVISED:		

89TH ST.

COLLINS AVE.



GARAGE LEVEL FLOOR PLAN @ 1/8" = 1'-0"

WILLIAM M. FRIEDMAN & ASSOCIATES
 ARCHITECTS, INC.

150 S.E. 2ND AVE.
 PH. 322-3044

CHAMPLAIN TOWER'S NORTH
 8977 COLLINS AVE.
 A 112 UNIT CONDOMINIUM

COMM. No.	DATE:	SHEET
	REV.	11 OF 27

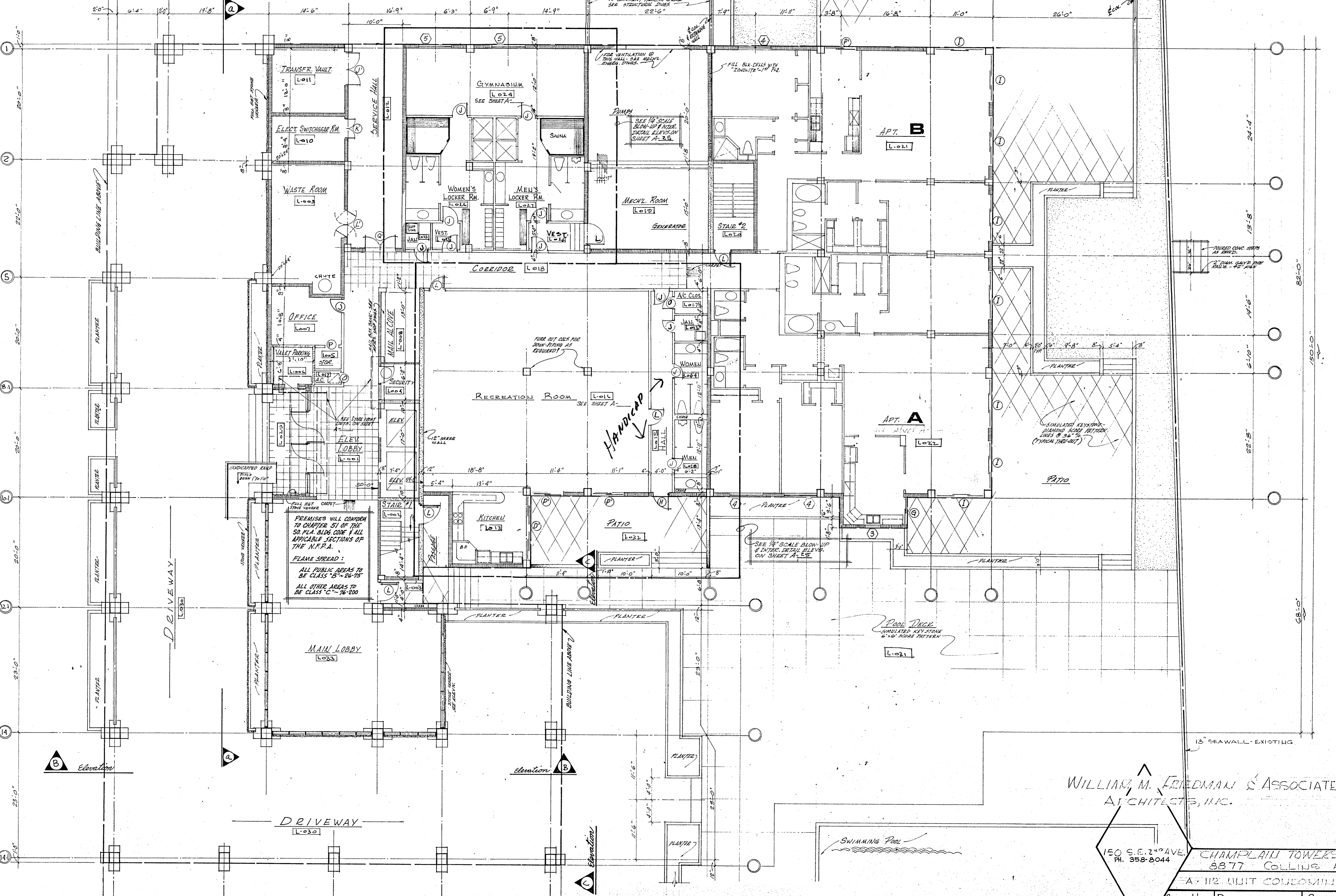
Room 102
at 1000

PROP. LINE

6' x 12' REINFORCED CONCRETE

30'-30"

Prop. Line



Jan-2
1031-2
2-10-82

Elevation

Elevation

Elevation

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

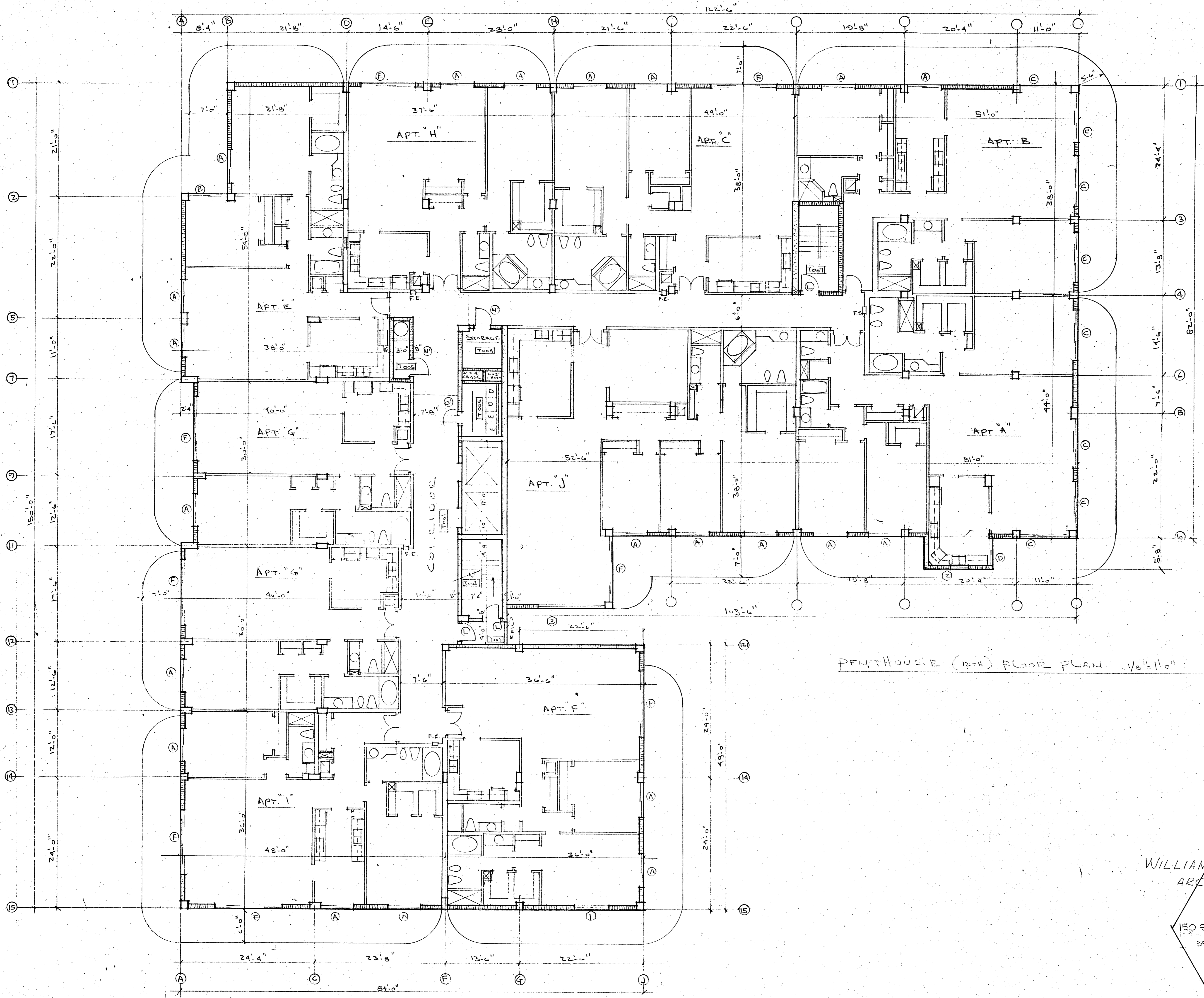
W.M.F.

150 S.E. 2ND AVE.
PH. 358-8044

CHAMPLAIN TOWERS NORTH
8877 COLLIER AVE.
A 12 UNIT CONDOMINIUM

Comm. No.	DATE:	SHEET 12
REVISIONS:		OF 27

First Floor Plan @ 1/8" = 1'-0"



PENTHOUSE (12th) FLOOR PLAN 1/8" = 1'-0"

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

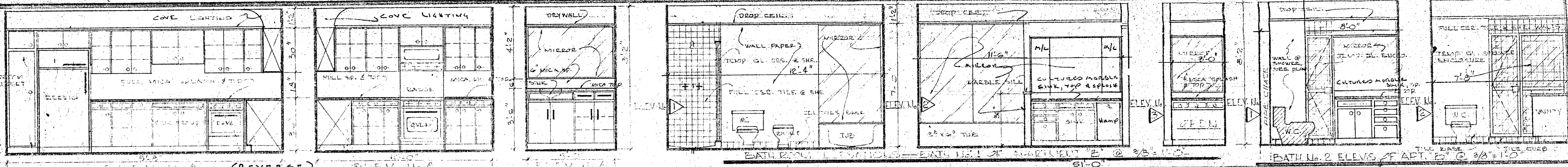
W.M.F.

150 S.E. 24th AVE.
3338044

CHAMPLAIN TOWERS NORTH
8877 COLLINS AVE.

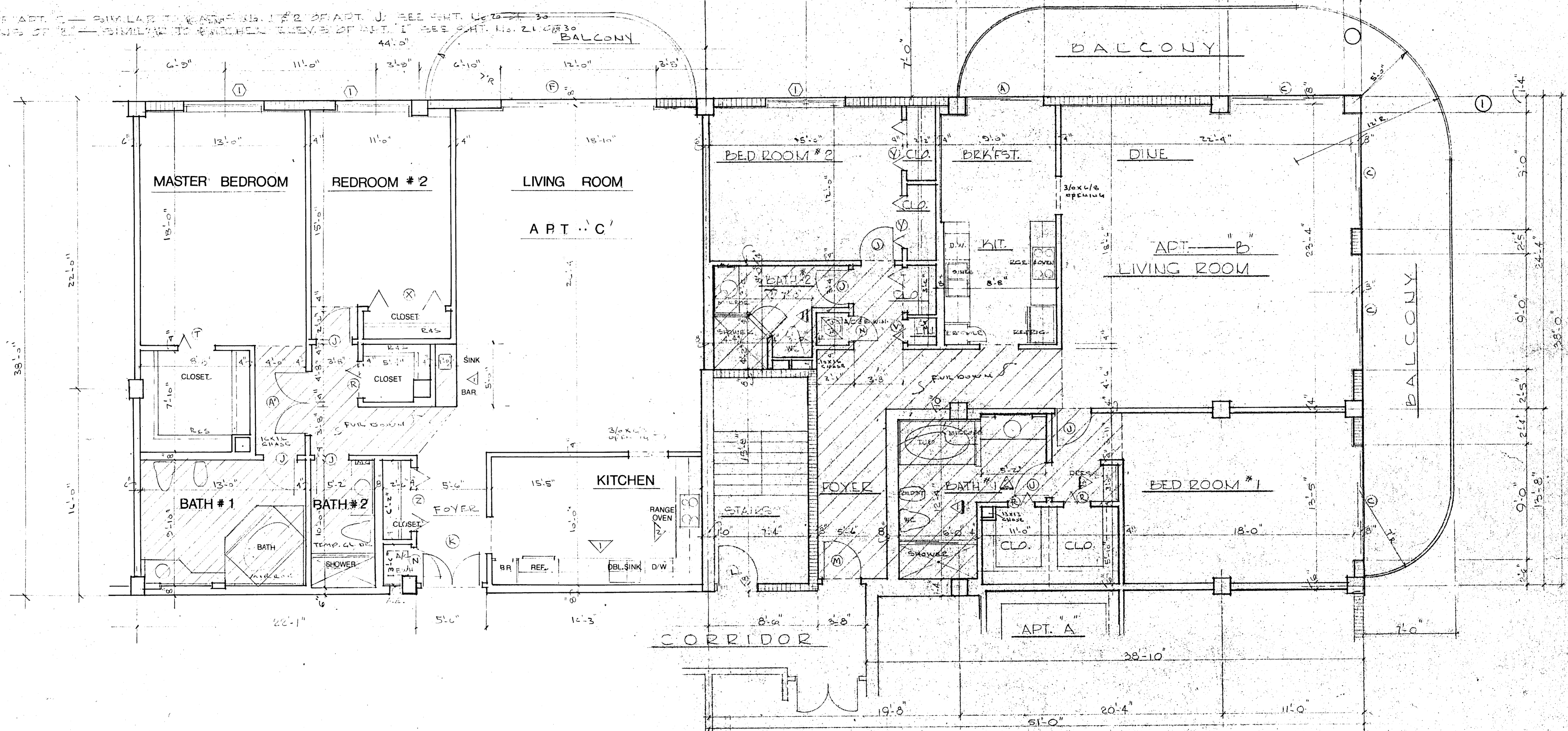
A-112 UNIT CONDOMINIUM

Comm. No.	DATE:	SHEET 14 OF 27
	REV.	

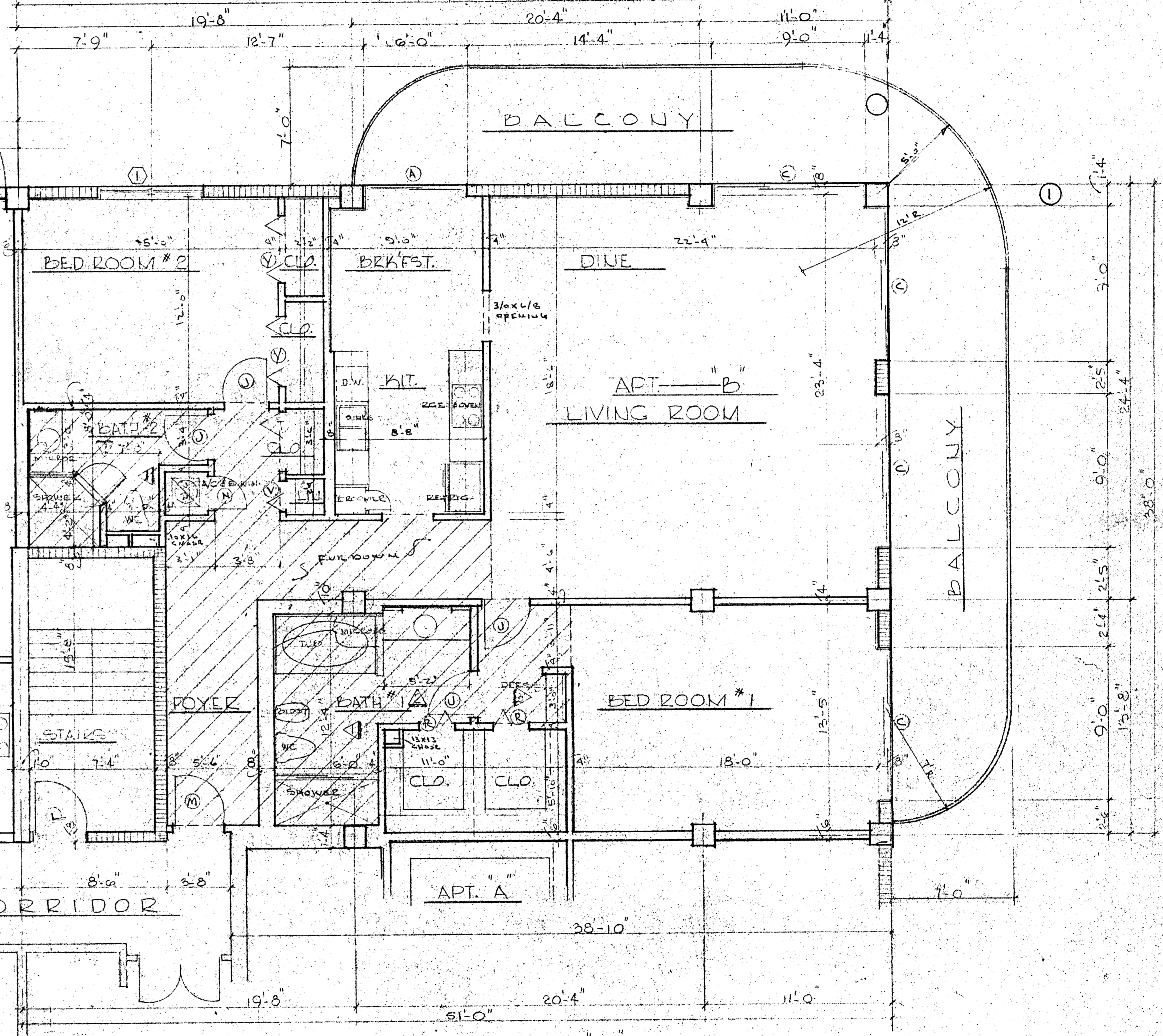


ELEV. U. (REVERSE) ELEV. U. 1/8" = 1'-0"

NOTES:
 BATH #1 & #2 OF APT. C — SIMILAR TO BATH #1 & #2 OF APT. J; SEE PHT. U. 20 & 21.
 KITCHEN ELEVATIONS OF APT. C — SIMILAR TO KITCHEN ELEV. B OF APT. I; SEE PHT. U. 21 & 30.



TYPICAL FLOOR PLAN APT. "C" @ 1/4" = 1'-0"

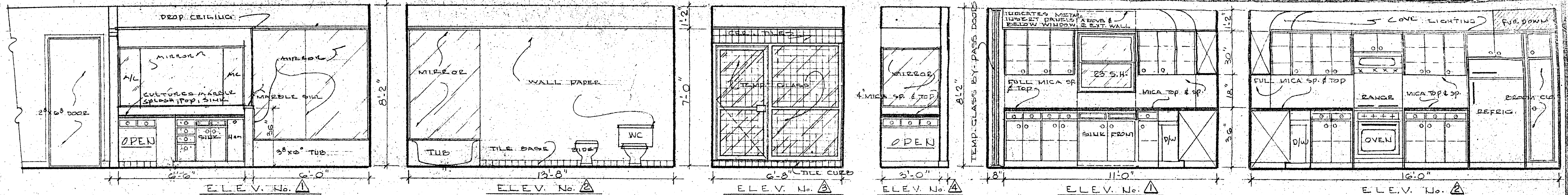


TYPICAL FLOOR PLAN APT. "B" @ 1/4" = 1'-0"

WILLIAM M. FRIEDMAN AND ASSOCIATES ARCHITECTS, INC. *Wmf*

150 S.E. 2 ND AVENUE 3588044	CHAMPLAIN TOWERS NORTH 8577 COLLINS AVE.
COMM. No.	DATE:
REV.	15 OF 27

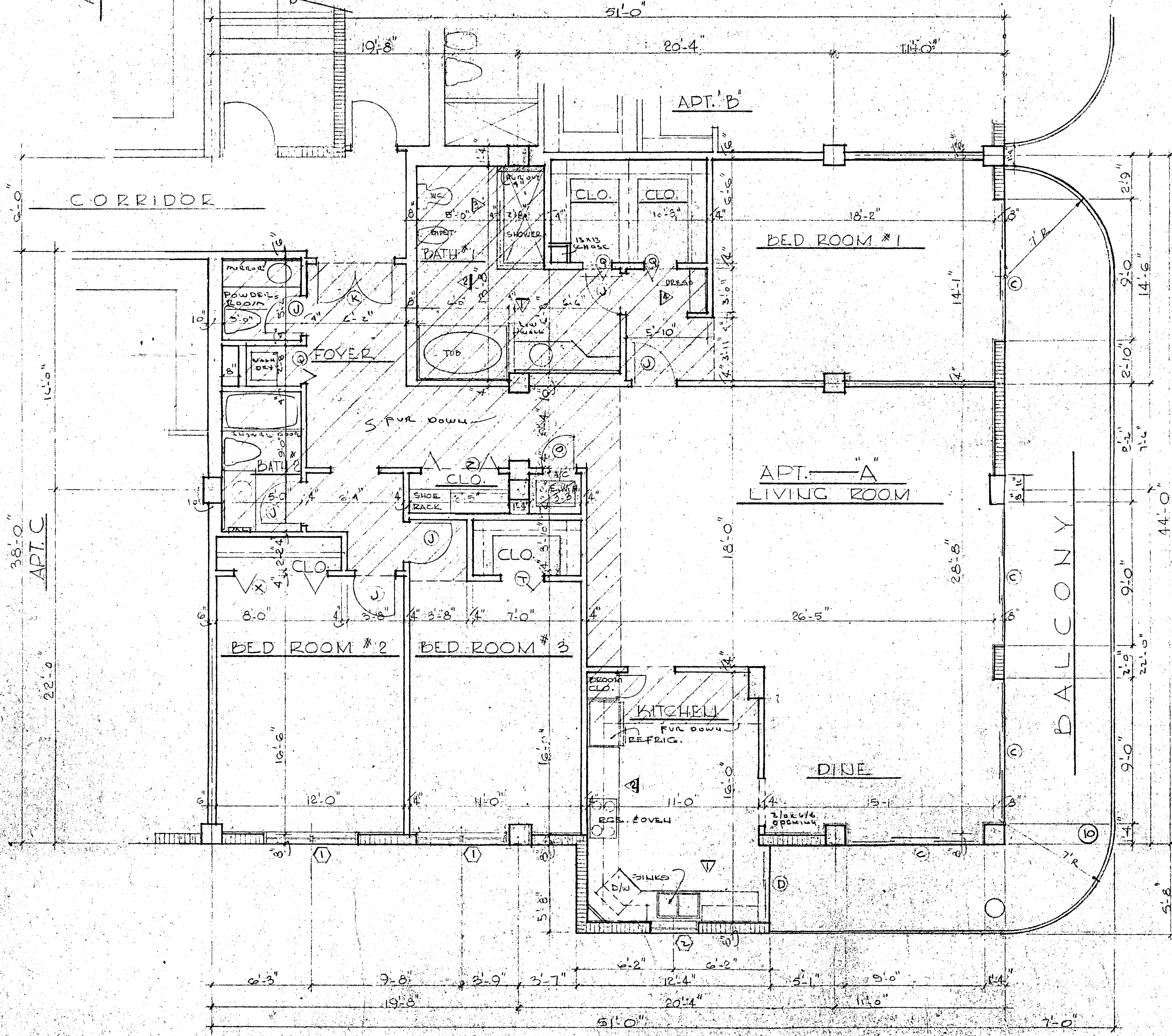
APT. "C"



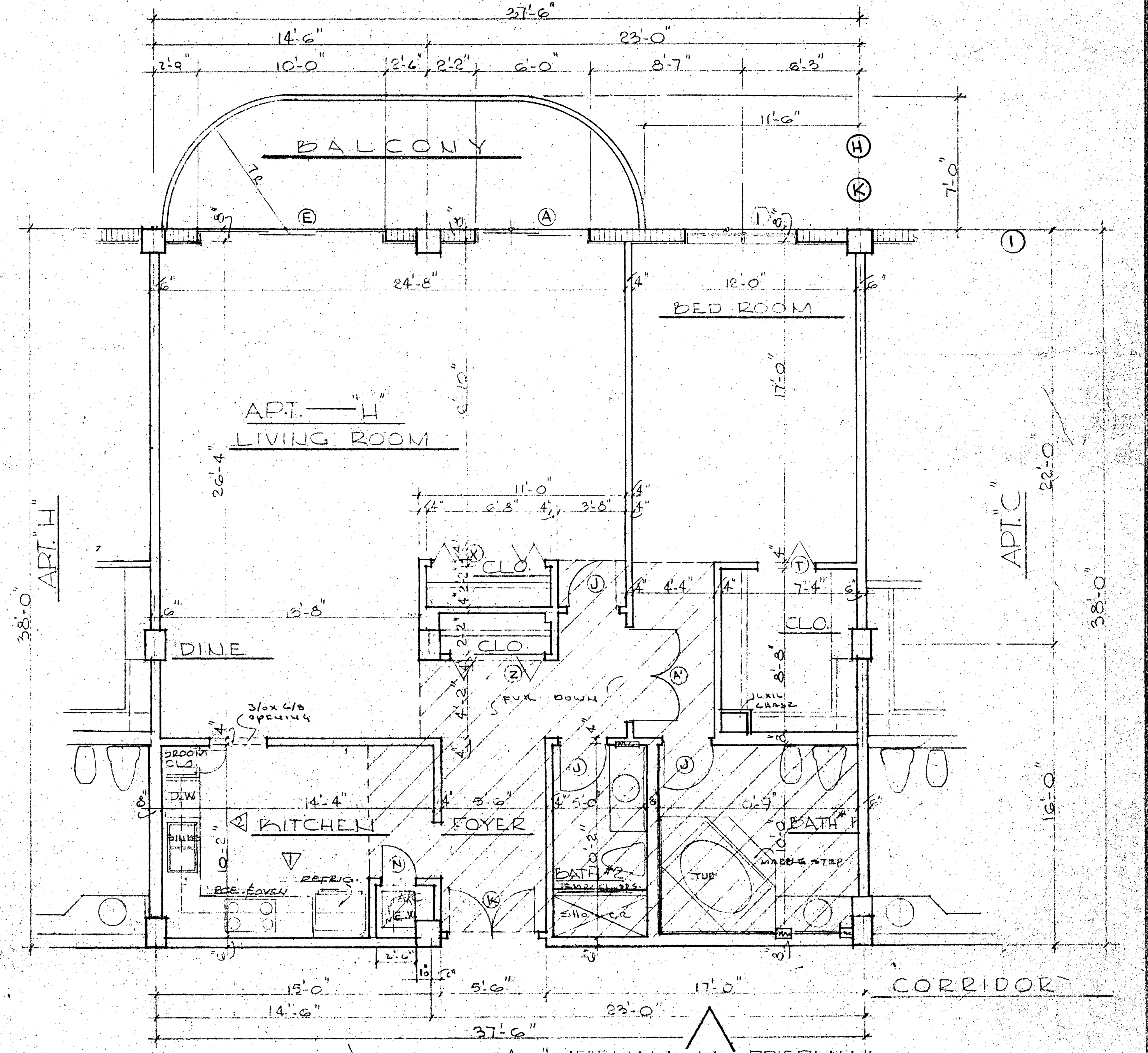
BATH ELEVATIONS APARTMENT "A" — BATH ROOM No. 1 @ 3/8"=1'-0"

KITCHEN ELEVATIONS APARTMENT "A" @ 3/8"=1'-0"

NOTES:
 ELEVATIONS FOR BATH No. 2 OF APARTMENT "A" — SIMILAR TO ELEV. OF BATH No. 2 OF APT. — SEE SHT. No. 27 & 28
 ELEVATIONS FOR BATHS No. 1 & 2 OF APARTMENT "H" — SIMILAR TO ELEV. OF BATHS No. 1 & 2 OF APT. — SEE SHT. No. 27 & 28
 SEE SHEET No. 21 OF 30 FOR KITCHEN ELEVATIONS OF APARTMENT "H".



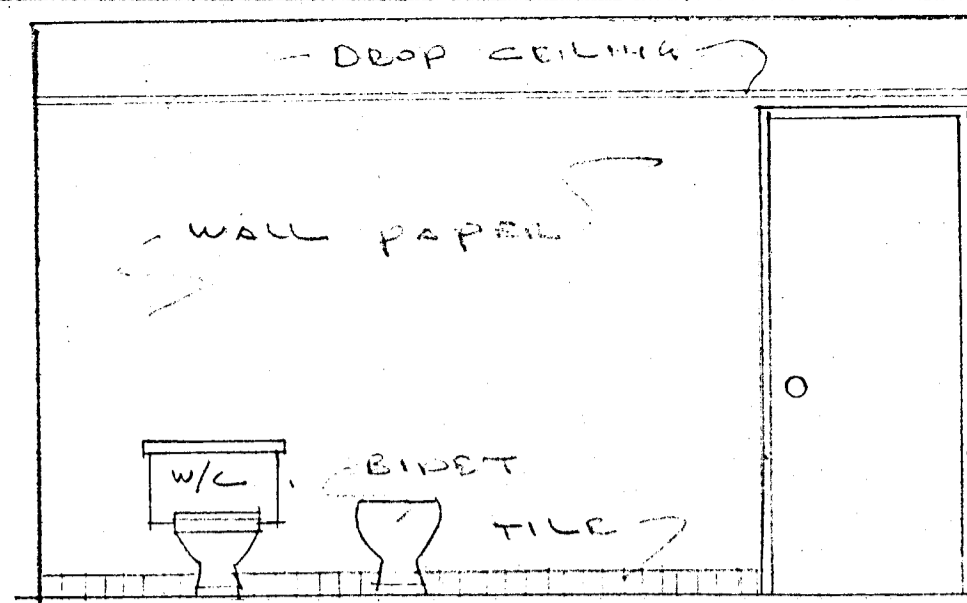
TYPICAL FLOOR PLAN APT. "A" — @ 1/4"=1'-0"



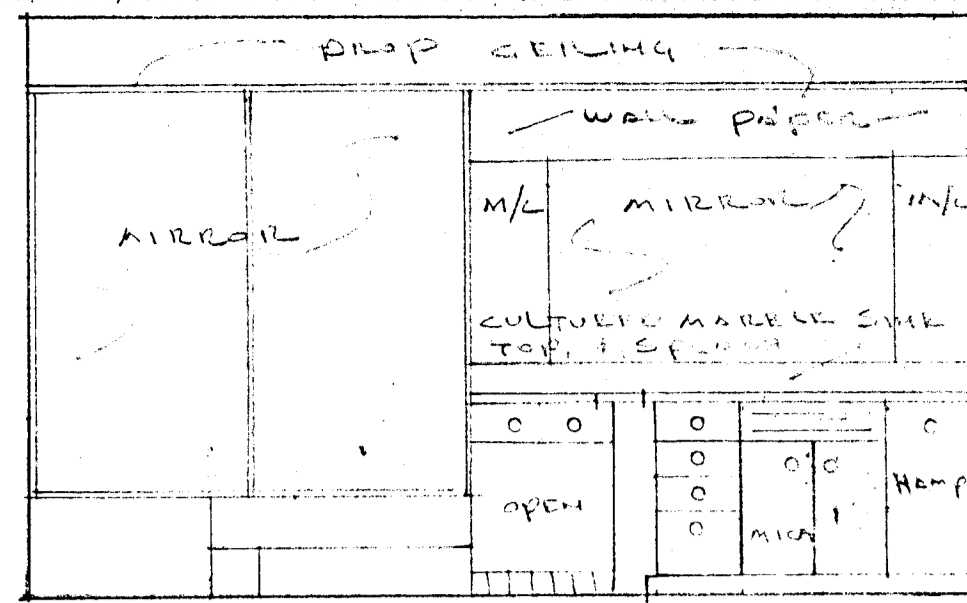
TYPICAL FLOOR PLAN APT. "H" WILLIAM M. FRIEDMAN @ 1/4"=1'-0"

WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC. *Wmf*

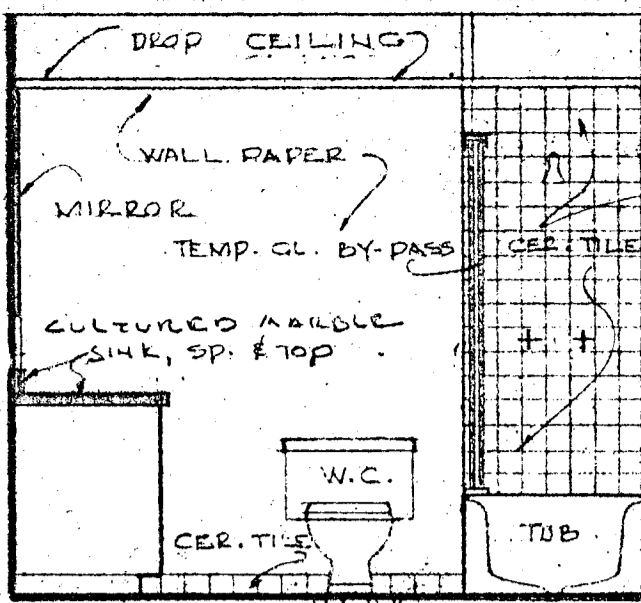
150 S.W. 2nd Ave. 3588044	CHAMPLAIN TOWERS NORTH 837 COLLINGS AVE.
A, 112 UNIT CONDOMINIUM	
COMM. No. DATE:	SHEET
REV.:	14 OF 27



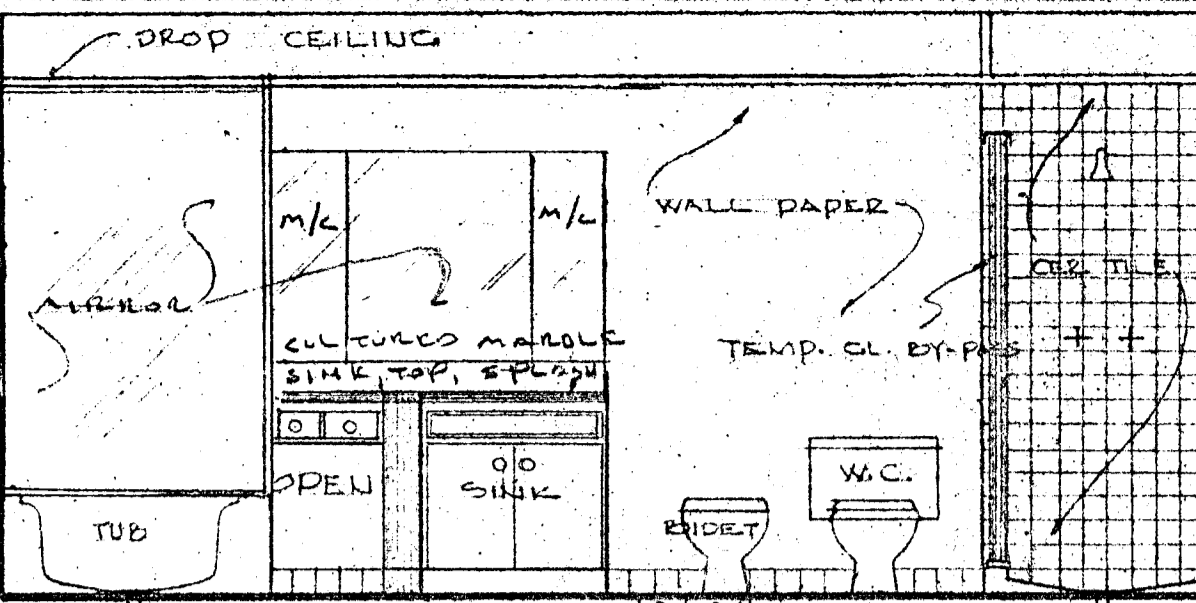
BATH #1 UNIT J ELEV #1



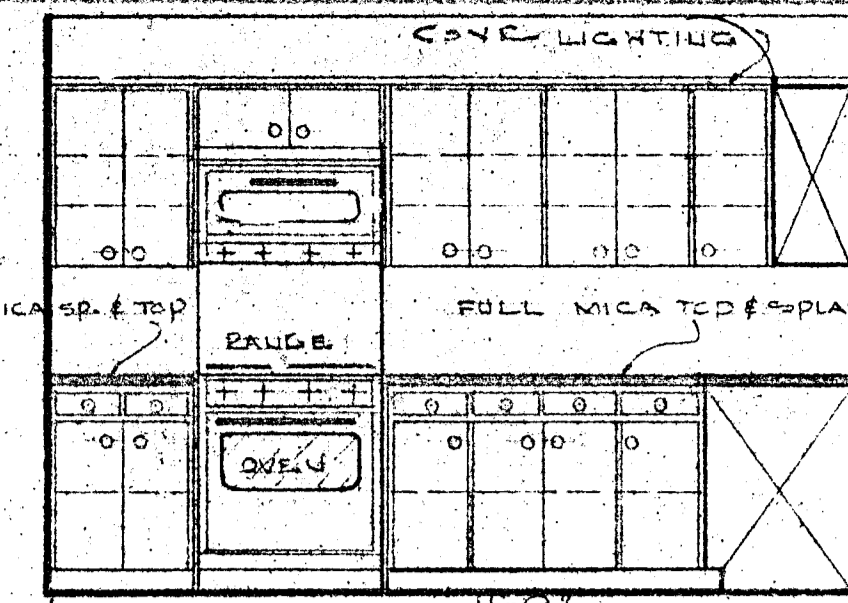
BATH #1 UNIT J ELEV #2



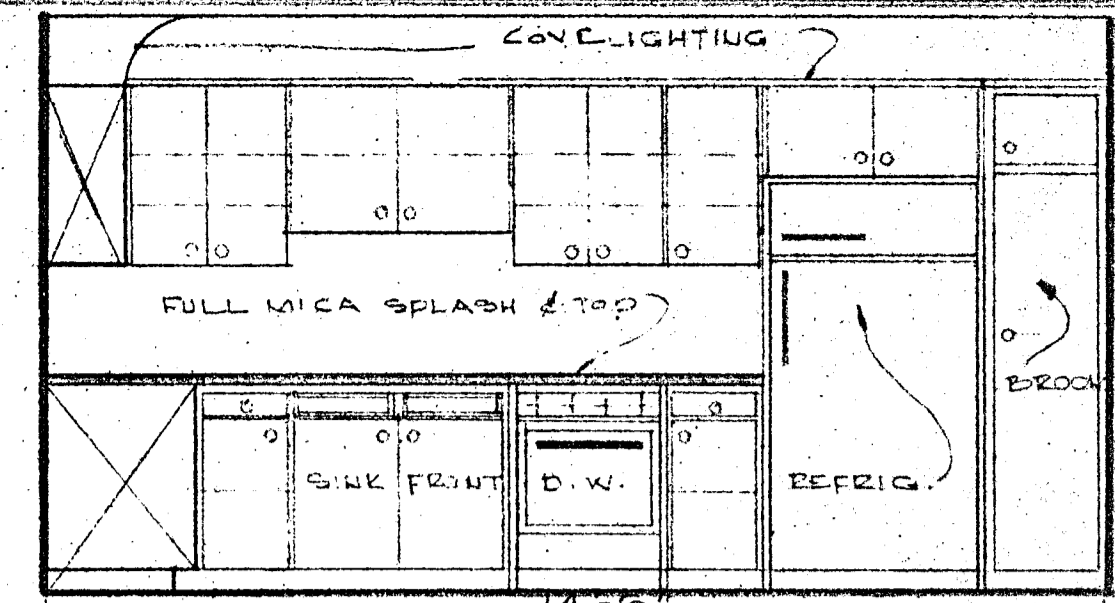
BATH No. 2 - ELEV. No. 1 - APT. E



BATH No. 1 - ELEVATION No. 1 - APT. E @ 3/8"

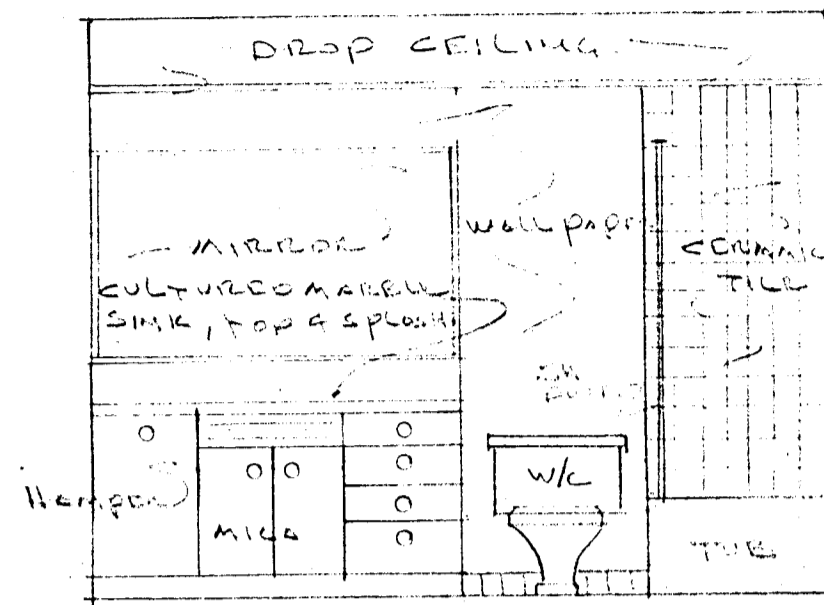


KITCHEN ELEV. No. 1 - APT. E

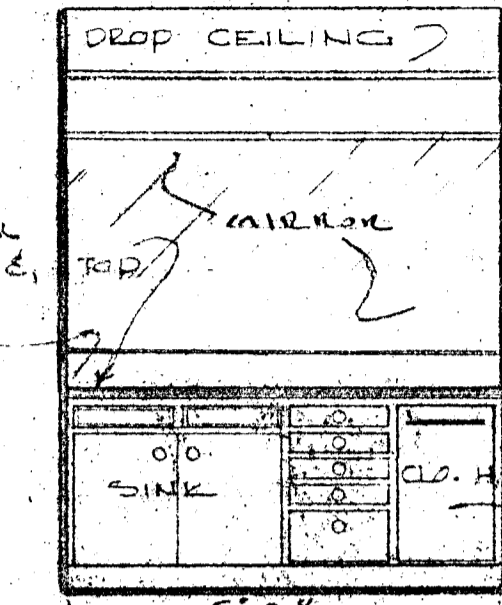


KITCHEN ELEV. No. 2 - APT. E @ 3/8"

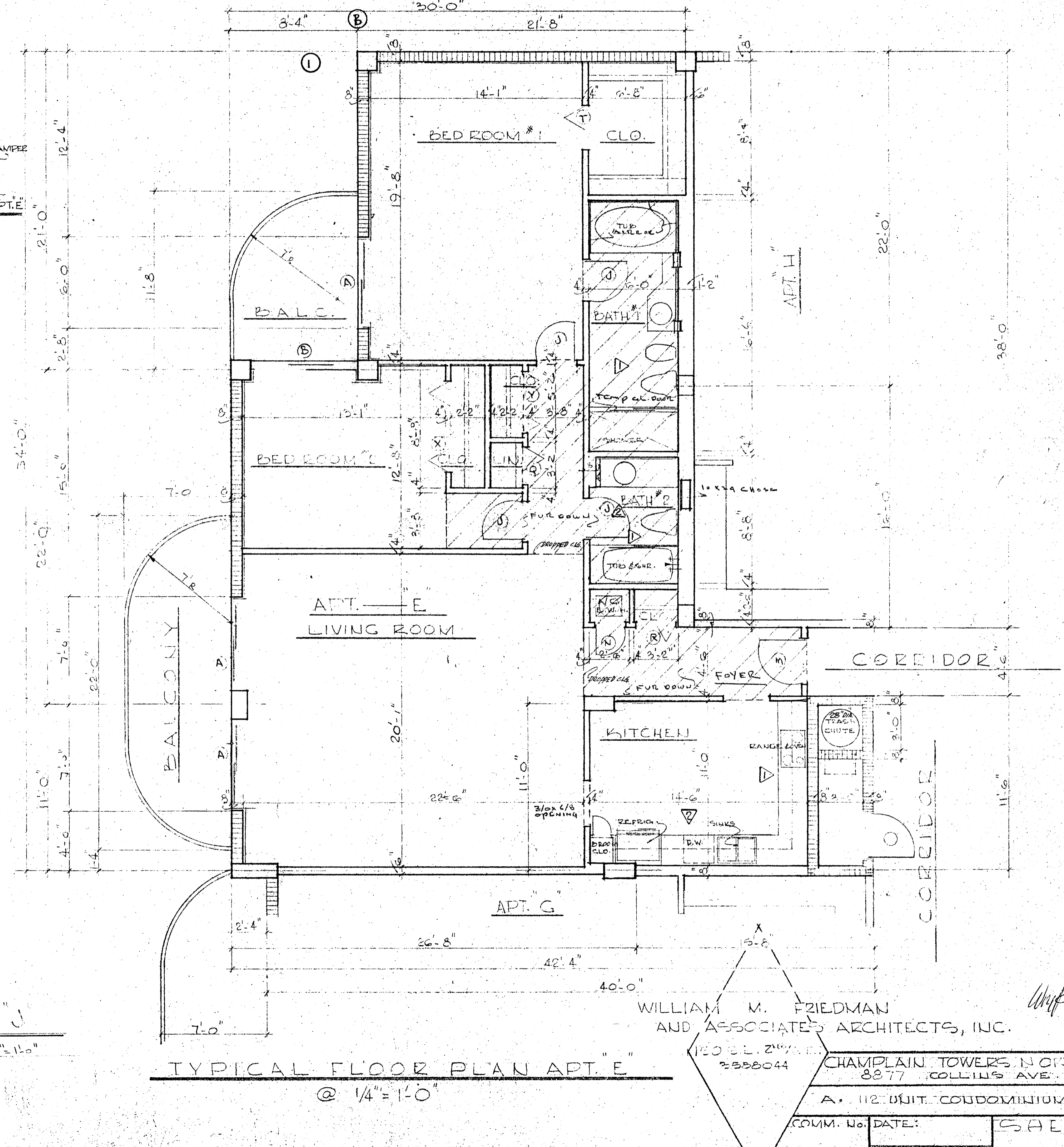
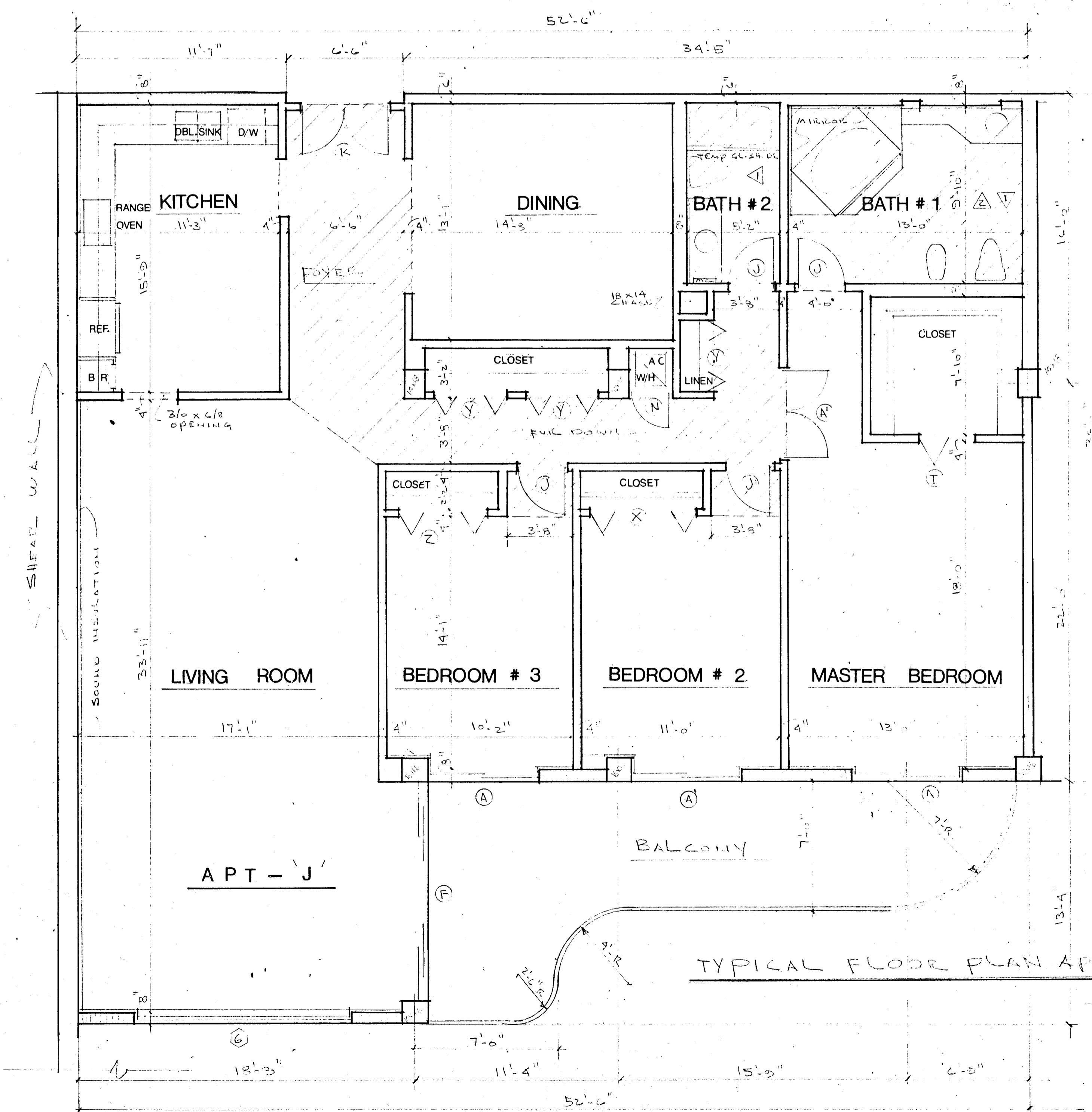
NOTE:
KITCHEN ELEVATION SIMILAR
TO UNIT F SHEET 19 OF 30



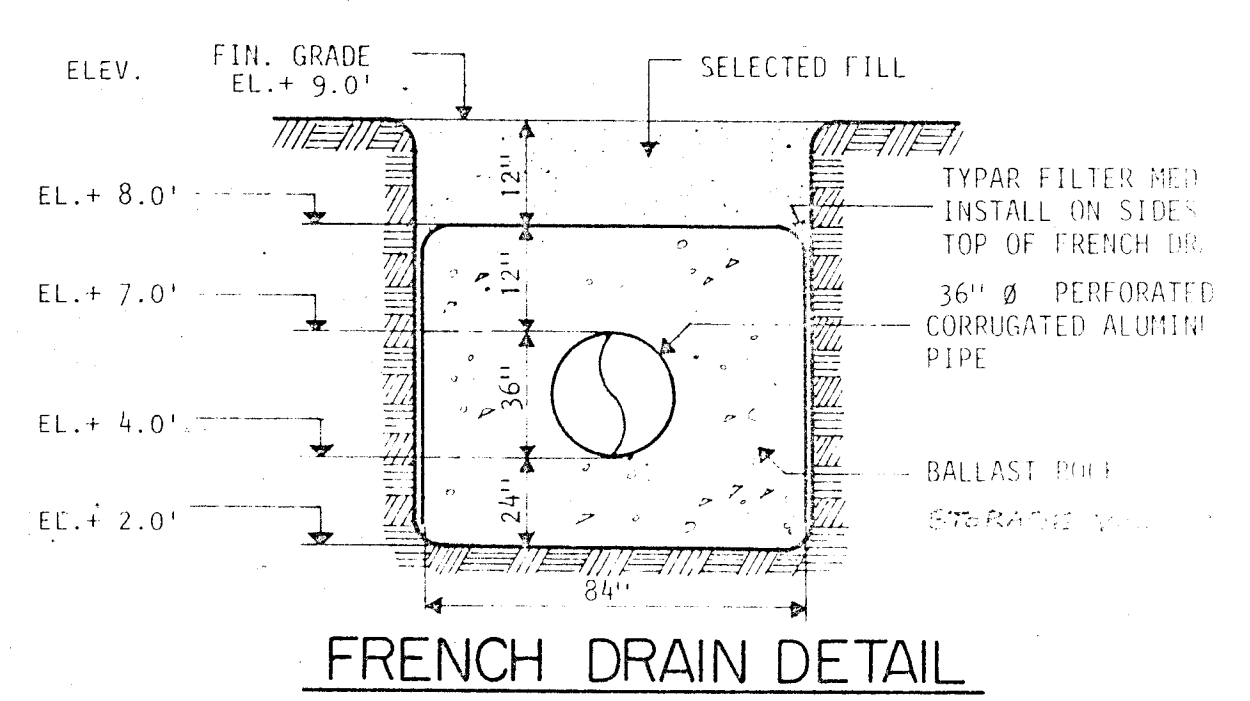
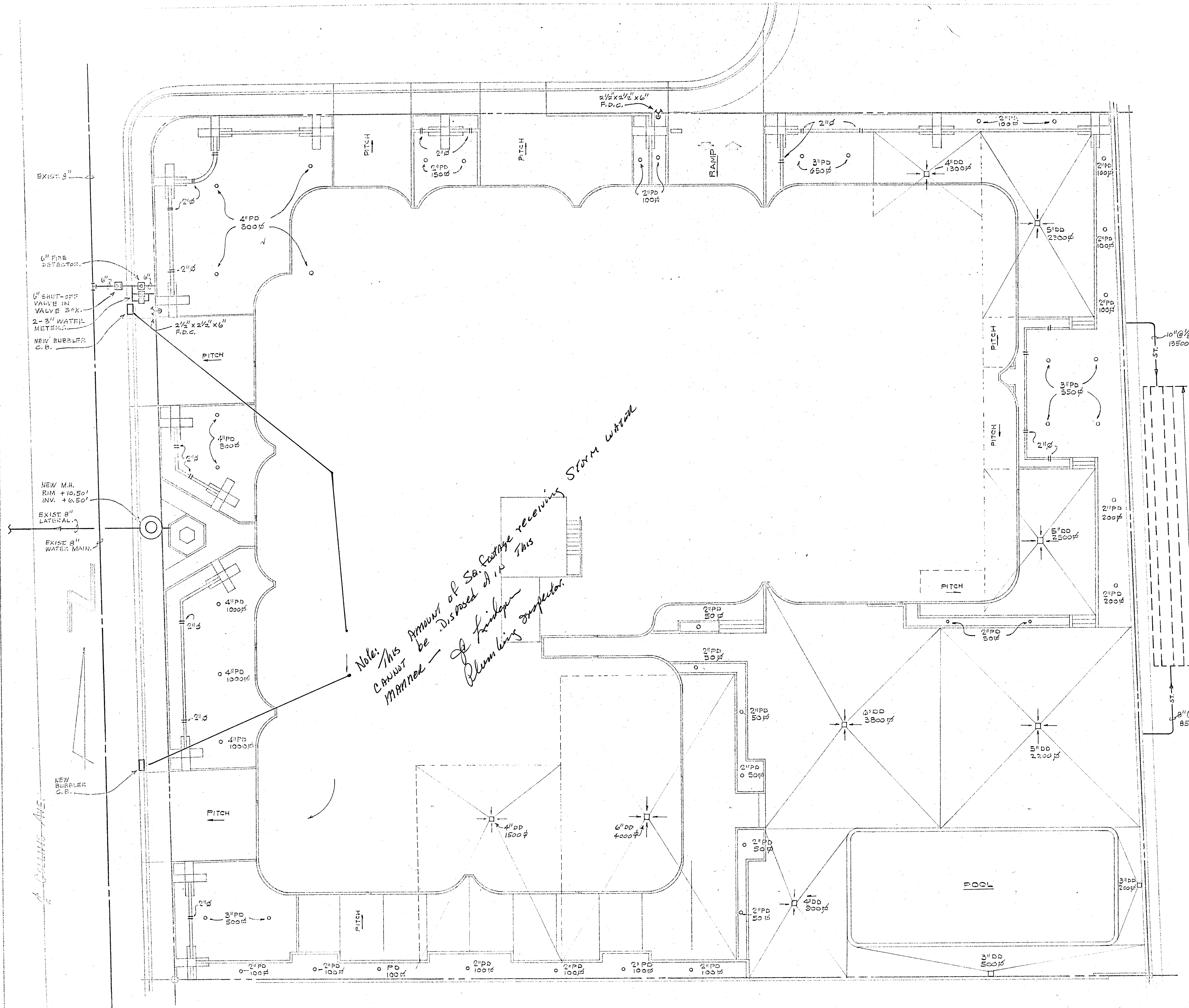
BATH #2 UNIT J ELEV #1



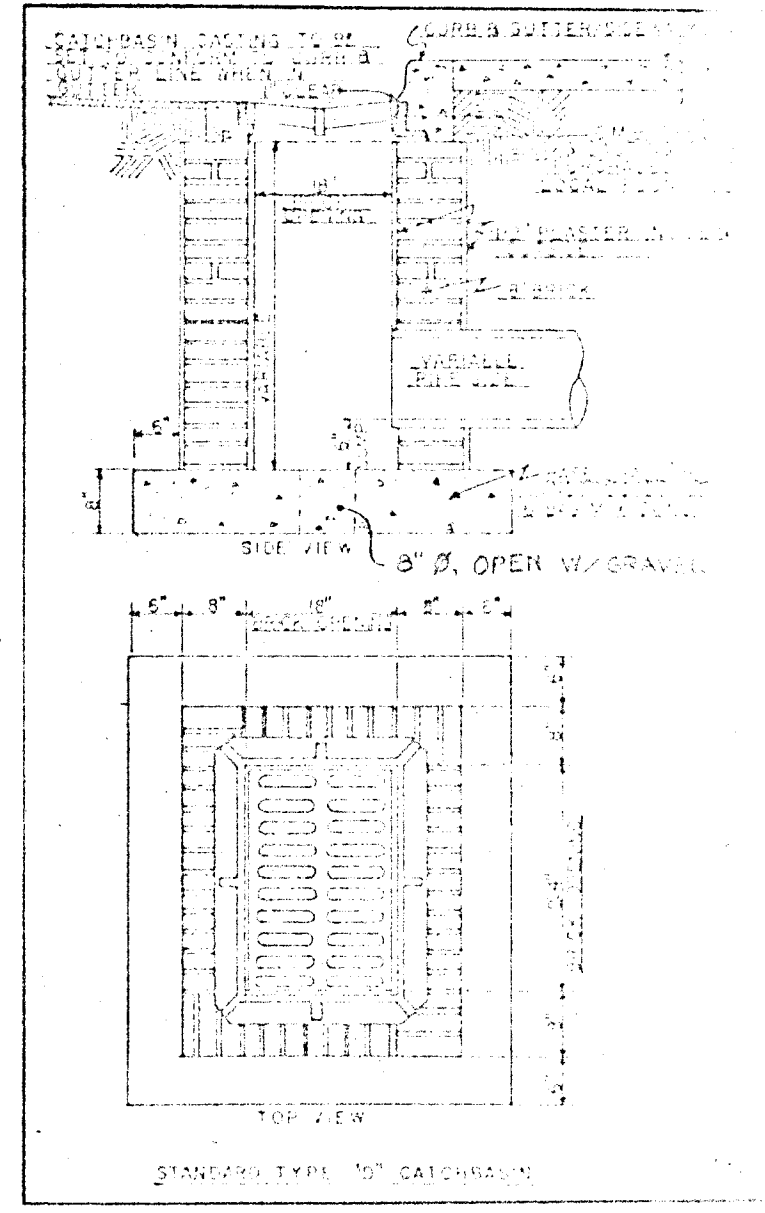
BATH No. 2 - ELEV. No. 2 - APT. E



WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC. *Wmf*
120 S.E. 2ND AVENUE
2338044
CHAMPLAIN TOWERS NORTH
8877 COLLINS AVE.
A. 112 UNIT CONDOMINIUM
COMM. No. DATE: SALET
REV. 18 OF 27



FRENCH DRAIN CALCULATION:
 1. STORAGE VOLUME REQUIRED = 22,000 ft³ x 0.00916 = 152.1 FT³
 2. STORAGE VOLUME AVAILABLE = 65'-0" x 25' = 1625 FT³

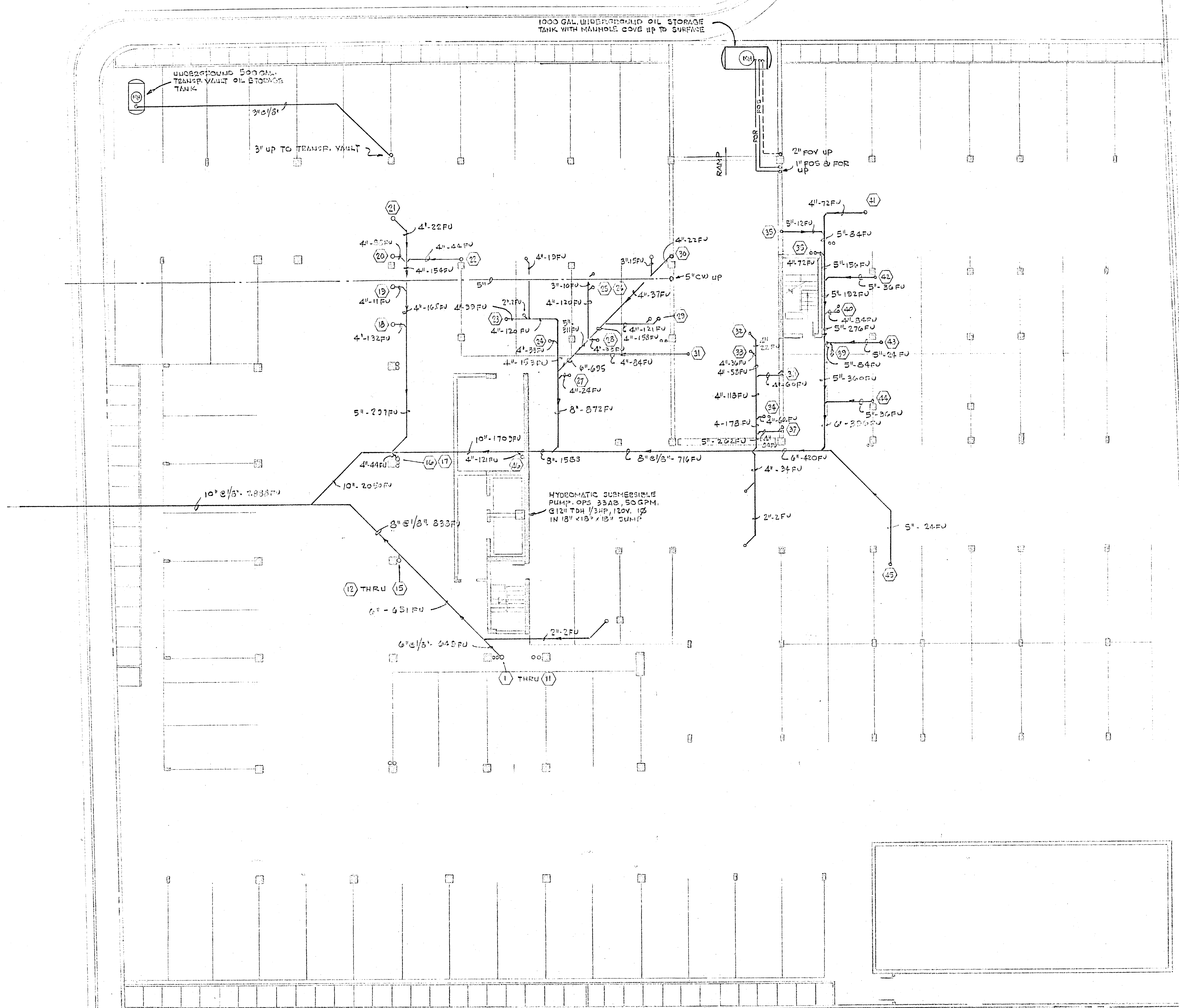


Note: This amount of S.S. footage receiving storm water cannot be disposed of in this manner — of kind of Plumbing Inspector.

WILLIAM M. FRIEDMAN & ASSOCIATES ARCHITECTS, INC.

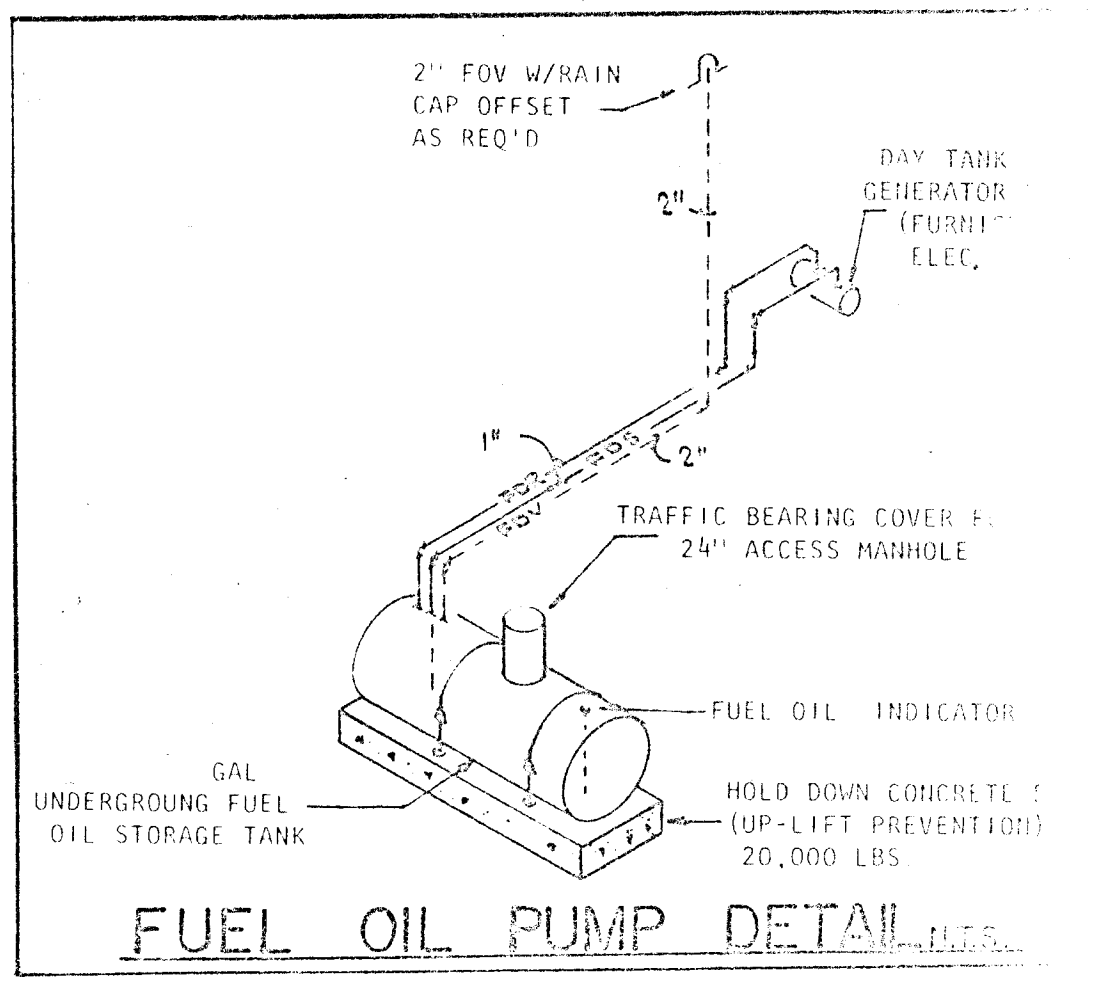
150 S.E. 2ND AVE. PH. 3583044
 CHAMPLAIN TOWERS 6377 COLLINS AVE. A-112 UNIT CONDOMINIUM
 COMM. USE DATE:

Saloma Wilson



SYMBOLS & LEGEND

L	- LAVATORY	F.H.C.	- FIRE HOSE CABINET
W.C.	- WATER CLOSET	F.D.V.	- FIRE DEPT. VALVE
T	- TUB	F.X.	- FIRE EXTINGUISHER
SH.	- SHOWER	P.R.V.	- PRESSURE REDUCING VALVE
SK.	- SINK	SPK.	- SPRINKLER
DW.	- DISHWASHER	G.	- GAS
DISP.	- DISPOSAL <i>NOT PERMITTED</i>	F.O.S.	- FUEL OIL SUPPLY
BID.	- BIDET	F.O.R.	- FUEL OIL RETURN
W.M.	- CLOTHES WASHER	F.O.V.	- FUEL OIL VENT
UR.	- URINAL	N.O.	- NORMALLY OPENED
S.SK.	- SERVICE SINK	N.C.	- NORMALLY CLOSED
D.F.	- DRINKING FOUNTAIN	---	- SOIL OR WASTE LINE
F.D.	- FLOOR DRAIN WITH RESEAL	---	- VENT LINE
C.O.	- CLEANOUT	---ST---	- STORM DRAIN LINE
S.S.	- SOIL STACK	---	- INDIRECT DRAIN LINE
V	- VENT	---	- COLD WATER LINE
V.T.R.	- VENT THRU ROOF	---	- HOT WATER LINE
V.S.	- VENT STACK	---	- HOT WATER RETURN
W	- WASTE	---	- FIRE LINE
C.W.	- COLD WATER	---	- GAS LINE
H.W.	- HOT WATER	---	- CONDENSATE DRAIN
H.W.R.	- HOT WATER RETURN	---	- RELIEF VALVE DISCHARGE
M.H.	- MANHOLE	---	- 180° DISHWASHER SUPPLY
F.C.O.	- FLUSH CLEANOUT	+	- HOSE BIB WITH BACKFLOW PREVENTER
H.B.	- HOSE BIB WITH BACKFLOW PREVENTER	---	- GATE VALVE
F.U.	- FIXTURE UNITS	---	- CHECK VALVE
R.W.L.	- RAIN WATER LEADER	---	- CONCENTRIC REDUCER
R.V.D.	- RELIEF DISCHARGE	---	- ECCENTRIC REDUCER
C.D.	- CONDENSATE DRAIN	---	- FLEXIBLE CONNECTION
C.B.	- CATCH BASIN	---	- UNION
D.D.	- DRAIN DECK	---	- STRAINER
P.D.	- PLANTER DRAIN	---	- GAGE COCK
S.T.	- STORM DRAIN	---	- TEMPERATURE GAGE
R.D.	- ROOF DRAIN	---	- PRESSURE GAGE
F.H.	- FIRE HYDRANT	---	- FLOW SWITCH
F.D.C.	- FIRE DEPT CONNECTION	---	- PRESSURE REDUCER
○	- SANITARY RISER	---	- C.W. RISER
○	- CW RISER	---	- R.V.D. RISER



WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
150 S.E. 2ND AVE.
330 3044

CHAMPLAIN TOWERS NORTH

COMM. NO. DATE
REV.

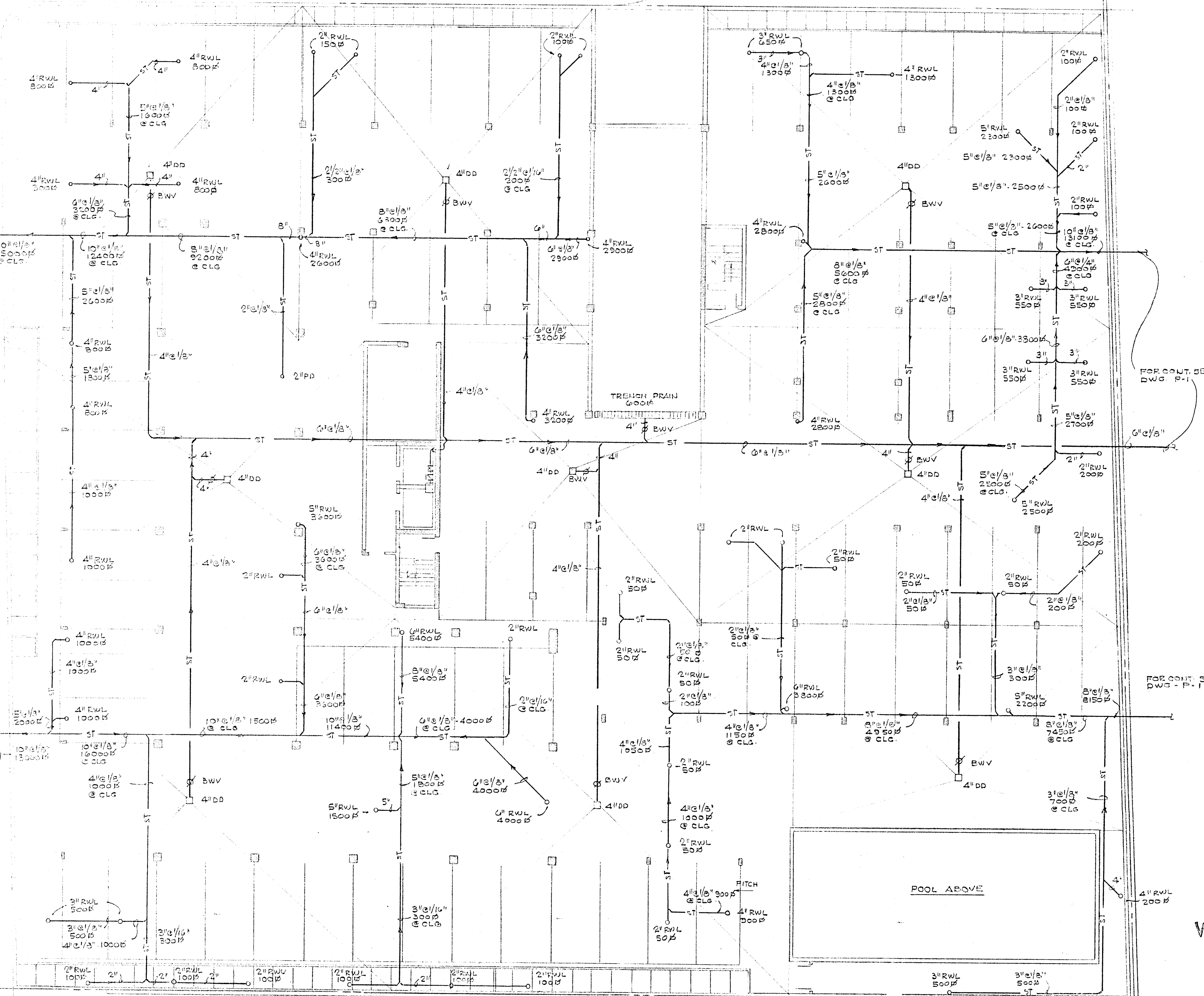
Salomon M. Miller

3800
3500
1300
1300

COLLINS AVE.

ALTERNATE METHOD OF DISPOSAL OF STORM WATER TO BE DESIGNED BY EBY (P.E.)

SUBMIT PLAN OF DISPOSAL WELL TO HEALTH DEPT AND POLLUTION CONTROL BEFORE APPLYING TO CITY FOR PERMIT



FOR CONT. SEE DWG. P-1

FOR CONT. SEE DWG. P-1

GARAGE STORM WATER PLAN
SCALE: 1/8" = 1'-0"

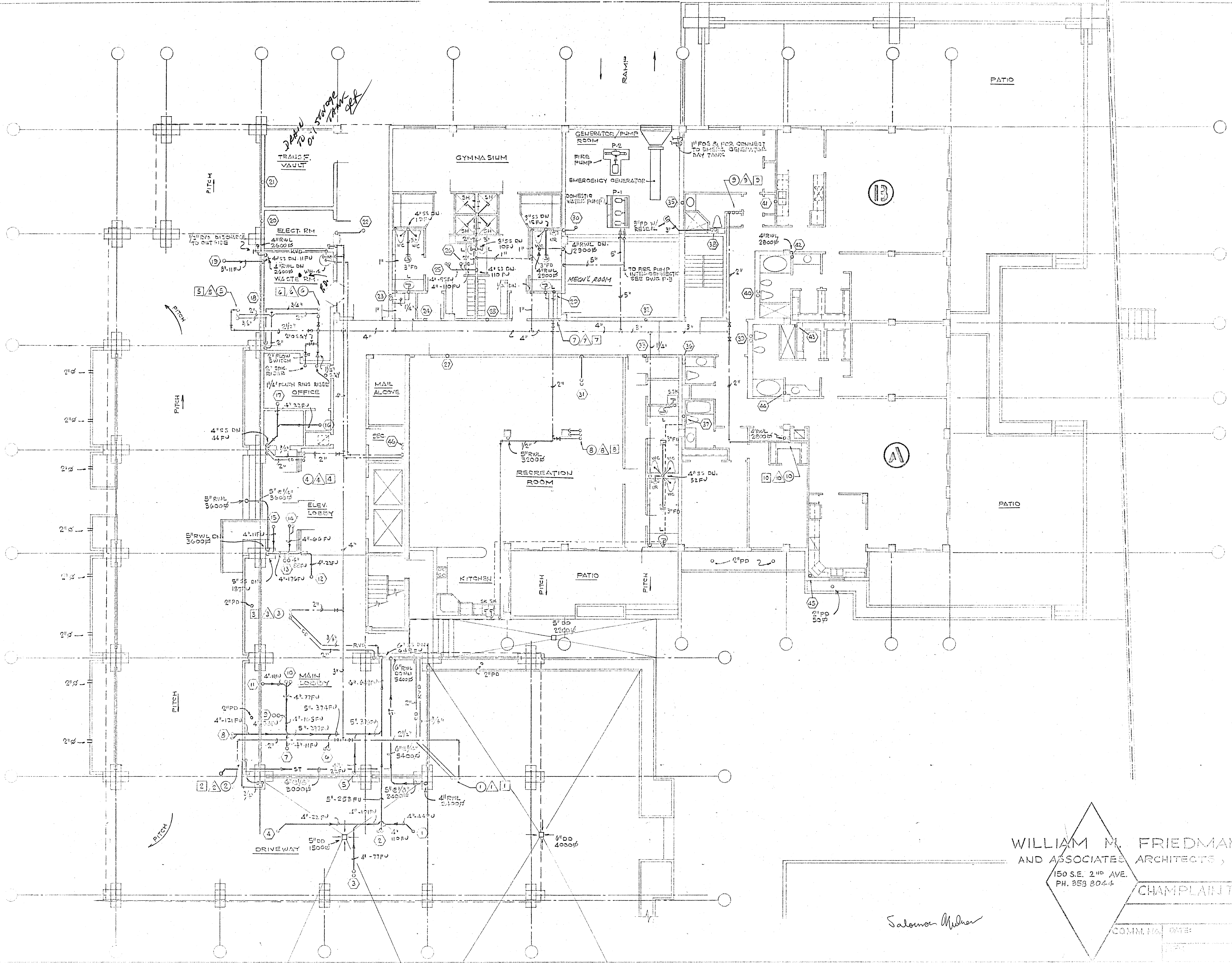
Salsman Williams

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
150 S.E. 2ND AVE.
358 8044

CHAMPLAIN TOWERS NORTH

A 112 UNIT CO-OP BUILDING

COMM. NO.	DATE	REV.



3\"/>

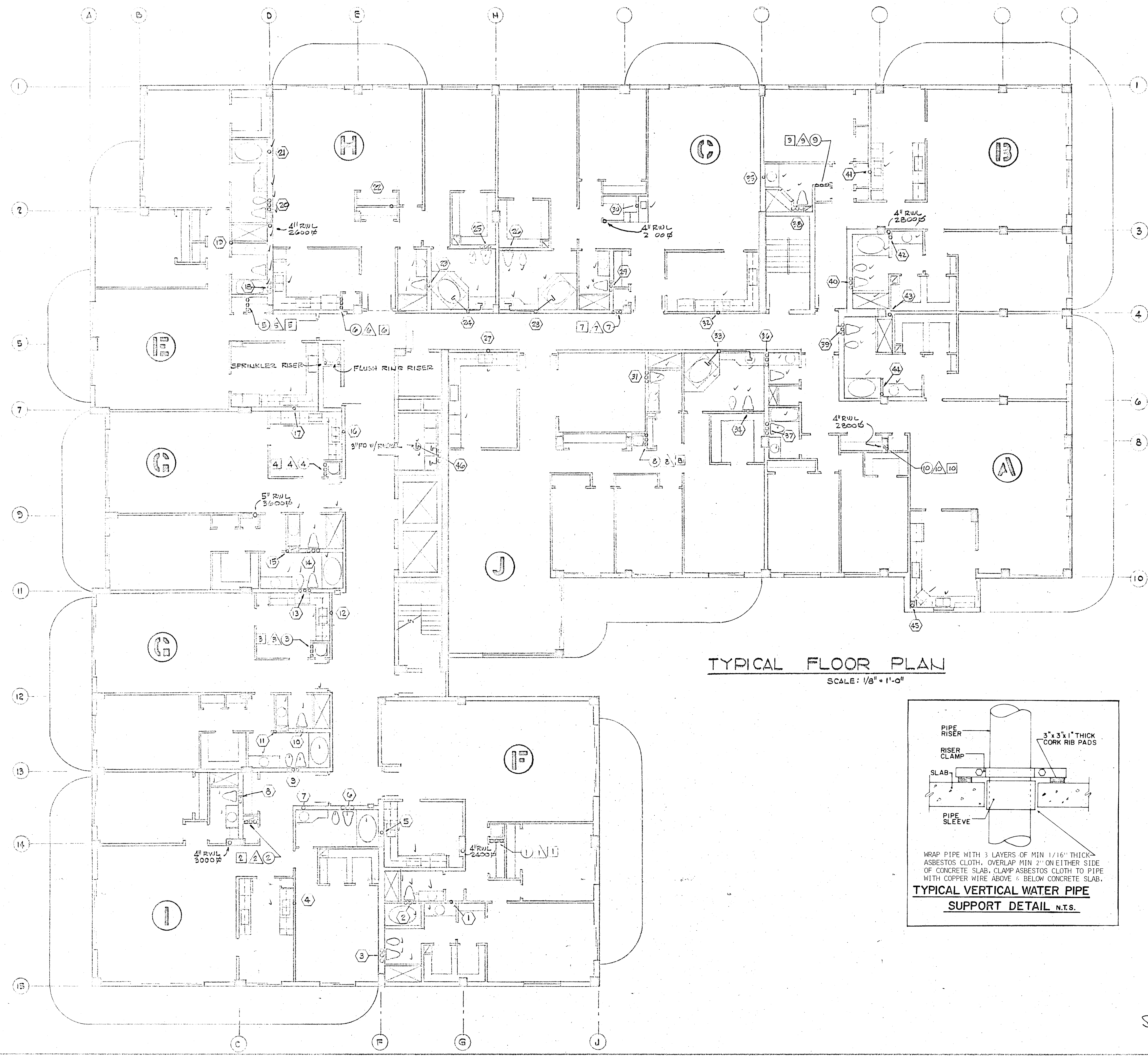
WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC.
 150 S.E. 2ND AVE.
 PH. 353 8044

CHAMPLAIN TOWERS EAST

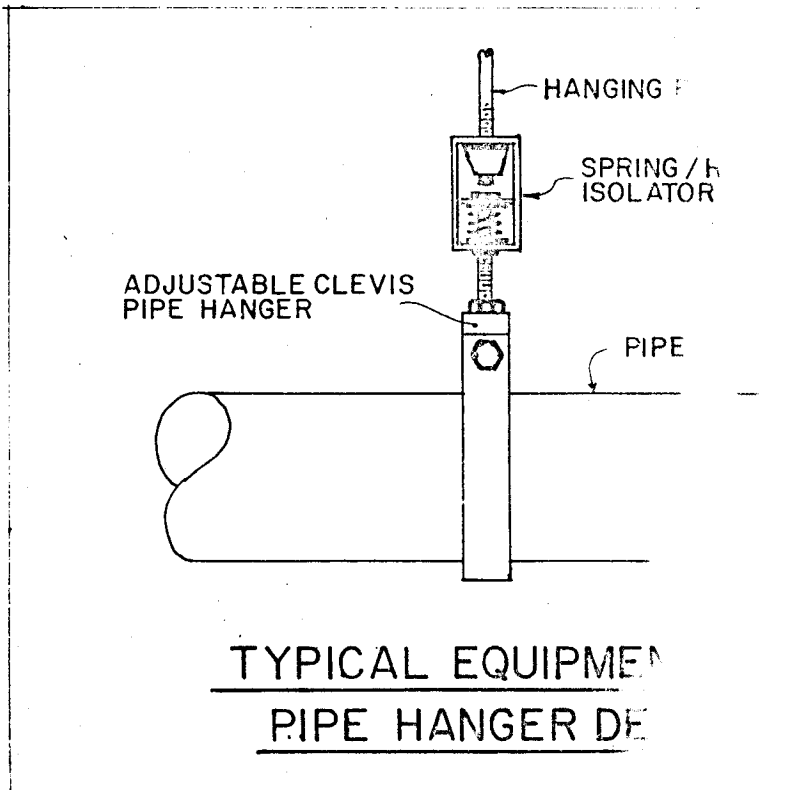
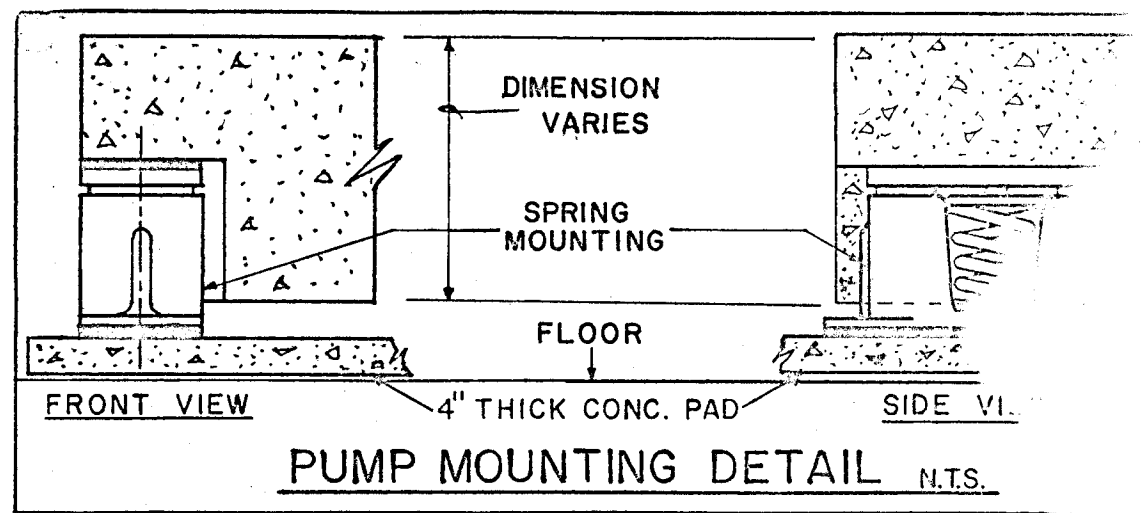
Salomon Miller

COMM. NO. DATE:

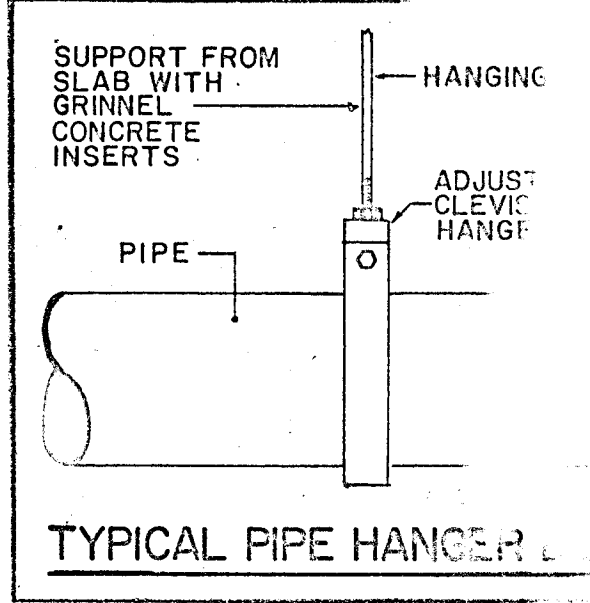
WATER HEATER SCHEDULE							
WATER HEATER NO.	MANUFACTURER	MODEL	CAPACITY GAL.	TOTAL KW	VOLTAGE	ELEMENTS (NON-SIMULTANEOUS)	GUARANTEE
WH-1	A.O. SMITH	ELJ-50	50	4.5	208-1-60	2	5
WH-2	A.O. SMITH	ELJ-50	50	4.5	208-1-60	2	5
WH-3	A.O. SMITH	ELJ-20	20	2	200-1-60	2	5
WH-4	A.O. SMITH	DRE-120	120	36	208-3-60	2	5



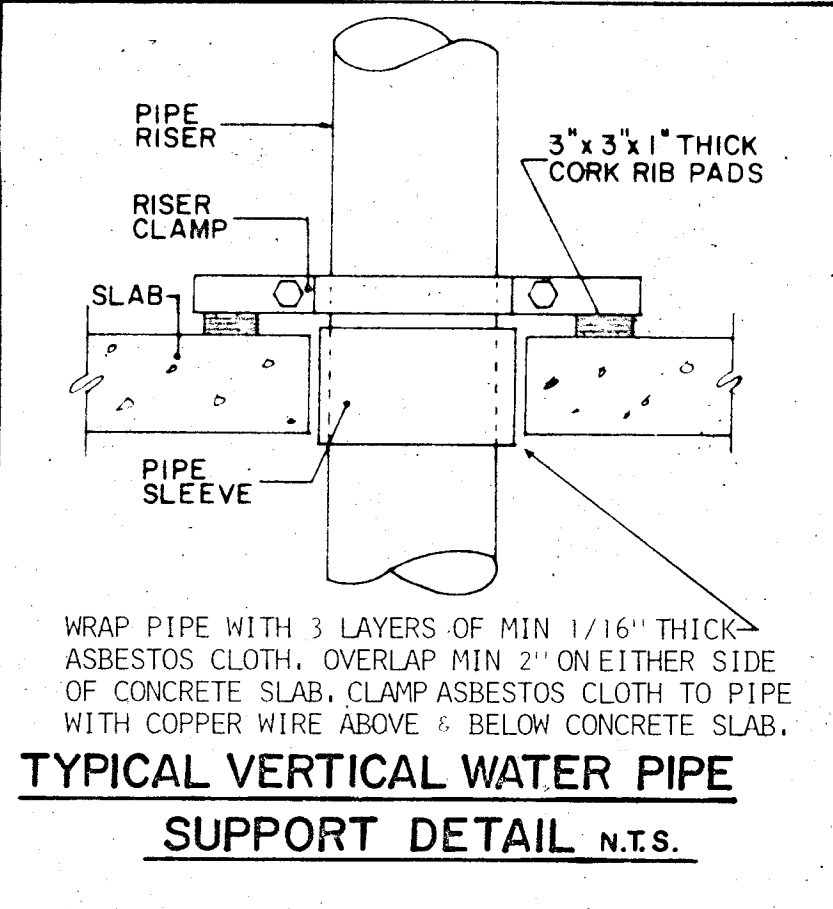
TYPICAL FLOOR PLAN
SCALE: 1/8" = 1'-0"



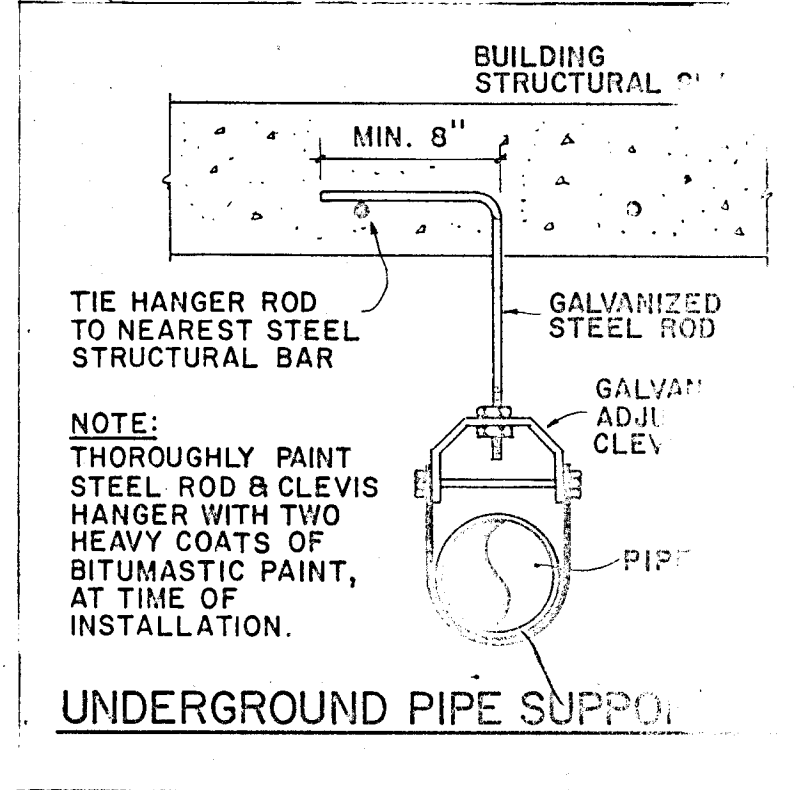
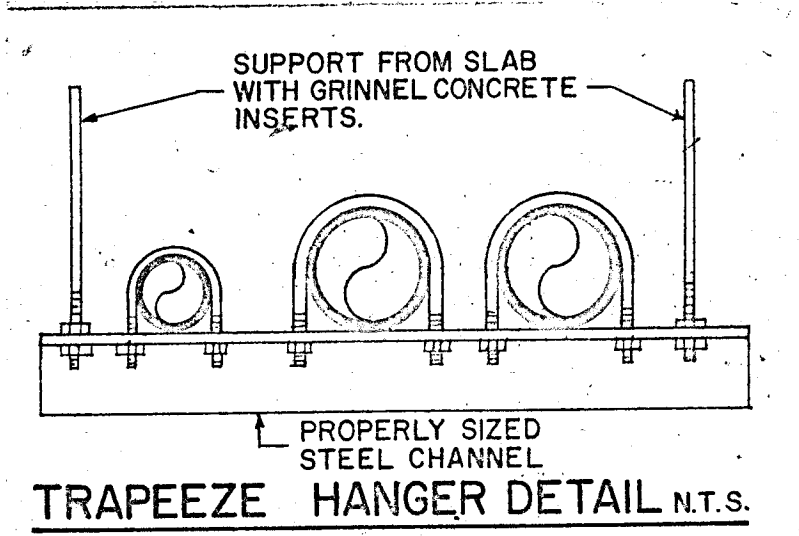
TYPICAL EQUIPMENT PIPE HANGER DETAIL



TYPICAL PIPE HANGER DETAIL



WRAP PIPE WITH 3 LAYERS OF MIN 1/16" THICK ASBESTOS CLOTH, OVERLAP MIN 2" ON EITHER SIDE OF CONCRETE SLAB, CLAMP ASBESTOS CLOTH TO PIPE WITH COPPER WIRE ABOVE & BELOW CONCRETE SLAB.
TYPICAL VERTICAL WATER PIPE SUPPORT DETAIL N.T.S.



UNDERGROUND PIPE SUPPORT DETAIL

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
150 S.E. 2ND AVE
355 2044

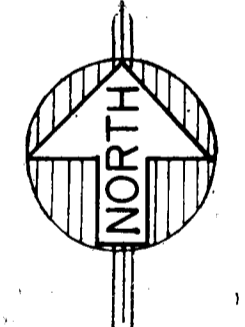
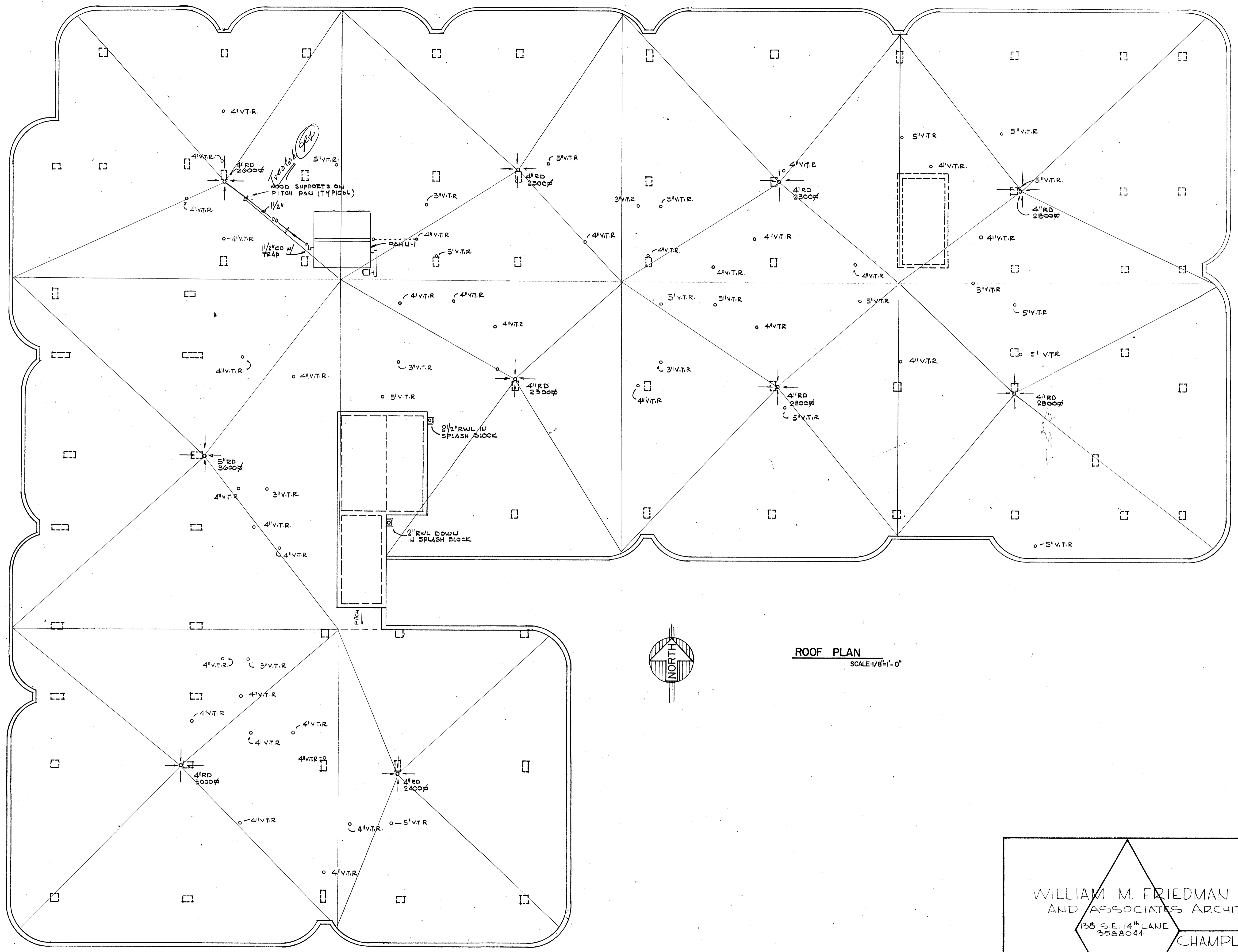
CHAMPLAIN TOWER

A. 112 UNIT COND...

COMM. NO. DATE

1954

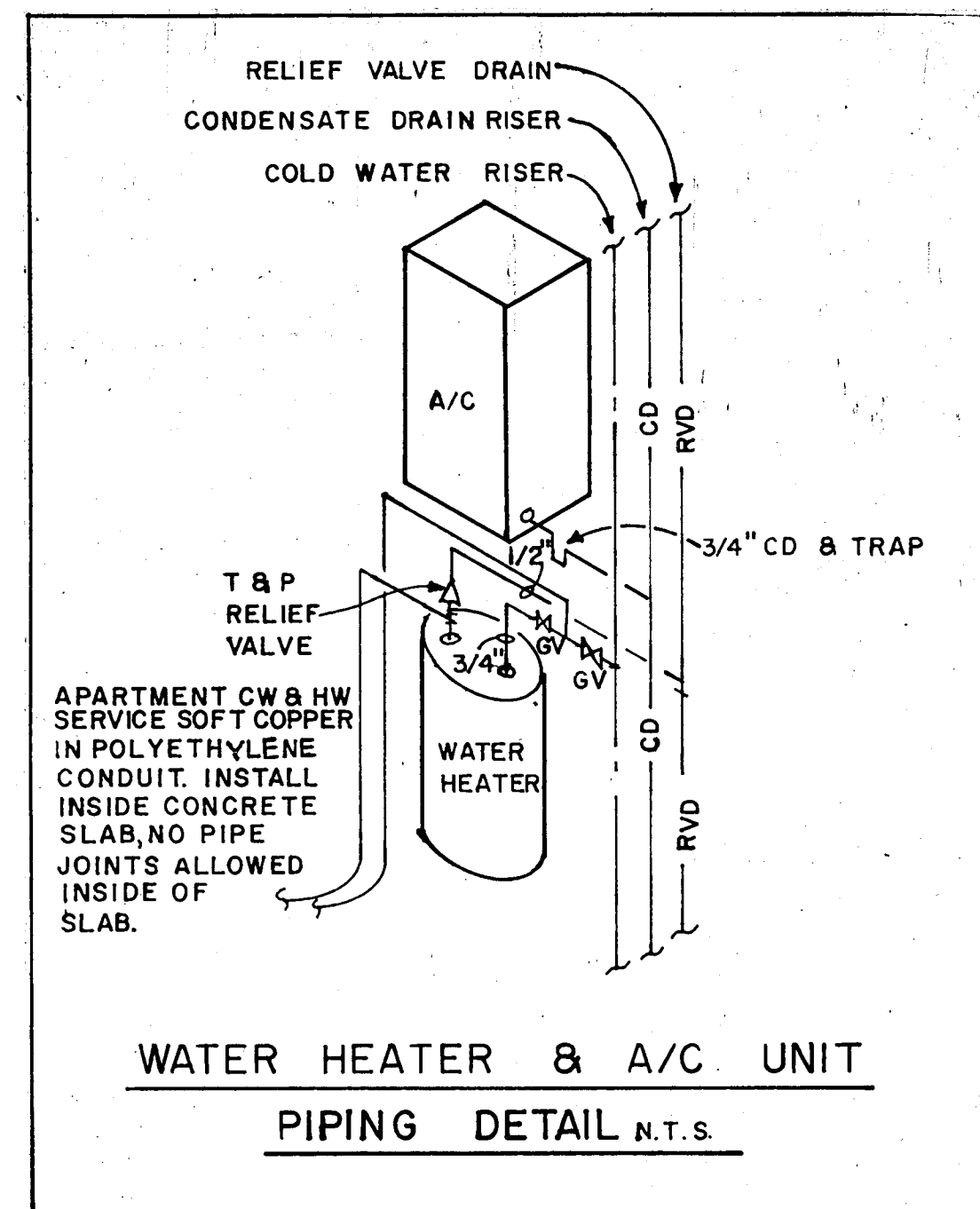
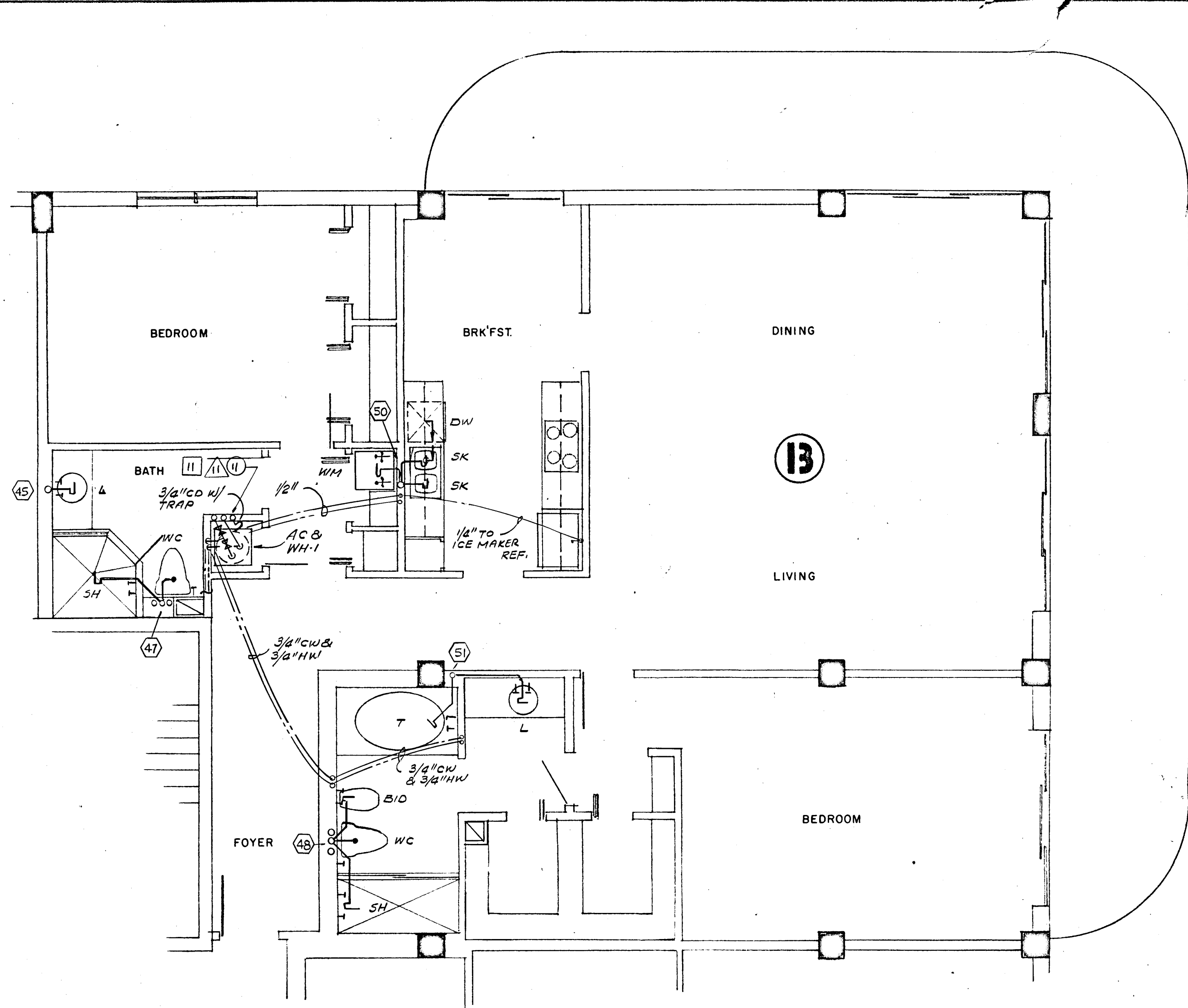
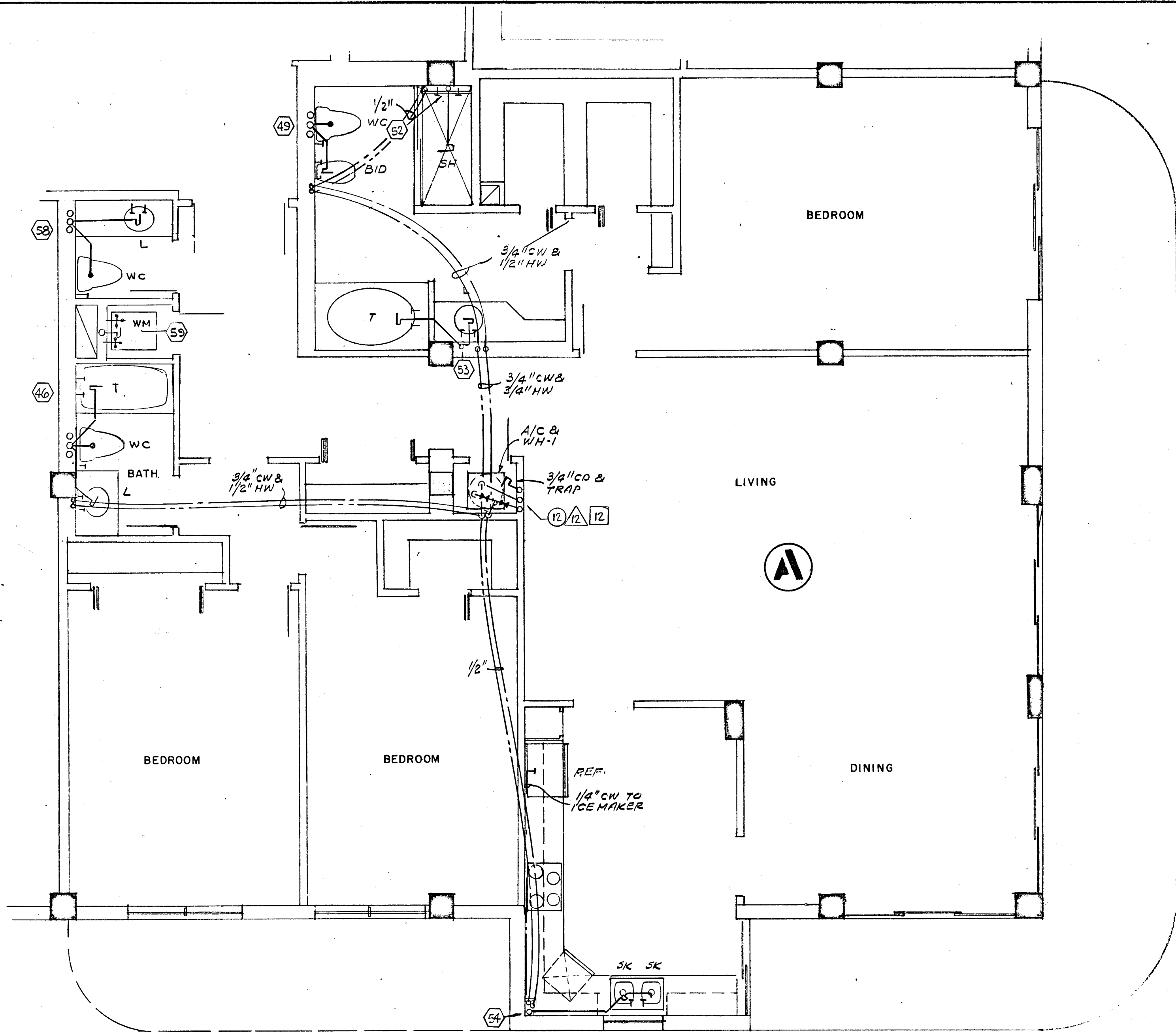
Salomon Miller



ROOF PLAN
SCALE: 1/8" = 1'-0"

Salomon Medina

<p>WILLIAM M. FRIEDMAN AND ASSOCIATES ARCHITECTS, INC. 138 S.E. 14th LANE 3588044</p>		CHAMPLAIN TOWERS NORTH	
		A-112 UNIT CONDOMINIUM	
COMM. NO.	DATE:	SHEET NO.	
REV.		15 OF 11	
<p>FLORIDA ENGINEERING SERVICES 252 NE 167 STREET MIAMI BCH, FLA 33132 945-4733</p>		SHEET	



WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
138 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS NORTH

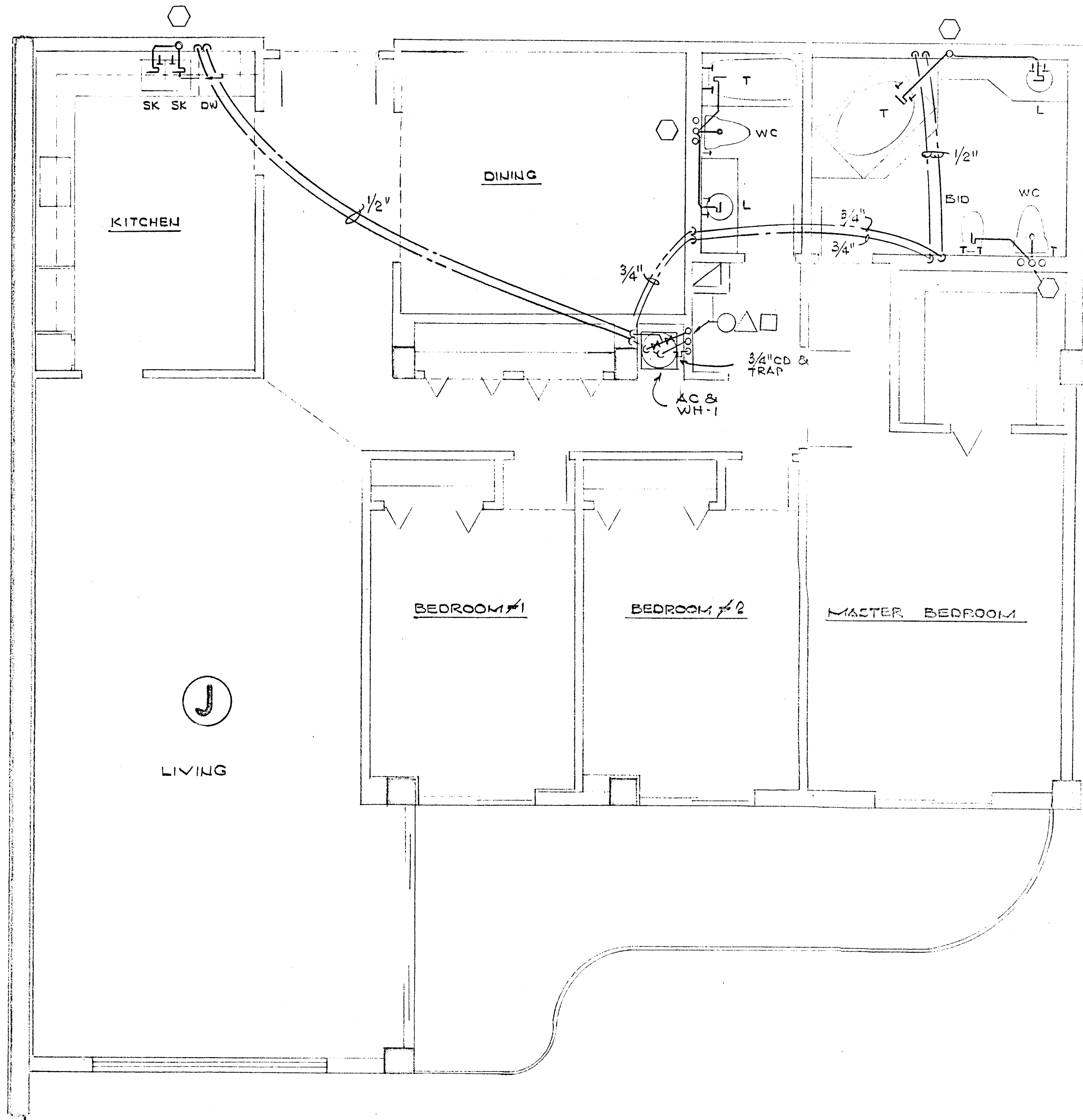
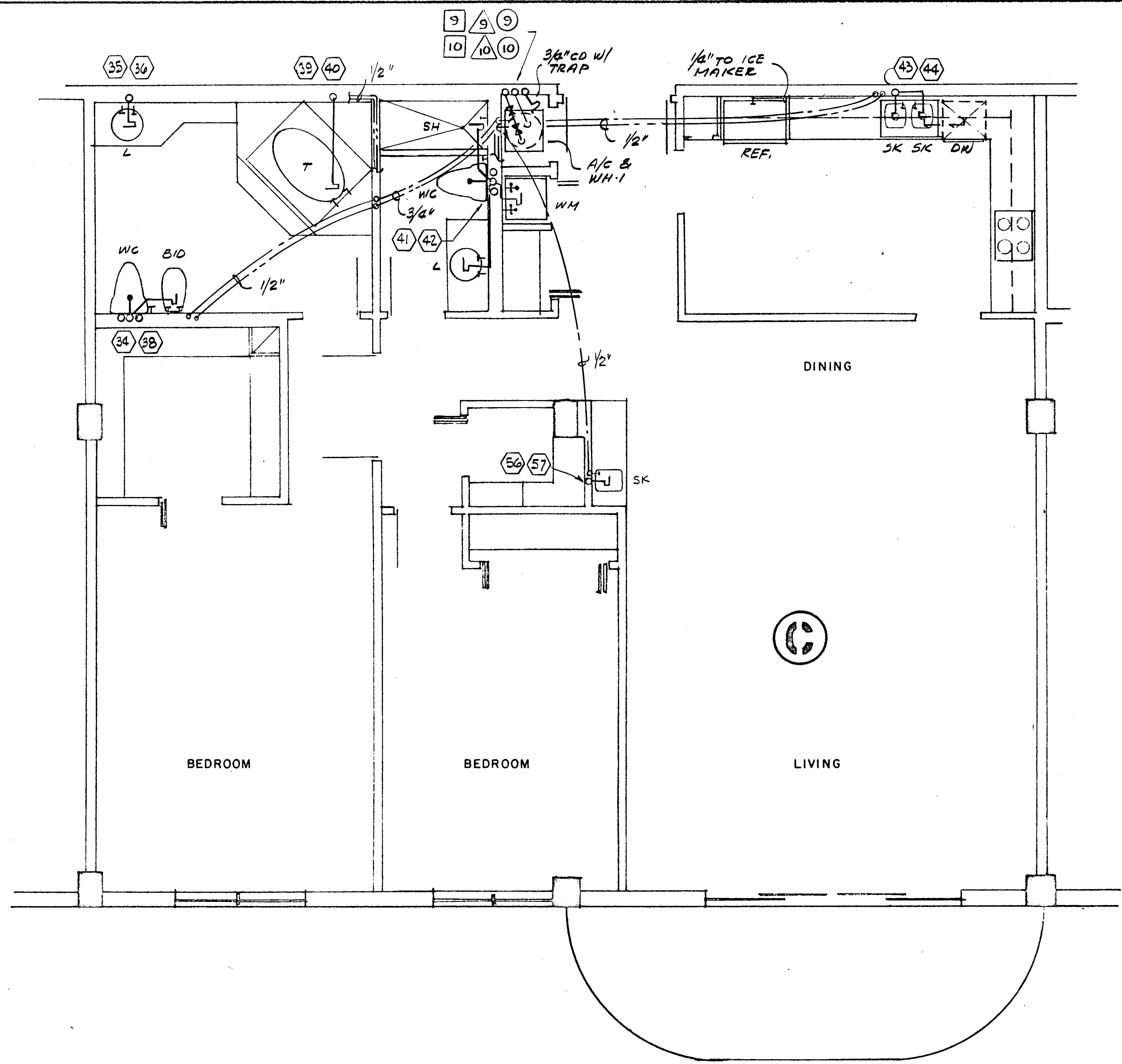
A-112 UNIT COLDOMINIUM

COMM. No. DATE: SHEET No. 13 of 11

REV.

FLORIDA ENGINEERING SERVICES
352 NE 167 STREET
N. MIAMI BCH, FLA 33185

Salomon M. Jones



Selama Miller

FLORIDA
 ENGINEERING
 SERVICES
 352 N.E. 167 STREET
 MIAMI, FL 33132

WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC.
 150 S. E. 2ND AVE.
 335 6044

CHAMPLAIN TOWER #1
 A 112 UNIT COND
 COMM. NO. DATE
 REV.

APARTMENT FLOOR PLAN

@ 1/4" = 1'-0"

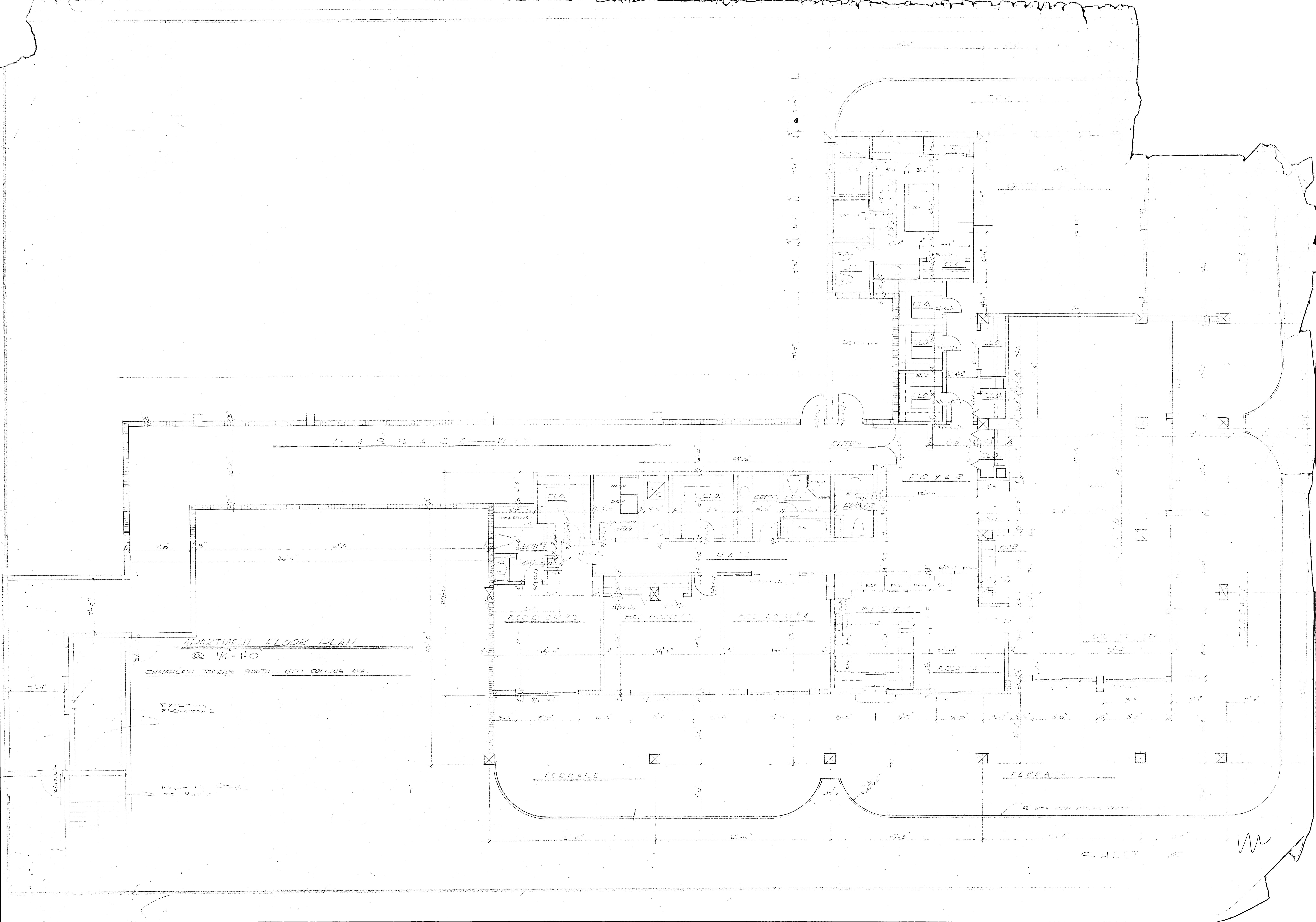
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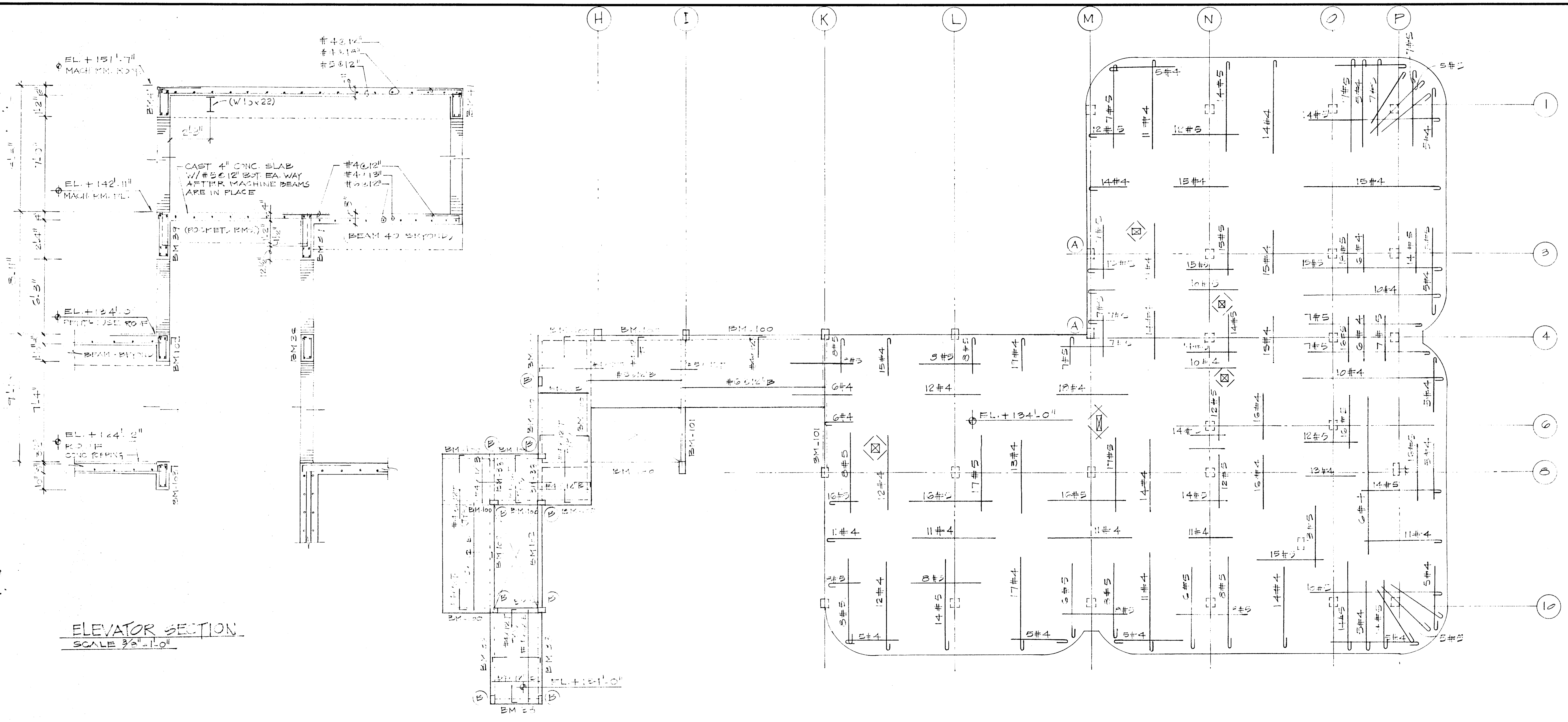
BY
R. J. ...
A. S. ...

FILED
R. J. ...
A. S. ...

SHEET

M



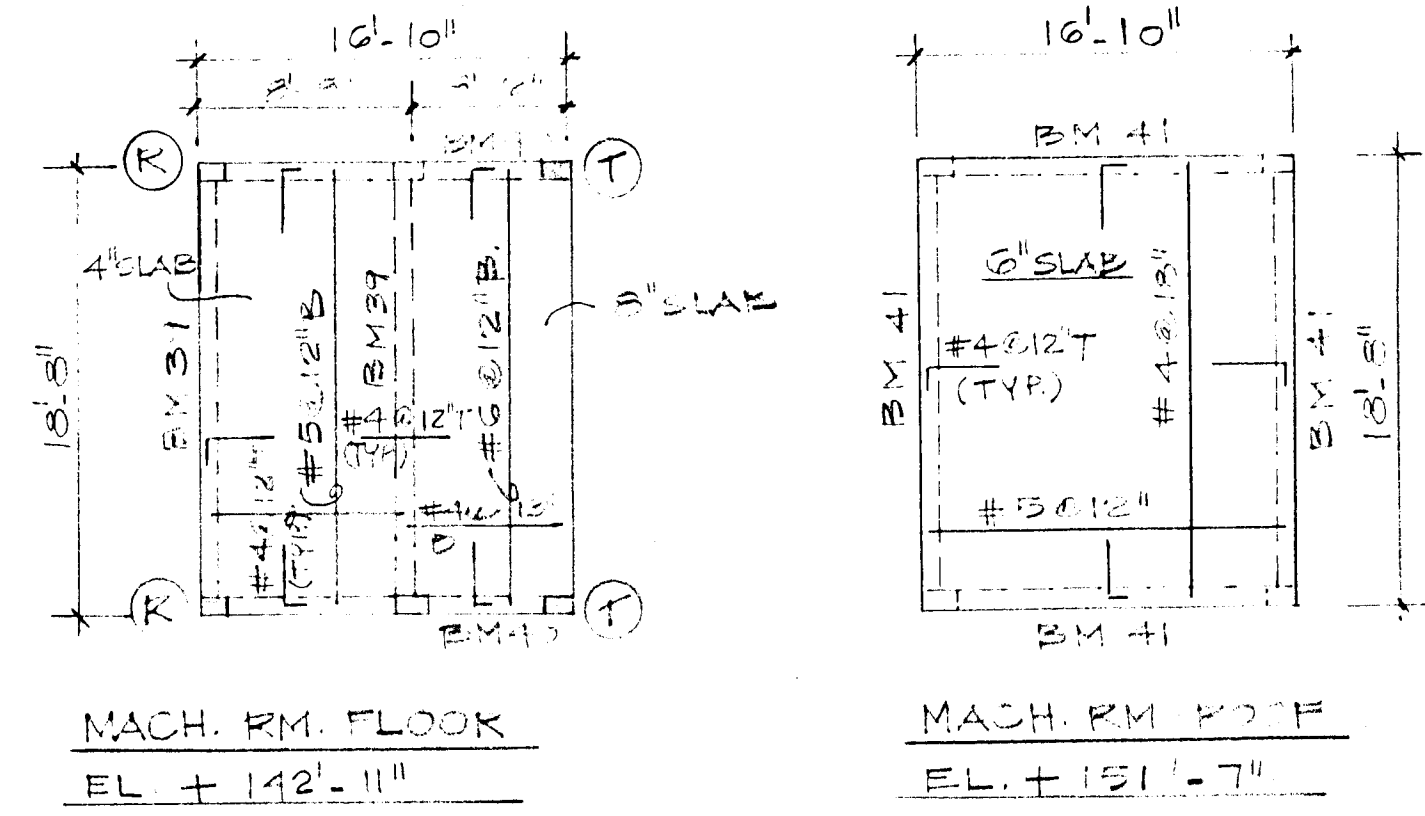


ELEVATOR SECTION
SCALE 3/8" = 1'-0"

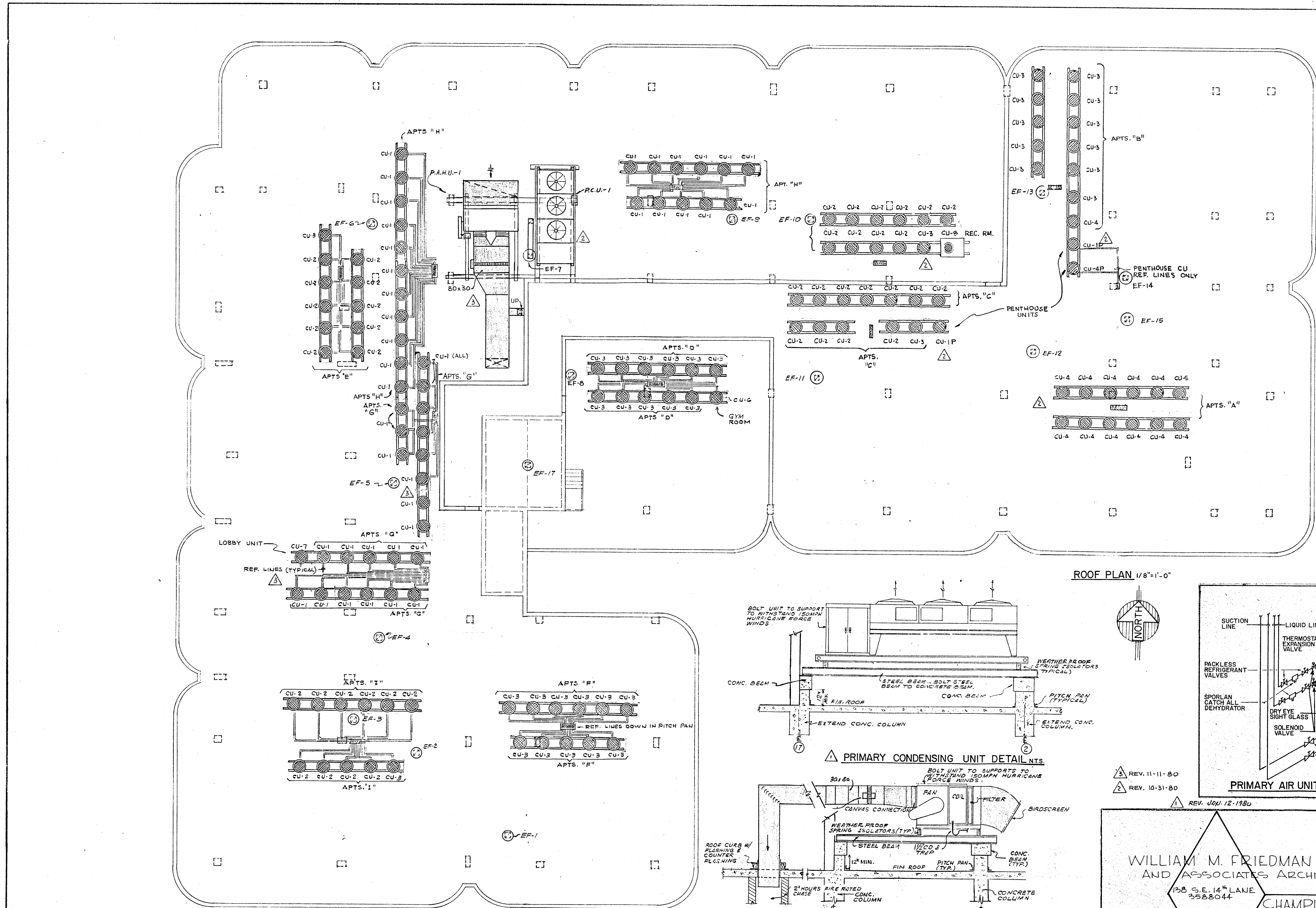
PENTHOUSE ROOF
SCALE 1/8" = 1'-0"

MARK	SIZE B x D	LONGITUDINAL		STIKKUPS	REMARKS
		BOTT.	TOP		
BM-100	2" x 12"	2#7	2#7	#3 @ 10"	
BM-101	3" x 22"	2#7*	2#7	#3 @ 10"	* 2 LAYERS
BM-102	3" x 30"	2#5	2#5	#3 @ 12"	
BM-103	3" x 21/2"	2#5	2#5	#3 @ 12"	

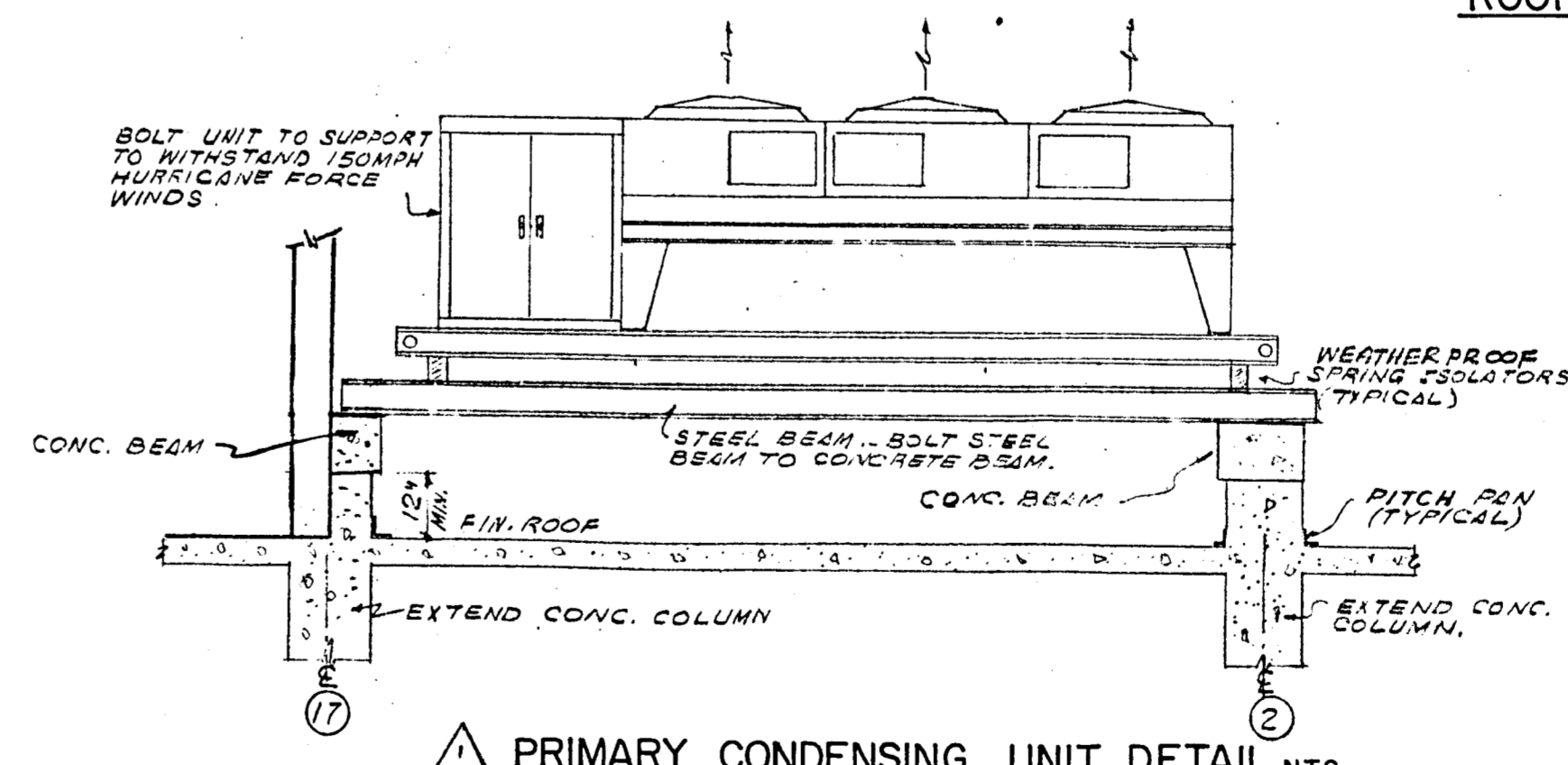
NOTE:
COL (A) 12" x 12" w/ 4#7 + #3 @ 12"
COL (B) 9" x 12" w/ 4#5 + #3 @ 8"



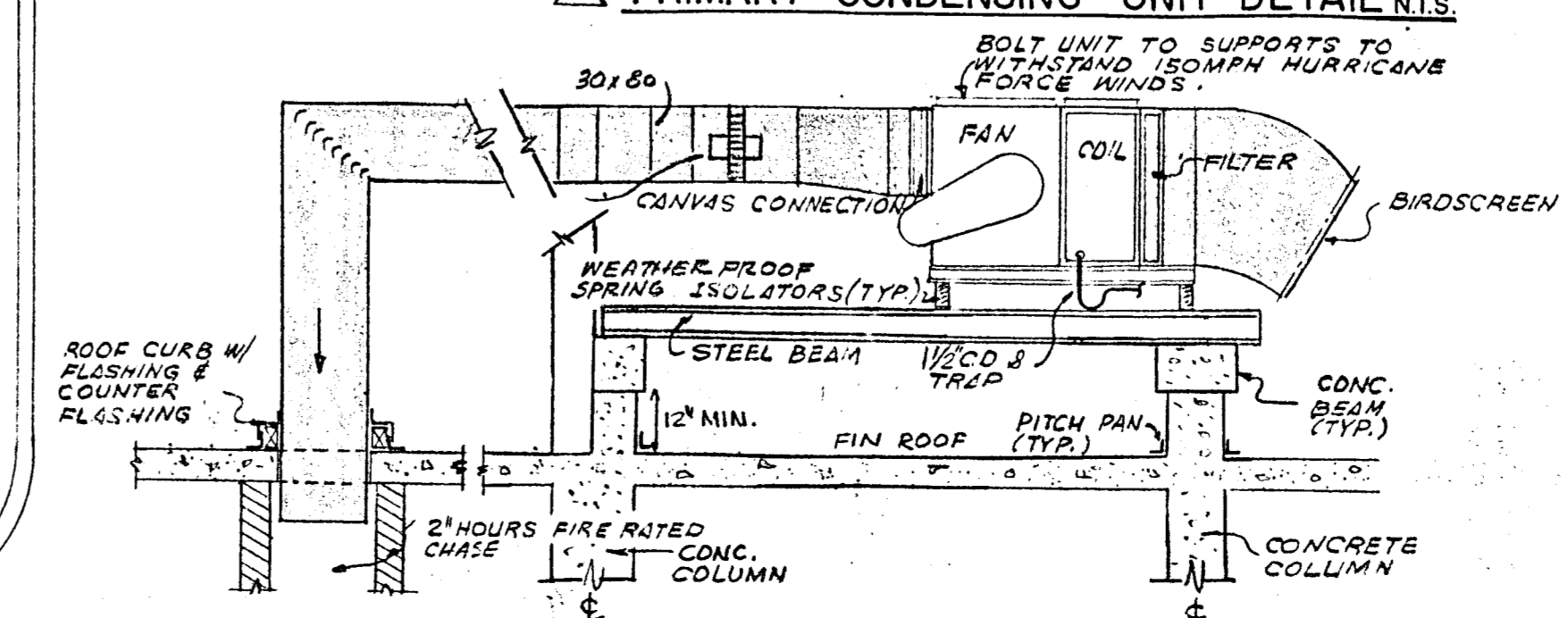
WILLIAM M. FRIEDMAN & ASSOC.
ARCHITECTS, INC.



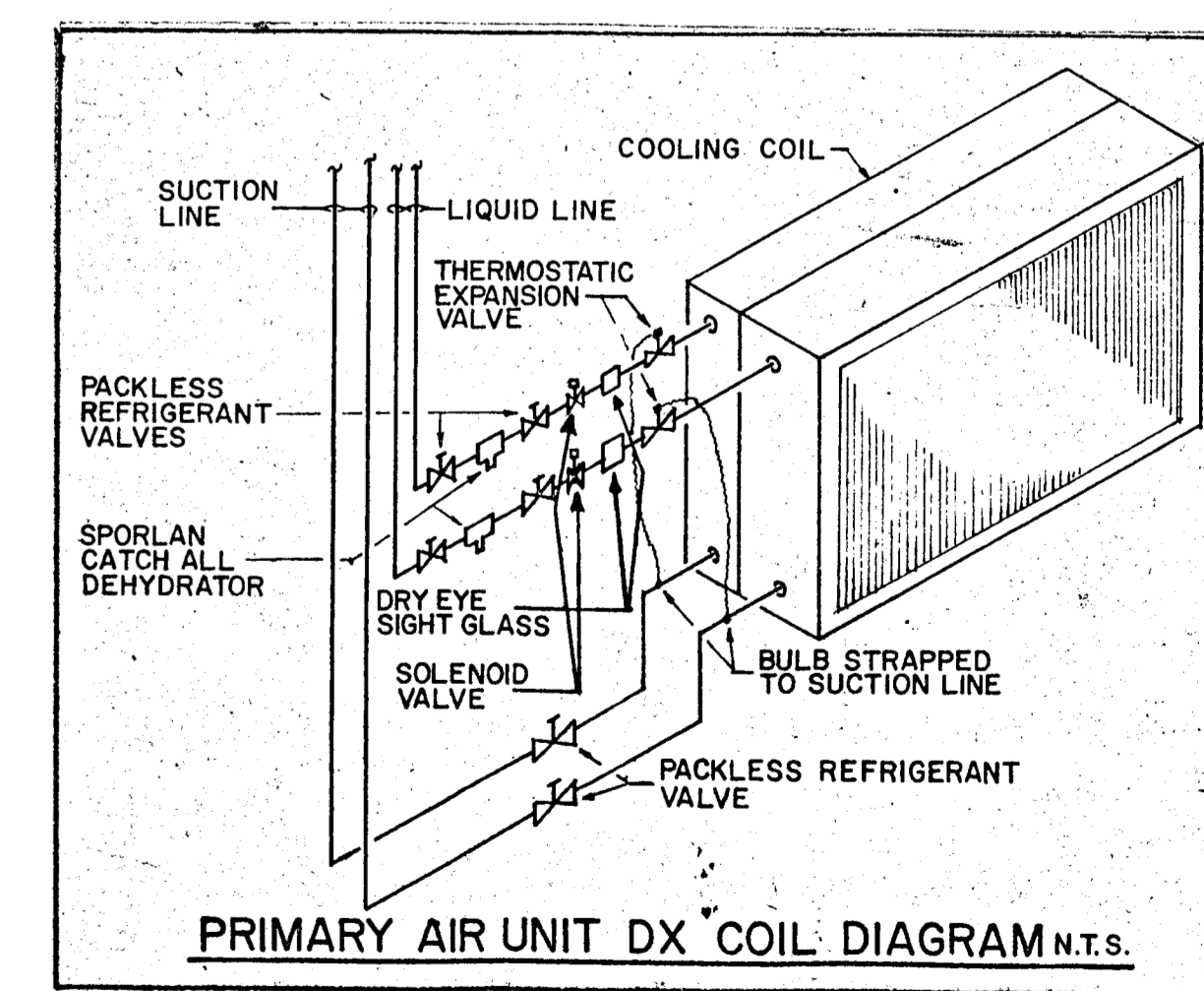
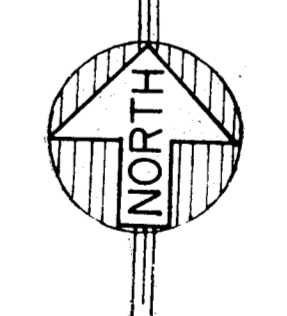
ROOF PLAN 1/8"=1'-0"



PRIMARY CONDENSING UNIT DETAIL N.T.S.



PRIMARY AIR HANDLING UNIT DETAIL N.T.S.



PRIMARY AIR UNIT DX COIL DIAGRAM N.T.S.

REV. 11-11-80
REV. 10-31-80

REV. JUN 12-1980

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
138 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS SOUTH
A- 128 UNIT CONDOMINIUM

COMM. No. DATE: SHEET No. 10 of 10

FLORIDA ENGINEERING SERVICES
222 N.W. 187 STREET
MIAMI, FLA. 33122

William M. Friedman

3800 SQ. FT. X 3 WATTS: 11.4 KW				
PANEL PHB 1F, 3W, 120/208V, 225A FLUSH MTD. ACC CKTS.				
CKT. NO.	POLE BKR.	WIRE	SERVING	KW LINE
1	2-50	16	RANGE	8.0
2	2-40	8	DOUBLE OVEN	7.0
3	2-70	4	AIR CONDITIONING	12.1
4	2-60	6	AIR CONDITIONING	8.2
5	2-60	6	AIR CONDITIONING	8.2
6	2-30	10	WATER HEATER	4.5
7	2-30	10	WATER HEATER	4.5
8	2-30	10	DRYER	5.0
9	2-40	8	SAUNA	6.0
10	1-20	12	WASHER	1.5
11			REFRIGERATOR	0.9
12			REFRIGERATOR	0.9
13			DISHWASHER	1.2
14			TRASH COMPACTOR	1.0
15			MICROWAVE OVEN	1.0
16-17			SMALL APPLIANCES	3.0
18-27	1-15	14	LIGHTS & RECEPTACLE	11.4

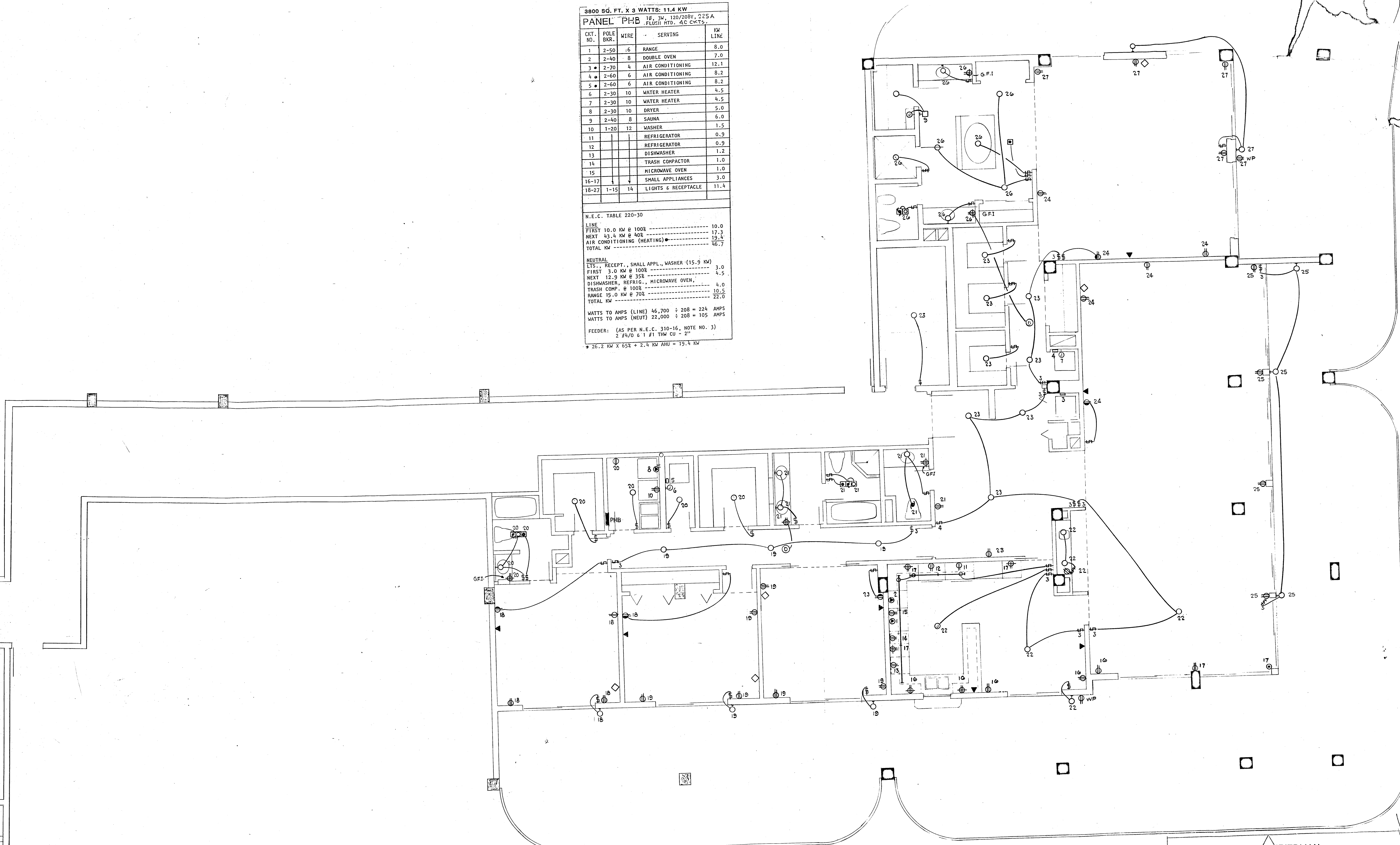
N.E.C. TABLE 220-30	
LINE	10.0 KW @ 100%
FIRST	43.4 KW @ 40%
NEXT	17.3
AIR CONDITIONING (HEATING)	13.4
TOTAL KW	16.7

NEUTRAL	
LTS., RECEPT., SMALL APPL., WASHER (15.9 KW)	3.0
FIRST	3.0 KW @ 100%
NEXT	12.9 KW @ 35%
DISHWASHER, REFRIG., MICROWAVE OVEN,	4.0
TRASH COMP. @ 100%	10.5
RANGE	15.0 KW @ 70%
TOTAL KW	22.0

WATTS TO AMPS (LINE) 46,700 ÷ 208 = 224 AMPS
WATTS TO AMPS (NEUT) 22,000 ÷ 208 = 105 AMPS

FEEDER: (AS PER N.E.C. 310-16, NOTE NO. 3)
 2 #4/0 G 1 #1 THW CU - 2"

* 26.2 KW X 65% = 2.4 KW AHU = 19.4 KW



PENTHOUSE APARTMENT FLOOR PLAN
 CHAMPLAIN TOWER SOUTH
 SCALE 1/4" = 1'-0"

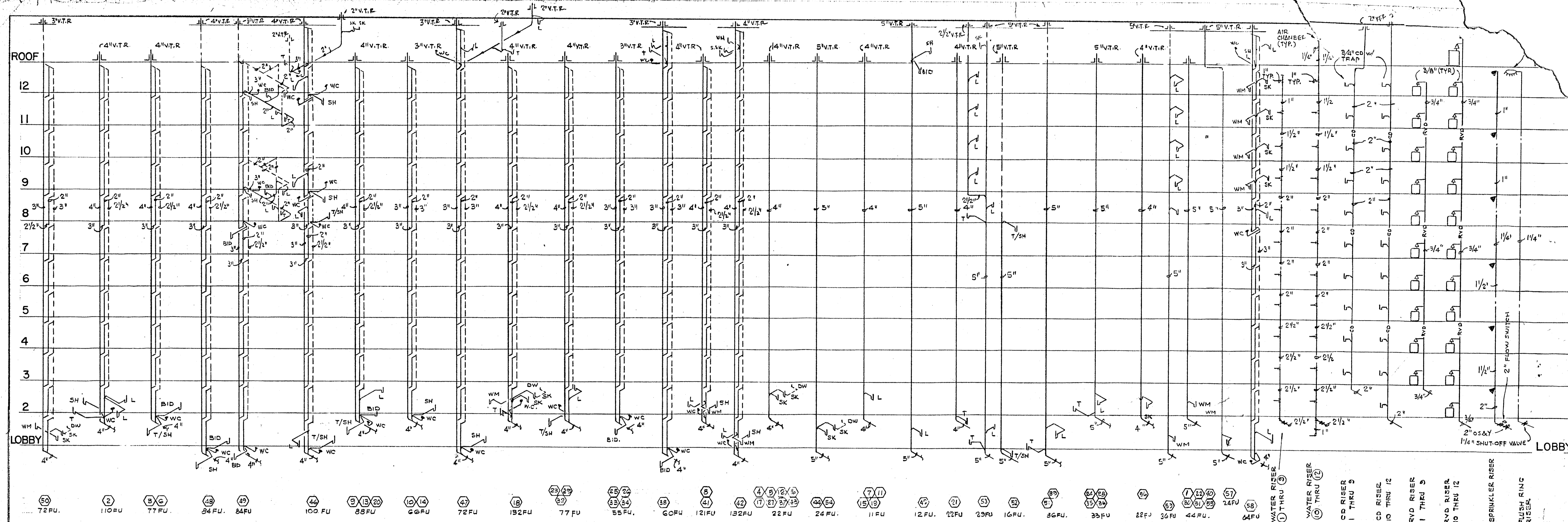
Salomon Wilson

WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS INC.
 148 S.E. 14TH LANE
 3588044

FLORIDA ENGINEERING SERVICES
 352 NE 167 STREET
 MIAMI BEACH, FLA 33162
 945-4743

CHAMPLAIN TOWERS SOUTH
 A. 135 UNIT CONDOMINIUM

COMM. No.	DATE:	SHEET No.
REV:		



SANITARY RISER DIAGRAM

- APARTMENT PLUMBING FIXTURES AND TRIM
(ALL FIXTURES TO BE WHITE)
- LAVATORY: 0476.028 "AQUALYN" 20" x 17" V.C. - SELF RIMMING 2379.019 "AQUARIAN 11" FAUCET W/AERATOR, POP-UP DRAIN, AND CERAMIC DISC CARTRIDGE. 3" x 12" C.P. SUPPLY PIPES W/STOPS. 1 1/2" C.P. TUBE P-TRAP - 17 GAGE.
 - WATER CLOSET: 2109.056 "ELONGATED CADET" - SIPHON-JET 5330.063 "CHURCH" CLOSED FRONT SEAT W/COVER. 3" x 12" C.P. SUPPLY PIPES W/STOPS. (2) BOLT CAPS.
 - BATHTUB: 0135.137 (RH) OR 0137.133 (LH) "SALEM" 5'0" ACID RESISTING ENAMELED STEEL RECESSED BATH W/SLIP RESISTANT BOTTOM. 1490.093 AQUARIAN 11 BATH AND SHOWER COMBINATION - DIVERTER SPOUT - CERAMIC DISC CARTRIDGE. 1560.135 MULTI-FLEX DRAIN.
 - ROMAN TUB: FOR SPECIFICATIONS SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.
 - SHOWER: 1490.036 "AQUARIAN 11" SHOWER FITTING - CERAMIC DISC CARTRIDGE WITH SCREWDRIVER STOPS. 1413.012 SHOWER HEAD. 1444.017 ARM AND ESCUTCHEON PLATE.
ZURN: Z-415 SERIES W/TYP B STRAINER. PROVIDE 4 LB. LED PAN.
 - KITCHEN SINK: 7017.015 "CUSTOM-LINE DOUBLE BOWL SINK, 32 x 20, 4 HOLE. 4200.077 "AQUARIAN 11" SWING SPOUT FAUCET - SWIVEL AERATOR - CERAMIC DISC CARTRIDGE. 1" SINK SUPPLIES W/STOPS. 1 1/2" S.F. TUBE P-TRAP - 17 GAGE. DISPOSER BY OTHERS.
 - LAUNDRY TRAY: MUSTEE MODEL 18F - FLOOR MOUNTED, 20 GAL. CAPACITY MOULDED STONE WITH DRAIN. TRIM-CHICAGO FAUCET CO., NO. 891 WITH AERATOR AND LEVER HANDLES. 1 1/2" SATIN FINISH P-TRAP, 17 GAGE. 3" SINK SUPPLIES W/STOPS.
 - BIDGET: 5010.103 "LUXETTE" WITH FITTING - WITH CHROME HANDLE FOR WALL MOUNTING - 3324.092.

ITEM	C.W. CONN	H.W. CONN	TRAP SIZE	F.U. COUNT	REMARKS
LAVATORY	1/2"	1/2"	1 1/2"	1	
BATHTUB	1/2"	1/2"	1 1/2"	2	
SHOWER	1/2"	1/2"	2"	2	
WATER CLOSET (TANK)	1/2"	---	3"	4	
KITCHEN SINK	1/2"	1/2"	1 1/2"	2	
WASHING MACHINE	1/2"	1/2"	1 1/2"	4	
HOSE BIB	3/4"	---	---	---	VACUUM BOS C VALVE IN THE VERTICAL
DISHWASHER	---	1/2"	1 1/2"	2	
FLOOR DRAIN	---	---	3 or 4"	3	PROVIDE TRAP RESEALER
URINAL	3/4"	---	2"	4	WALL MOUNTED
WATER CLOSET (FLUSH VALVE)	1"	---	3"	8	
DRINKING FOUNTAIN	3/8"	---	1 1/2"	1/2	SEE PLANS FOR LOCATIONS

- PUBLIC AREA PLUMBING FIXTURES AND TRIM
(ALL FIXTURES TO BE WHITE)
- PLUMBING FIXTURES - ALL FIXTURES TO BE AMERICAN STANDARD.
- WATER CLOSET: (FOR THE HANDICAPPED) 9468.018 "ELONGATED CADET" - SIPHON-JET - 13" TOP STUD SEAT. HEAVY DUTY SOLID PLASTIC OPEN FRONT SEAT, LESS COVER, WITH STAINLESS STEEL CHECK HINGE. SLOAN ROYAL 115 FLUSH VALVE 481310-100 BOLT CAPS.
 - WATER CLOSET: (REGULAR) 2222.016 "PUBER" SIPHON-JET 11" TOP STUD SEAT. HEAVY DUTY SOLID PLASTIC OPEN FRONT SEAT, LESS COVER, WITH STAINLESS STEEL CHECK HINGE. SLOAN ROYAL 110 FLUSH VALVE 481310-100 BOLT CAPS.
 - LAVATORY: 0475.028 "AQUALYN" 20 x 17 VITREOUS CHINA SELF RIMMING LAVATORY. 2379.063 AQUARIAN 11 CENTER SET SINGLE HANDLE VALVE WITH AERATOR AND POP-UP DRAIN. 1/2" x 12" C.P. SUPPLY PIPES WITH STOPS. 1 1/2" C.P. TUBE P-TRAP - 17 GAGE.
 - URINAL: 6560.015 "TRIMBROOK" WALL HUNG SIPHON JET URINAL SLOAN ROYAL 186-11 FLUSH VALVE.
 - SHOWER: PUBLIC 1490.036 AQUARIAN 11 SHOWER FITTING - CERAMIC DISC CARTRIDGE WITH SCREWDRIVER STOPS.
 - SERVICE SINK: 7692.049 "LAKWELL" 22" x 19" ARCT SINK WITH 8379.018 RIM GUARD. 8340.242 DOUBLE FAUCET WITH HOSE AND SPOUT, PAIL HOOK, AND VACUUM BREAKER. 7798.176 3" TRAP STANDARD.
 - ELECTRIC WATER COOLER: PUBLIC HALSEY TAYLOR WC-7A-1 WALL HUNG WATER COOLER.
 - FLOOR DRAIN: ZURN MODEL ZN415 - WITH NO HUB FITTING.
 - PLANTER DRAIN: ZURN ZB114C WITH SUMP, RECEIVER AND PERFORATED OVERFLOW. SEE ARCHITECTURAL PLANS FOR LENGTH OF OVERFLOW REQUIRED.
 - ROOF DRAIN: ZURN MODEL Z-113 WITH LEAD FLASHING AROUND DRAIN.
 - POOL EQUIPMENT ROOM: ZURN ZB-520-Y WITH Z-1099 BW WITH PRIMING CONNECTION.
 - PUMP ROOM DRAIN: ZURN Z-550-Y WITH PRIMING CONNECTION.
 - TRASH ROOM: ZURN Z-451 WITH Z-1099 BW WITH PRIMING CONNECTION.
 - TRENCH DRAIN: ZURN ZN-666.
 - POOL AND LOBBY LEVEL DECK: ZURN ZN-415 WITH 10" TYPE "Y" TOP.
 - PARKING DECK DRAIN: ZURN Z-150 WITH 14" TOP.

PUMP SCHEDULE	
PUMP NUMBER	P-1
APPLICATION	DOMESTIC BOOSTER
LOCATION	LOBBY EQUIP. ROOM
G.P.M.	90+180+180
T.D.H. (IN FT. WATER)	110
H.P.	5+10+10
R.P.M.	1750
EFFICIENCY	59.5 + 71.5 + 71.5
VOLTAGE	208-3-60
MOTOR TYPE	O.D.P.
PUMP TYPE	HORIZONTAL END SUCTION
MANUFACTURER	SYNCRONO-FLOW
MODEL	450ES48P
SIZE	1-1/2" - 2-1/2"
CONSTRUCTION	CAST IRON BRONZE FITTED
SEAL	MECHANICAL
OPERATING WEIGHT - LBS	2000
INERTIA BLOCK SIZE	A, B, C, D, E
ACCESSORIES	
A. SPRING ISOLATORS	
B. HIGH - LOW PRESSURE CUT-OFF	
C. ELECTRICAL ALTERNATION	
D. COPPER-PIPING	
E. PIPE ISOLATORS	

GENERAL REV. NOV. 10-80
REV. JULY 30, 1980
REV. JAN. 12, 1980
REV. NOV. 28, 1979

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

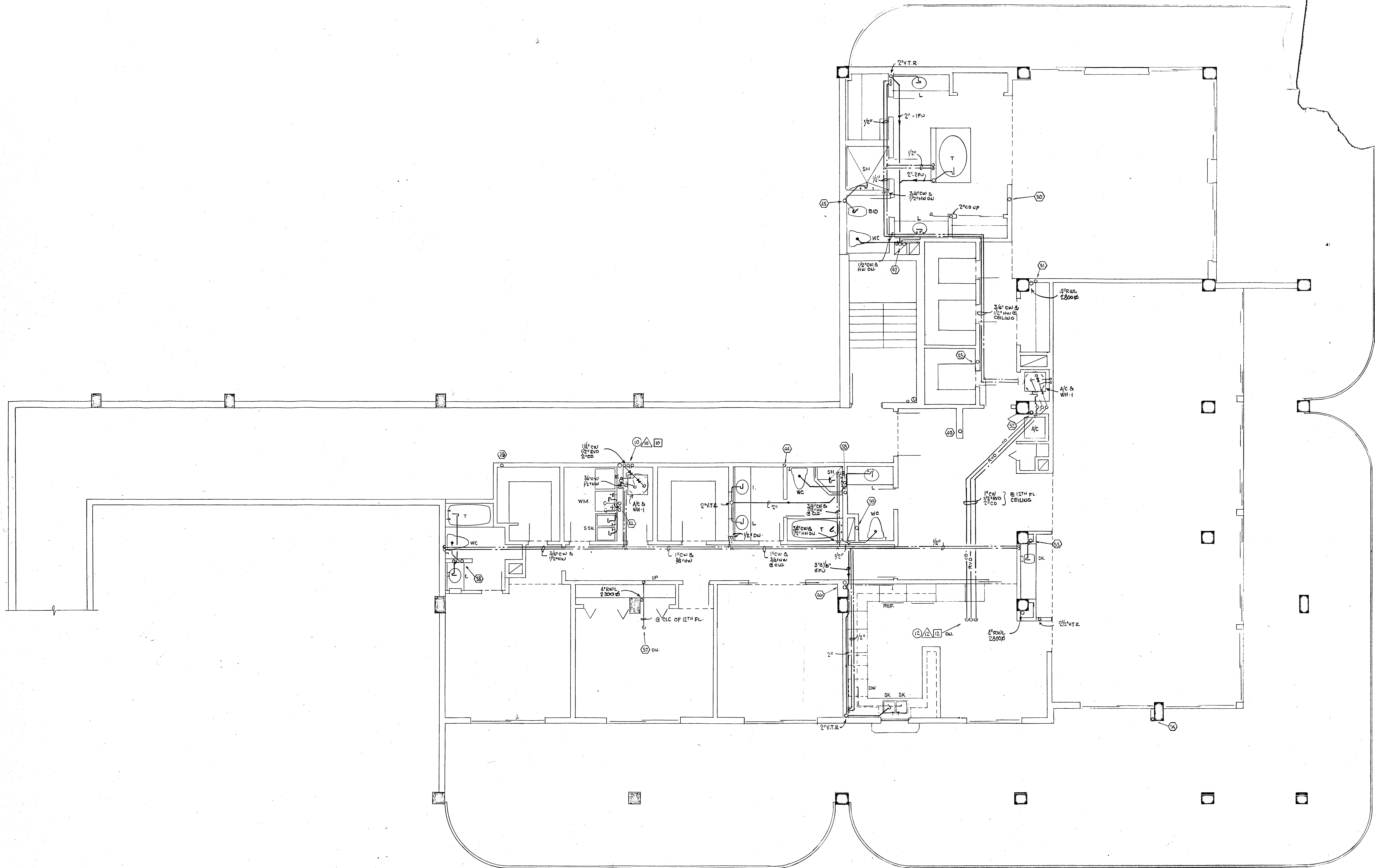
128 S.E. 14TH LAJE
3588044

CHAMPLAIN TOWERS, SOUTH

A-135 UNIT CONDOMINIUM

COMM. DATE: _____ SHEET No. _____
REV. _____ OF _____ SHEET

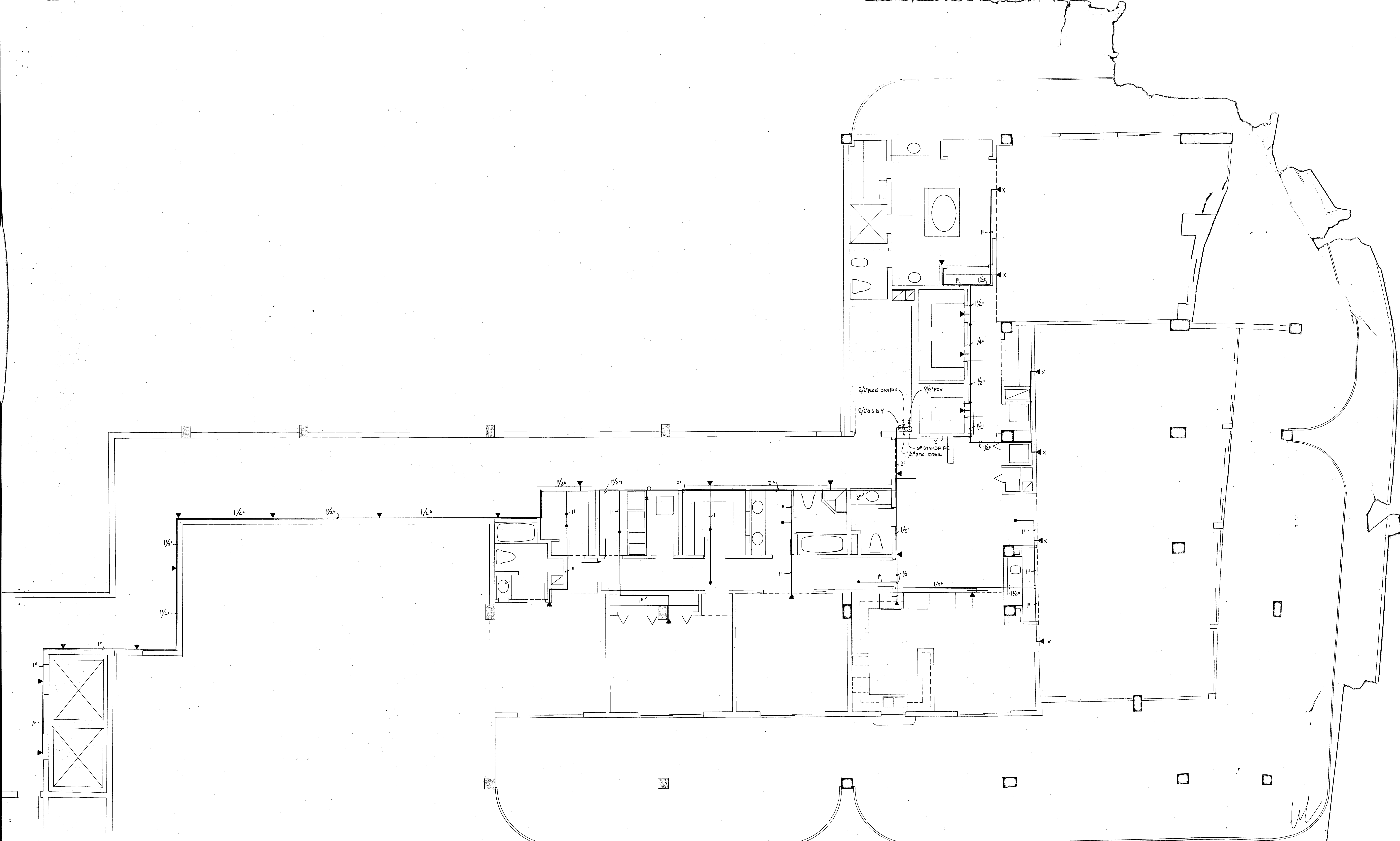
Salvatore Malinconico



PENTHOUSE APARTMENT FLOOR PLAN
 CHAMPLAIN TOWER SOUTH
 SCALE 1/4" = 1'-0"

WILLIAM M. FRIEDMAN AND ASSOCIATES ARCHITECTS INC. <small>158 S.E. 14TH LANE 3588044</small>	
CHAMPLAIN TOWERS SOUTH <small>A. 135 UNIT CONDOMINIUM</small>	
FLORIDA ENGINEERING SERVICES <small>352 NE 167 STREET MIAMI BCH, FLA. 33162 943-4743</small>	<small>COMM. NO. DATE: Nov. 10. 80</small> <small>REV: 11-13-80</small>
<small>SHEET NO.</small> 13	

Solomon M. Lopez



PENTHOUSE APARTMENT FLOOR PLAN
 CHAMPLAIN TOWER SOUTH
 SCALE 1/4" = 1'-0"

Solomon America

WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS INC.
 133 S.E. 14TH LANE
 3568044

FLORIDA ENGINEERING SERVICES
 352 NE 1ST STREET
 SUITE 1000
 MIAMI, FLA 33132
 305-475-4743

CHAMPLAIN TO
 A. 135 UNIT

DATE: _____
 COMM. No: _____
 REV: _____

WER
 CO.

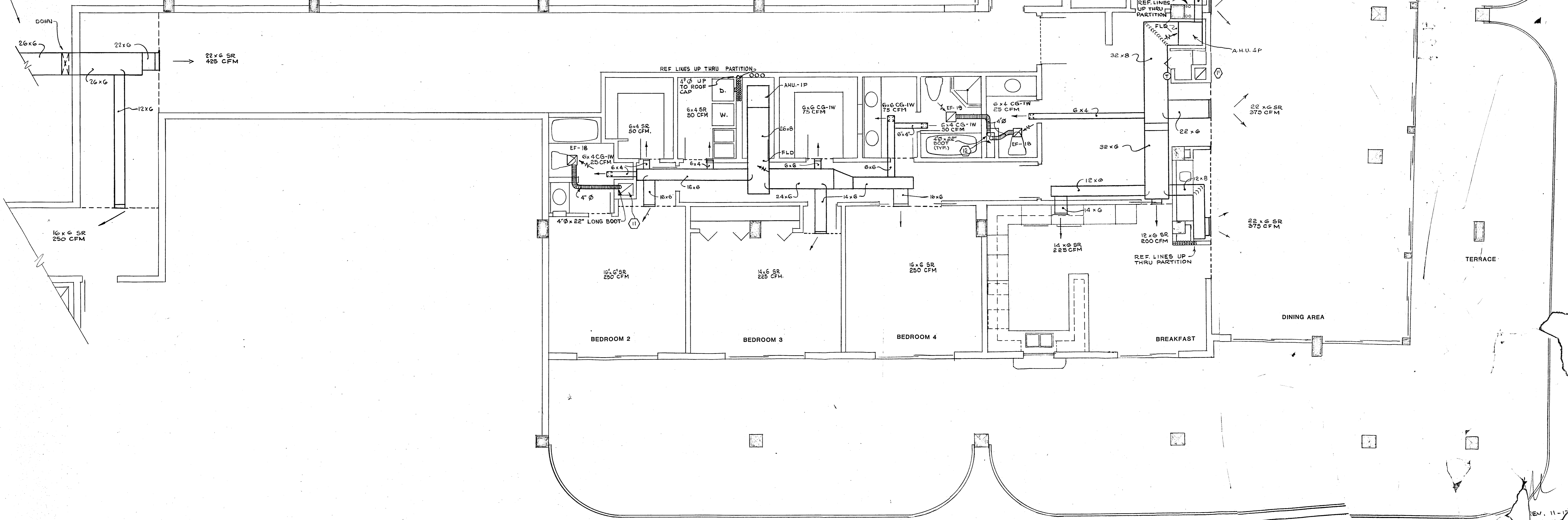
13TH FLOOR PENTHOUSE AIR CONDITIONING UNITS SCHEDULE

AIR HANDLING UNIT		AHU-1P	AHU-4P
UNIT NUMBER			
MANUFACTURER		CARRIER	CARRIER
MODEL		40AS030	40FS200
NOMINAL TONS		2 1/2	4
C. F. M.		1000	1600
ENERGY EFFICIENCY RATIO (E.E.R.)		9	7.6
EVAPORATOR FAN - F.L.A.		3.6	4.5
VOLTAGE		208-1-60	208-1-60
CABINET		VERTICAL	VERTICAL
WEIGHT - LBS.		100	127
MATCHING CONDENSING UNIT		CU-1P	CU-4P
ELECTRIC HEATER (INSIDE OF UNIT)	KW	7.5	11.25
	BTUH	25600	38500
	STAGE	1	2
AREA SERVED	VOLTAGE	208-1-60	208-1-60
	QUANTITY	2	1

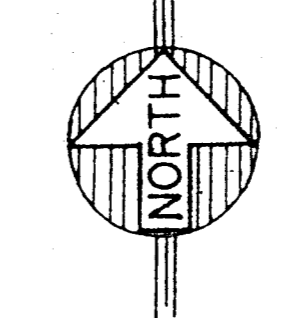
* REFRIGERANT LINES SHALL BE TYPE "L" SEAMLESS COPPER TUBING. INSULATE SUCTION LINE WITH 1/2" ARMAFLEX.

CONDENSING UNIT		CU-1P	CU-4P
UNIT NUMBER			
MANUFACTURER		CARRIER	CARRIER
MODEL		38VE003	38TE048
NOMINAL TONS		2 1/2	4
COMPRESSOR - F.L.A.		14.0	18.3
CONDENSER FAN F.L.A.		0.9	2.1
VOLTAGE		208-1-60	208-1-60
WEIGHT		205	246
REFRIGERANT LIQUID		5/16	3/8
LINE SIZE SUCTION		1 1/8"	1 1/8"
AREA SERVED		MASTER BEDROOM VISITOR'S B.R.	LIVING - DINING
QUANTITY		2	1

FOR CONTINUATION SEE AC-4 (ROOF PLAN)



PENTHOUSE APARTMENT FLOOR PLAN
CHAMPLAIN TOWER SOUTH
SCALE 1/4" = 1'-0"



Salamon/Wisner

WILLIAM M. RIEDMAN AND ASSOCIATES ARCHITECTS INC.
158 S.E. 11th Street
35881

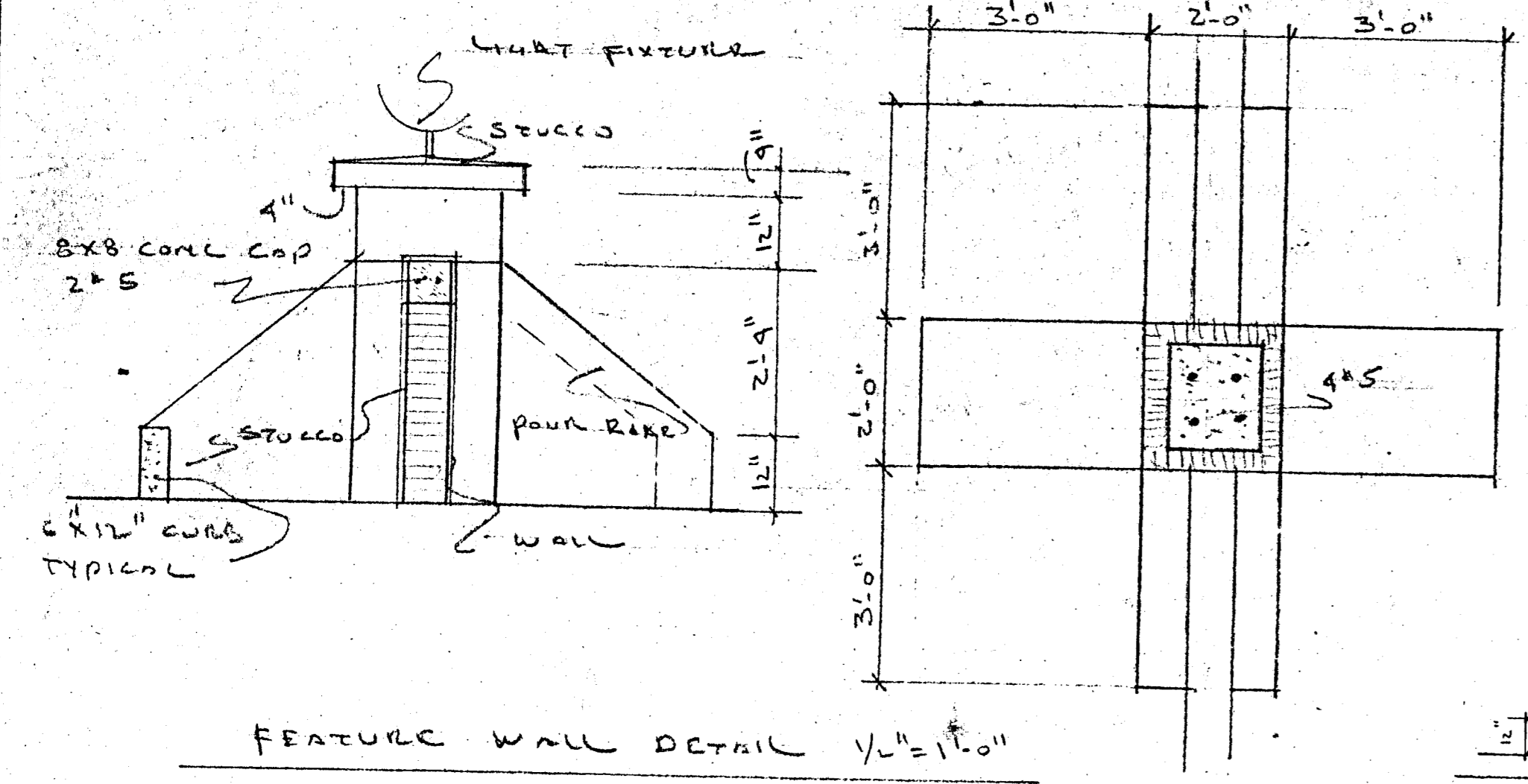
FLORIDA ENGINEERING SERVICES
352 NE 167 STREET
MIAMI, FLA 33122
845-4743

CHAMPLAIN A. 1
DATE: NOV - 8

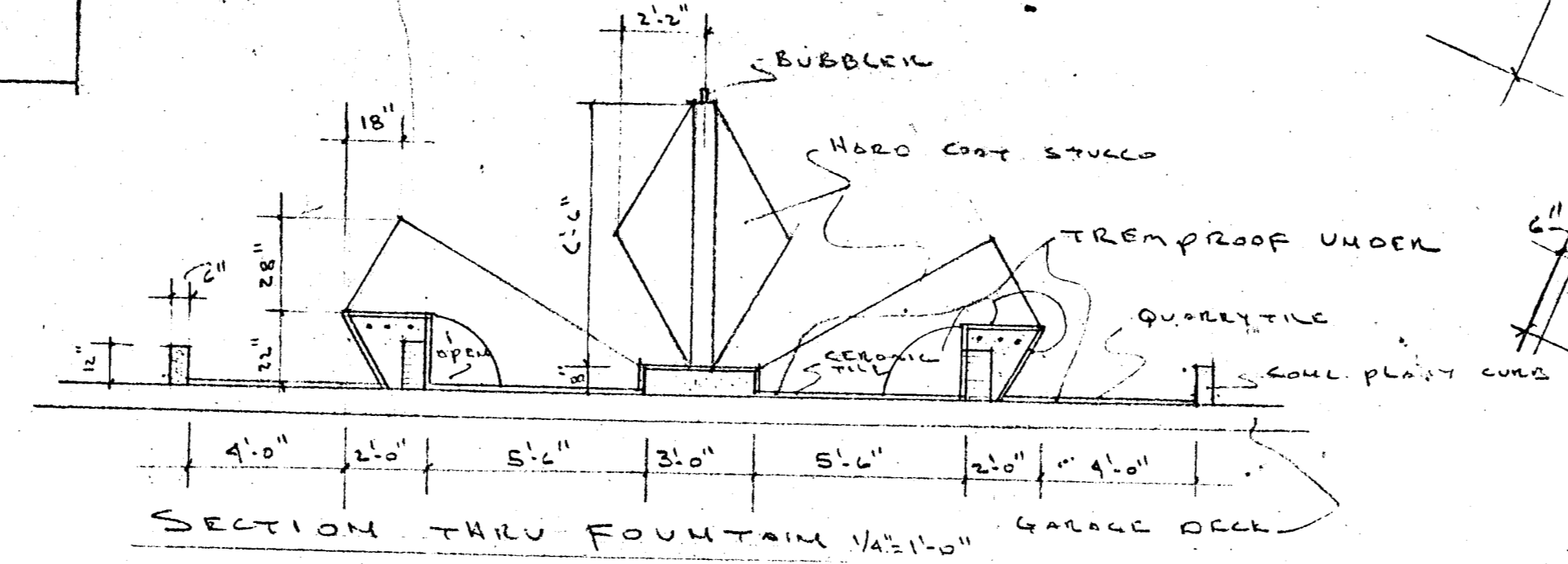
REV. 11-1

Contractor
COPY

JOB COPY



FEATURE WALL DETAIL 1/2"=1'-0"

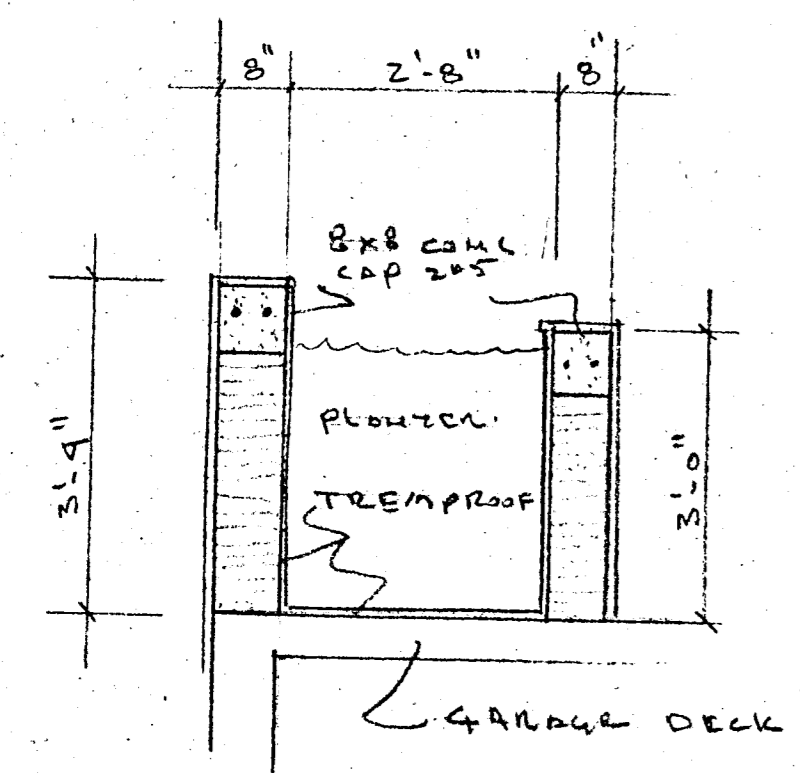


SECTION THRU FOUNTAIN 1/2"=1'-0" GARAGE DECK

TOWN OF SURFSIDE

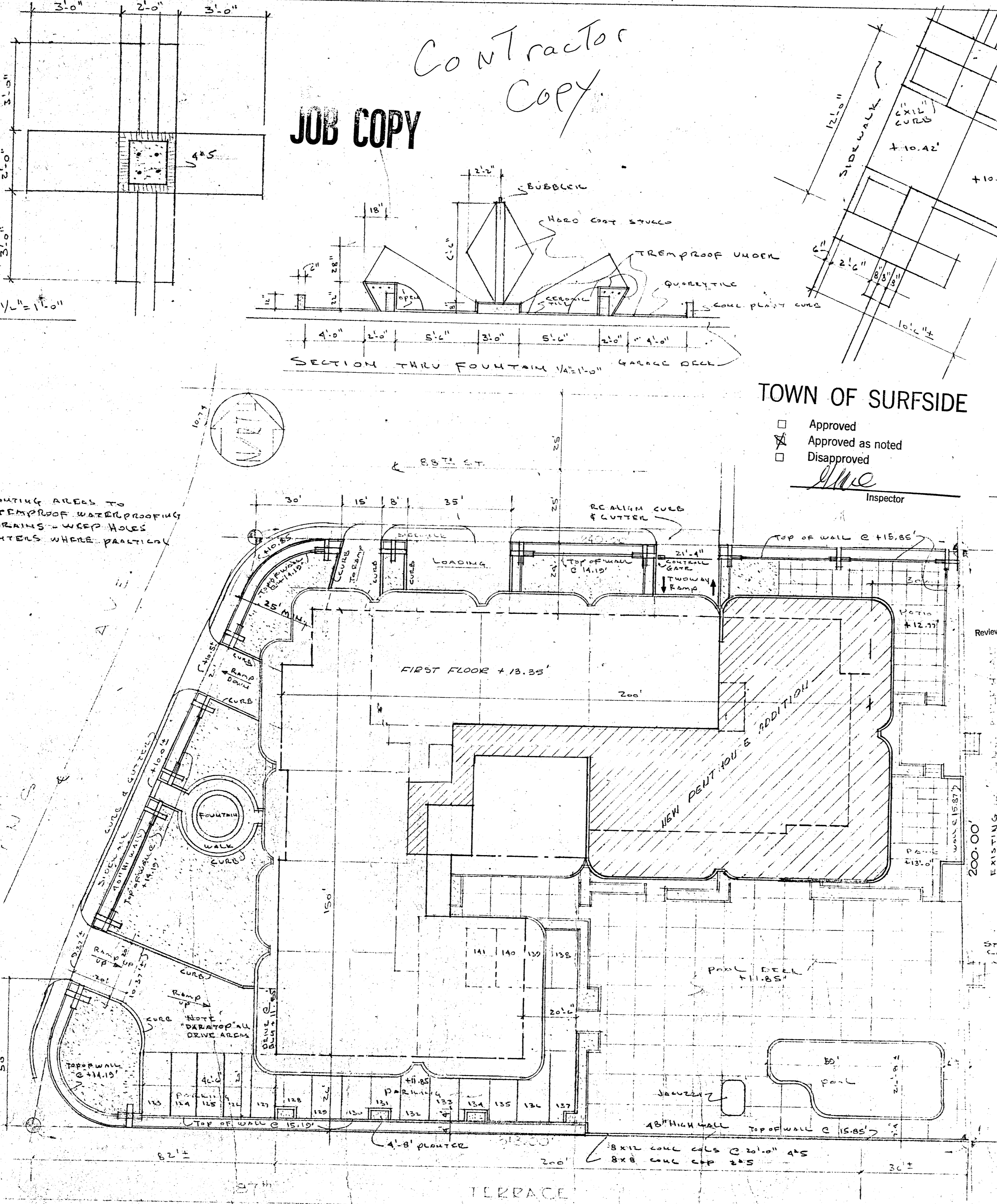
- Approved
- Approved as noted
- Disapproved

JMG
Inspector

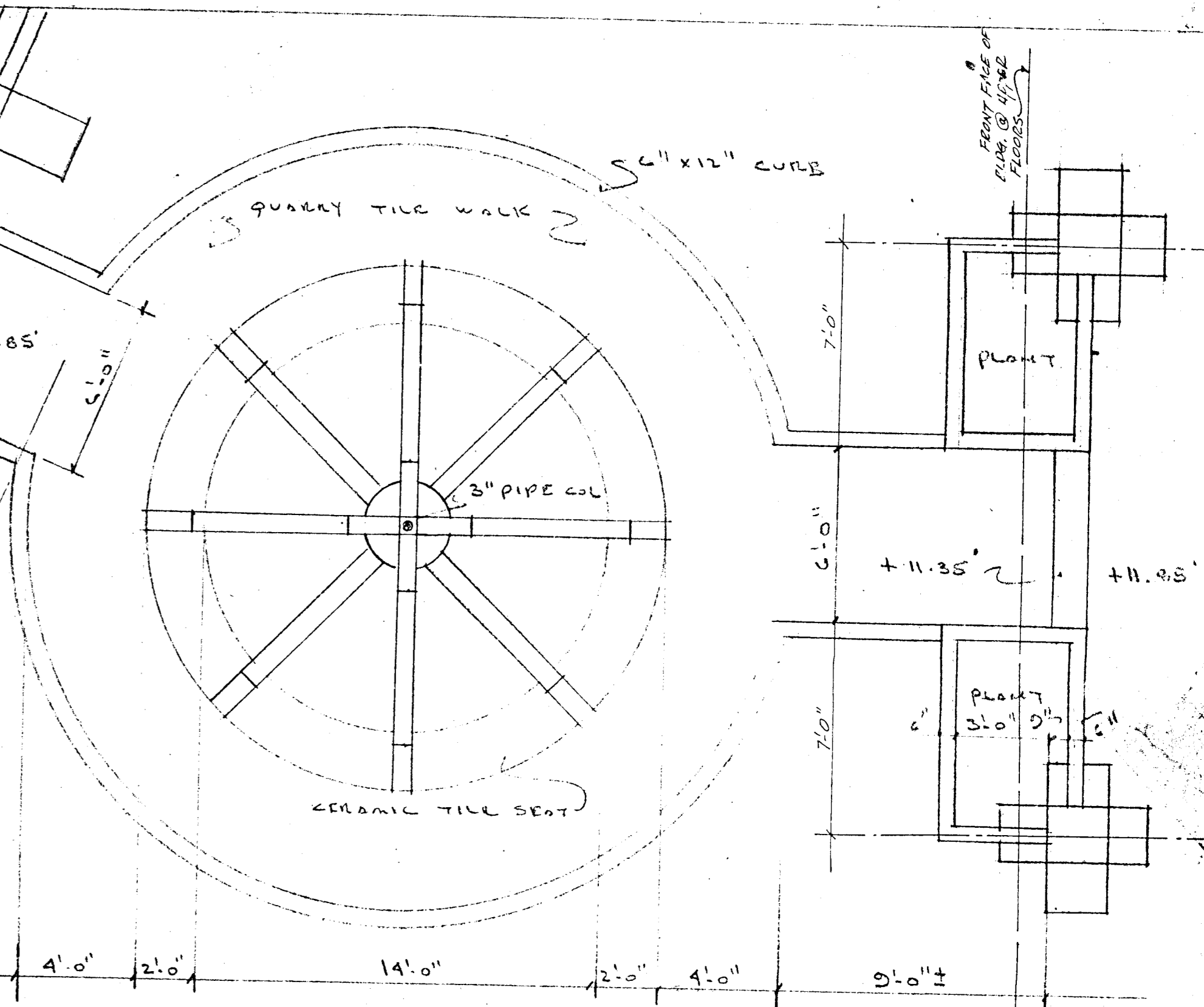


SECTION THRU 4x8 PLANTER
1/2"=1'-0"

NOTE!
ALL PLANTING AREAS TO
HAVE TREMPROOF WATERPROOFING
AND DRAINS - WEED HOLES
IN PLANTERS WHERE PRACTICAL



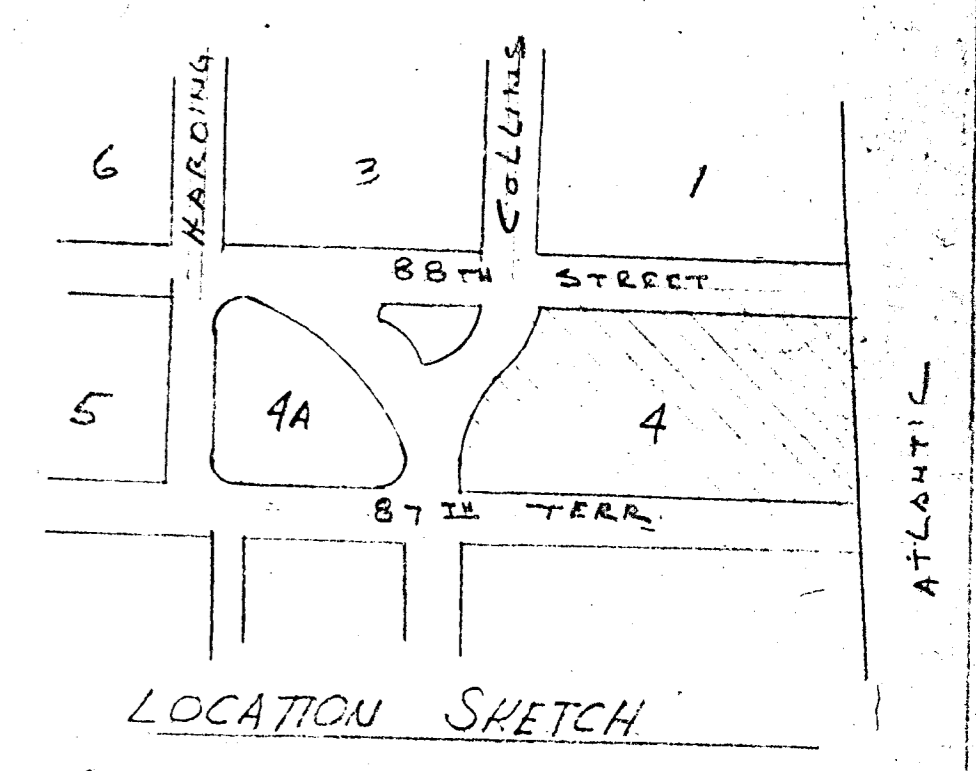
SITE PLAN @ 1"=20'



FOUNTAIN PLAN
1/4"=1'-0"

Reviewed: *Joe Roberts*
Planning & Zoning Board
Date: *04/28-80*

TOWN OF SURFSIDE	
APPROVED:	
Bldg. Inspector	<i>JMG</i> Date <i>11/17/80</i>
Electrical Inspector	<i>[Signature]</i> Date <i>11/17/80</i>
Plumbing Inspector	<i>[Signature]</i> Date <i>11/17/80</i>
Mechanical Insp.	<i>[Signature]</i> Date <i>11/17/80</i>



LOCATION SKETCH

LEGAL
BLOCK 4
2ND AMENDED PLAT OF
NORMANDY BEACH
SURFSIDE, DADE CO., FLA.

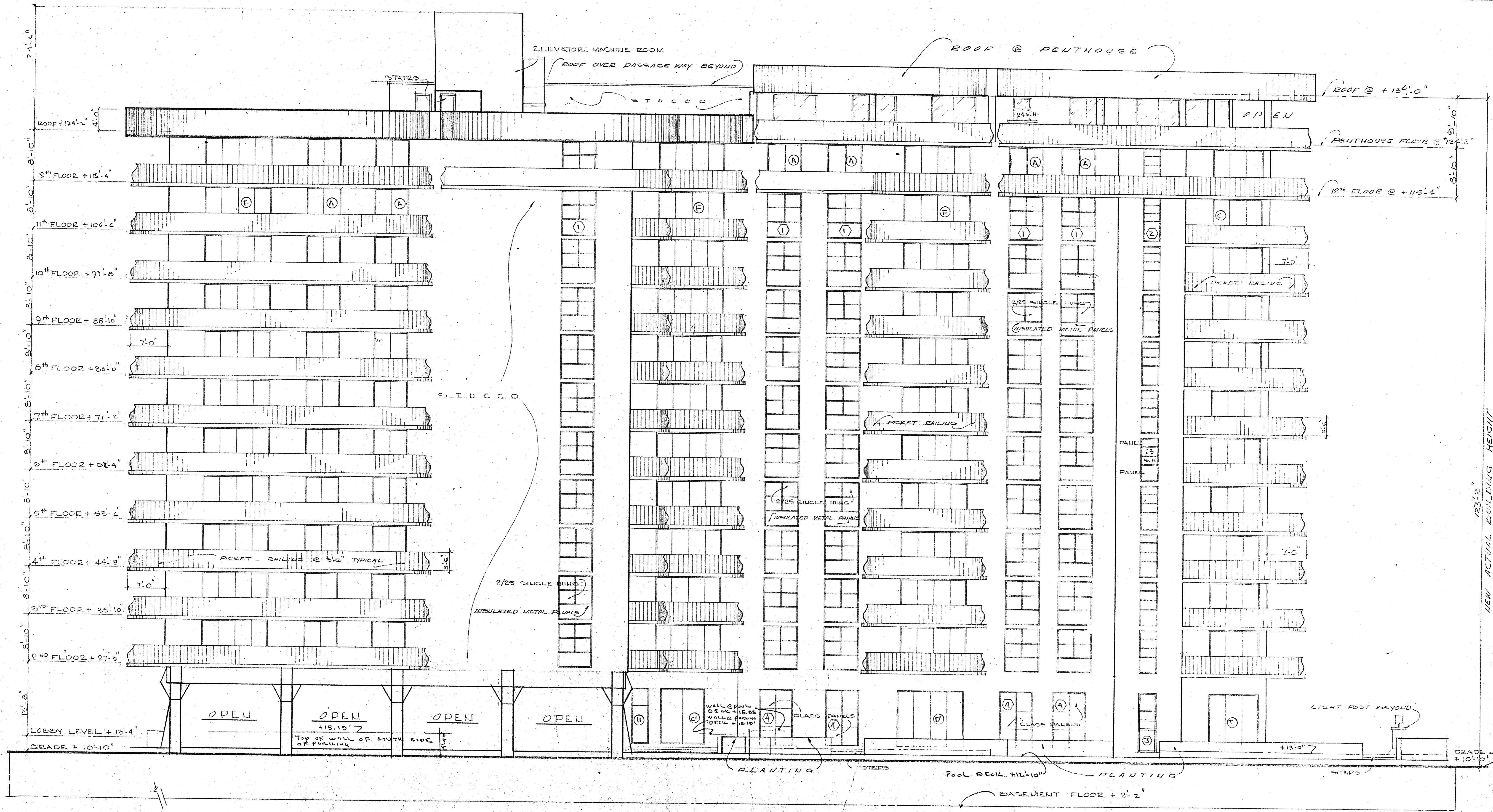
WILLIAM M. FRIEDMAN
AND ASSOCIATES, ARCHITECTS, INC.
138 S.E. 14th LANE
3588044

NEW PENTHOUSE ADDITION

CHAMPLAIN TOWERS SOUTH
8777 COLLINS AVE.
A. 125 UNIT CONDOMINIUM

COMM. No. 79030 DATE: 8/23/79 SHEET

REVISED: 5/14/80 11/27/79 1 OF 6



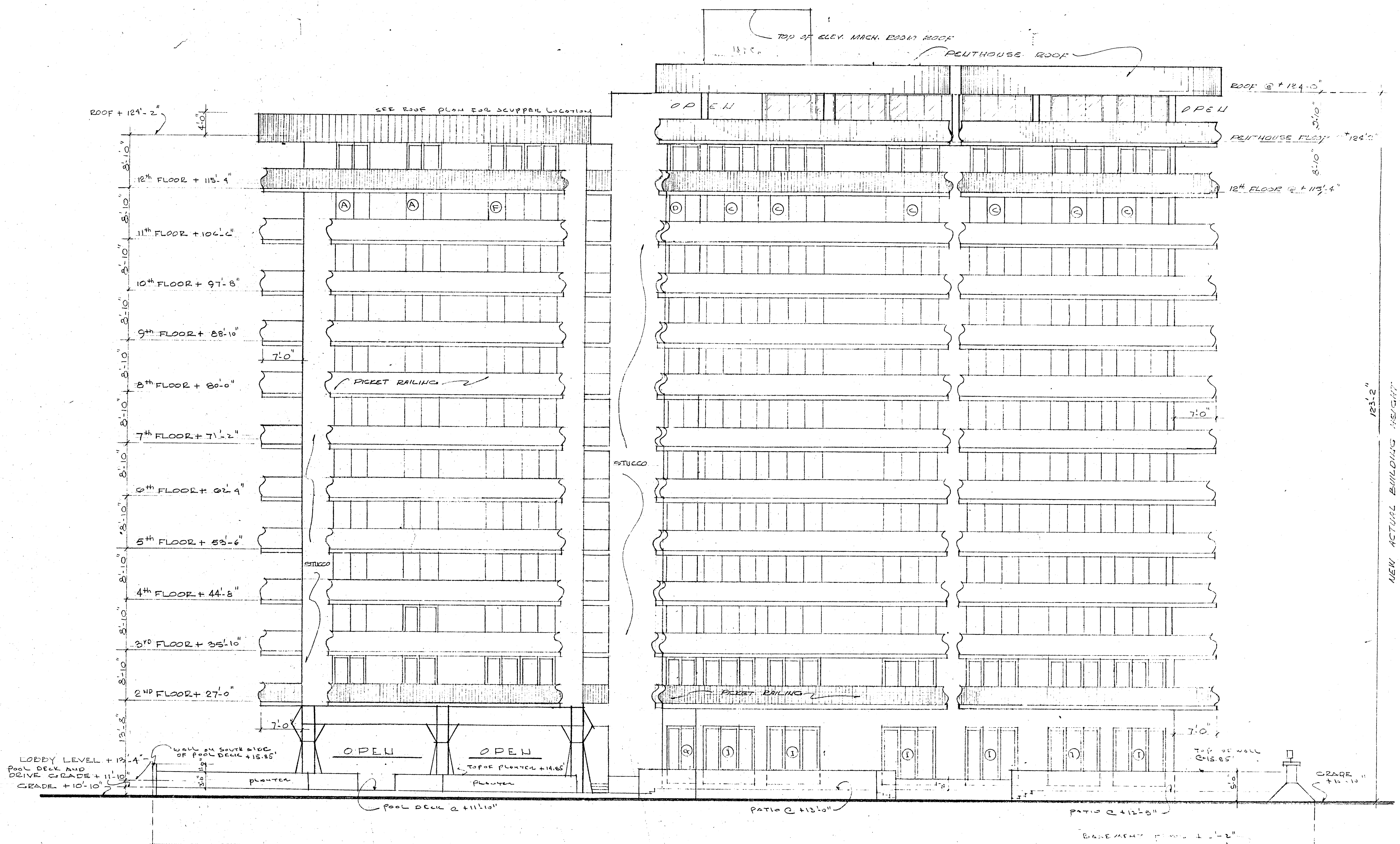
SOUTH ELEVATION @ 1/8"=1'-0"

NEW PENTHOUSE ADDITION
 WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14TH LANE
 3588044

CHAMPLAIN TOWERS SOUTH
 377 COLLINS AVE.
 A: 135 UNIT CONDOMINIUM

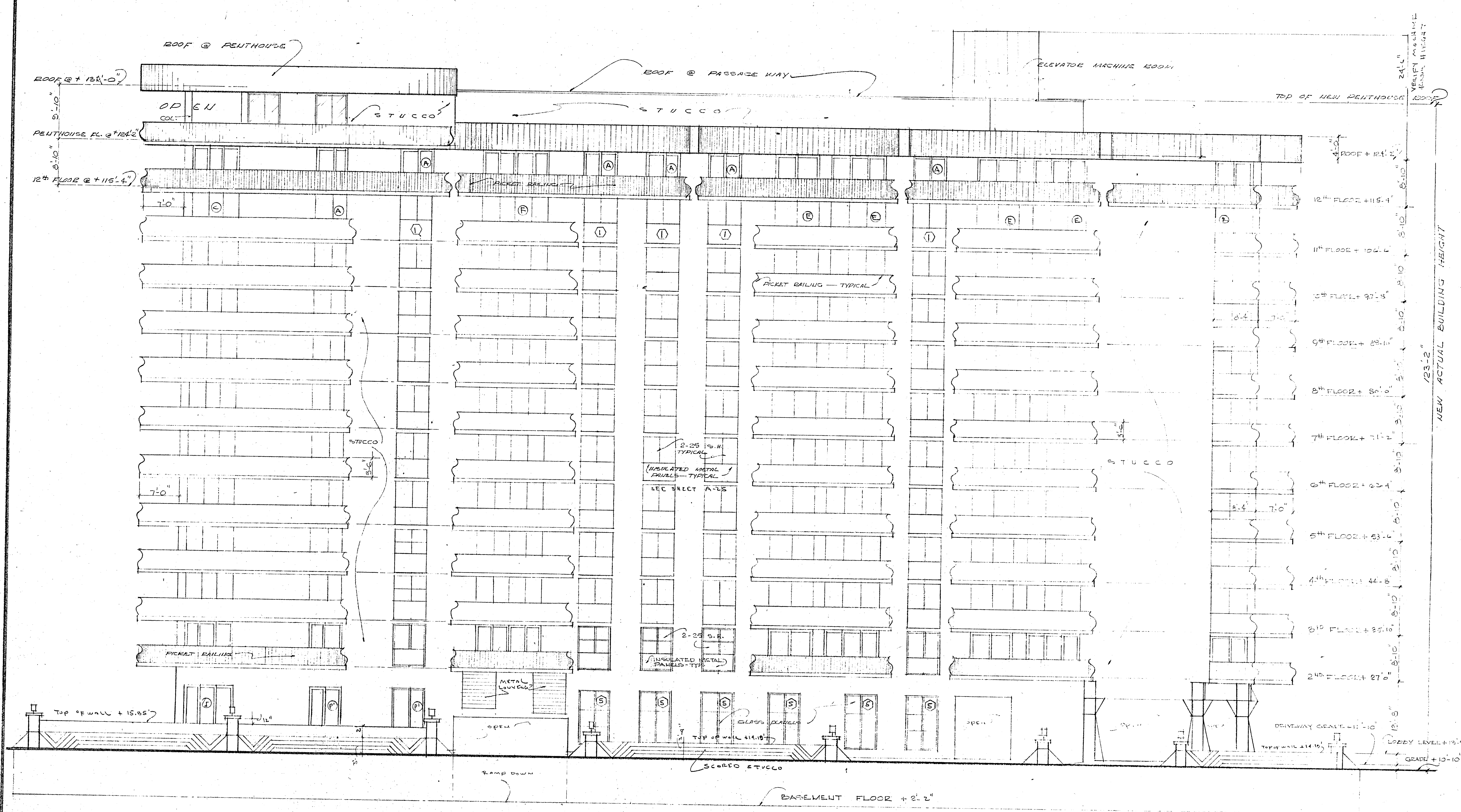
COMM. No. 79030	DATE: 8/20/79	SHEET
REVISED: 11/27/79	5/4/80	2 OF 6



EAST ELEVATION 1/8" = 1'-0"

NEW PENTHOUSE ADDITION
 WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14 TH LANE 3588044	CHAMPLAIN TOWERS SOUTH 8777 COLLINS AVE. A - 135 UNIT CONDOMINIUM
COMM. No. 19030	DATE: 3/20/79 REVISED: 5/14/82 11/27/79
SHEET 3 OF 4	



NORTH ELEVATION 1/8" = 1'-0"

NEW PENTHOUSE ADDITION

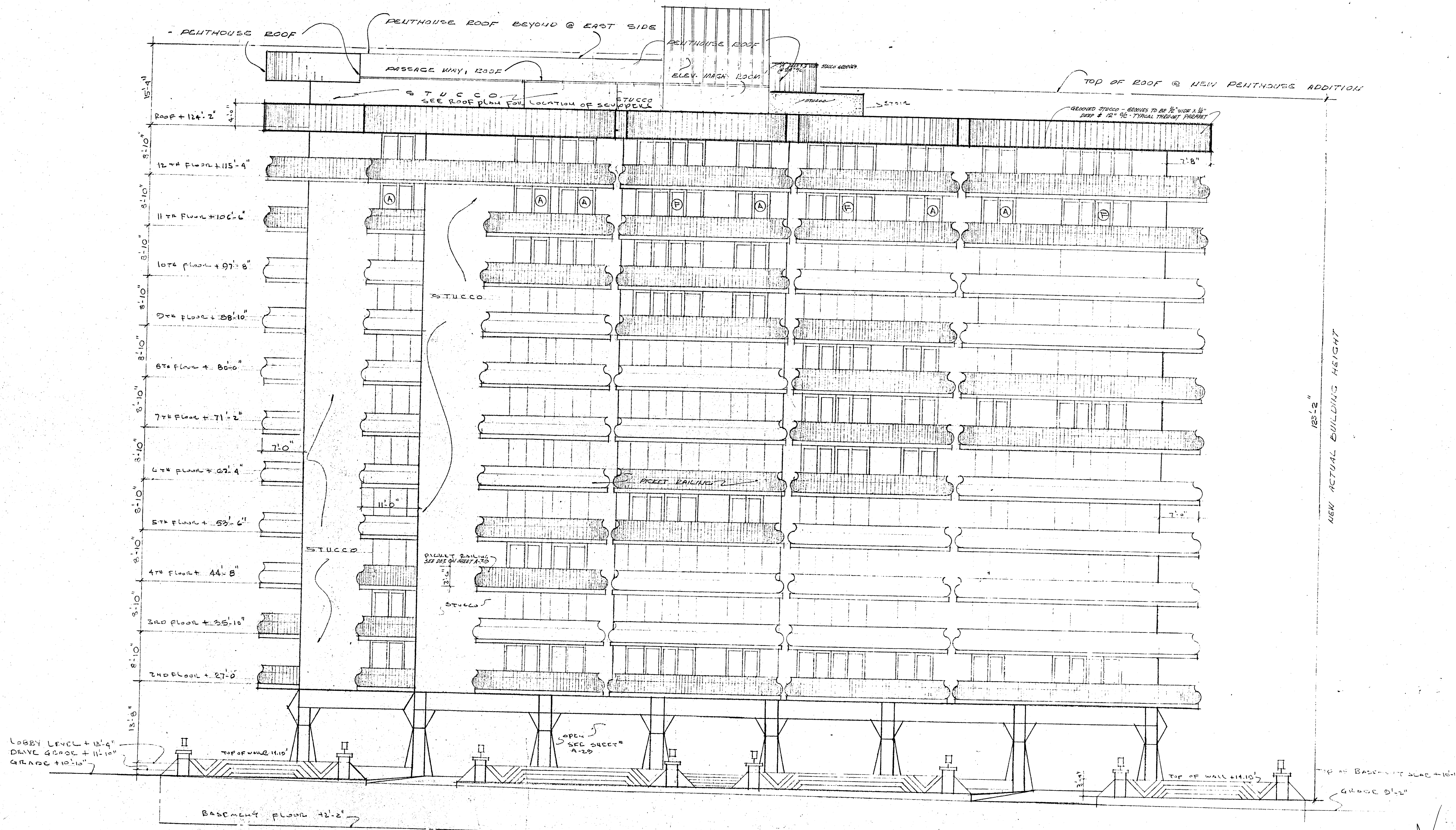
WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14TH LAND
3553044

CHAMPLAIN TOWERS SOUTH
277 COLLINS AVE.

A. 135 UNIT CONDOMINIUM

COMM. NO. 79030	DATE: 3/20/79	SHEET
	REVISED: 5/14/80	4 OF 6
	11/27/79	



COLLINS AVE ELEVATION
1/8" = 1'-0"

NEW PENTHOUSE ADDITION

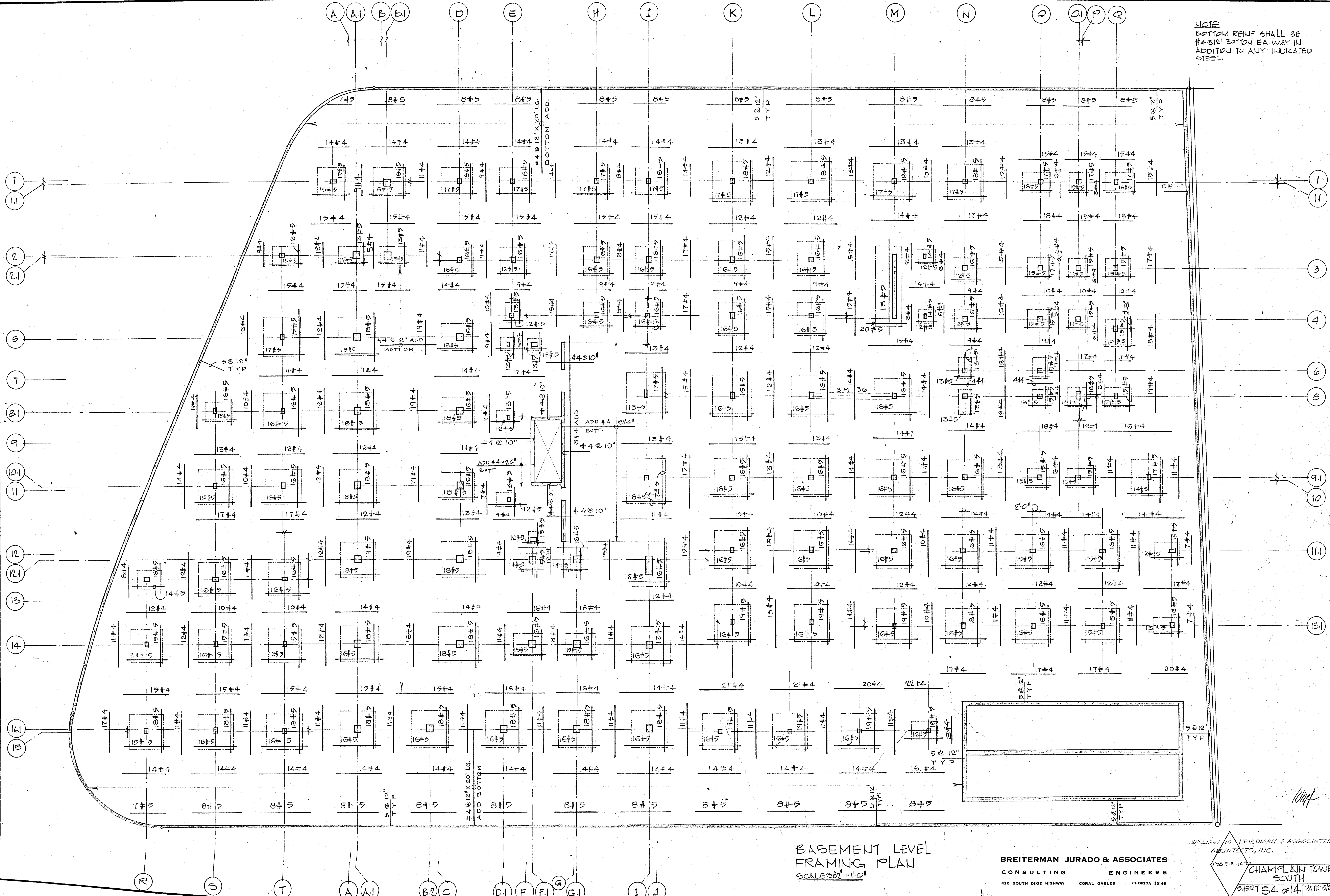
WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS SOUTH
8777 COLLINS AVE.
A: 135 UNIT CONDOMINIUM

COMM. NO. 79030	DATE: 8/20/79	SHEET
	REVISED: 8/14/80 11/27/79	5 OF 6

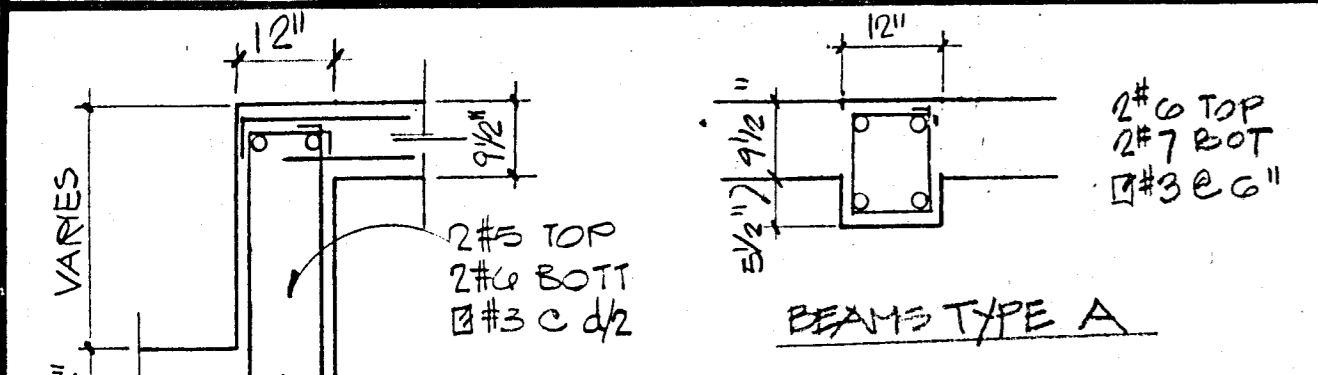
NOTE:
 BOTTOM REINF SHALL BE
 #4 @ 12" BOTTOM EA WAY IN
 ADDITION TO ANY INDICATED
 STEEL.



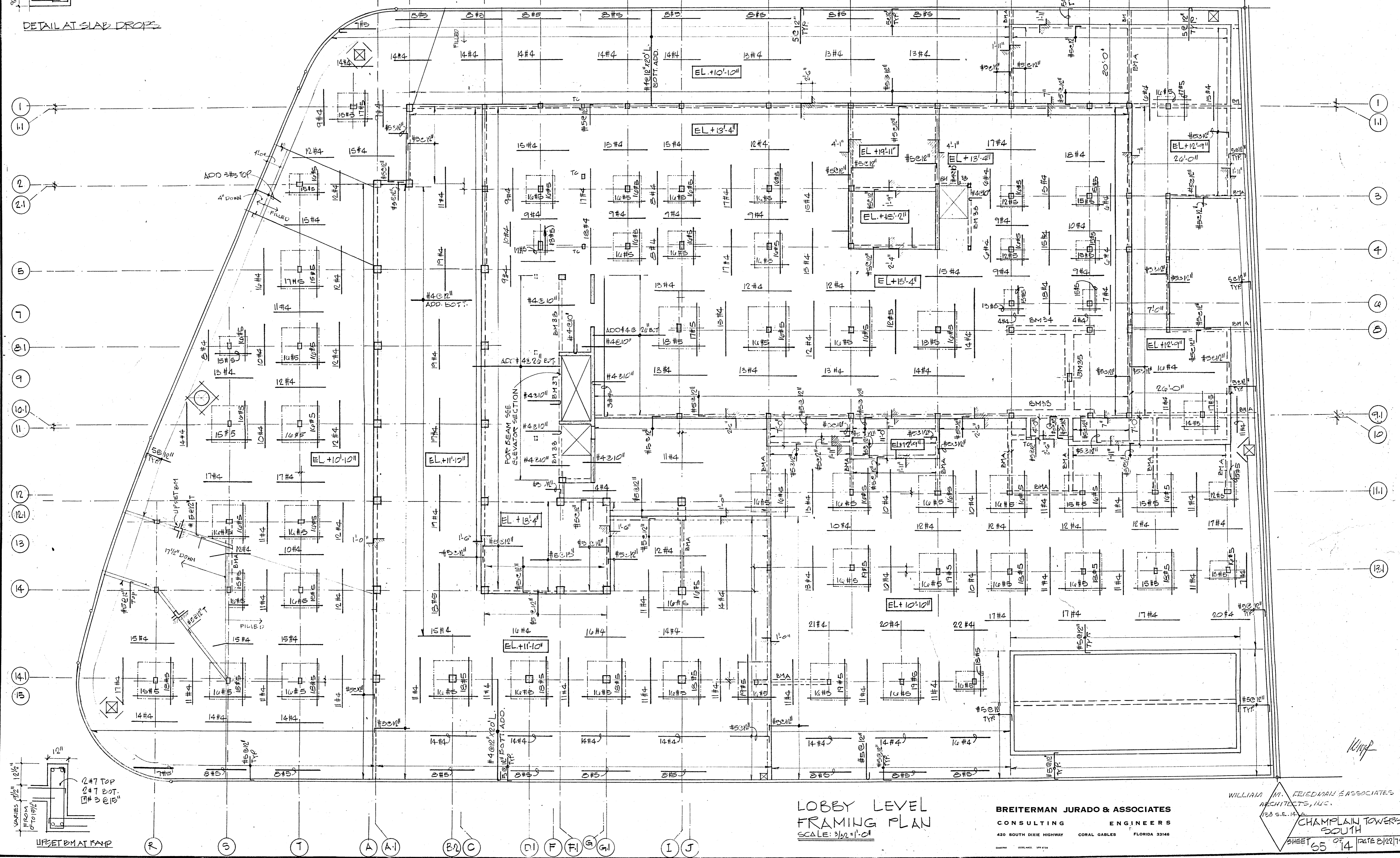
BASEMENT LEVEL
 FRAMING PLAN
 SCALE 3/8" = 1'-0"

BREITERMAN JURADO & ASSOCIATES
 CONSULTING ENGINEERS
 420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

WILLIAM M. FRIEDMAN & ASSOCIATES
 ARCHITECTS, INC.
 1755 S.E. 14th St.
 CHAMPLAIN TOWERS
 SOUTH
 SHEET 64 OF 14 DATE: 08/27/88



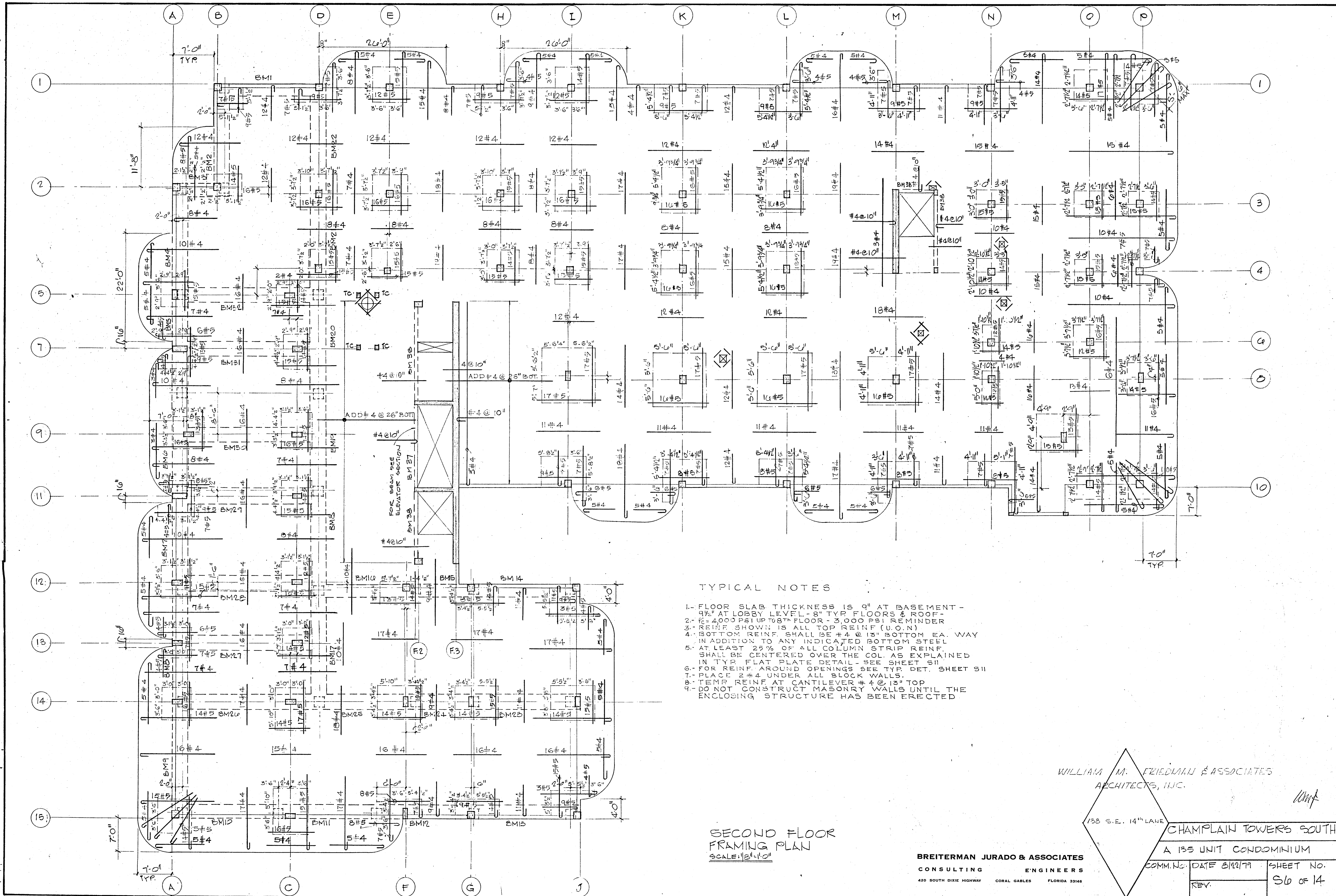
NOTE
BOTTOM REINF. SHALL
BE #4@12" BOTTOM
EACH WAY IN ADDITION TO
ANY INDICATED BOTTOM
STEEL.



LOBBY LEVEL
FRAMING PLAN
SCALE: 3/32"=1'-0"

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.
123 S.E. 11TH AVE.
CHAMPLAIN TOWERS SOUTH
SHEET 55 OF 14 DATE 8/12/11



- TYPICAL NOTES
1. FLOOR SLAB THICKNESS IS 9" AT BASEMENT - 4 1/2" AT LOBBY LEVEL - 8" TYP FLOORS & ROOF -
 2. $f_c = 4000$ PSI UP TO 8TH FLOOR - 3,000 PSI REMINDER
 3. REINF SHOWN IS ALL TOP REINF (U.O.N)
 4. BOTTOM REINF SHALL BE #4 @ 13" BOTTOM EA. WAY IN ADDITION TO ANY INDICATED BOTTOM STEEL
 5. AT LEAST 25% OF ALL COLUMN STRIP REINF. SHALL BE CENTERED OVER THE COL. AS EXPLAINED IN TYP. FLAT PLATE DETAIL - SEE SHEET S11
 6. FOR REINF. AROUND OPENINGS SEE TYP. DET. SHEET S11
 7. PLACE 2 #4 UNDER ALL BLOCK WALLS.
 8. TEMP. REINF. AT CANTILEVER #4 @ 18" TOP
 9. DO NOT CONSTRUCT MASONRY WALLS UNTIL THE ENCLOSING STRUCTURE HAS BEEN ERRECTED

SECOND FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

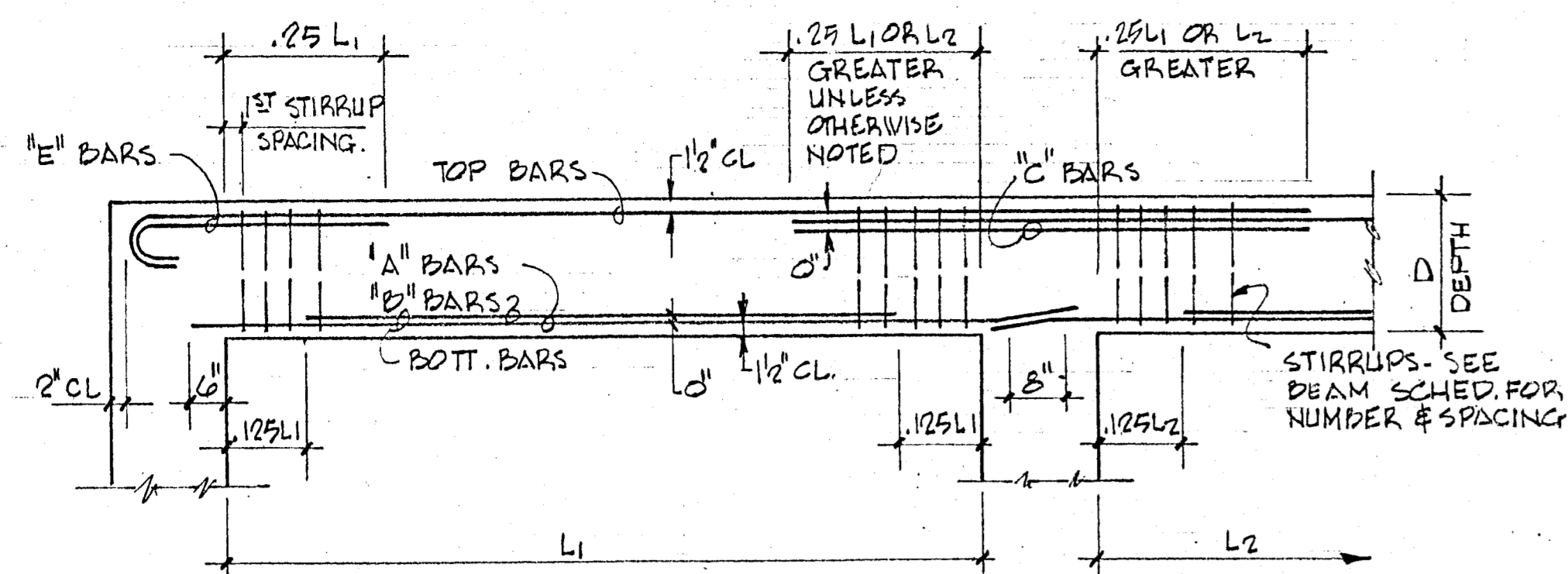
BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

138 S.E. 14TH LANE

CHAMPLAIN TOWERS SOUTH
A 135 UNIT CONDOMINIUM

COMM. NO. DATE 8/22/79 SHEET NO. 56 OF 14

REV.



TYPICAL BAR PLACING BEAM DIAGRAM

BEAM SCHEDULE

MARK	EL. BOTT. CONCRETE	SIZE B x D	LONGITUDINAL		#E"	#C" COL.#	STIRRUPS	REMARKS
			BOTT	TOP				
BM 1	+23'-6"	30" x 42"	6 # 8	4 # 8	2 # 8 EE		# 5 @ 18"	
BM 2		36" x 42"	6 # 8	4 # 8	2 # 8 EE		# 5 @ 18"	
BM 3			6 # 8	6 # 8	-		# 3 @ 18"	
BM 4			8 # 9	6 # 9	2 # 9		# 5 @ 18"	
BM 5			14 # 11	6 # 11		4 # 11	# 5 @ 6" THROUGH	
BM 6			* 12 # 11	6 # 11			# 5 @ 6"	* 2 LAYERS - 10 BARS IN OUTER LAYER
BM 7			8 # 9	6 # 11			# 5 - 4 @ 6" 4 @ 6" REMAINDER @ 18"	
BM 8			* 16 # 11	6 # 11			# 5 @ 6" T.O.	* 2 LAYERS - 10 BARS IN OUTER LAYER
BM 9			8 # 9	6 # 9	2 # 9		# 5 @ 18"	
BM 10		30" x 42"	8 # 9	6 # 9	2 # 9	4 # 10	# 5 @ 18"	
BM 11			10 # 10	6 # 10		4 # 10	# 5 - 8 @ 6" WEST END REMINDER @ 18"	
BM 12			10 # 11	6 # 10			# 5 - 10 @ 6" EE REM. @ 18"	
BM 13			8 # 9	6 # 10	2 # 10		# 5 @ 16"	
BM 14			8 # 9	* 6 # 9	4 # 10		# 5 @ 16"	* CONTINUOUS TOP STEEL
BM 15			8 # 9	* 6 # 9	4 # 9		# 5 @ 16"	* CONTINUOUS TOP STEEL
BM 16			10 # 10	6 # 10	2 # 10		# 5 - 6 @ 6" EAST END REMINDER @ 18"	
BM 17		36" x 42"	* 16 # 11	6 # 11	2 # 11		# 5 @ 6"	* 2 LAYERS - 10 BARS IN OUTER LAYER
BM 18			8 # 10	6 # 11			# 5 @ 18"	
BM 19			* 12 # 11	6 # 11		4 # 11	# 5 @ 6"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 20			* 12 # 11	6 # 11		2 # 11	# 5 @ 6"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 21			* 14 # 11	6 # 11			# 5 - 8 @ 6" SOUTH END REMINDER @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 22			8 # 10	6 # 8	2 # 8		# 5 @ 18"	
BM 23			8 # 10	* 4 # 11		6 # 11	# 5 @ 18"	* CONTINUOUS TOP STEEL
BM 24			8 # 10	* 4 # 11		4 # 8	# 5 @ 18"	* CONTINUOUS TOP STEEL
BM 25			* 12 # 11	6 # 11		2 # 11	# 5 - 6 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 26			* 16 # 11	6 # 11		2 # 11	# 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 27			* 14 # 11	6 # 11	2 # 10 EE		# 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 28			* 14 # 11	6 # 11	2 # 10 EE		# 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 29			* 14 # 11	6 # 11	2 # 10 EE		# 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 30			* 14 # 11	6 # 11	2 # 10 EE		# 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 31			* 14 # 11	6 # 10	2 # 10 EE		# 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 32	+23'-6"		* 14 # 11	6 # 10	2 # 10		# 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 33	+9'-10"	24" x 42"	* 10 # 11	4 # 10			# 5 - 10 @ 6" EX. END REM. @ 18"	* 2 LAYERS - 6 BARS OUTER LAYER
BM 34			* 10 # 11	4 # 10			# 5 - 10 @ 6" EX. END REM. @ 18"	* 2 LAYERS - 6 BARS OUTER LAYER
BM 35	+9'-10"		* 12 # 11	4 # 10			# 5 @ 6" THROUGH	* 2 LAYERS - 6 BARS EA.
BM 36	+1'-1"	8" x 21"	2 # 6	2 # 6			# 3 @ 10"	
BM 37	+10'-2"	8" x 38"	2 # 5	2 # 5			# 3 @ 18"	ADD 2 # 4 AT MIDDEPTH
BM 38	VARIABLE	8" x 18"	2 # 5	2 # 5			# 3 @ 8"	
BM 39	+127'-7"	8" x 32"	2 # 9	2 # 6			# 3 @ 8"	ADD 2 # 4 AT MIDDEPTH
BM 40	+128'-10"	8" x 24"	2 # 6	2 # 8			# 3 @ 8"	
BM 41	+137'-10"	8" x 20"	2 # 6	2 # 5			# 3 @ 10"	
BM 42	+125'-8"	12" x 18"	3 # 7	2 # 7			# 3 @ 8"	

BEAM SCHEDULE

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

Wmf

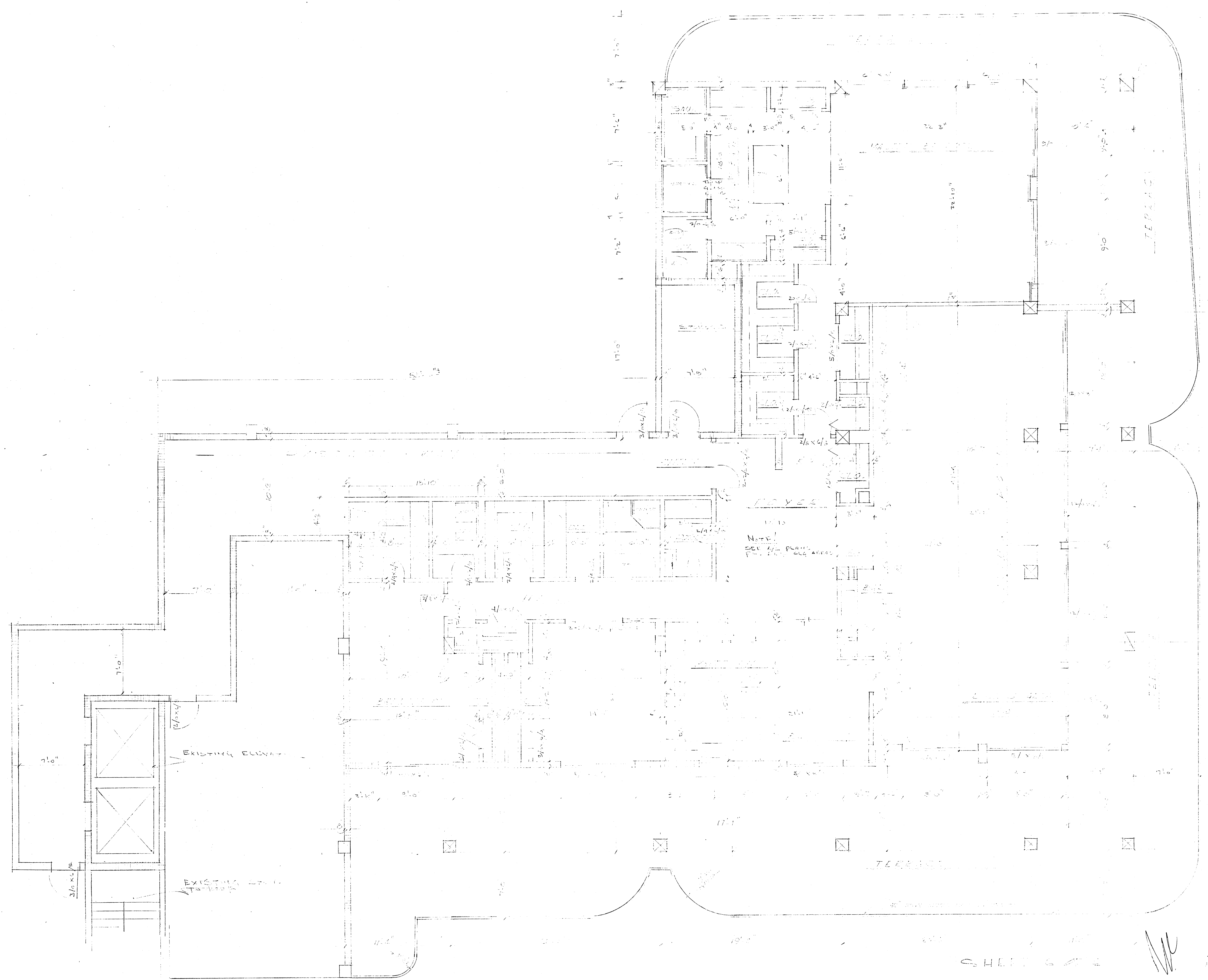
128 S.E. 14th LA.

CHAMPLAIN TOWERS SOUTH

A 135 UNIT CONDOMINIUM

COMM. No. DATE 8/22/79 SHEET No.
REV. S13 of 14

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146



LOBBY

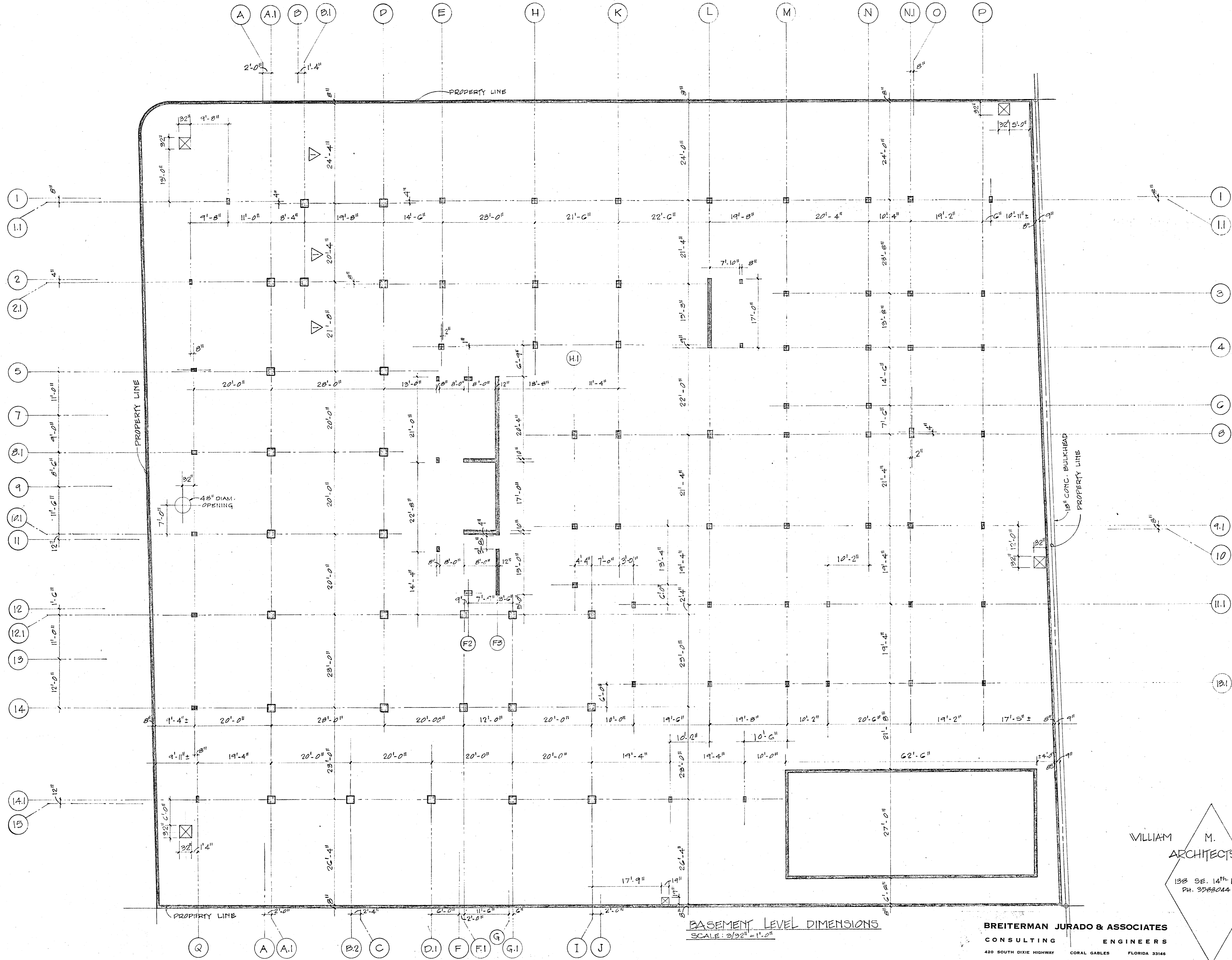
Note:
SET FOR PROPOSED
ELEVATOR

EXISTING ELEVATOR

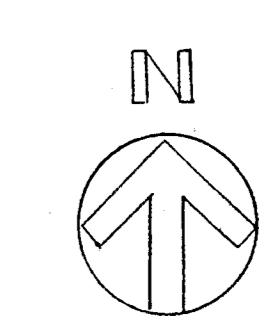
EXISTING STAIR

SHEET 6 OF 6

Handwritten signature



REVISIONS
 1-17-80 CHANGE OF DIMENSIONS



WILLIAM M. FRIEDMAN & ASSOCIATES ARCHITECTS, INC.

138 SE. 14th LANE
 PH. 398-0444

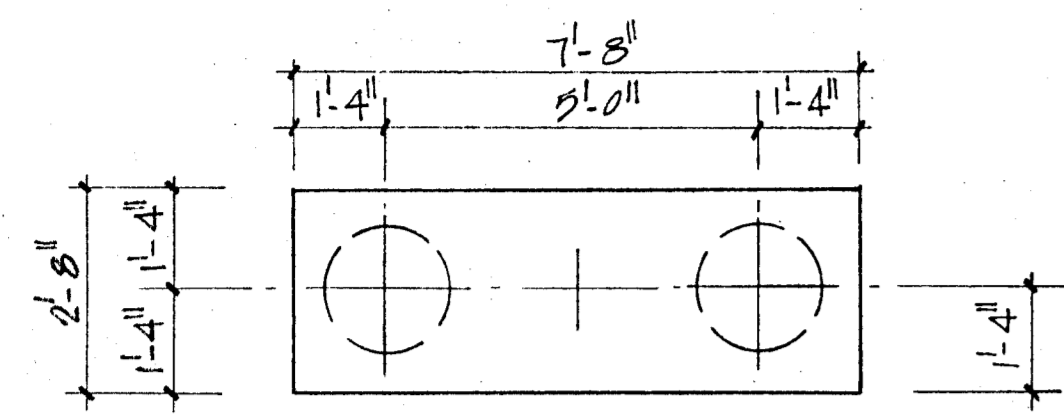
CHAMPLAIN TOWERS NORTH
 COLLINS AVE.

A-112 UNIT CONDOMINIUM

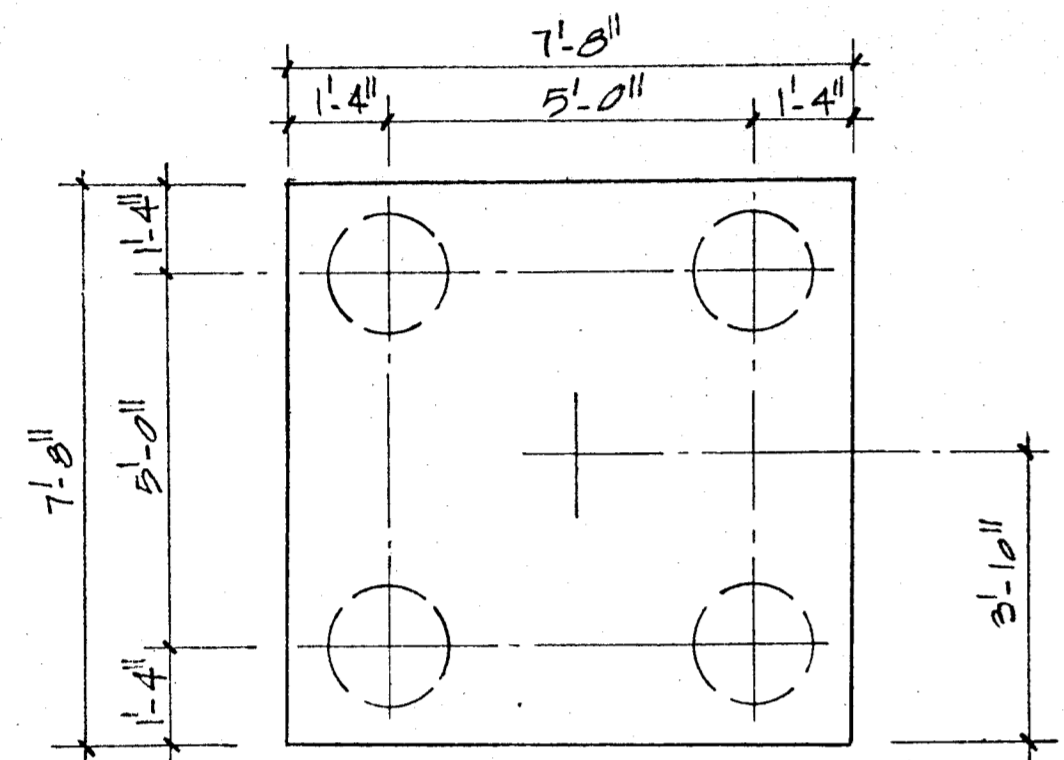
BREITERMAN JURADO & ASSOCIATES CONSULTING ENGINEERS
 420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

COMM. No.	DATE:	SHEET
	11-C-79	52 of 14
REV.		

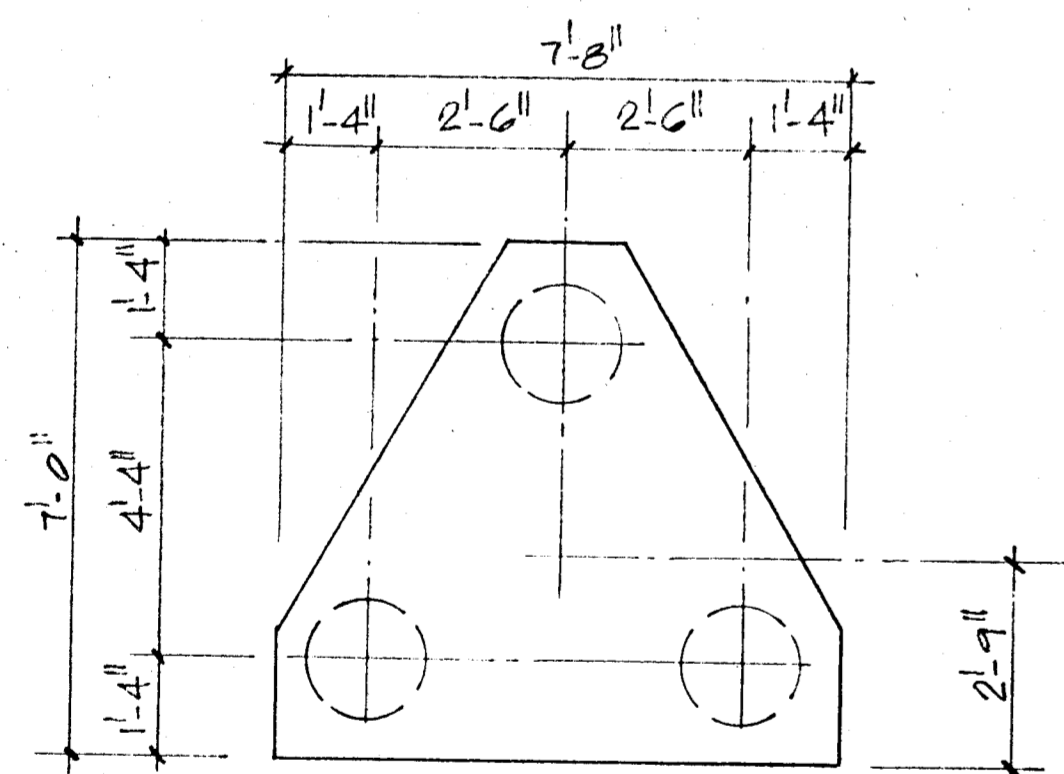
BASEMENT LEVEL DIMENSIONS
 SCALE: 3/32" = 1'-0"



2 PIF
DEPTH = 3'-0"
7#6 LONG WAY
0#4 SHORT WAY

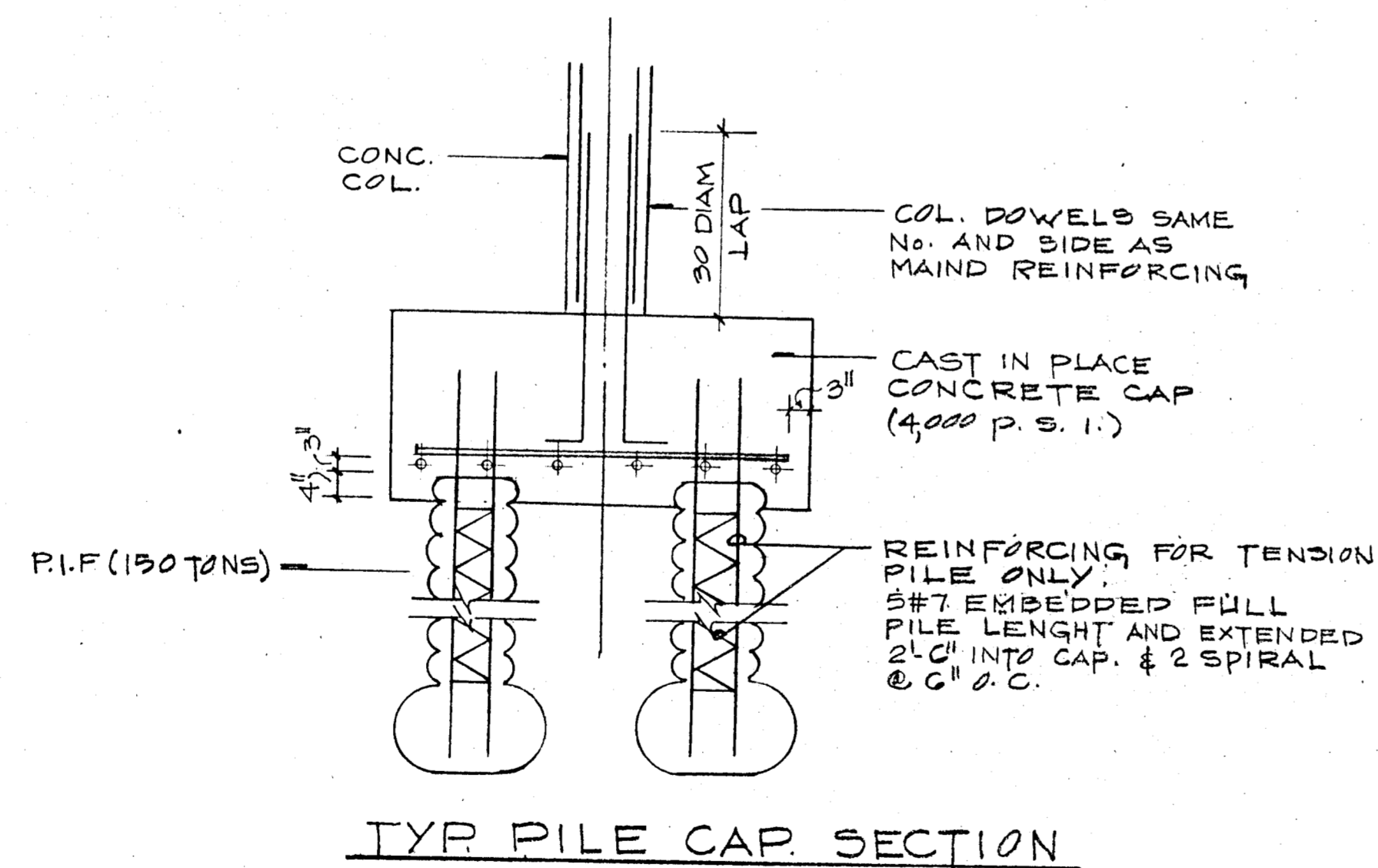


4 PIF
DEPTH = 3'-6"
12#7 EACH WAY

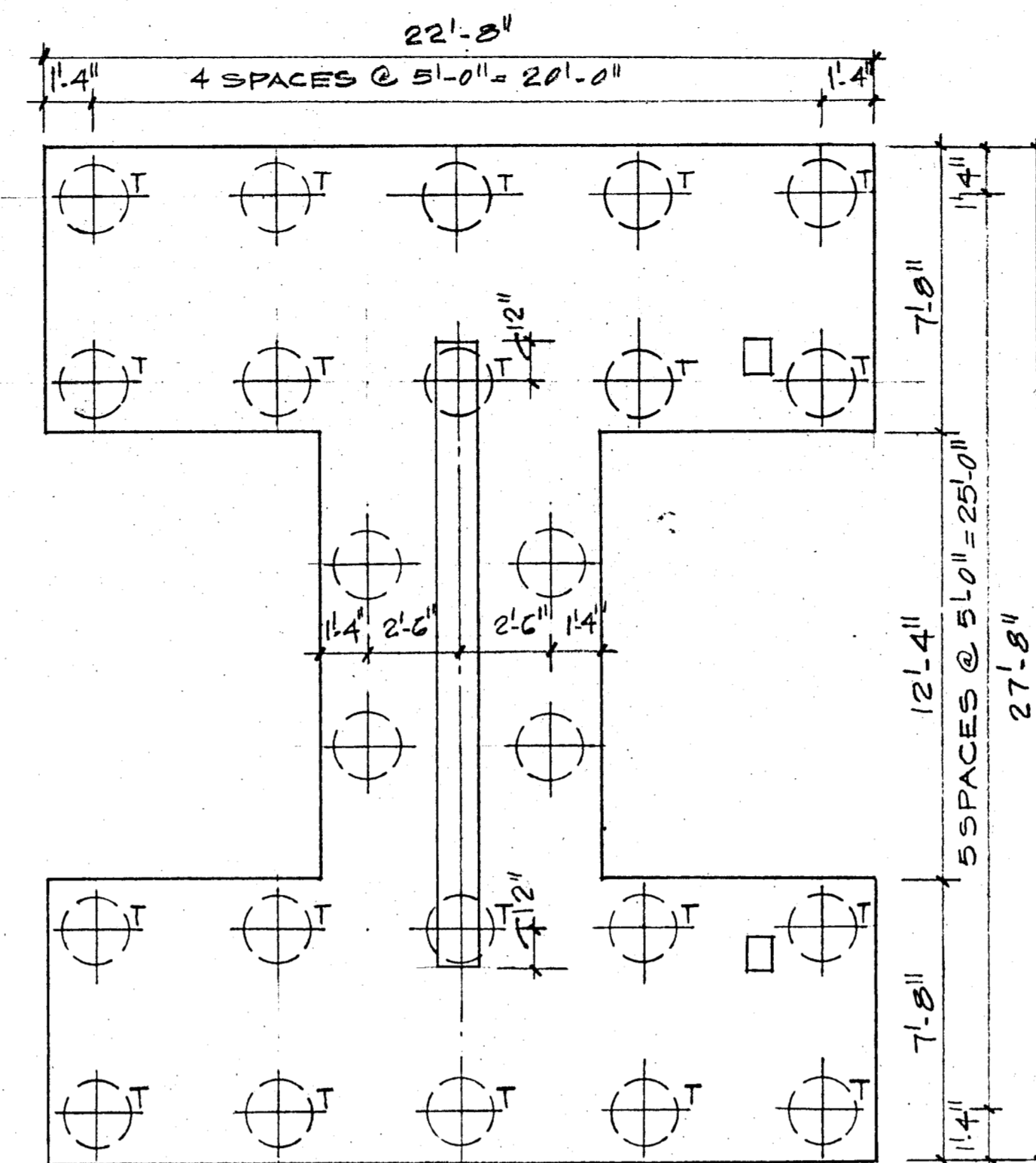


3 PIF
DEPTH = 3'-0"
8#6 3WAY

PILE CAP DETAIL
SCALE AS SHOWN



TYR PILE CAP SECTION

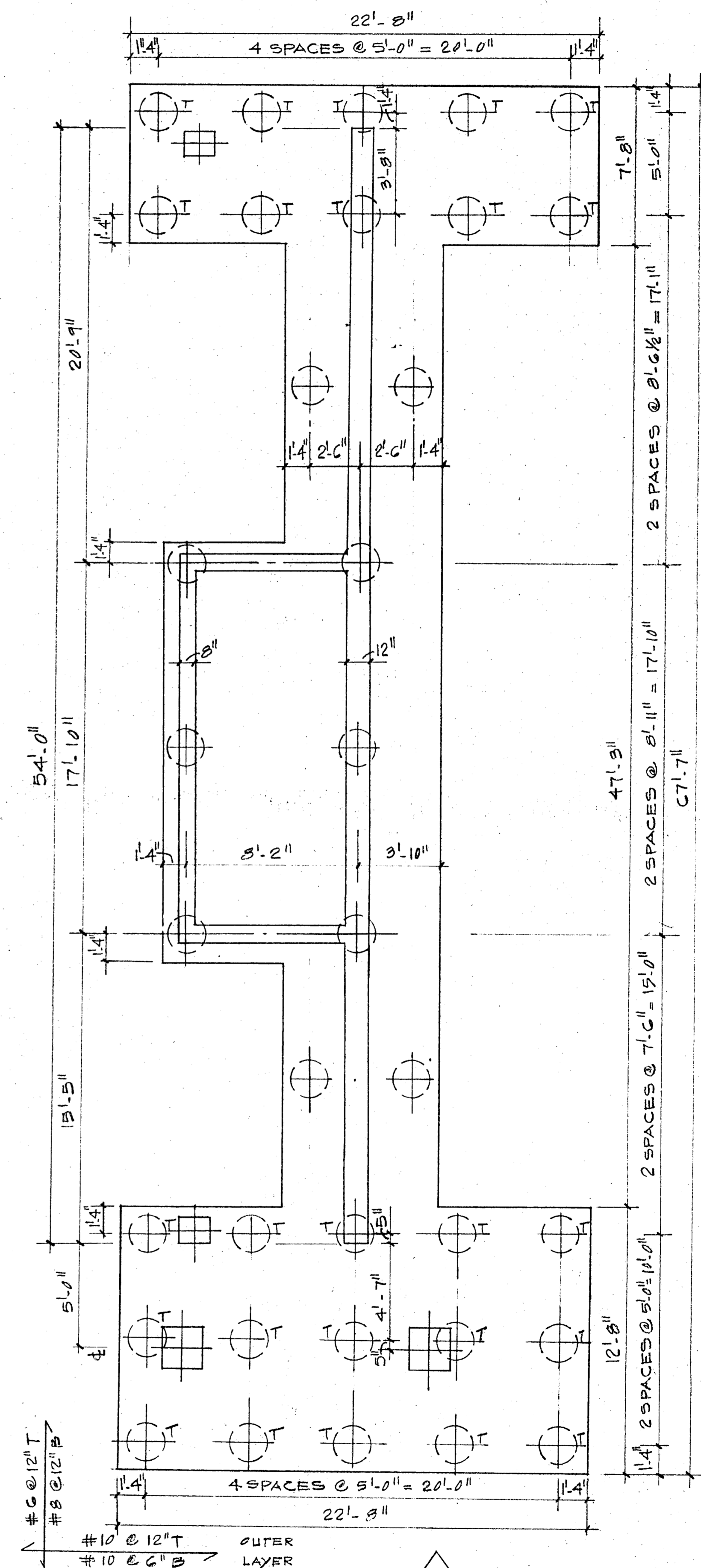


#6 @ 12" T
#8 @ 12" B
#7 @ 12" T
#11 @ 12" B
OUTER LAYER

24 PIF
DEPTH = 48"
SCALE 1/4" = 1'-0"

NOTE
"T" DENOTES TENSION PILES

REVISIONS
△ GENERAL REVISIONS



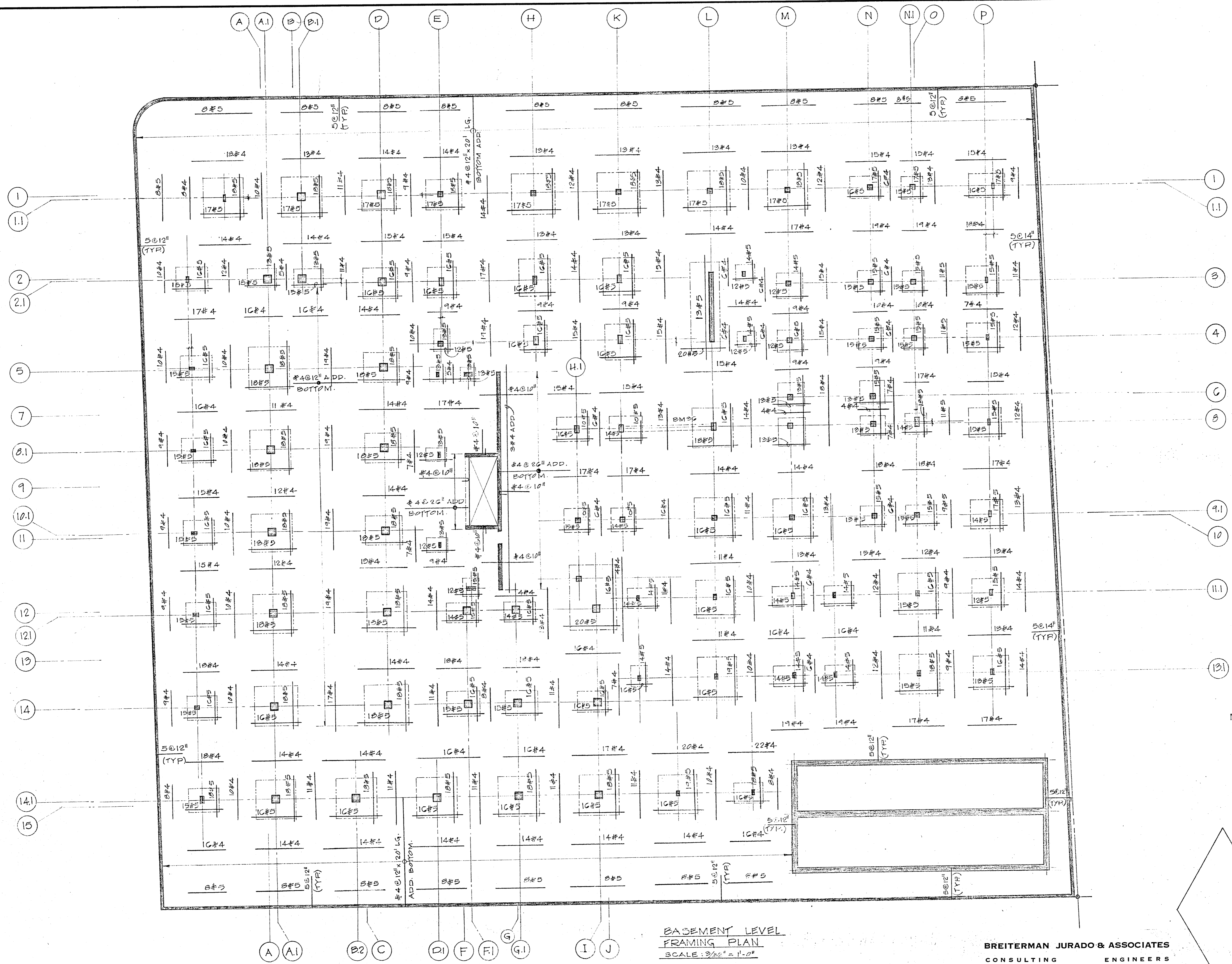
#6 @ 12" T
#8 @ 12" B
#10 @ 12" T
#10 @ 6" B
OUTER LAYER

35 P.I.F.
DEPTH = 48"
SCALE: 1/4" = 1'-0"
NOTE: "T" (DENOTES TENSION PILES)

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY
CORAL GABLES FLORIDA 33146

CHAMPLAIN TOWERS NO
A.112 UNIT CONDOMINIUM

COMM. NO.	DATE	SHEET
	1-17-80	53 of
REV.	△	



BASEMENT LEVEL
FRAMING PLAN
SCALE: 3/32" = 1'-0"

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

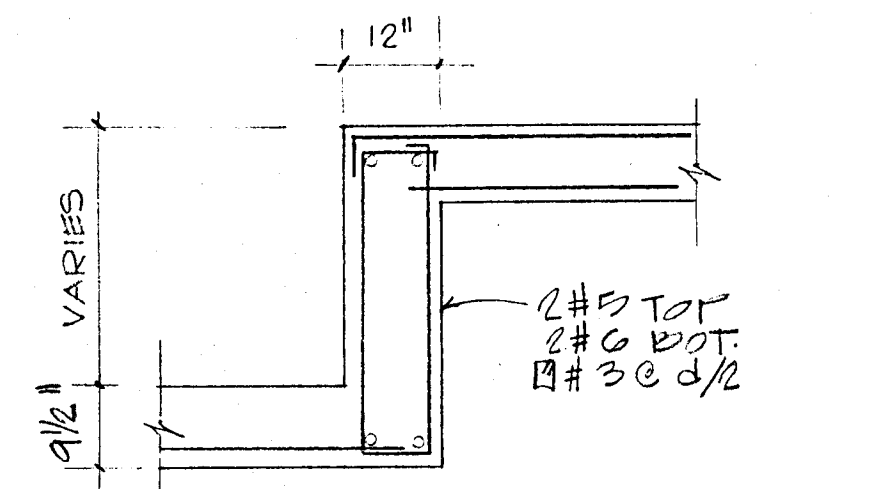
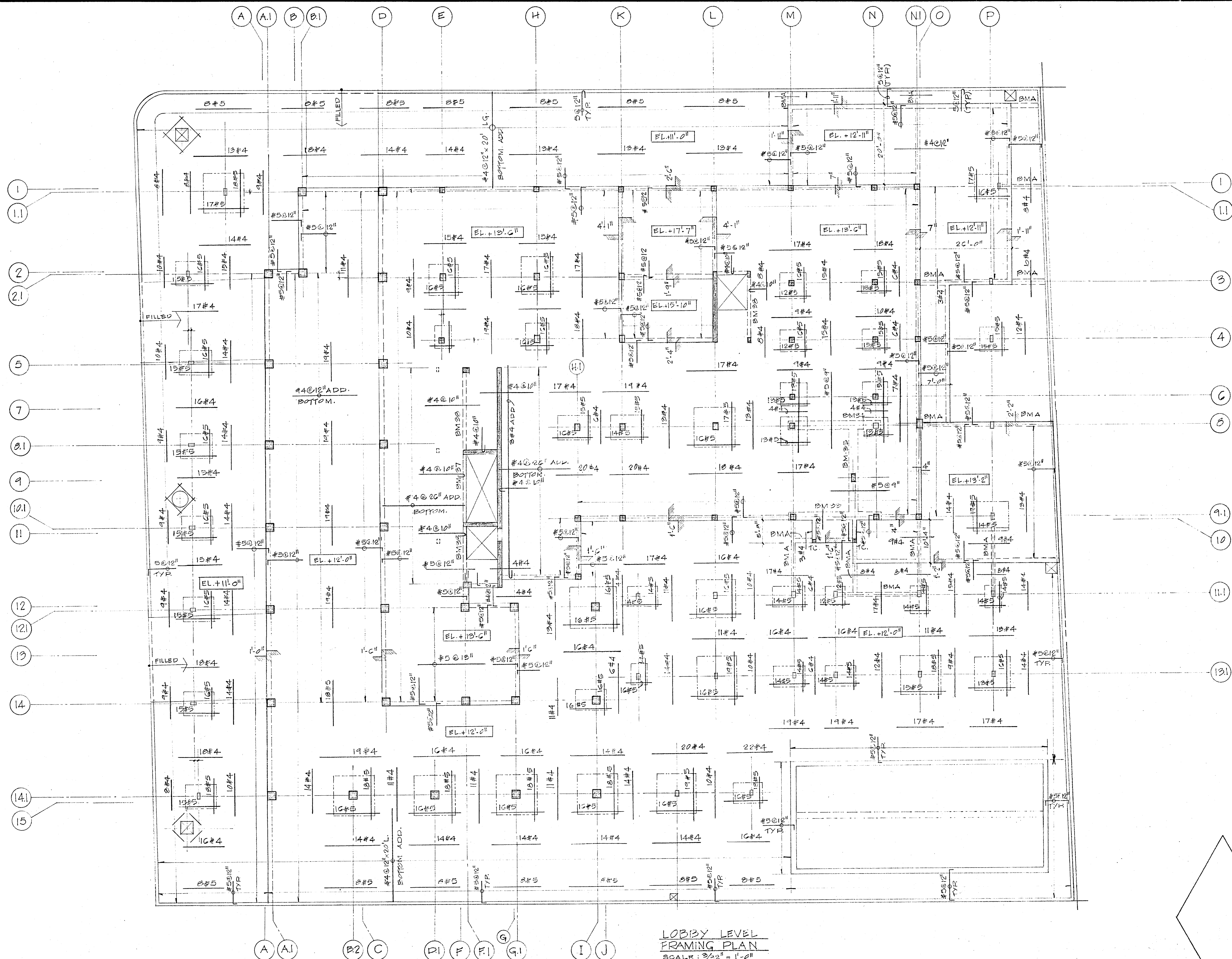
NOTE:
BOTTOM REINF. SHALL BE #4 @ 12"
BOTTOM EA. WAY IN ADDITION ANY
INDICATED STEEL.

CHAMPLAIN TOWERS NORTH
COLLINS AVE.

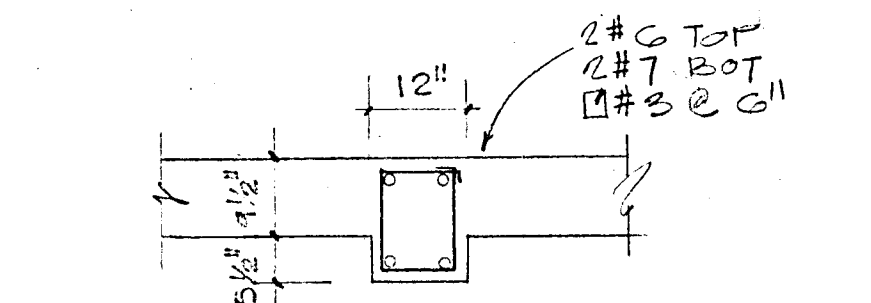
A112 UNIT CONDOMINIUM

COMM. No. DATE: 11-C-79
REV.

SHEET
54 of 14



DETAIL AT SLAB DROPS (TYP)



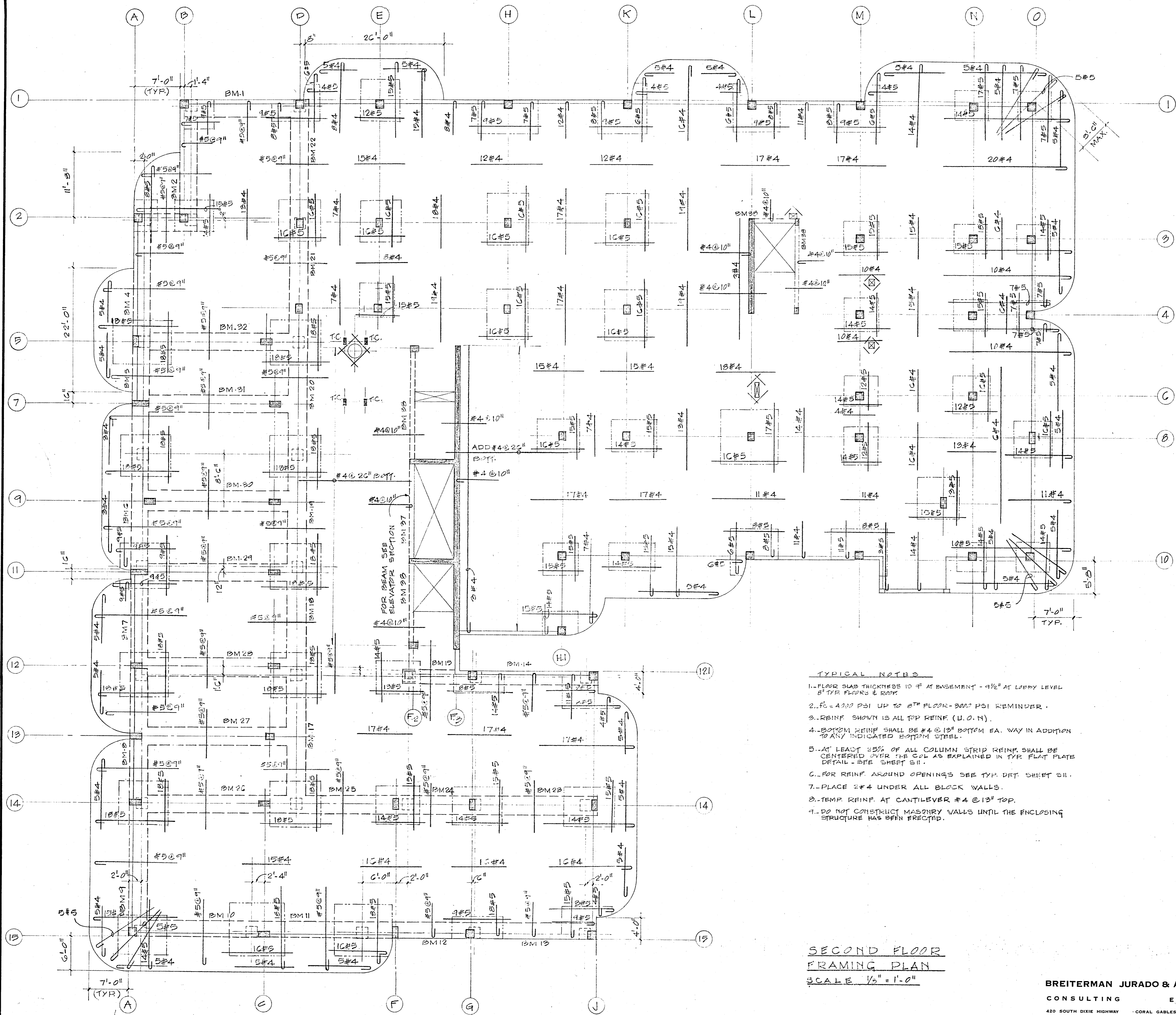
BEAMS TYPE A

NOTE: BOTTOM REINF. SHALL BE #4@12" BOTTOM EA. WAY IN ADDITION TO ANY INDICATED STEEL.

LOBBY LEVEL
FRAMING PLAN
SCALE: 3/32" = 1'-0"

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

CHAMPLAIN TOWERS NORTH COLLINS AVE.		
A112 UNIT CONDOMINIUM		
COMM. No.	DATE: 11-6-79	SHEET
REV.		55 of 14

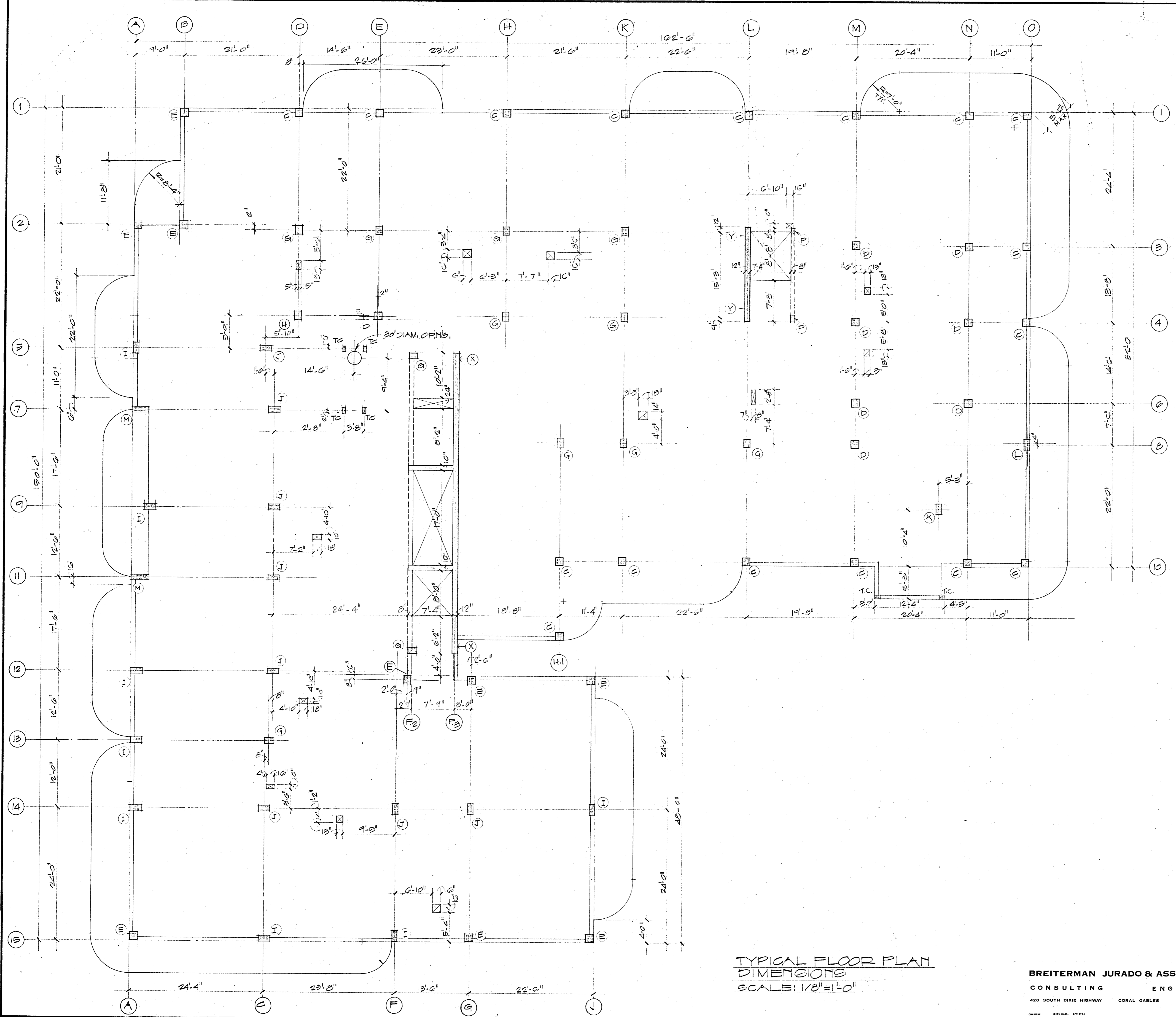


- TYPICAL NOTES**
1. FLOOR SLAB THICKNESS IS 4" AT BASEMENT - 4 1/2" AT LOBBY LEVEL 8" TYP. FLOORS & ROOF.
 2. $f_c = 4000$ PSI UP TO 8TH FLOOR - 3000 PSI REMINDER.
 3. REINF. SHOWN IS ALL TOP REINF. (U.O.N.).
 4. BOTTOM REINF. SHALL BE #4 @ 13" BOTTOM EA. WAY IN ADDITION TO ANY INDICATED BOTTOM STEEL.
 5. AT LEAST 25% OF ALL COLUMN STRIP REINF. SHALL BE CENTERED OVER THE COL. AS EXPLAINED IN TYP. PLAT. PLATE DETAIL - SEE SHEET S11.
 6. FOR REINF. AROUND OPENINGS SEE TYP. DET. SHEET S11.
 7. PLACE #4 UNDER ALL BLOCK WALLS.
 8. TEMP. REINF. AT CANTILEVER #4 @ 13" TOP.
 9. DO NOT CONSTRUCT MASONRY WALLS UNTIL THE ENCLOSING STRUCTURE HAS BEEN ERECTED.

**SECOND FLOOR
FRAMING PLAN**
SCALE 1/8" = 1'-0"

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

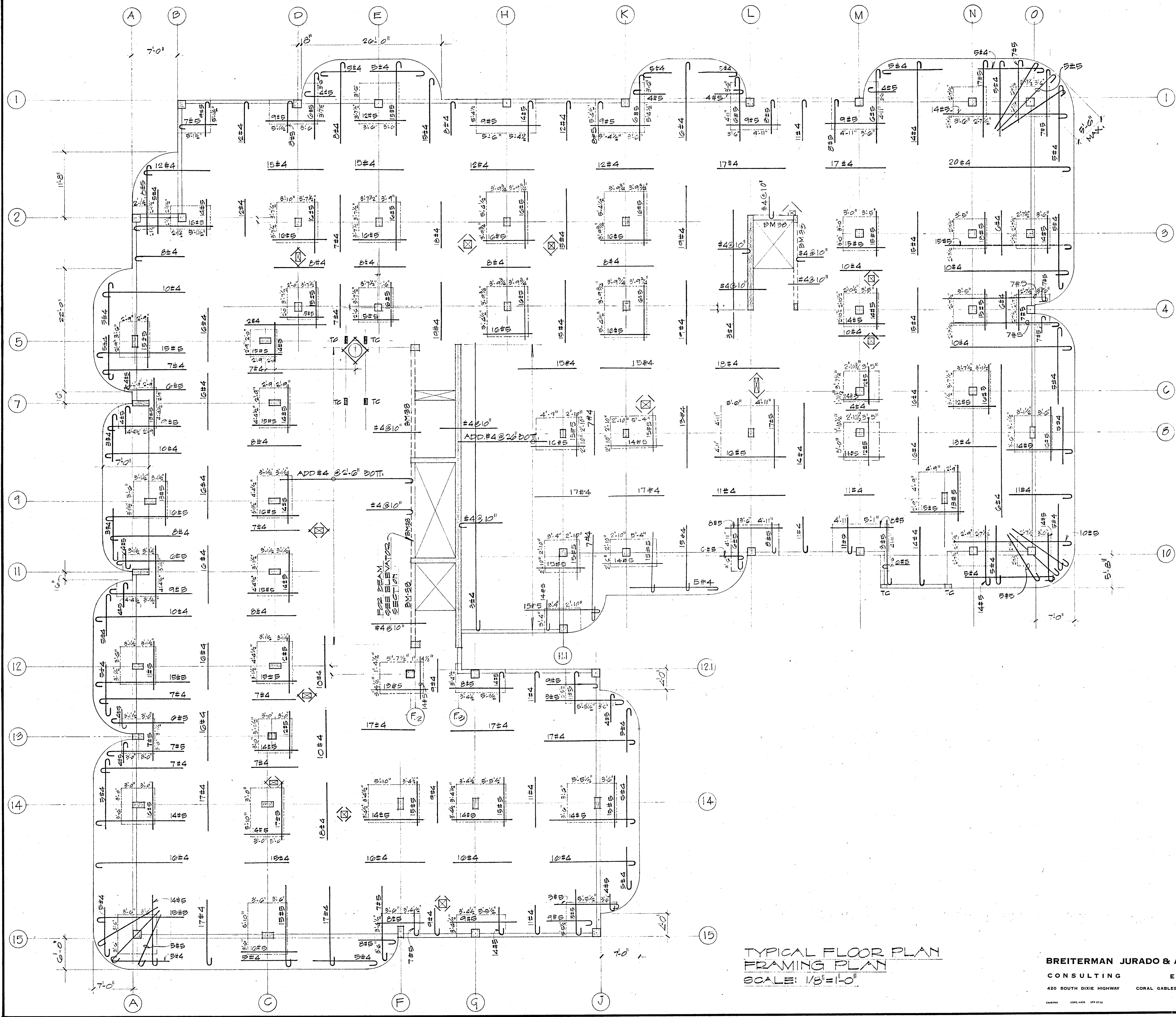
CHAMPLAIN TOWERS NORTH 8777 COLLINS AVE. A 112 UNIT CONDOMINIUM	
COMM. NO.	DATE: 11-C-79
REV:	SHEET 36 of 14



TYPICAL FLOOR PLAN
 DIMENSIONS
 SCALE: 1/8" = 1'-0"

BREITERMAN JURADO & ASSOCIATES
 CONSULTING ENGINEERS
 420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

CHAMPLAIN TOWERS NORTH 2777 COLLINS AVE.		
A 112 UNIT CONDOMINIUM		
COMM. No. 71080	DATE: 11-C-79	SHEET 57 OF 14
REV.		

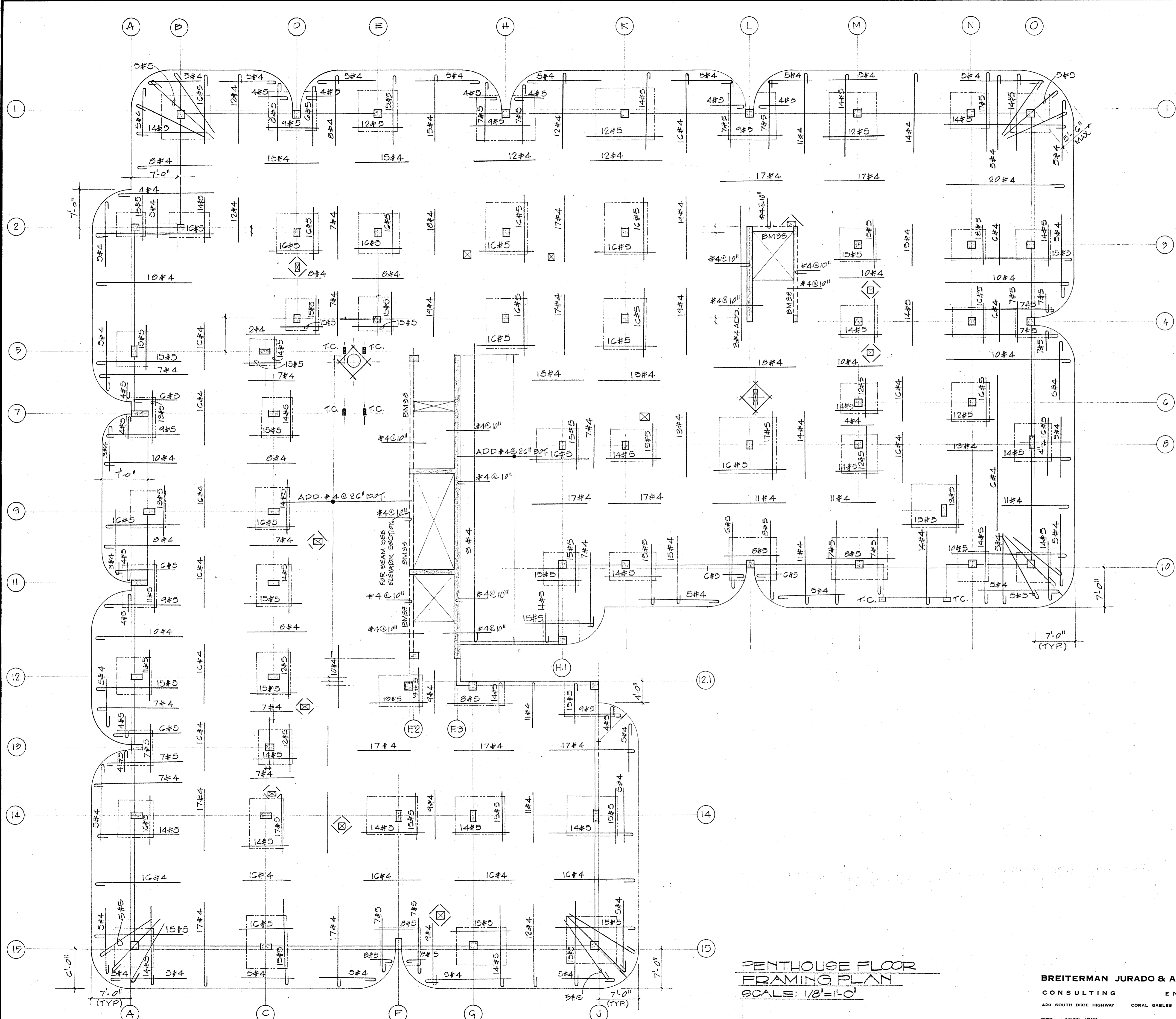


TYPICAL FLOOR PLAN
FRAMING PLAN
SCALE: 1/8" = 1'-0"

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

CHAMPLAIN TOWERS NORTH
2777 COLLINS AVE.
A 112 UNIT CONDOMINIUM

COMM. No. 79030	DATE: 11-6-79	SHEET. No. 55 OF 14
REV.		

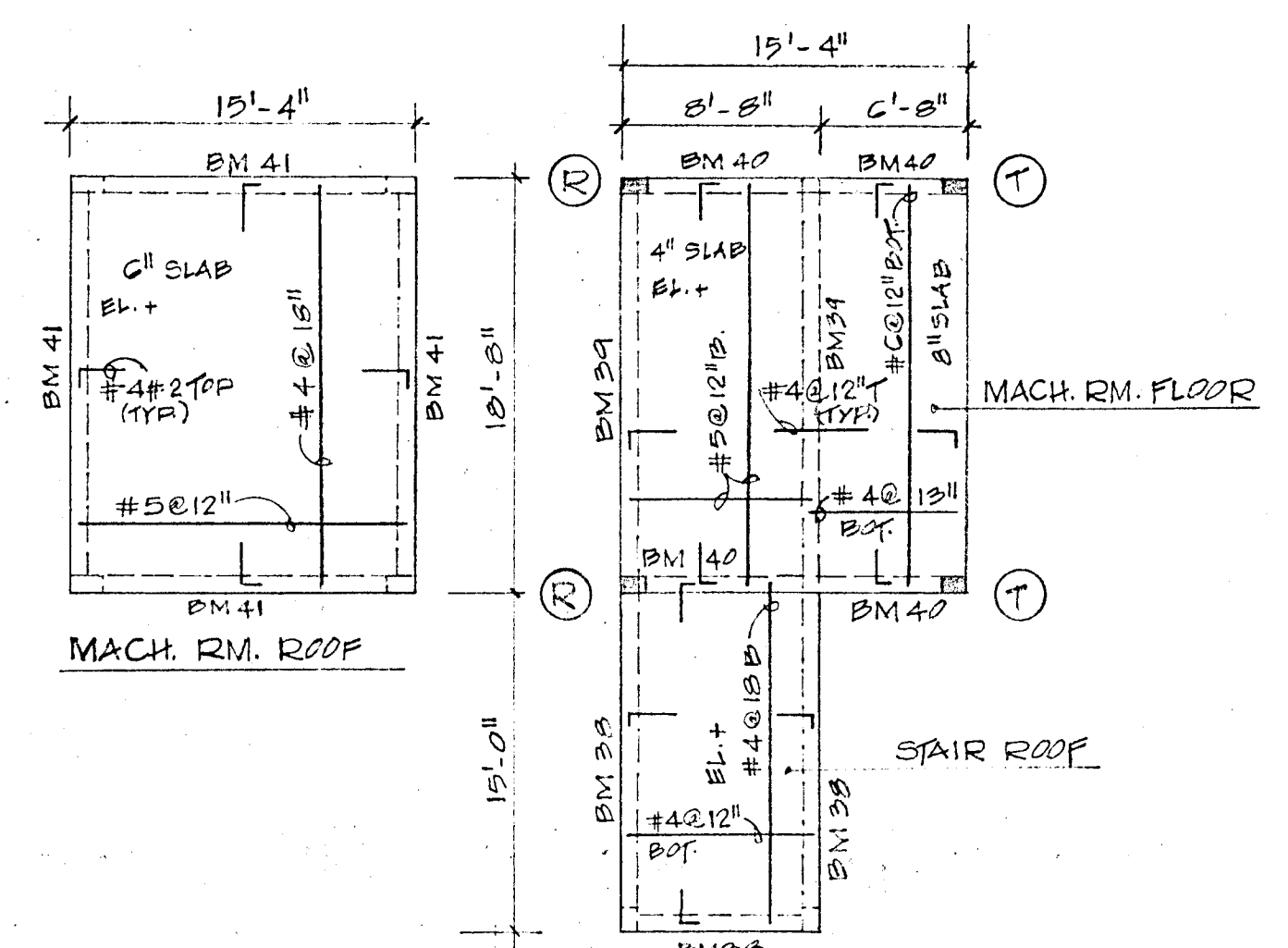
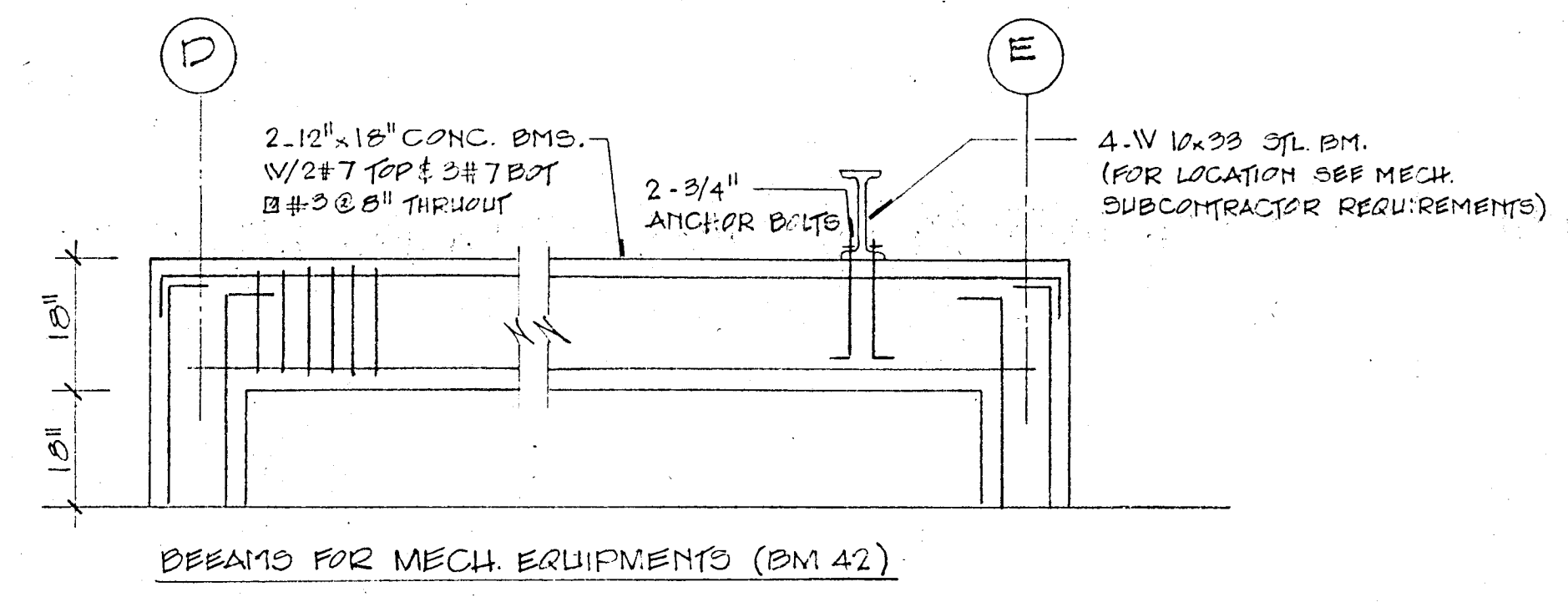
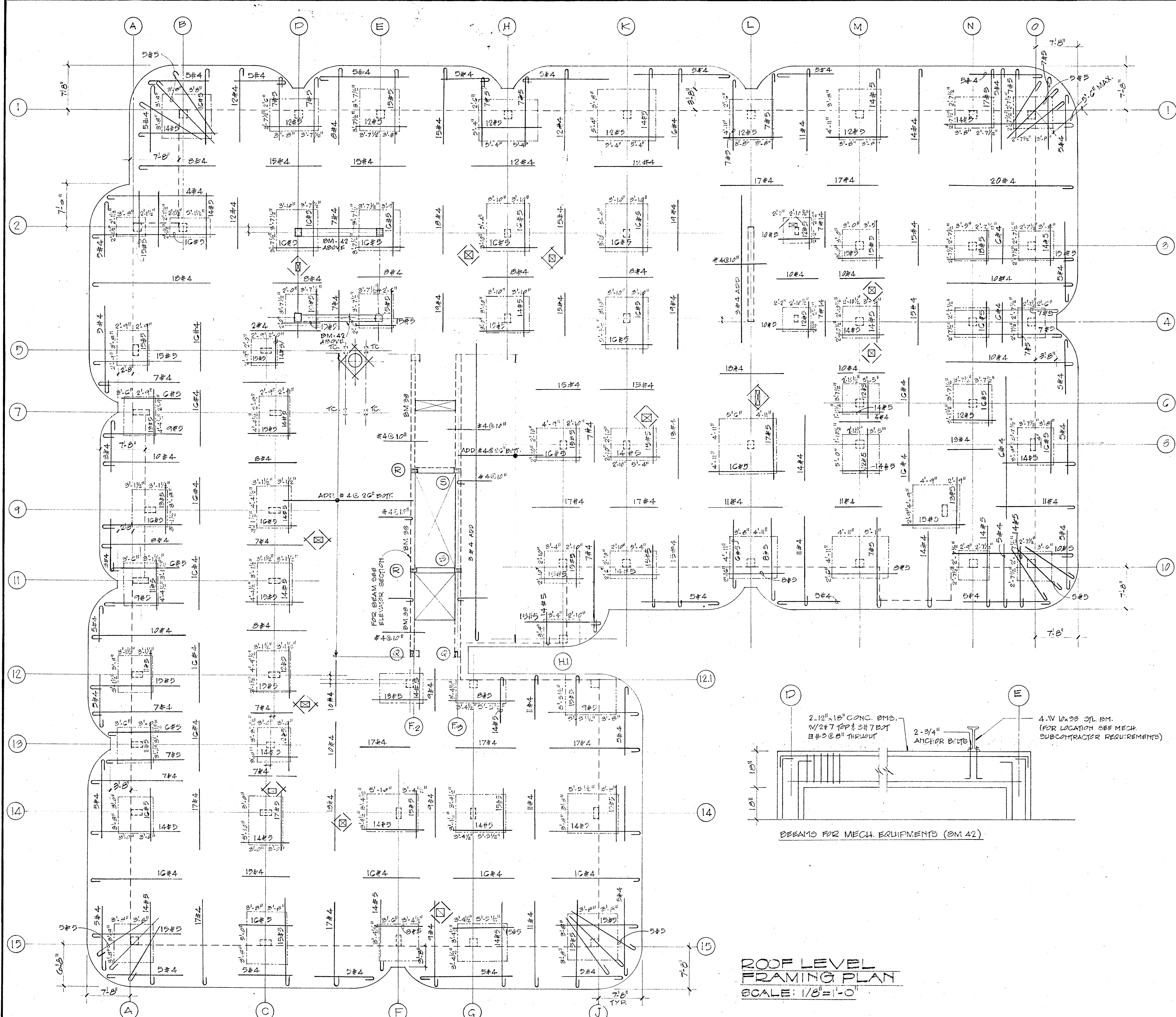


**PENTHOUSE FLOOR
FRAMING PLAN**
SCALE: 1/8" = 1'-0"

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS.
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

CHAMPLAIN TOWERS NORTH
277 COLLINS AVE.
A 112 UNIT CONDOMINIUM

COMM. NO. 79020	DATE: 11-6-79	SHEET: 59 OF 14
REV.		

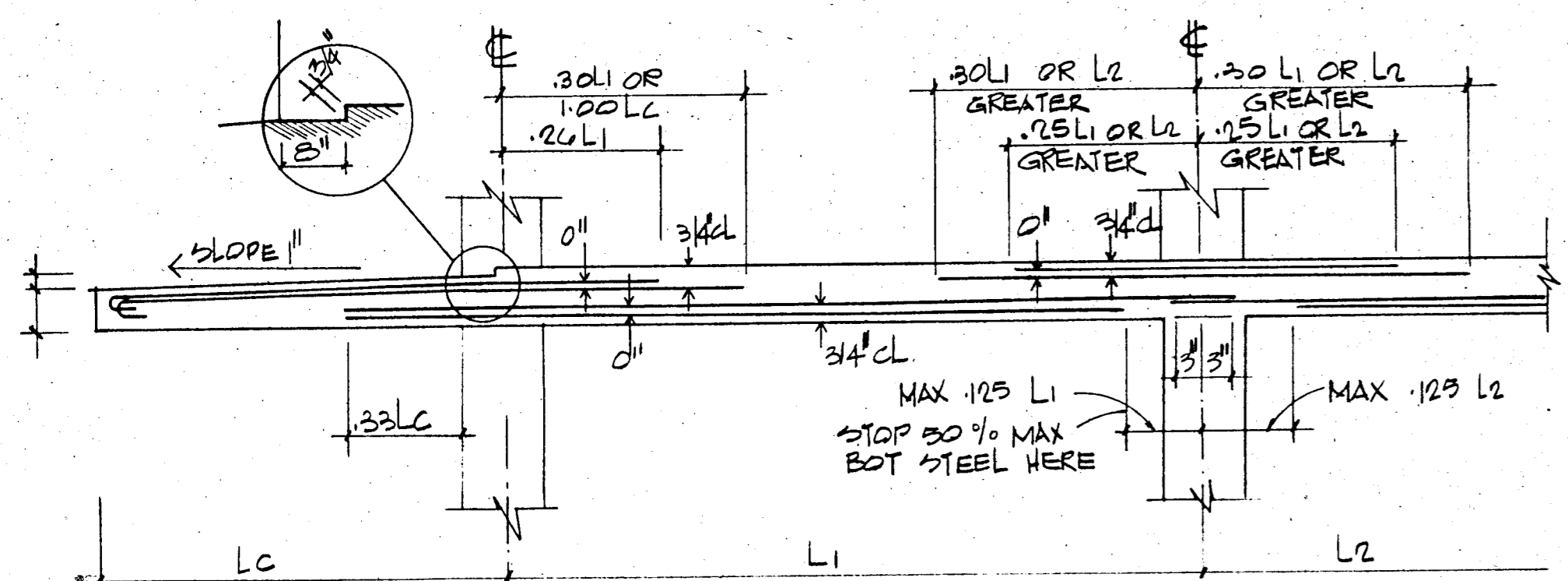


NOTE: FOR BEAM FOCKETS AT MACH. ROOM FLOOR SEE MNFR. SPECS.

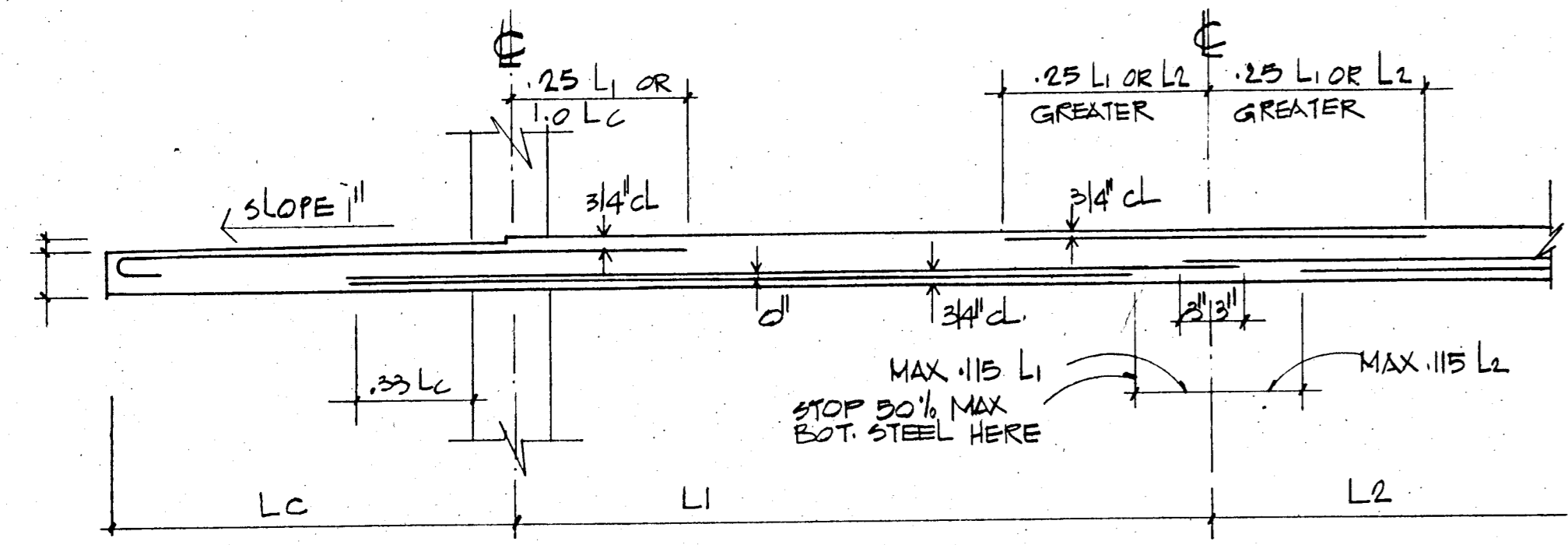
ROOF LEVEL FRAMING PLAN
SCALE: 1/8" = 1'-0"

CHAMPLAIN TOWERS NORTH
8777 COLLINS AVE.
A-112 UNIT CONDOMINIUM

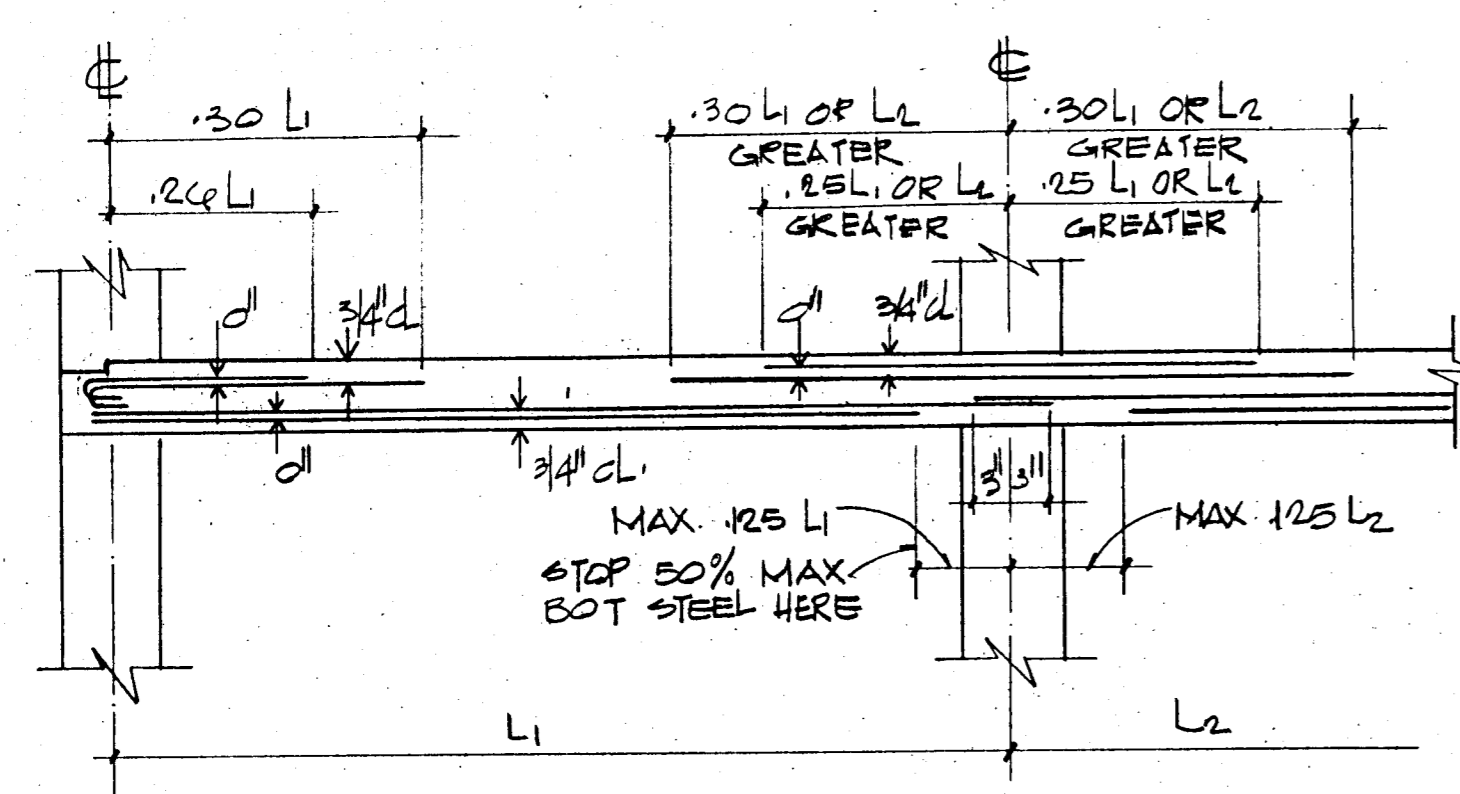
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REV:		



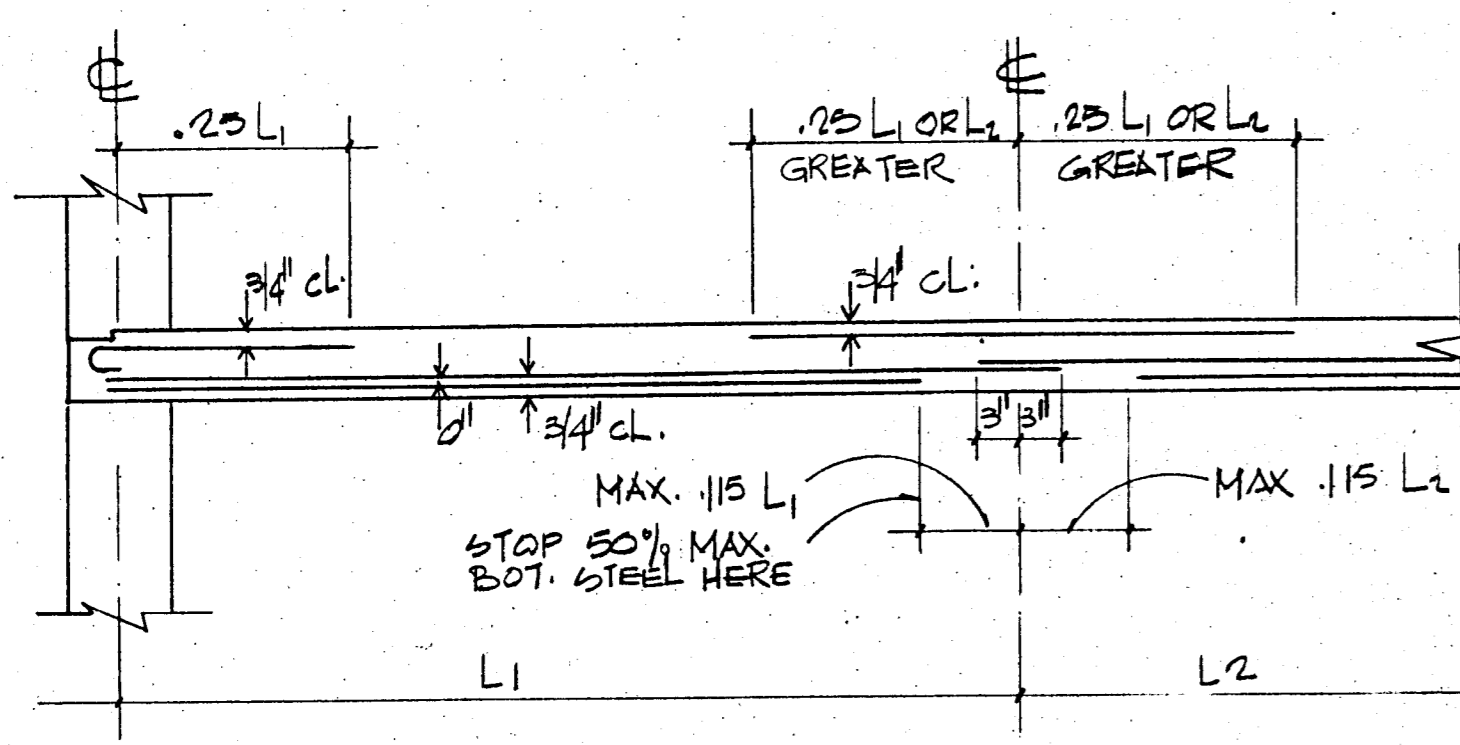
TYP. COLUMN STRIP WITH CANTILEVER
NTS



TYP. MIDDLE STRIP WITH CANTILEVER
NTS

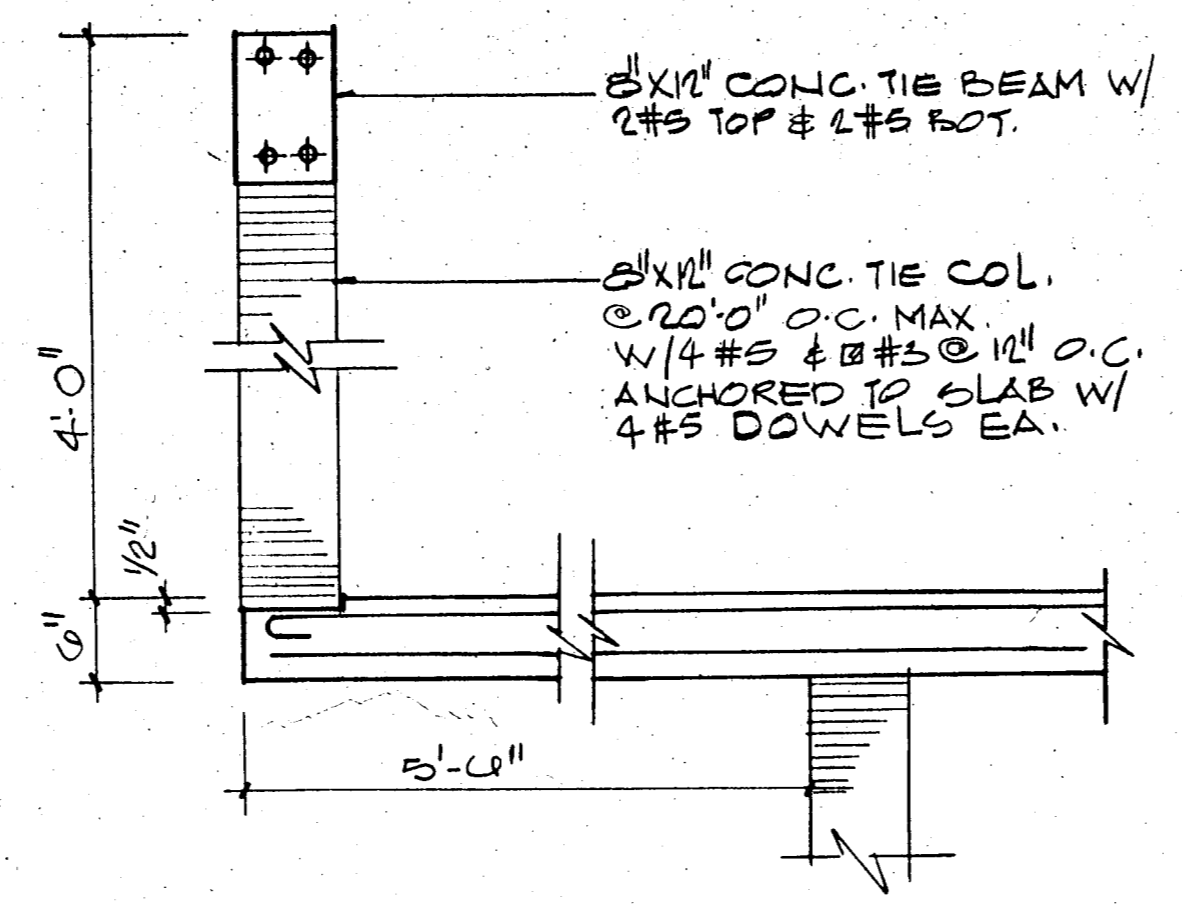


TYP. COLUMN STRIP
NTS

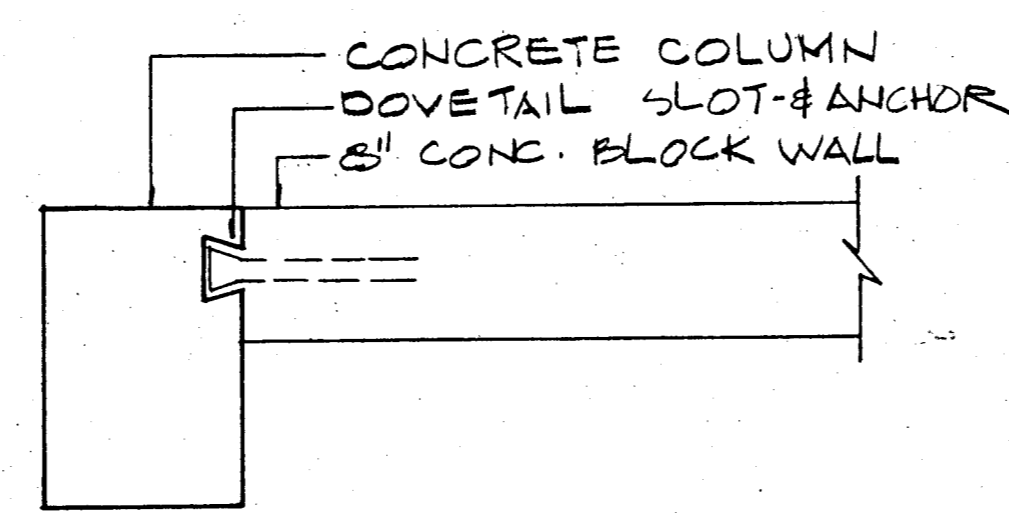


TYP. MIDDLE STRIP
NTS

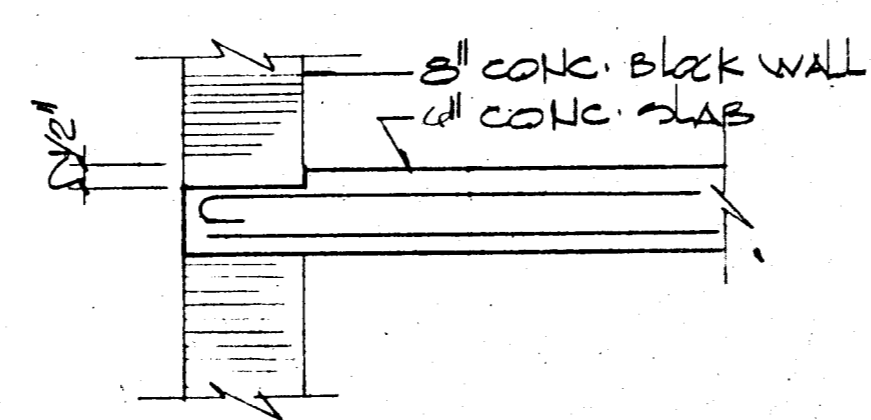
TYPICAL BAR DIAGRAM-FLAT SLABS
(UNLESS OTHERWISE NOTED)



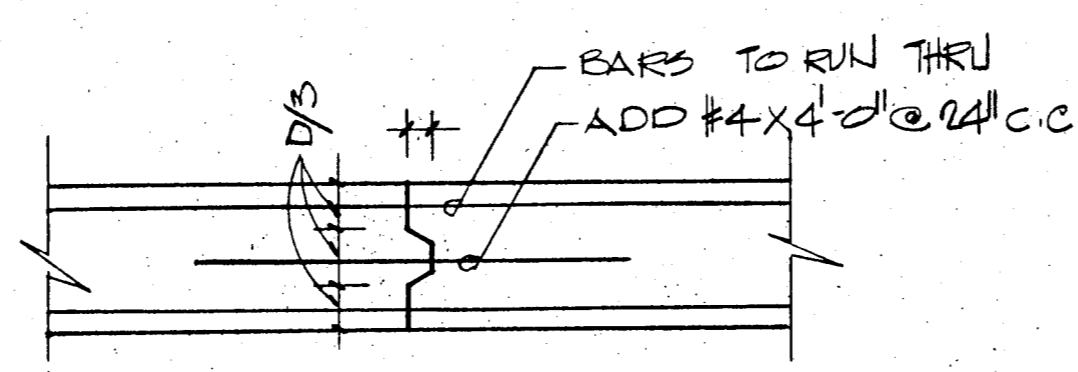
PARAPET DETAIL (TYPICAL)



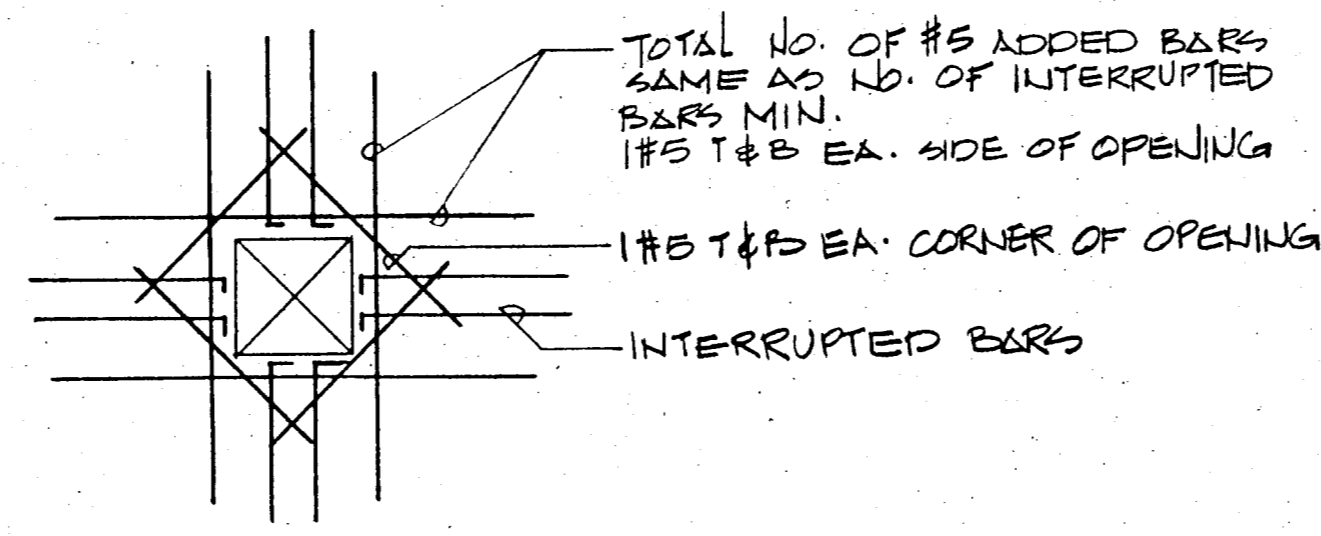
MASONRY ANCHORAGE DETAIL
NTS



SLAB DEPRESSION
AT EXTERIOR WALLS

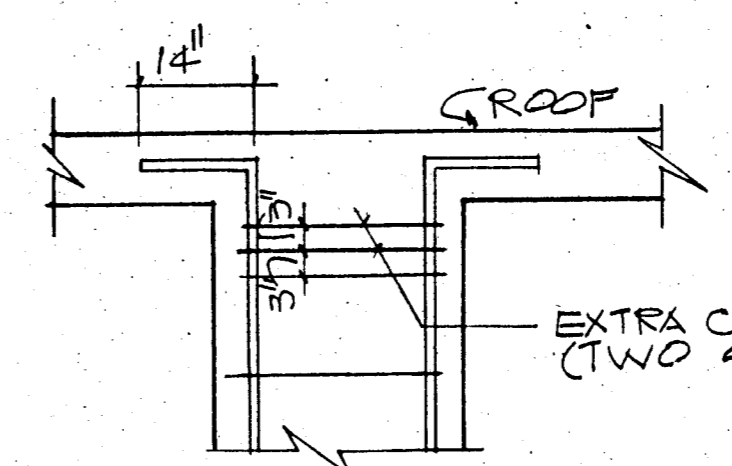


CONSTRUCTION JOINT DETAIL
NTS

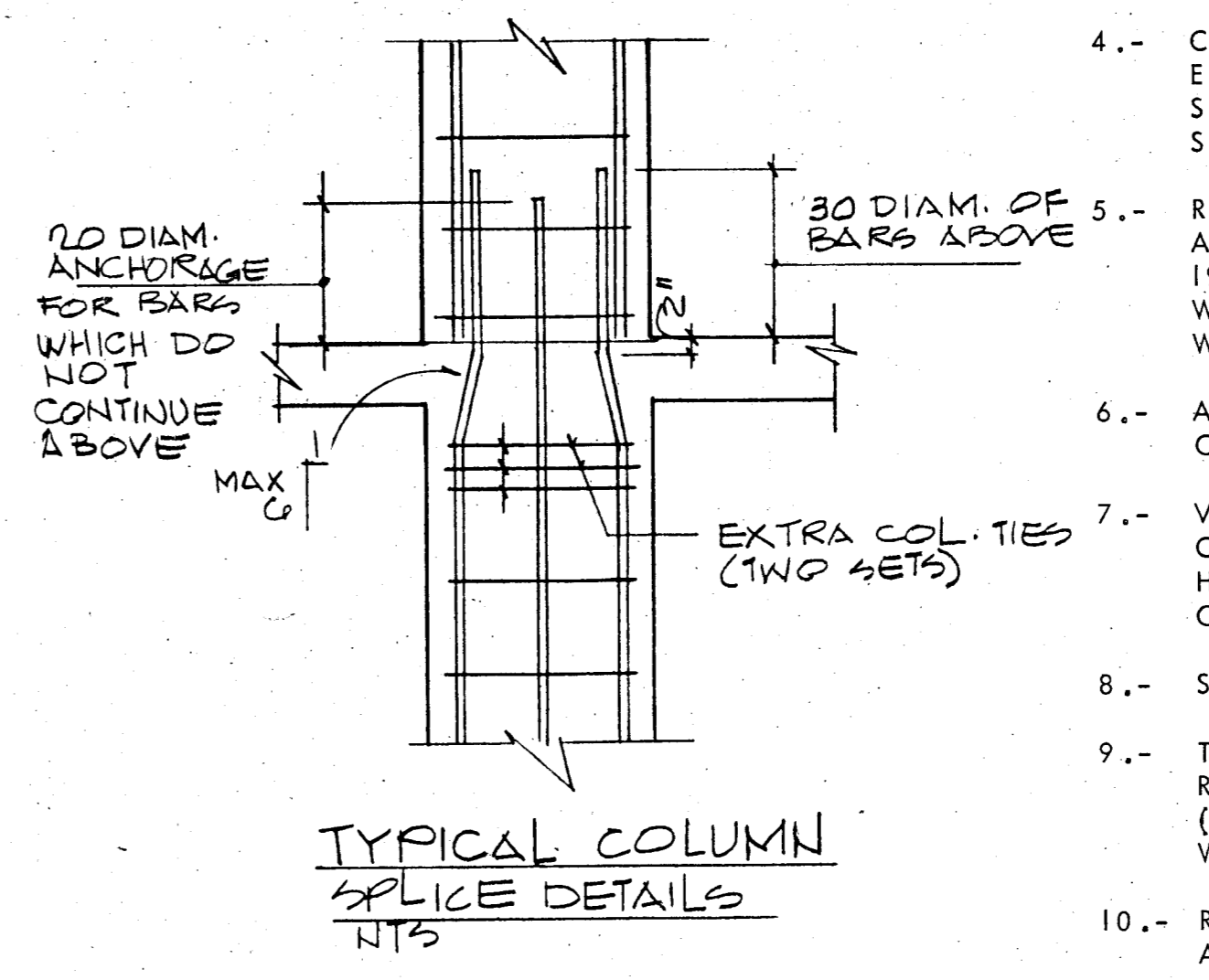


SLAB OPENING DET

FLAT PLATE SECTIONS
AND DETAILS
NTS



TYPICAL COLUMN
SPlice DETAILS
NTS



SECTION THRU DOOR OPENING
AT SHEAR WALL

GENERAL STRUCTURAL NOTES:-

- 1.- CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301-72 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" EXCEPT AS MODIFIED BY THE SUPPLEMENTAL REQUIREMENTS BELOW.
- 2.- CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH WORK.
- 3.- ALL PILES TO BE 14" x 14" PRECAST CONCRETE DRIVEN TO 50 TONS.
- 4.- CONTRACTOR SHALL COORDINATE WITH ALL MECHANICAL & ELECTRICAL TRADES ALL SLAB OPENINGS & ELEVATOR DIMENSIONS. LOCATION OF OPENINGS IN SLAB IN EXCESS OF 8" SHOULD BE SUBMITTED TO A/E FOR APPROVAL.
- 5.- REINFORCING BARS TO MEET ASTM A-615 GRADE 60, DETAILED AND PLACED IN ACCORDANCE WITH ACI-318-77, AND SFBC 1976 EDITION. REINFORCING TO BE HELD SECURELY IN POSITION WITH STANDARD ACCESSORIES DURING PLACING OF CONCRETE. WELDED WIRE FABRIC TO COMPLY WITH ASTM A-185.
- 6.- ALL CONCRETE STRENGTH TO BE AS SHOWN ON PLANS, IF NOT OTHERWISE SPECIFIED F'C = 3,000 PSI.
- 7.- VERTICAL CONSTRUCTION JOINTS, USING APPROVED BULKHEADS, CAN BE MADE AT CENTER OF BEAM OR SLAB IF REQUIRED. NO HORIZONTAL CONSTRUCTION JOINTS SHALL BE MADE IN BEAMS OR SLABS.
- 8.- SEE ARCHITECTURAL DRAWINGS FOR ELEVATIONS.
- 9.- TIE BEAMS (MARKED T.B.) REFER TO 6 X 12 INCHES TIE BEAMS REINFORCED WITH 2 #5 TOP AND 2 #5 BOTT. TIE COLUMNS (MARKED T.C.) ARE 8 X 12 INCHES TIE COLUMNS REINFORCED WITH 4 #5 BARS AND #2 TIES SPACED AT 12 INCHES O.C.
- 10.- REINFORCING BAR SPLICED, WHERE REQUIRED SHALL BE DETAILED AND MADE IN ACCORDANCE WITH AC-318-77.
- 11.- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL ORDINANCES.
- 12.- ALL PRECAST PRESTRESSED UNITS TO BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH APPLICABLE ACI STANDARDS.

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

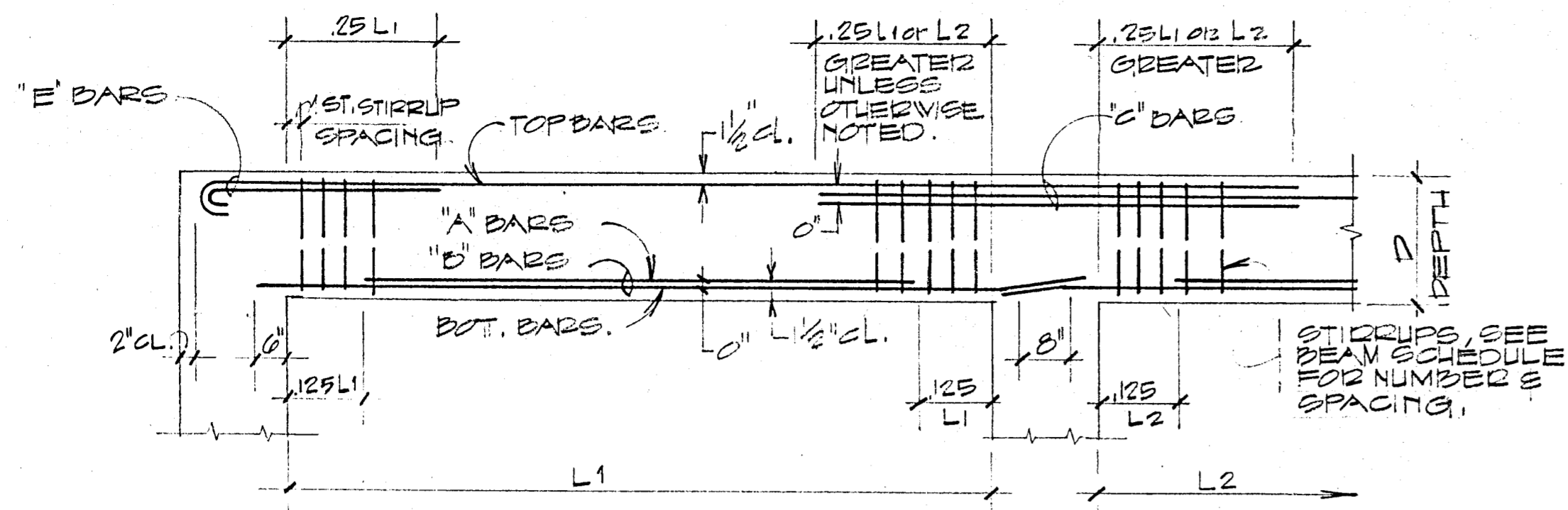
133 S.E. 14th LA.

CHAMPLAIN TOWERS NORTH

A 112 UNIT CONDOMINIUM

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

COMM. NO. DATE 11-C-79 SHEET NO. 511 OF 14
REV.



TYPICAL BAR PLACING BEAM DIAGRAM.

BEAM SCHEDULE

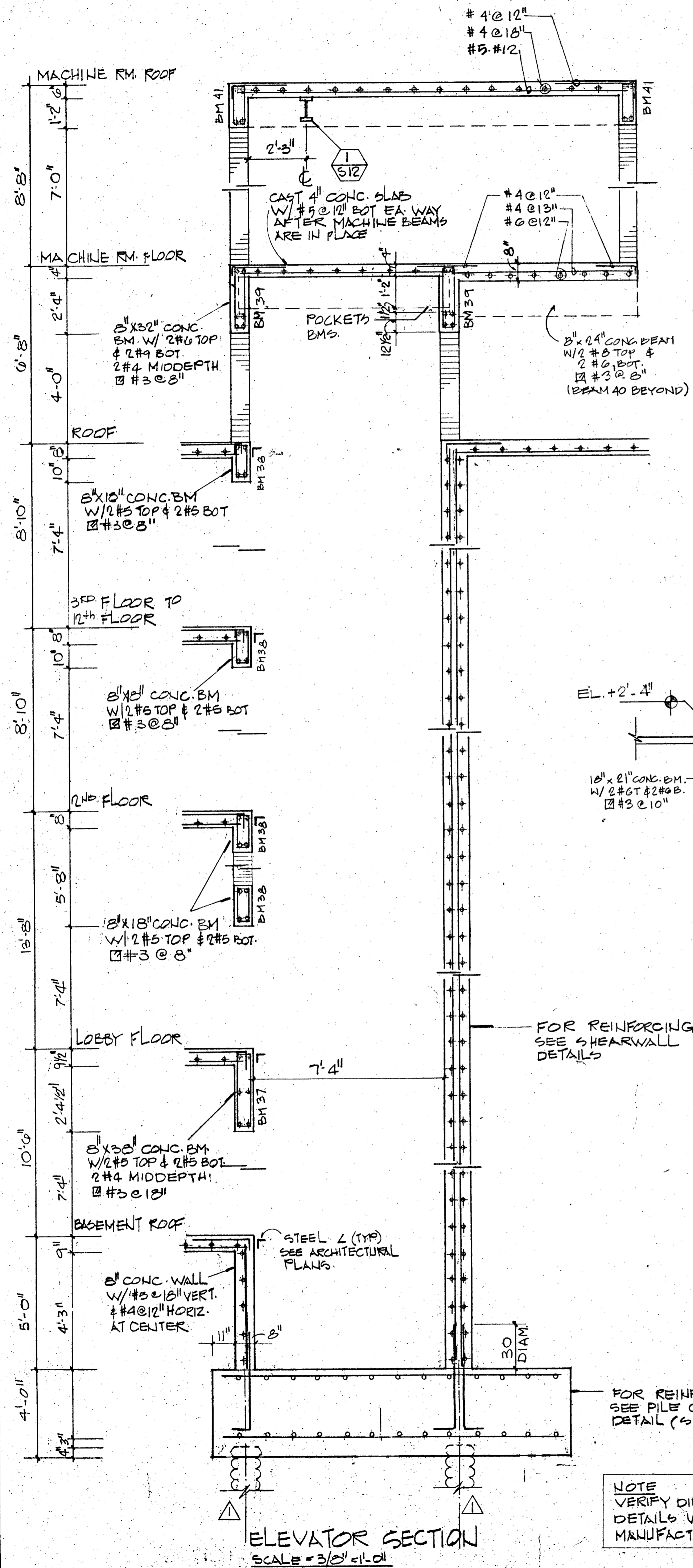
MARK	EL. BOT. CONCRETE	SIZE B x D	LONGITUDINAL		'E' COL.#	'C' COL.#	STIRRUPS	REMARKS
			BOT.	TOP				
BM-1	+23'-6"	30"x42"	6#8	4#8	2#8EE		#5@18"	
BM-2		30"x42"	6#8	4#8	2#8EE		#5@18"	
BM-3			6#8	6#8			#5@18"	
BM-4			8#9	6#9	2#9		#5@18"	
BM-5			14#11	6#11		4#11	#5@6" THROUGH.	
BM-6			*12#11	6#11			#5@6"	* 2 LAYERS-10 BARS IN OUTER LAYER
BM-7			8#9	6#11			#5-4@8" 4@6" REMAINDER @ 18"	
BM-8			*16#11	6#11			#5@6" T.O.	* 2 LAYERS-10 BARS IN OUTER LAYER
BM-9			8#9	6#9	2#9		#5@18"	
BM-10		30"x42"	8#9	6#9	2#9	4#10	#5@18"	
BM-11			10#10	6#10		4#10	#5-5@6" WEST END REMAINDER @ 18"	
BM-12			10#11	6#10			#5-10@6" EE REM. @ 18"	
BM-13			8#9	6#10	2#10		#5@16"	
BM-14			8#9	*0#9	4#10		#5@16"	* CONTINUOUS TOP STEEL
BM-15			8#9	*0#9	4#9		#5@16"	* CONTINUOUS TOP STEEL
BM-16			D E L E T E					
BM-17		30"x42"	*10#11	6#11	2#11		#5@6"	* 2 LAYERS-10 BARS OUTER LAYER
BM-18			8#10	6#11			#5@18"	
BM-19			*12#11	6#11		4#11	#5@6"	* 2 LAYERS-10 BARS OUTER LAYER
BM-20			*12#11	6#11		2#11	#5@6"	* 2 LAYERS-10 BARS OUTER LAYER
BM-21			*14#11	6#11			#5-5@6" SOUTH END REMAINDER @ 18"	* 2 LAYERS-10 BARS OUTER LAYER
BM-22			8#10	6#8	2#8		#5@18"	
BM-23			8#10	*4#11		6#11	#5@18"	* CONTINUOUS TOP STEEL
BM-24			8#10	*4#11		4#8	#5@18"	* CONTINUOUS TOP STEEL
BM-25			*12#11	6#11		2#11		* 2 LAYERS 10 BARS OUTER LAYER
BM-26			*16#11	6#11		2#11	#5-6@6" EAST END REM. @ 18"	* 2 LAYERS 10 BARS OUTER LAYER
BM-27			*14#11	6#11	2#10EE		#5-10@6" EAST END REM. @ 18"	* 2 LAYERS 10 BARS OUTER LAYER
BM-28			*14#11	6#11	2#10EE		#5-10@6" EAST END REM. @ 18"	* 2 LAYERS 10 BARS OUTER LAYER
BM-29			*14#11	6#11	2#10EE		#5-10@6" EAST END REM. @ 18"	* 2 LAYERS 10 BARS OUTER LAYER
BM-30			*14#11	6#11	2#10EE		#5-10@6" EAST END REM. @ 18"	* 2 LAYERS 10 BARS OUTER LAYER
BM-31			*14#11	6#10	2#10EE		#5-10@6" EAST END REM. @ 18"	* 2 LAYERS 10 BARS OUTER LAYER
BM-32	+23'-6"		*14#11	6#10	2#10		#5-10@6" EAST END REM. @ 18"	* 2 LAYERS 10 BARS OUTER LAYER
BM-33	+9'-10"	24"x42"	*10#11	4#10			#5-10@6" EAST END REM. @ 18"	* 2 LAYERS 6 BARS OUTER LAYER
BM-34			*10#11	4#10			#5-10@6" EAST END REM. @ 18"	* 2 LAYERS 6 BARS OUTER LAYER
BM-35	+9'-10"		*12#11	4#10			#5@6" THROUGH.	* 2 LAYERS 6 BARS EA.
BM-36	+1'-1"	8"x21"	2#6	2#6			#3@10"	
BM-37	+10'-2"	8"x28"	2#5	2#5			#3@10"	ADD 2#4 AT MID DEPTH
BM-38	VARIABLES	8"x18"	2#5	2#5			#3@8"	
BM-39	+127'-7"	8"x32"	2#9	2#6			#3@8"	ADD 2#4 AT MID DEPTH
BM-40	+125'-10"	8"x24"	2#6	2#6			#3@8"	
BM-41	+137'-10"	8"x20"	2#6	2#5			#3@10"	
BM-42	+125'-8"	12"x18"	3#7	2#7			#3@8"	

BEAM SCHEDULE

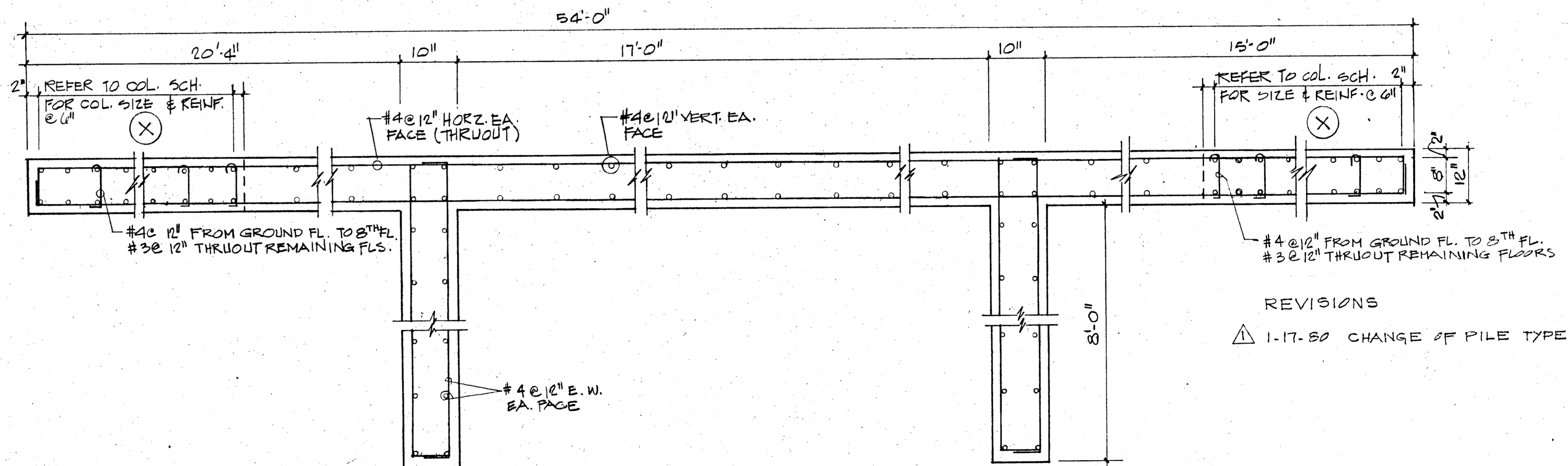
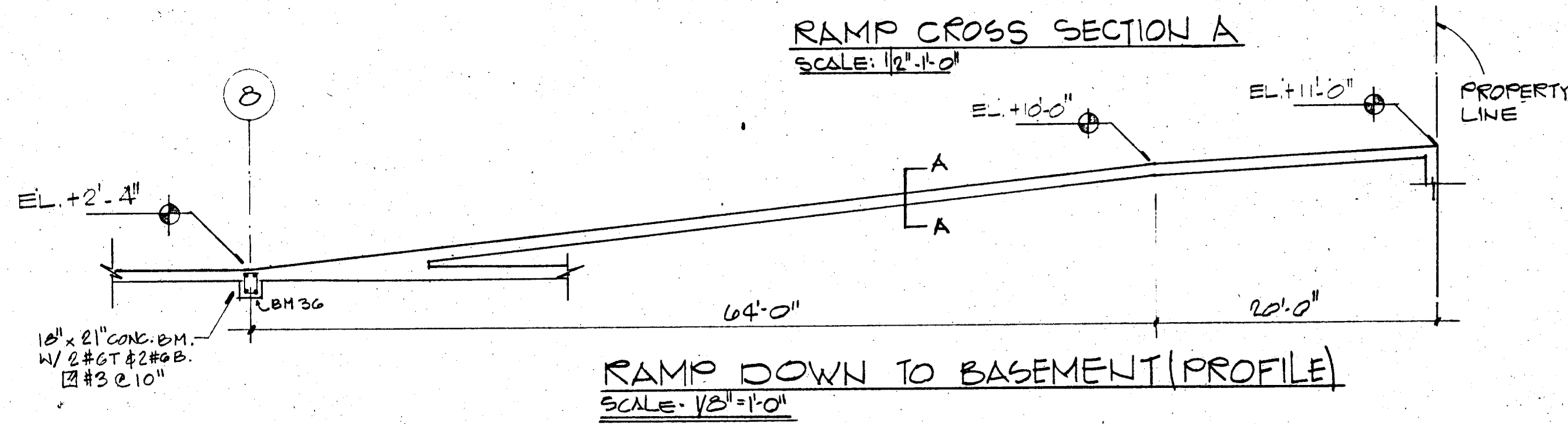
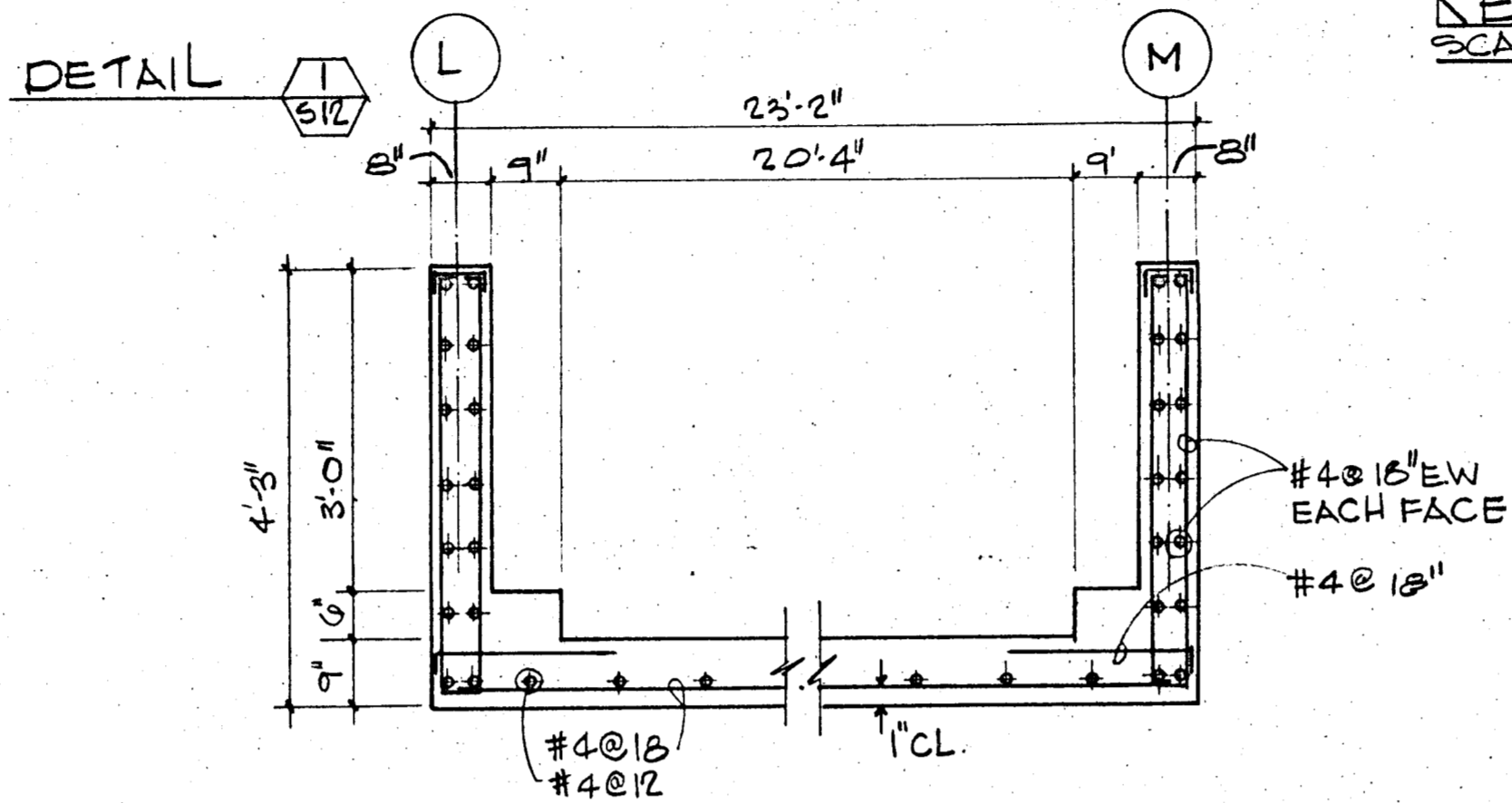
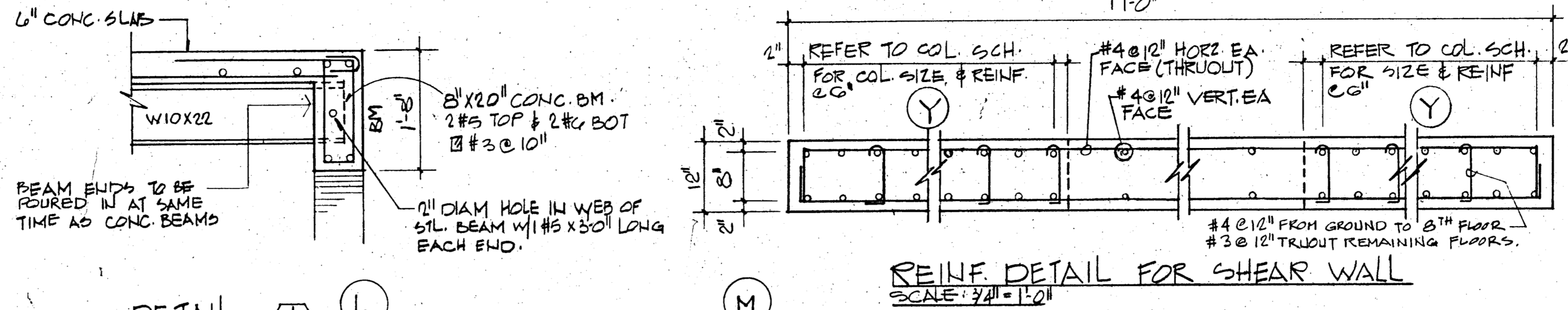
BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

CHAMPLAIN TOWERS NORTH
8777 COLLINS AVE
A. 112 UNIT CONDOMINIUM

COMM. No. 79020 DATE: 11-C-79 SHEET No. 13 of 14
REV.

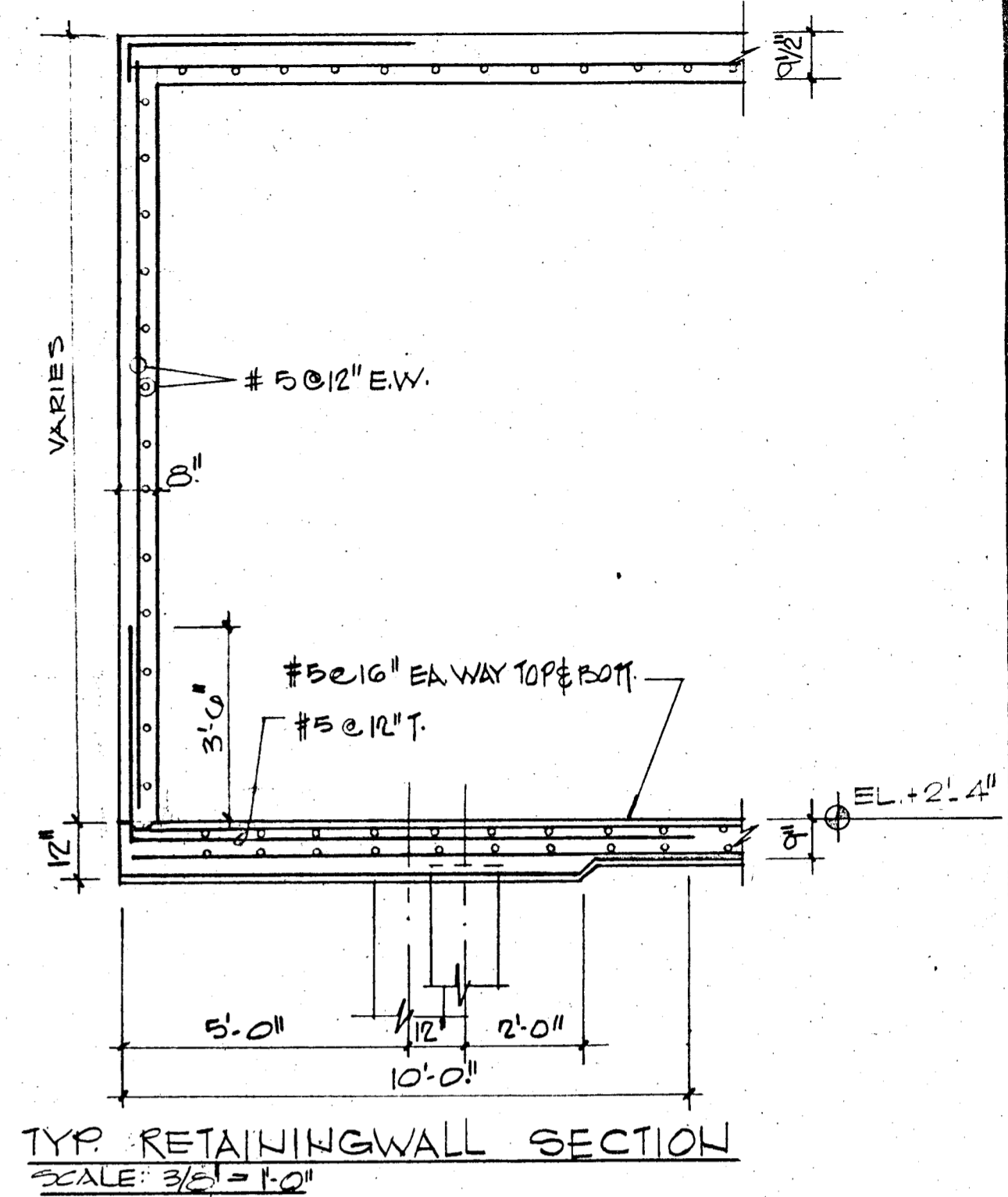


ELEVATOR SECTION
SCALE = 3/8" = 1'-0"



REINFORCEMENT DETAIL FOR SHEAR WALL
SCALE = 3/4" = 1'-0"

PARTIAL SECTIONS PLAN
SCALE = 3/8" = 1'-0"



REVISIONS
 Δ 1-17-80 CHANGE OF PILE TYPE

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

135 S.E. 14TH LA.

CHAMPLAIN TOWERS NORTH

A 112 UNIT CONDOMINIUM

COMM. NO.	DATE	SHEET NO.
	11-6-79	
REV.		

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
450 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

COLUMN SCHEDULE

	(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)	(I)	(J)	(K)	(L)	(M)	(N)	(P)	(Q)	(R)	(S)	(T)	(X)	(Y)	
TYPES	24'x24"		16'x16"	10'x16"	16'x16"	16'x16"	14'x18"	14'x18"	12'x24"	12'x24"	12'x24"	12'x24"	12'x30"	12'x16"	8'x12"	8'x12"	8'x12"	8'x12"	8'x12"		LARGE SHEARWALL	SMALL SHEARWALL
SIZES	24'x24"		16'x16"	10'x16"	16'x16"	16'x16"	14'x18"	14'x18"	12'x24"	12'x24"	12'x24"	12'x24"	12'x30"	12'x16"	8'x12"	8'x12"	8'x12"	8'x12"	8'x12"			
MACH. RM. ROOF +139'-0"																						
MACH. RM. FLOOR +131'-0"																EL. +133'-0"	4#5		4#5			
ROOF +124'-4"																4#5	4#5	4#5				
12 TH FLOOR (PENTHOUSE) +115'-0"			4#8	4#8	4#8		4#8	4#8	4#8	4#8	4#8	4#8	6#8		4#6						8#8 12"x18"	8#8 12"x18"
11 TH FLOOR +108'-8"			↑	↑	↑		↑	↑	↑	↑	↑	↑	↑		↑						↑	↑
10 TH FLOOR +97'-10"																					↓	↓
9 TH FLOOR +89'-0"																					8#8 12"x18"	
8 TH FLOOR +80'-2"				↓	↓		↓	↓	↓	↓	↓	↓	↓		↓						10#8 12"x24"	8#8 12"x18"
7 TH FLOOR +71'-4"			↓	4#8	4#8		4#8	4#8	↓	4#8	4#8	4#8									10#6 12"x24"	8#7 12"x18"
6 TH FLOOR +62'-6"			4#8	6#8	4#9		4#9	4#9	4#8	6#8	6#8	6#8			↓						10#7 12"x24"	8#9 12"x18"
5 TH FLOOR +53'-8"			6#8	8#8	6#9		6#9	6#9	6#8	8#8	8#8	8#8			4#6						12#8 12"x30"	10#9 12"x24"
4 TH FLOOR +44'-10"			8#8	8#9	8#9		8#9	8#9	8#8	8#9	8#9	8#9	6#8		4#7						16#8 12"x42"	10#10 12"x24"
3 RD FLOOR +36'-0"			8#8	8#9	8#9		8#9 4L-2S	8#9	8#8	8#9	8#9	8#9	6#9		4#7						16#9 12"x42"	12#10 12"x24"
2 ND FLOOR +27'-2"			8#9	8#10	8#10 3EF		8#10 4L-2S	8#10 4L-2S	8#9 4L-2S	8#10 4L-2S	8#10	8#10	8#9 4L-2S		4#8						16#11 12"x42"	12#11 12"x30"
LOBBY FL. +13'-0"	12#10 4EF		8#10	8#11			10#10 4L-3S					10#10			4#9						20#11 12"x54"	12#11 12"x30"
BASEMENT +2'-4"	12#10 4EF		8#11 3EF	12#11 4EF		4#8	10#11 4L-3S					12#10 6L-2S		4#7	4#9						24#11 12"x60"	14#11 12"x30"
							COL. 13C FROM 2ND TO ROOF															
				COL. E4 UP TO EL. 125'-0"			COLS. E-2 H-2, H-4 UP TO EL. 123'-2"															

DELETE

NOTES:

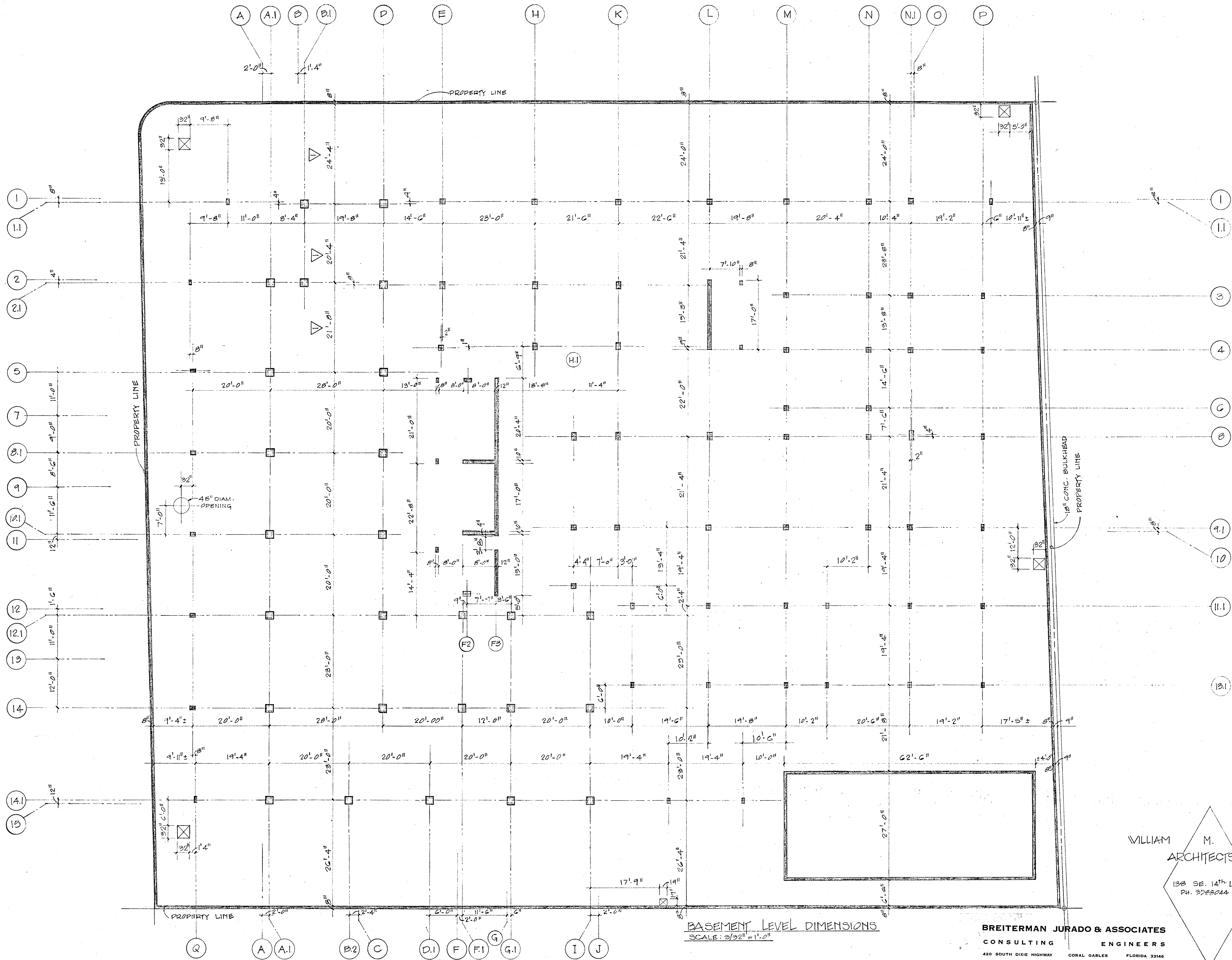
- TIES FOR NO. 11 MAIN BARS USE #4 TIES, ALL OTHERS TO BE #3 DETAILED IN ACCORDANCE WITH ACI-318.
- COLUMN DEVELOPS TO BE SAME NO. AND SIZE AS MAIN REINFORCING.

COLUMN SCHEDULE

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

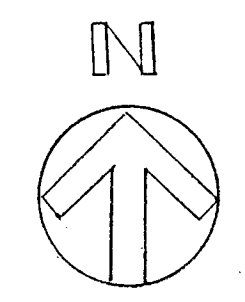
CHAMPLAIN TOWERS NORTH
8777 COLLINGS AVE.
A 112 UNIT CONDOMINIUM

COMM. No. 79030 DATE: 11-6-79 SHEET No. 514 of 14
REV.



REVISIONS

△ 1-17-00
CHANGE OF DIMENSIONS



WILLIAM M. FRIEDMAN & ASSOCIATES ARCHITECTS, INC.

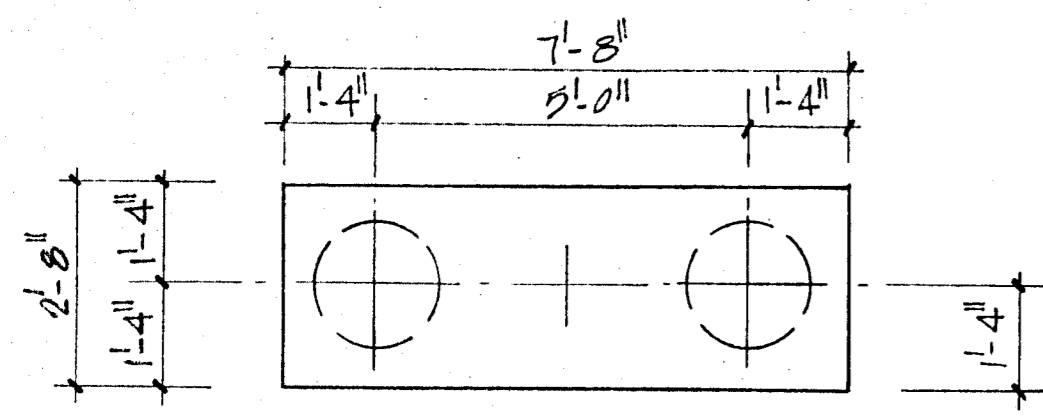
138 SE. 14th LANE
PH. 3262044

CHAMPLAIN TOWERS NORTH
COLLINS AVE.
A-112 UNIT CONDOMINIUM

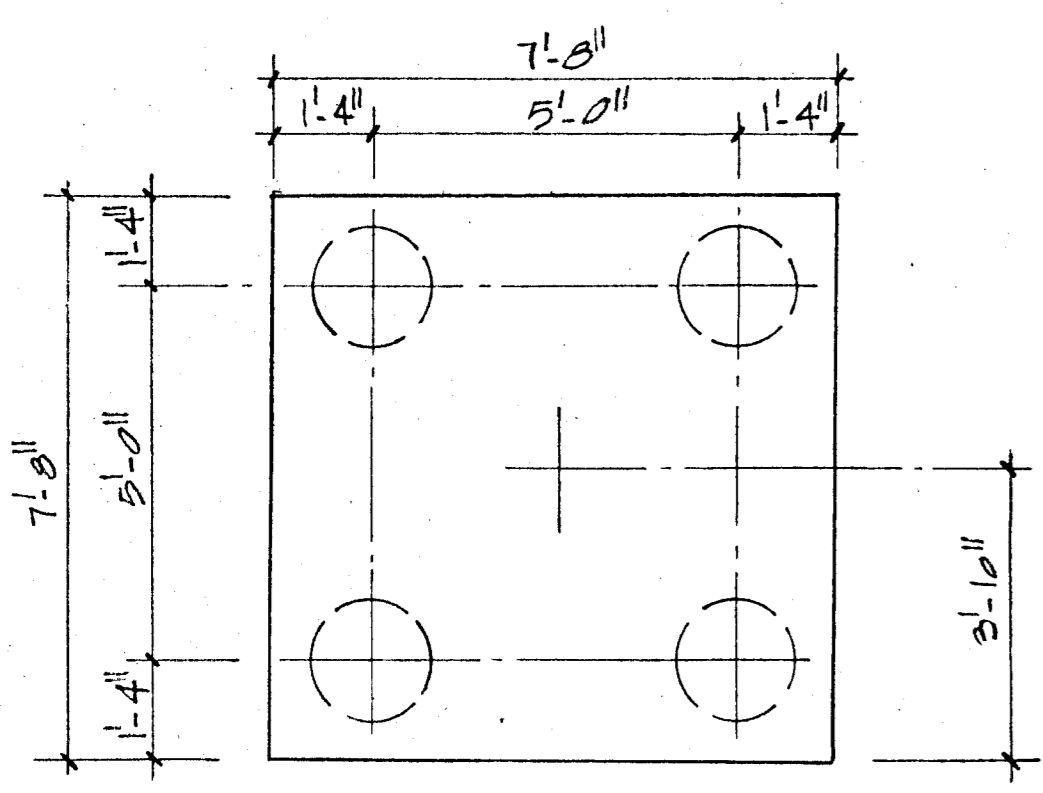
BASEMENT LEVEL DIMENSIONS
SCALE: 3/32" = 1'-0"

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

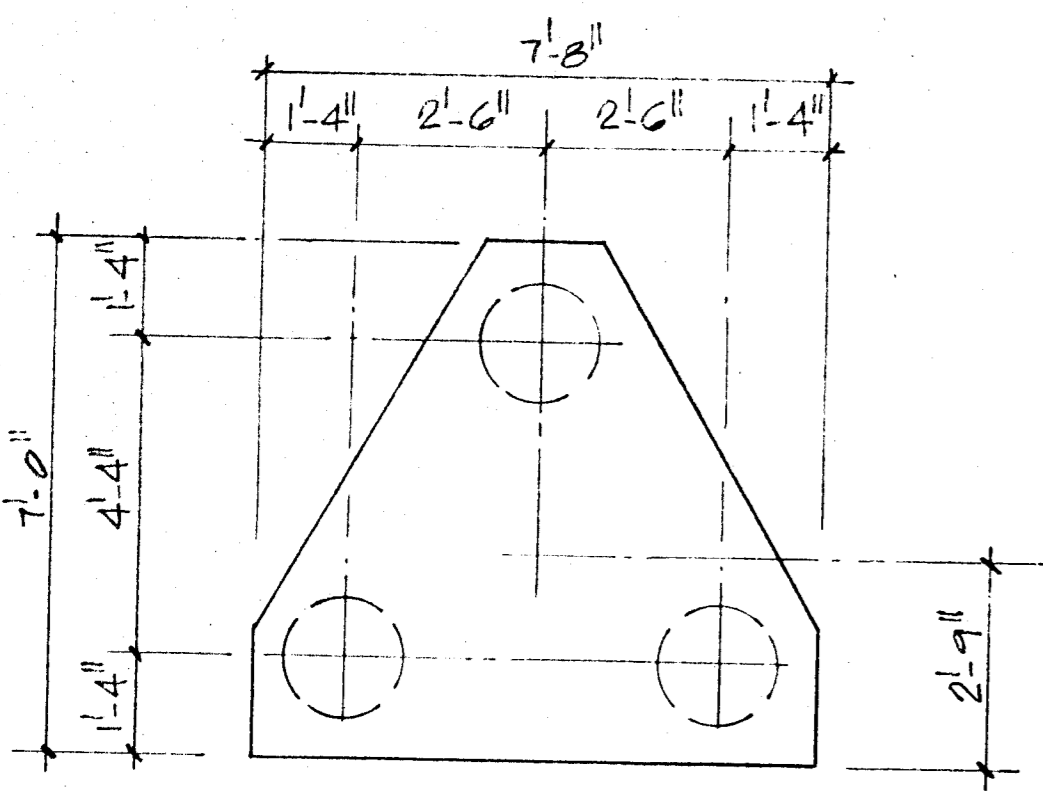
COMM. No.	DATE:	SHEET
	11-C-71	52 of 14
REV.		



2 PIF
DEPTH = 3'-0"
7#6 LONG WAY
8#4 SHORT WAY

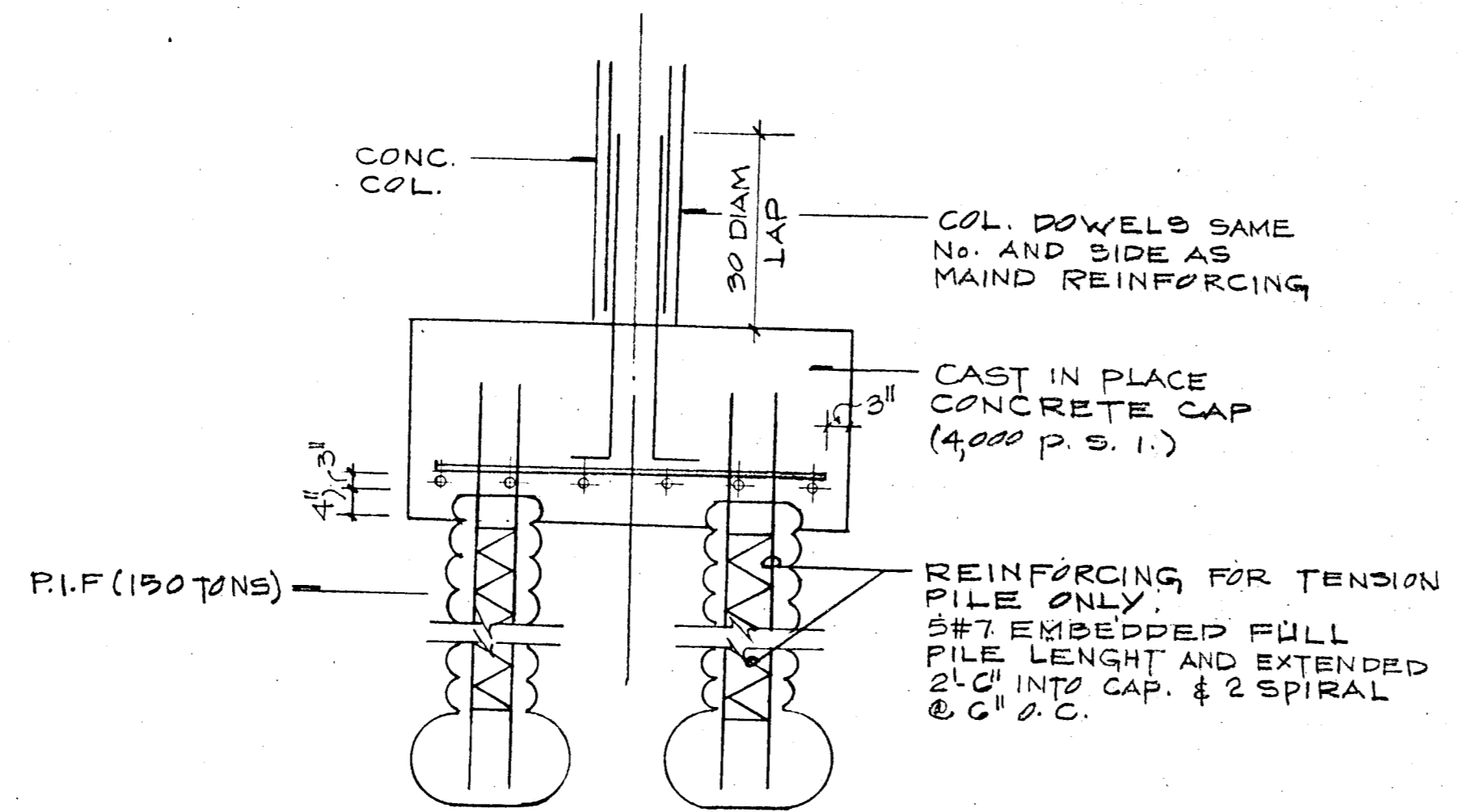


4 PIF
DEPTH = 3'-0"
12#7 EACH WAY



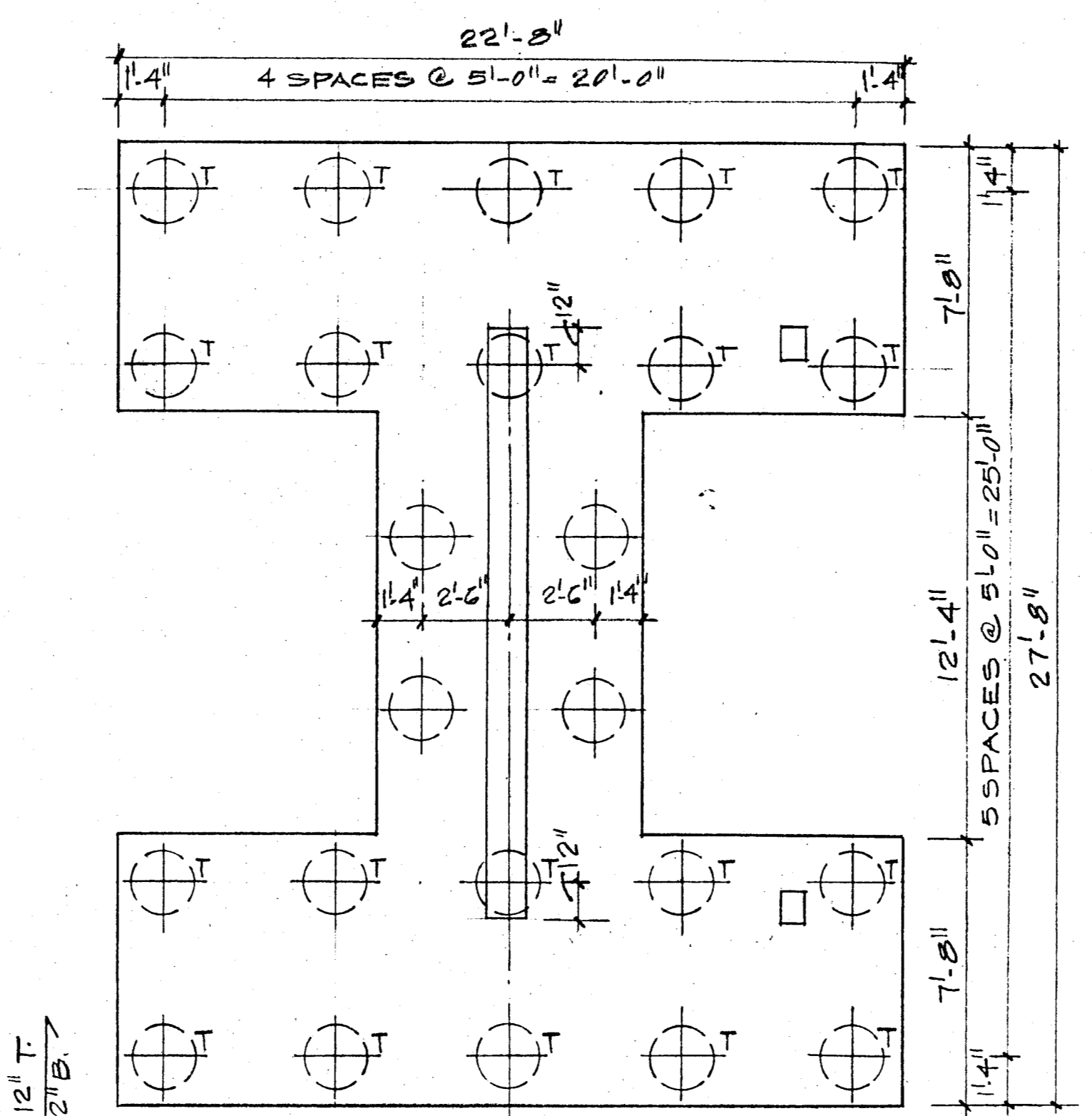
3 PIF
DEPTH = 3'-0"
8#6 3WAY

PILE CAP DETAIL
SCALE AS SHOWN



TYP PILE CAP SECTION

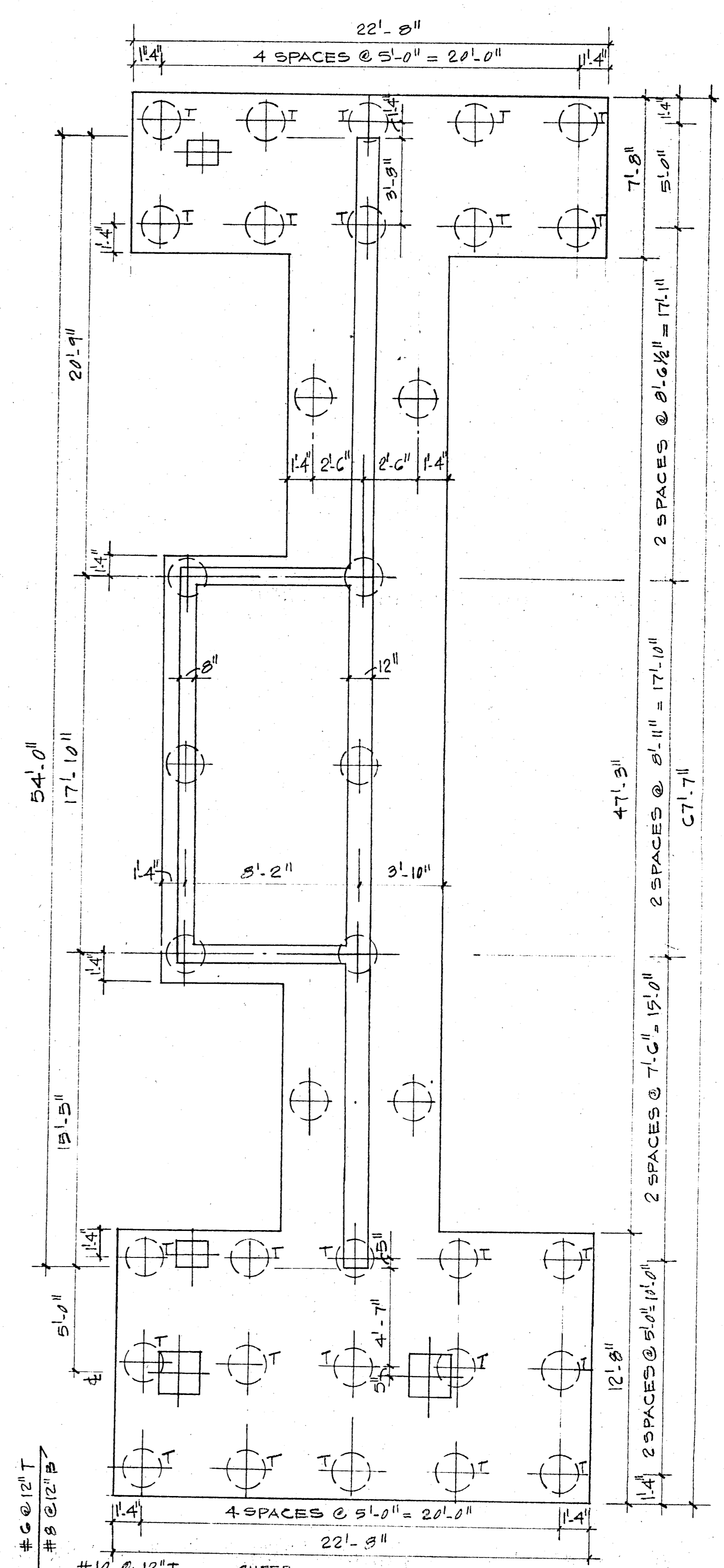
CONC. COL.
30 DIAM LAP
COL. DOWELS SAME NO. AND SIDE AS MAIN REINFORCING
CAST IN PLACE CONCRETE CAP (4,000 P. S. I.)
REINFORCING FOR TENSION PILE ONLY.
5#7 EMBEDDED FULL PILE LENGTH AND EXTENDED 2'-0" INTO CAP. & 2 SPIRAL @ 6" O.C.



24 PIF
DEPTH = 4'-0"
SCALE 1/4" = 1'-0"
NOTE "T" DENOTES TENSION PILES

#6 @ 12" T
#8 @ 12" B
#9 @ 12" T
#10 @ 12" B
OUTER LAYER

REVISIONS
△ GENERAL REVISIONS

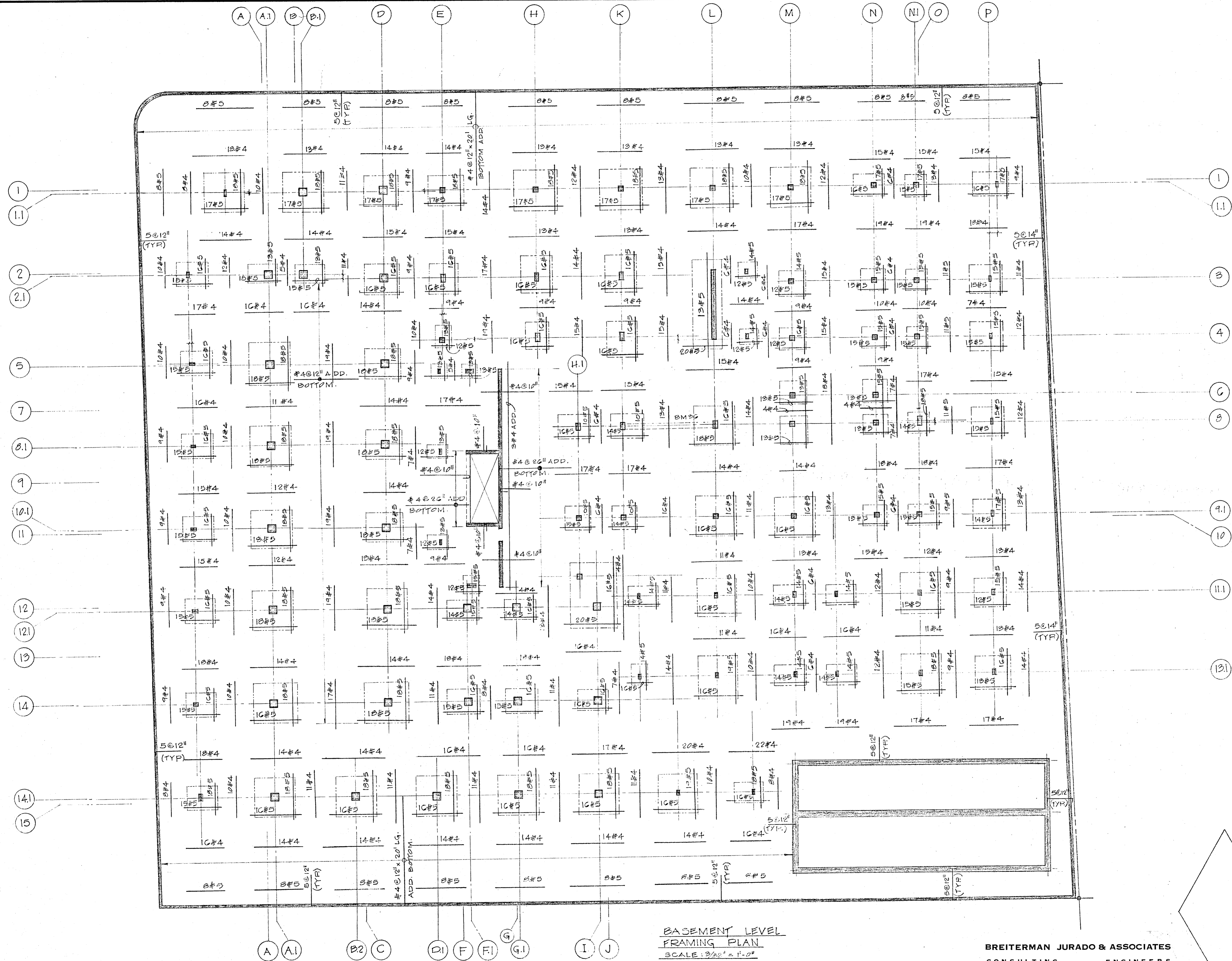


35 PIF
DEPTH = 4'-0"
SCALE: 1/4" = 1'-0"
NOTE "T" (DENOTES TENSION PILES)

#6 @ 12" T
#8 @ 12" B
#10 @ 12" T
#10 @ 6" B
OUTER LAYER

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

CHAMPLAIN TOWERS NORTH
A-112 UNIT CONDOMINIUM
COMM. NO. DATE 1-17-80 SHEET NO. 53 of 14
REV. △



BASEMENT LEVEL
FRAMING PLAN
SCALE: 3/8" = 1'-0"

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

NOTE:
BOTTOM REINF. SHALL BE #4 @ 12"
BOTTOM EA. WAY IN ADDITION ANY
INDICATED STEEL.

CHAMPLAIN TOWERS NORTH
COLLINS AVE.

A112 UNIT CONDOMINIUM

COMM. NO.	DATE: 11-C-79	SHEET
REV.		54 of 14

COLUMN SCHEDULE

TYPES	(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)	(I)	(J)	(K)	(L)	(M)	(N)	(P)	(Q)	(R)	(S)	(T)	(X)	(Y)	
SIZES	24"x24"		16"x16"	16"x16"	16"x16"	16"x16"	14"x18"	14"x18"	12"x24"	12"x24"	12"x24"	12"x24"	12"x30"	12"x16"	8"x12"	8"x12"	8"x12"	8"x12"	8"x12"		LARGE SHEARWALL	SMALL SHEARWALL
MACH. RM. ROOF	+139'-5"																					
MACH. RM. FLOOR	+131'-0"																					
ROOF	+124'-4"																					
12 TH FLOOR (PENTHOUSE)	+115'-0"																					
11 TH FLOOR	+108'-8"																					
10 TH FLOOR	+97'-10"																					
9 TH FLOOR	+89'-0"																					
8 TH FLOOR	+80'-2"																					
7 TH FLOOR	+71'-4"																					
6 TH FLOOR	+62'-6"																					
5 TH FLOOR	+53'-8"																					
4 TH FLOOR	+44'-10"																					
3 RD FLOOR	+36'-0"																					
2 ND FLOOR	+27'-2"																					
LOBBY FL.	+18'-0"	12#10 4EF.																				
BASEMENT	+2'-4"	12#10 4EF.																				

DELETE

NOTES:

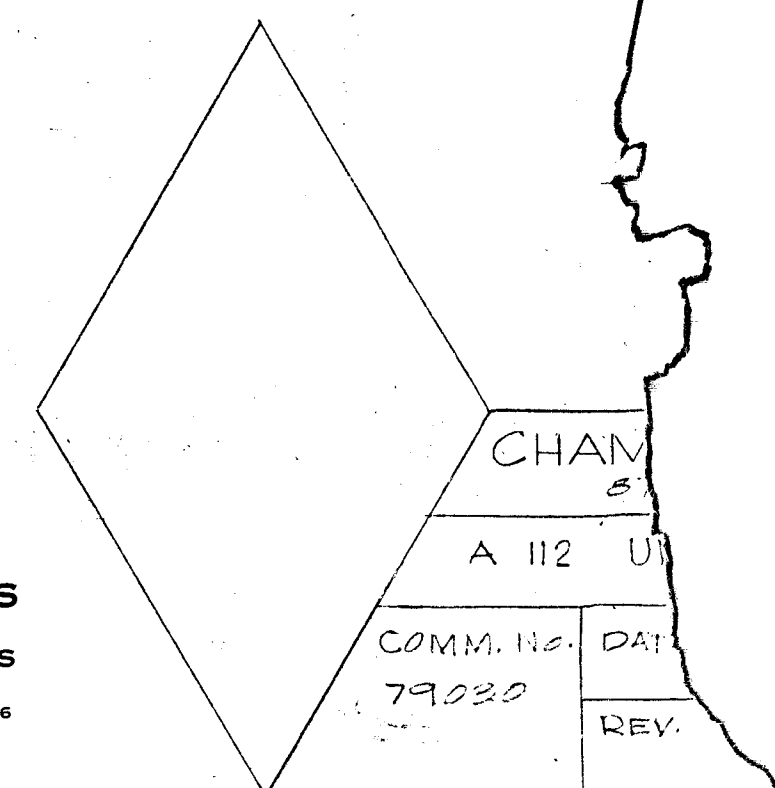
- TIES FOR No. 11 MAIN BARS USE #4 TIES, ALL OTHERS TO BE #3 DETAILED IN ACCORDANCE WITH ACI-318.
- COLUMN LEVELS TO BE SAME No. AND SIZE AS MAIN REINFORCING.

COL. B-C FROM 2ND TO ROOF
COLS. E-2 H-2, H-4 UP TO EL. 123'-2"

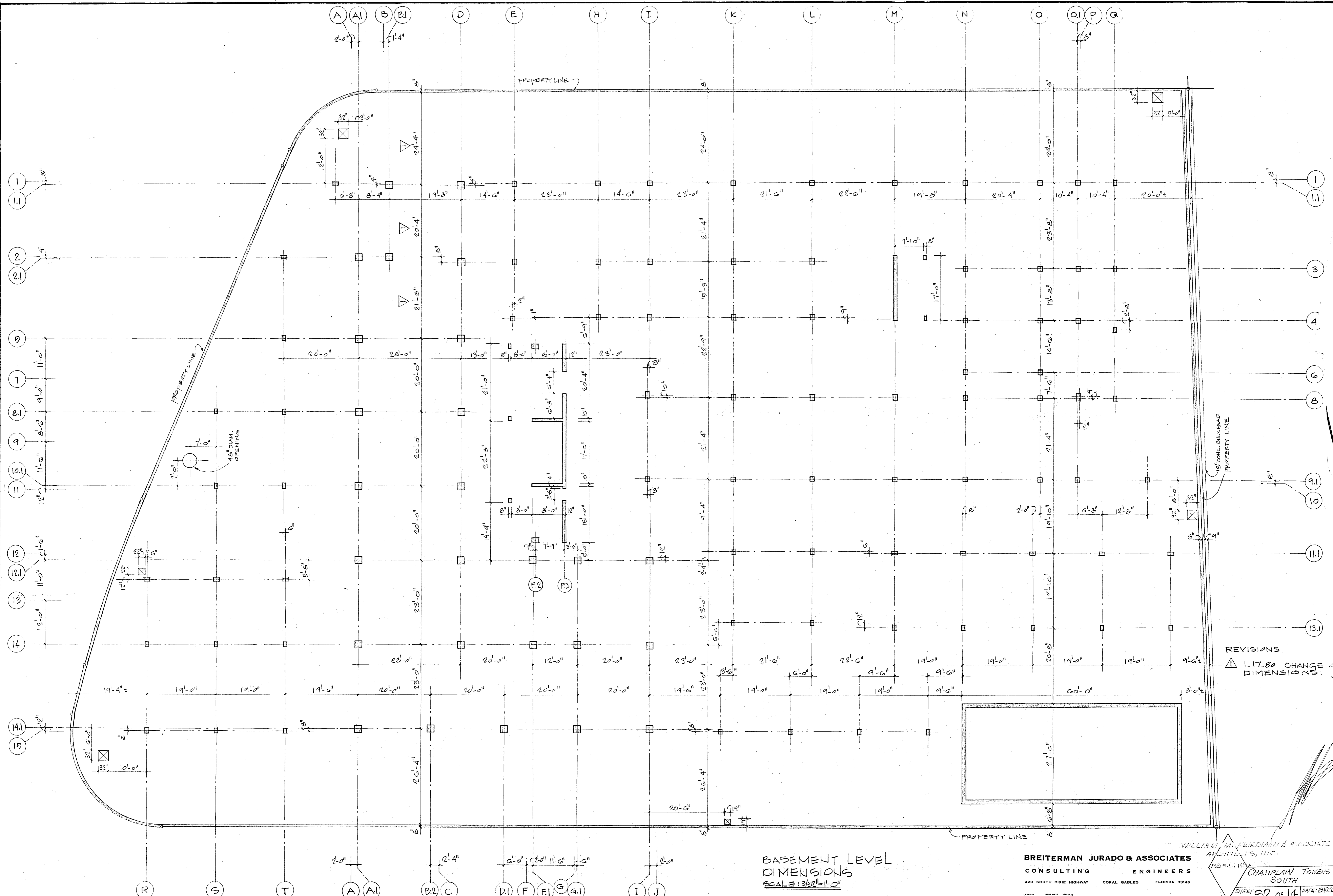
COL. E-4 UP TO EL. 123'-0"

COLUMN SCHEDULE

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146



CHAM
A 112 U
COMM. No. DAT
79220
REV.



PROPERTY LINE

PROPERTY LINE

7'-0"
48" DIA. OPENING

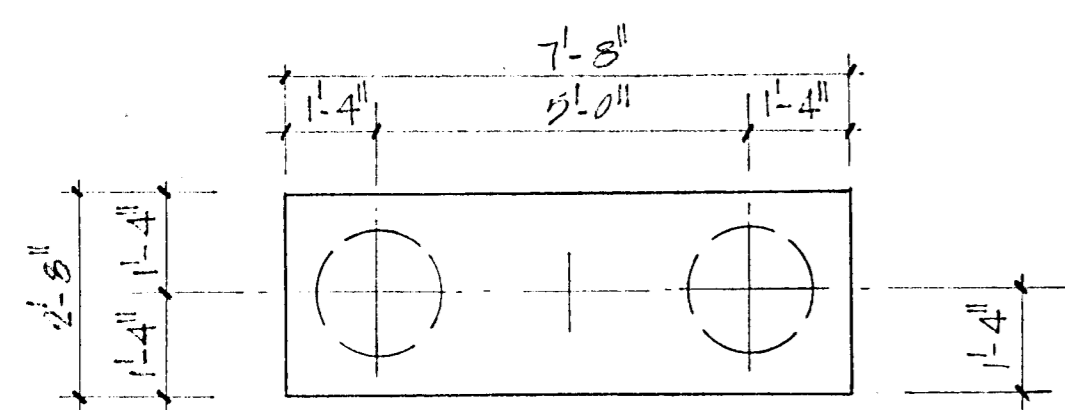
15" CONC. BULKHEAD PROPERTY LINE

REVISIONS
 ▲ 1-17-80 CHANGE OF DIMENSIONS

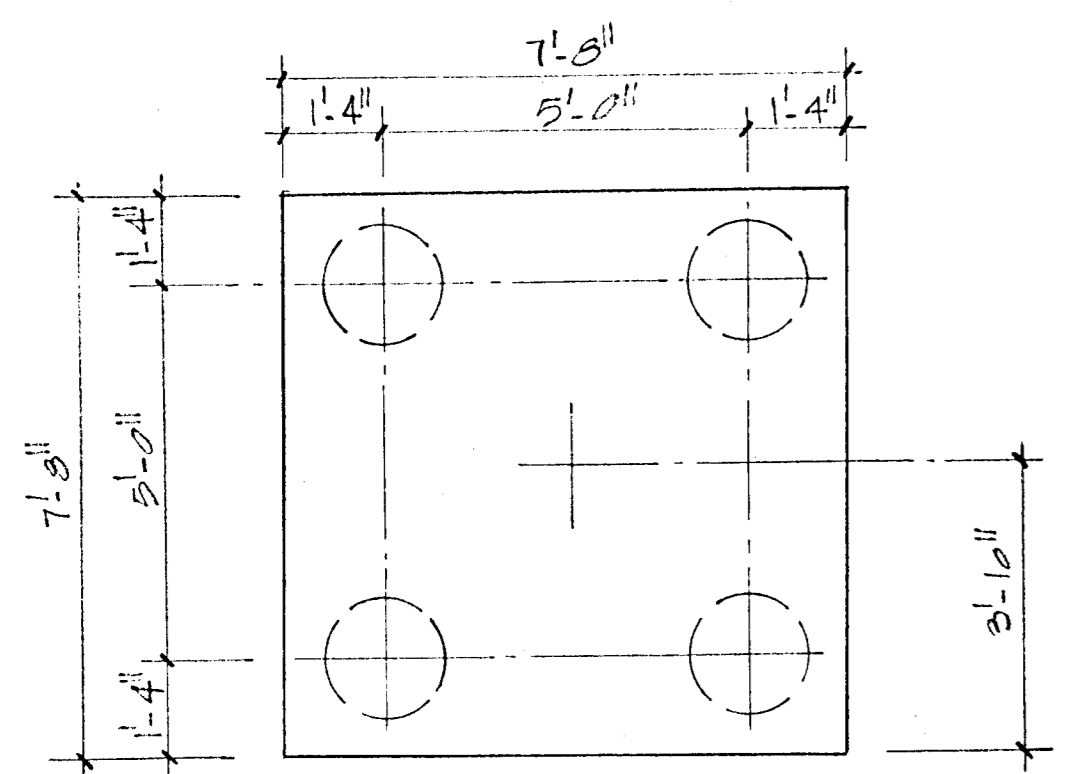
BASEMENT LEVEL DIMENSIONS
 SCALE: 3/32" = 1'-0"

BREITERMAN JURADO & ASSOCIATES
 CONSULTING ENGINEERS
 420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

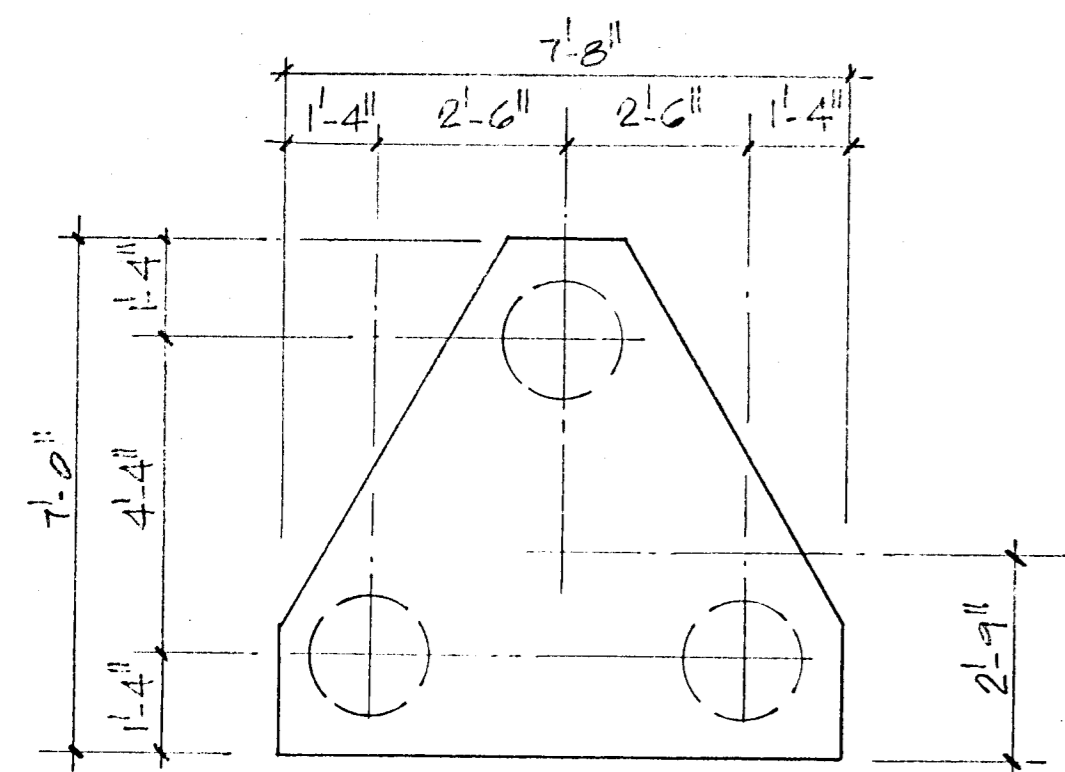
WILLIAM M. FEEDERMAN & ASSOCIATED ARCHITECTS, INC.
 CHAMPLAIN TOWERS SOUTH
 SHEET 62 OF 14 DATE: 8/22/79



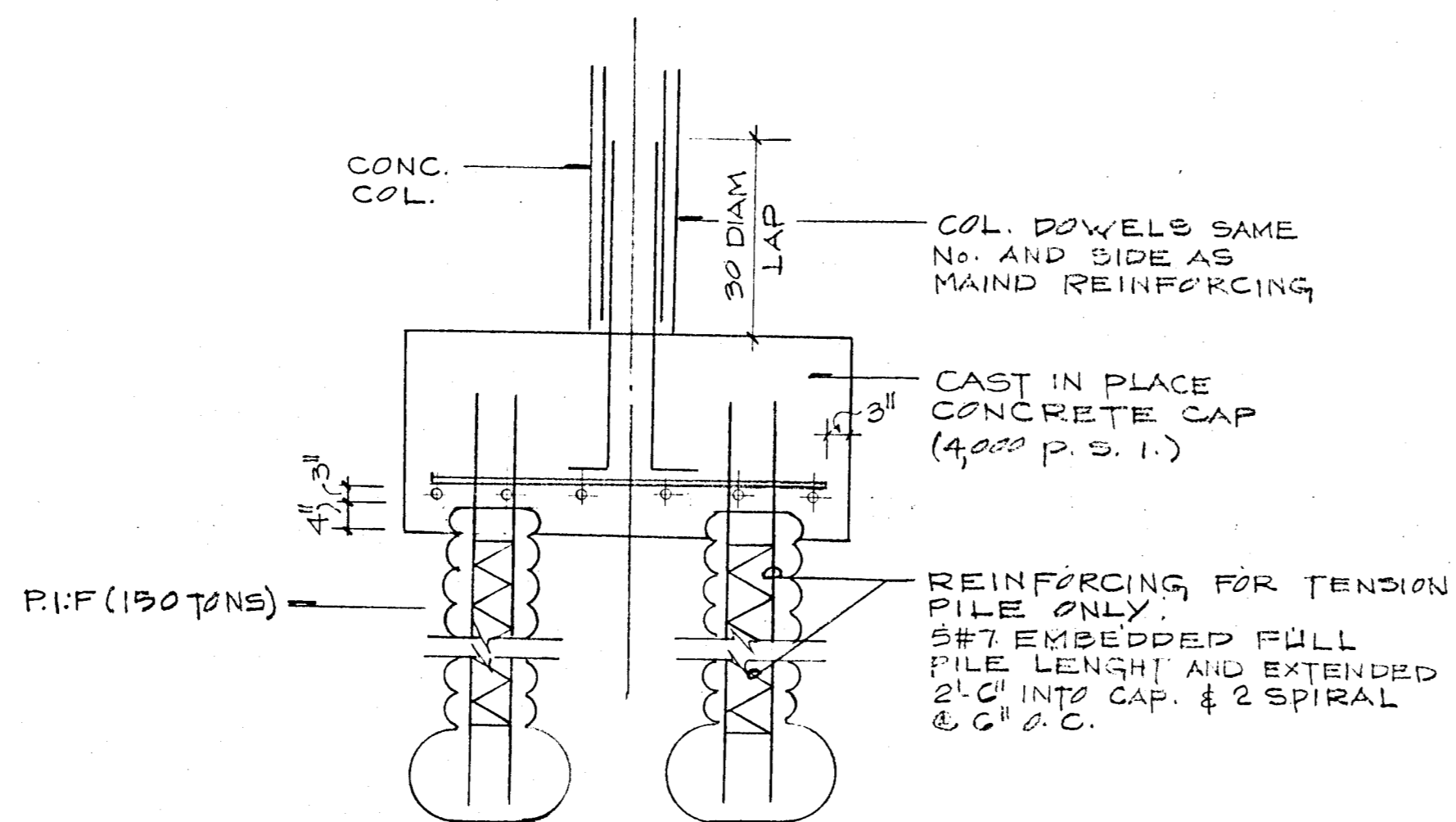
2 PIF
DEPTH = 3'-6"
7#6 LONG WAY
0#4 SHORT WAY



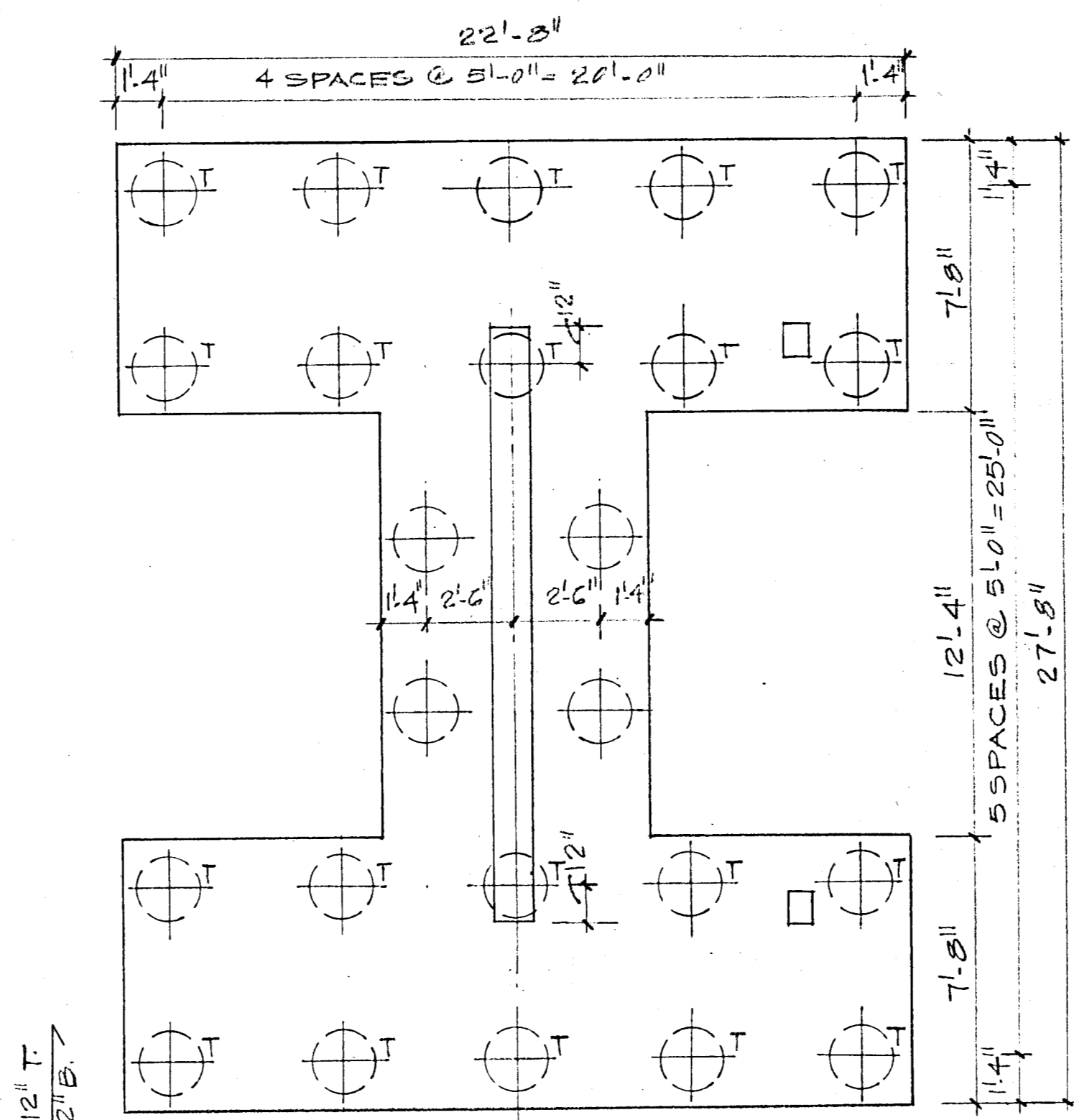
4 PIF
DEPTH = 3'-6"
12#7 EACH WAY



3 PIF
DEPTH = 3'-6"
9#6 3WAY

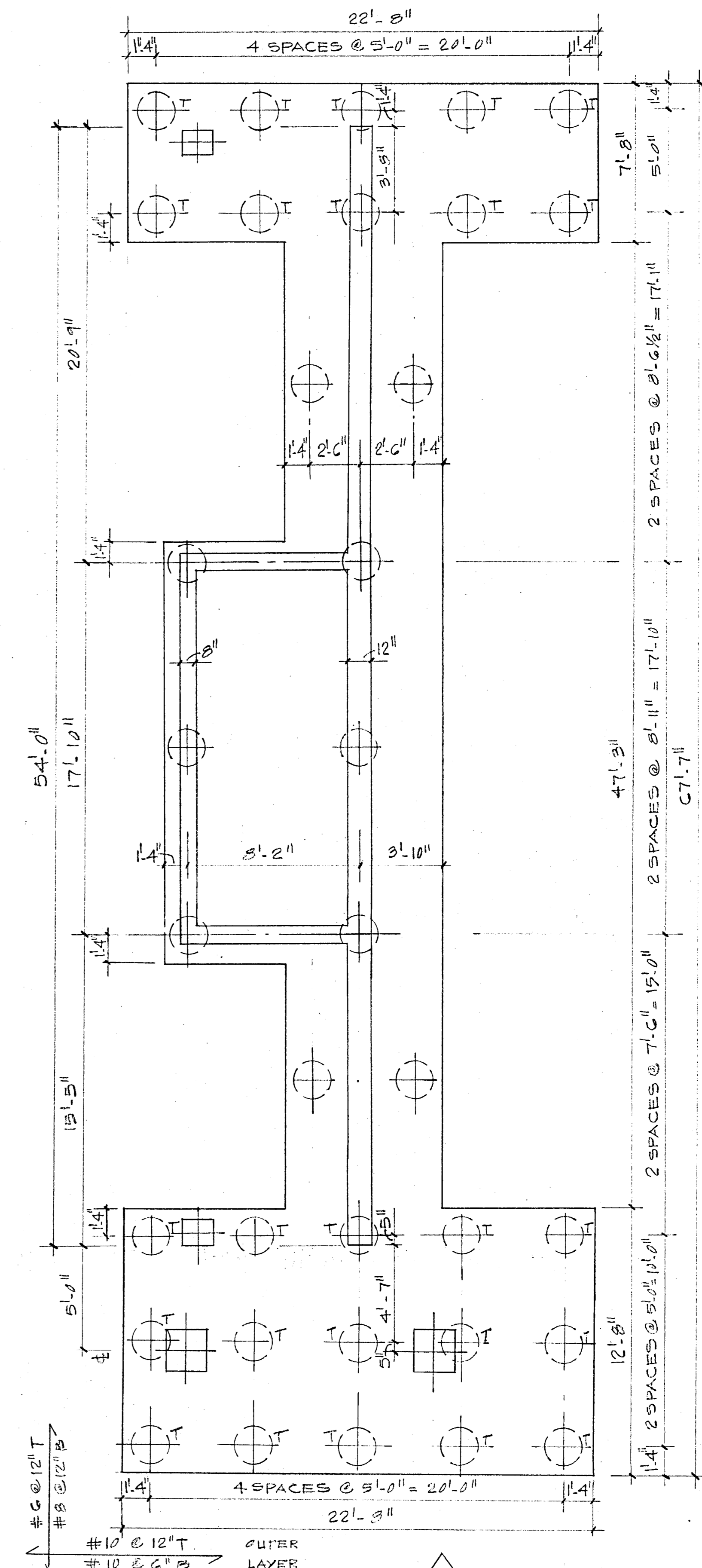


TYP PILE CAP SECTION



24 PIF
DEPTH = 4'-0"
SCALE 1/4" = 1'-0"

NOTE
"T" DENOTES TENSION PILES



30 PIF
DEPTH = 4'-6"
SCALE: 1/4" = 1'-0"
NOTE: "T" (DENOTES TENSION PILES)

REVISIONS
△ GENERAL REVISIONS

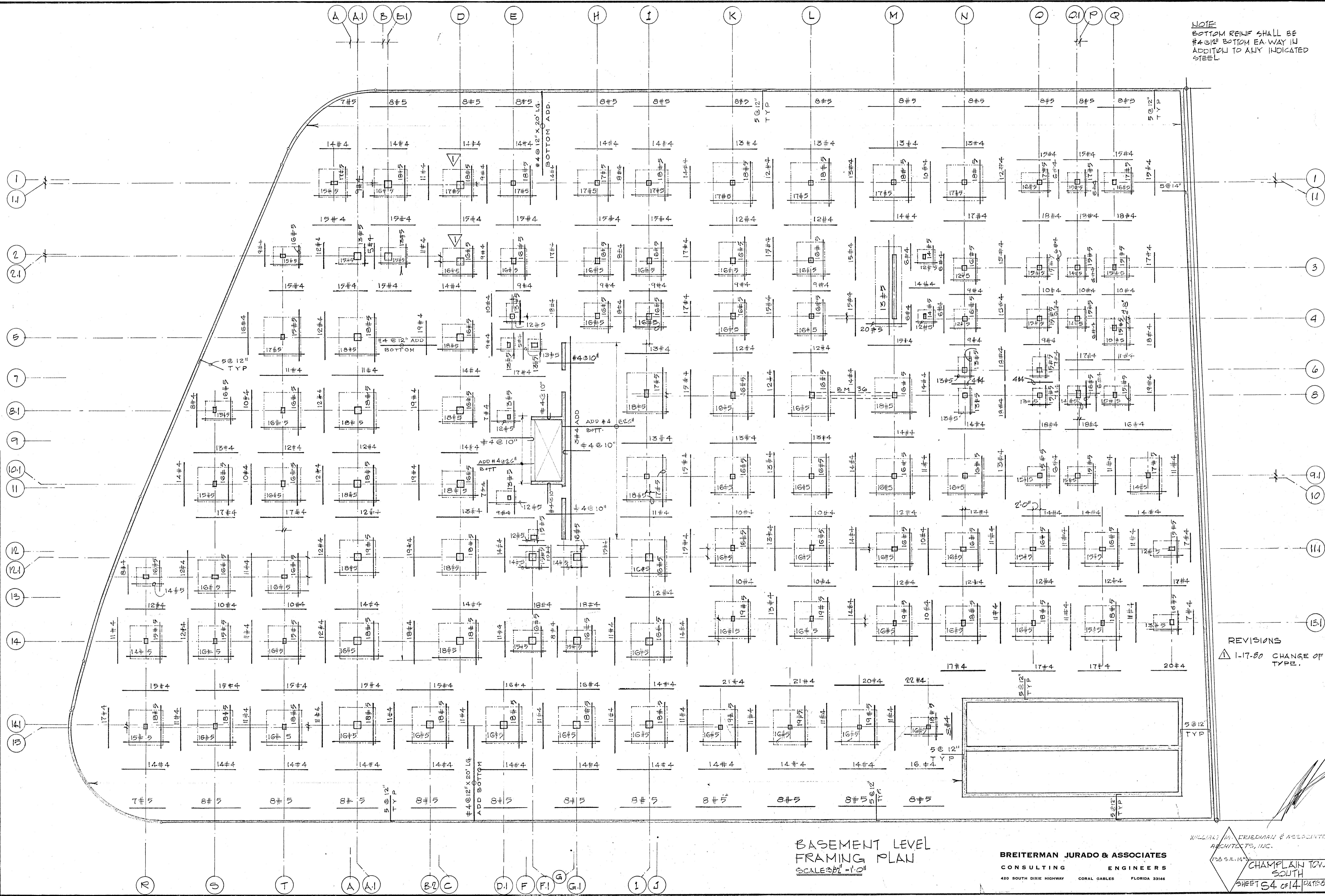
PILE CAP DETAIL
SCALE AS SHOWN

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

CHAMPLAIN TOWERS SOUTH
A 135 UNIT CONDOMINIUM

COMM. NO.	DATE	SHEET NO.
	1-17-88	53 OF 14
REV.	△	

NOTE:
 BOTTOM REINF SHALL BE
 #4 @ 12" BOTTOM EA WAY IN
 ADDITION TO ANY INDICATED
 STEEL.

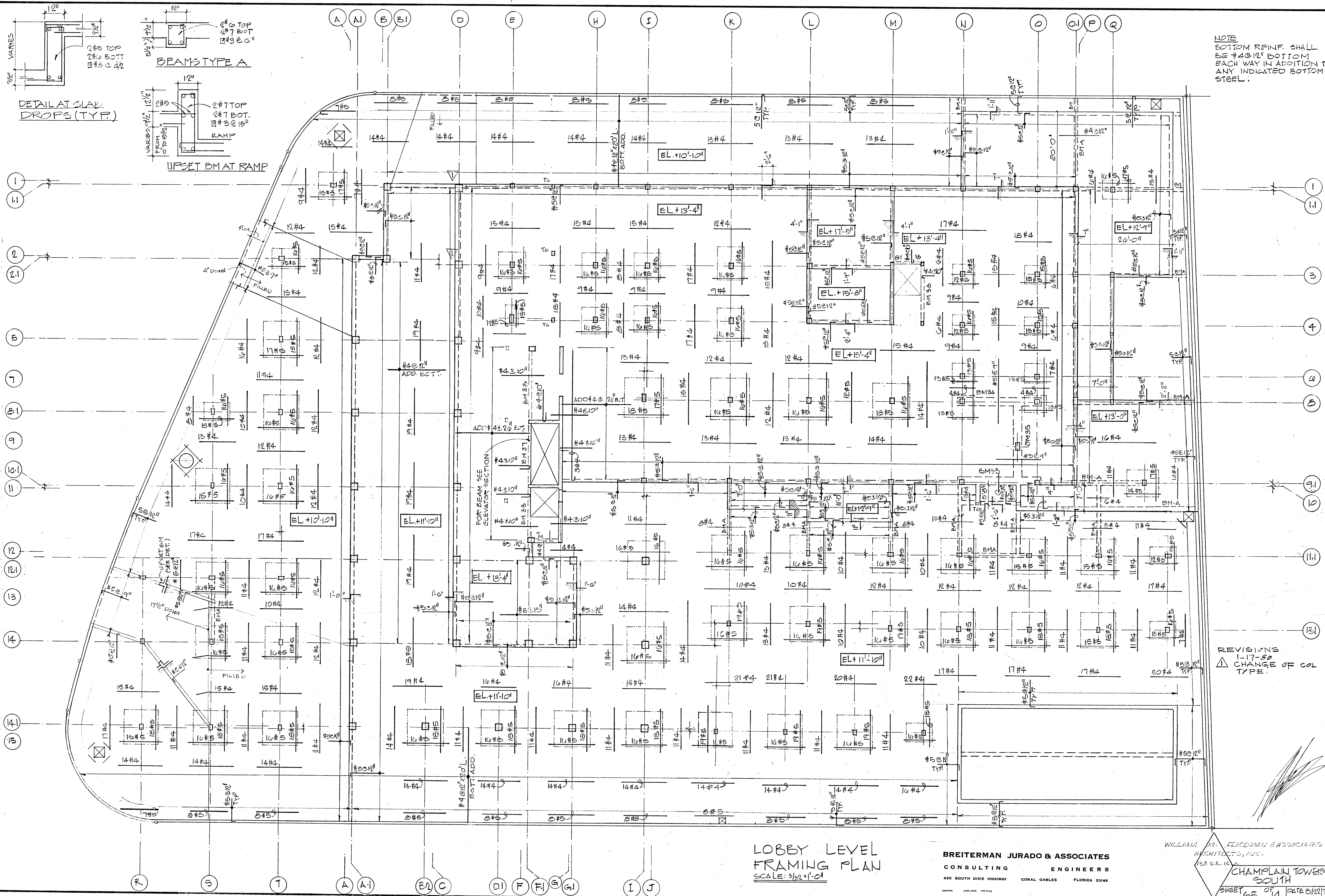


REVISIONS
 Δ 1-17-80 CHANGE OF COL.
 TYPE.

BASEMENT LEVEL
 FRAMING PLAN
 SCALE: 3/8" = 1'-0"

BREITERMAN JURADO & ASSOCIATES
 CONSULTING ENGINEERS
 420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

WILLIAM M. FRIEDMAN & ASSOCIATES
 ARCHITECTS, INC.
 128 S.E. 14TH
 CHAMPLAIN TOWERS
 SOUTH
 SHEET 54 OF 14 DATE: 6/14/77



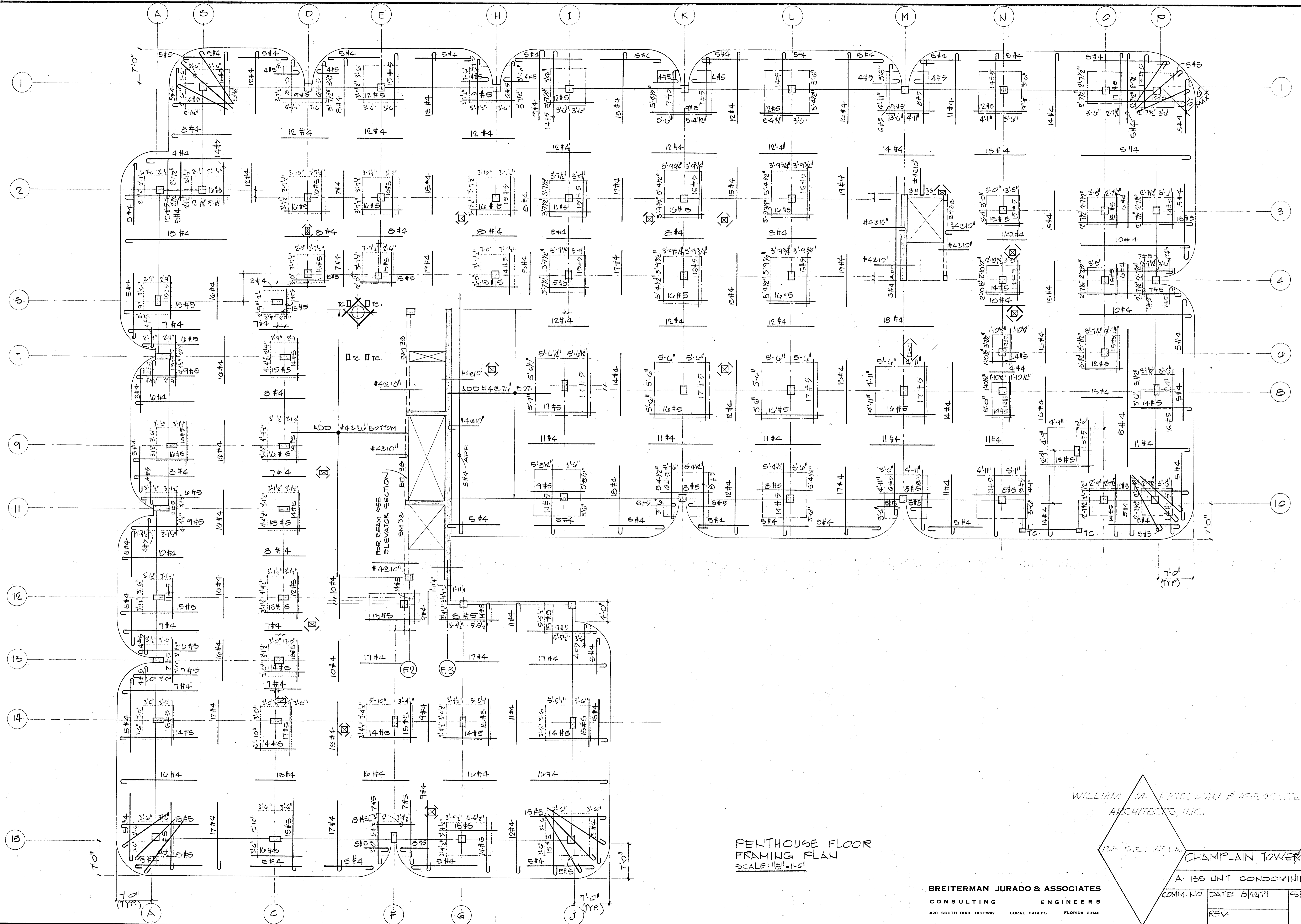
NOTE:
 BOTTOM REIN. SHALL
 BE #4@12" BOTTOM
 EACH WAY IN ADDITION TO
 ANY INDICATED BOTTOM
 STEEL.

REVISIONS
 1-17-80
 CHANGE OF COL
 TYPE.

LOBBY LEVEL
 FRAMING PLAN
 SCALE: 3/32" = 1'-0"

BREITERMAN JURADO & ASSOCIATES
 CONSULTING ENGINEERS
 420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

WILLIAM M. FLEISHMAN & ASSOCIATES
 ARCHITECTS, INC.
 123 S.E. 14th
 CHAMPLAIN TOWERS
 SOUTH
 SHEET 55 OF 74 DATE 8/10/79



PENTHOUSE FLOOR
FRAMING PLAN
SCALE: 1/8" = 1'-0"

WILLIAM M. FEICHTMAN & ASSOCIATES
ARCHITECTS, P.C.

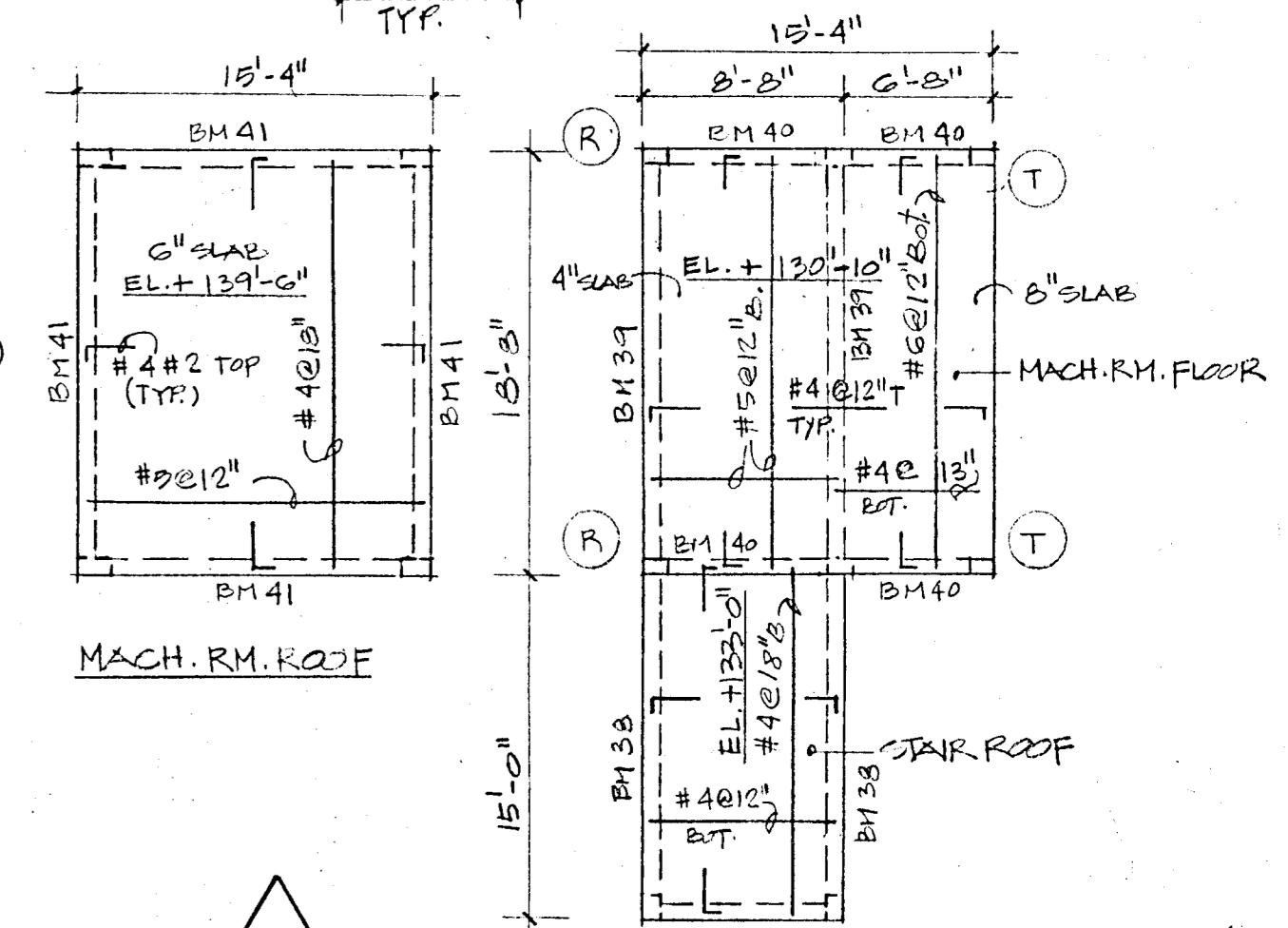
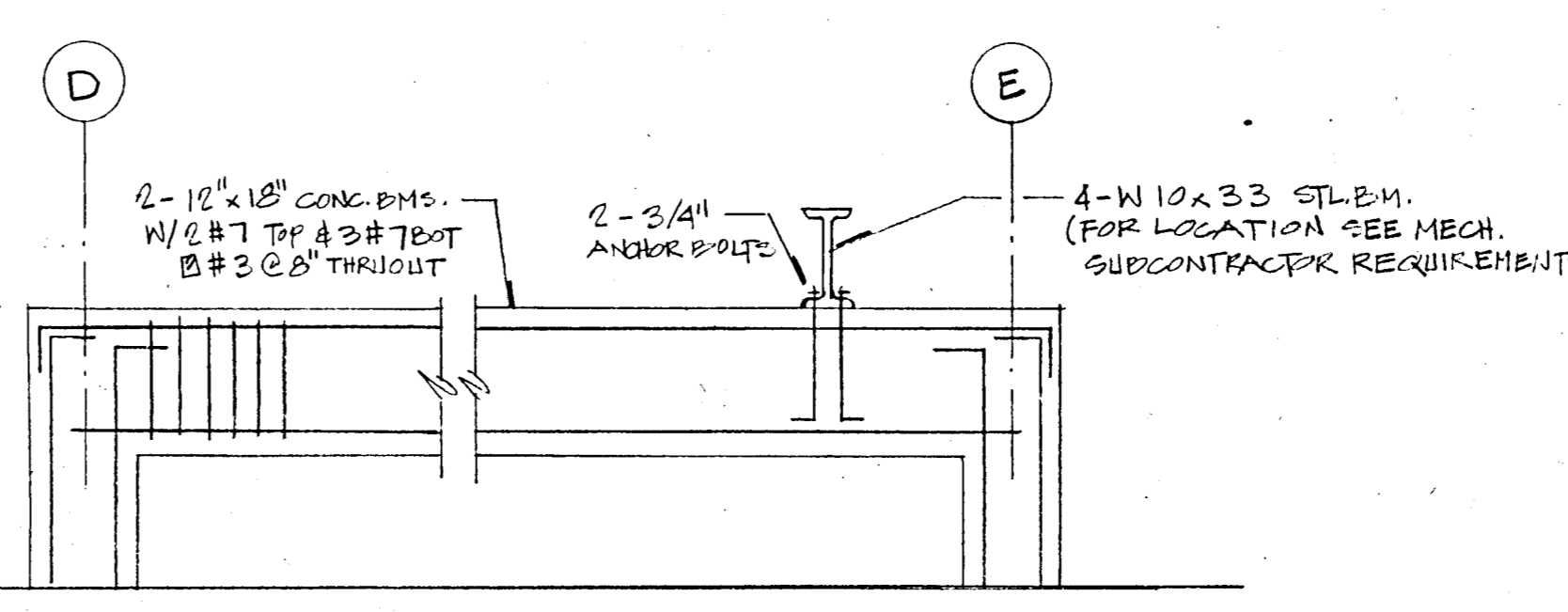
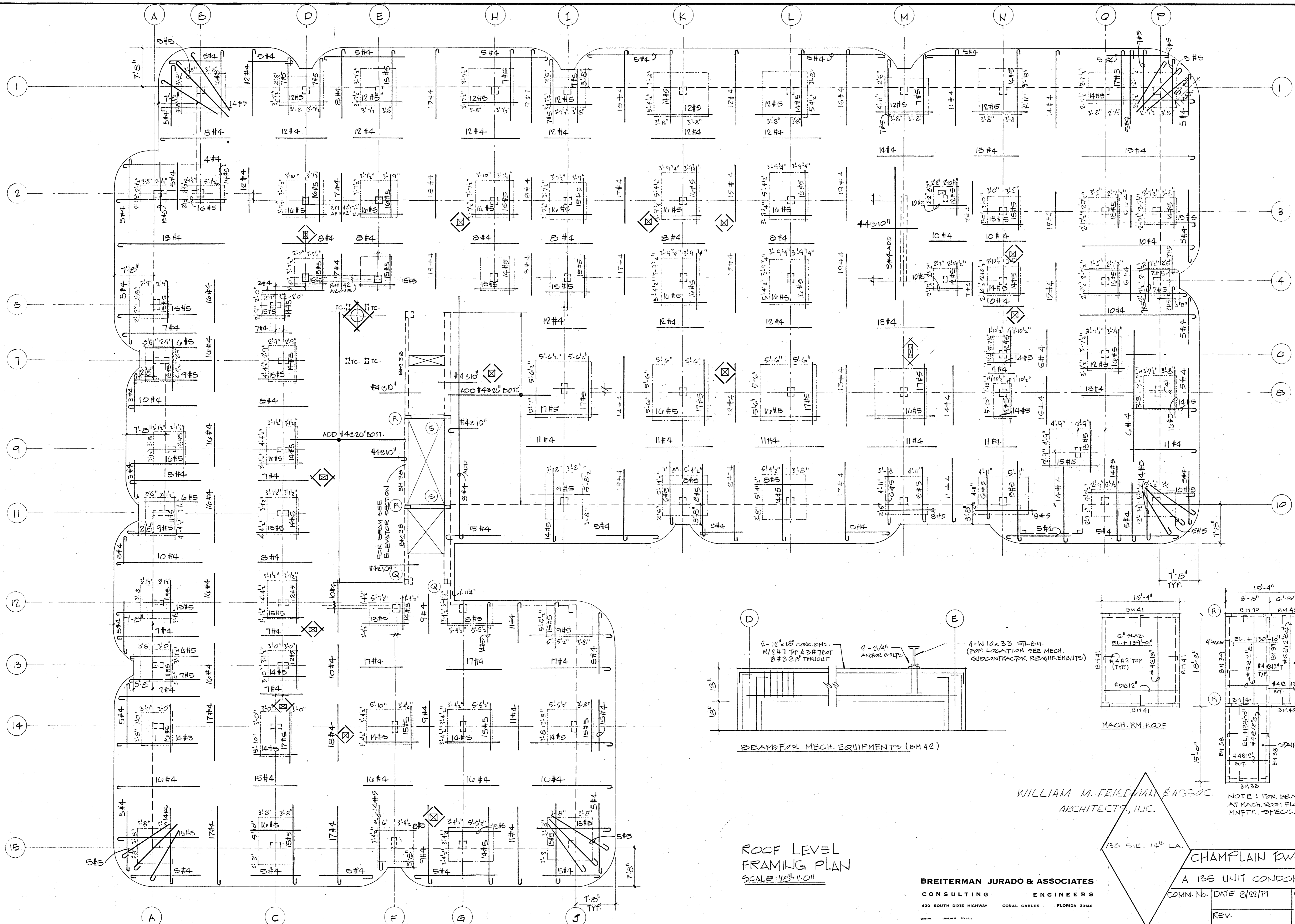
123 S.E. 14TH LA.

CHAMPLAIN TOWERS SOUTH

A 155 UNIT CONDOMINIUM

COMM. NO.	DATE 8/27/79	SHEET NO.
REV.		59 OF 14

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146



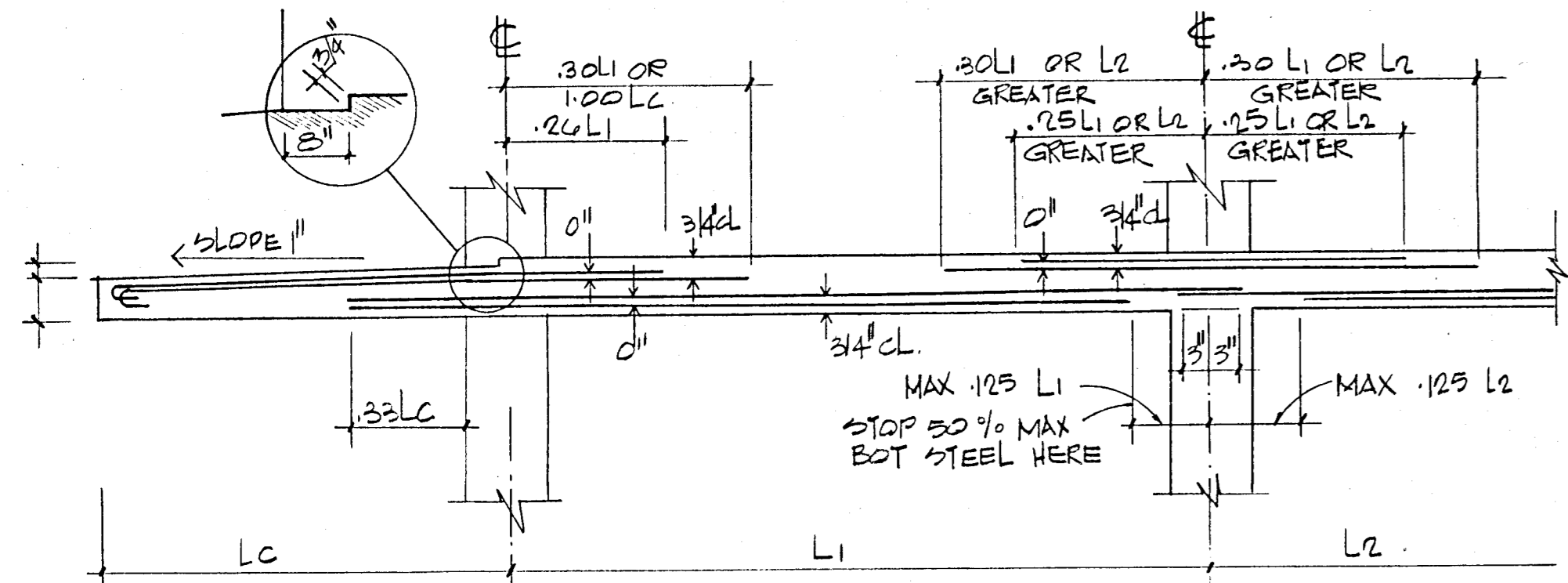
ROOF LEVEL
FRAMING PLAN
SCALE: 1/8" = 1'-0"

WILLIAM M. FRIEDMAN & ASSOC.
ARCHITECTS, I.L.C.

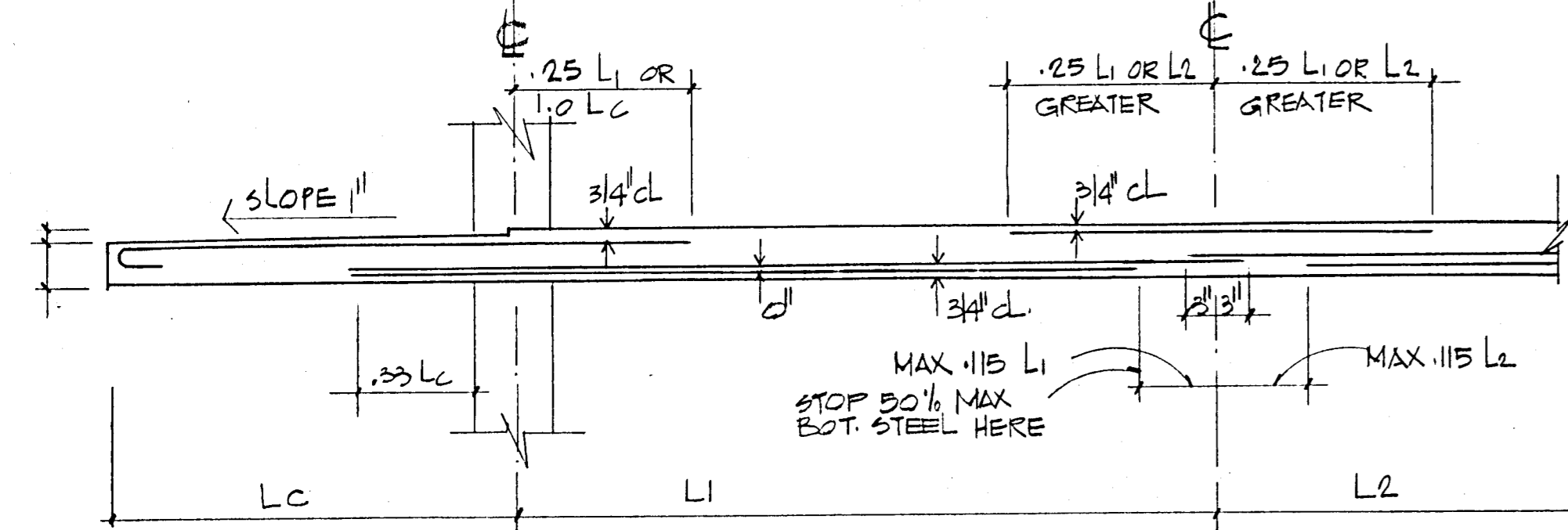
BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

CHAMPLAIN TOWERS SOUTH	
A 135 UNIT CONDOMINIUM	
COMM. NO. DATE 8/22/79	SHEET NO. 510 OF 14
REV.	

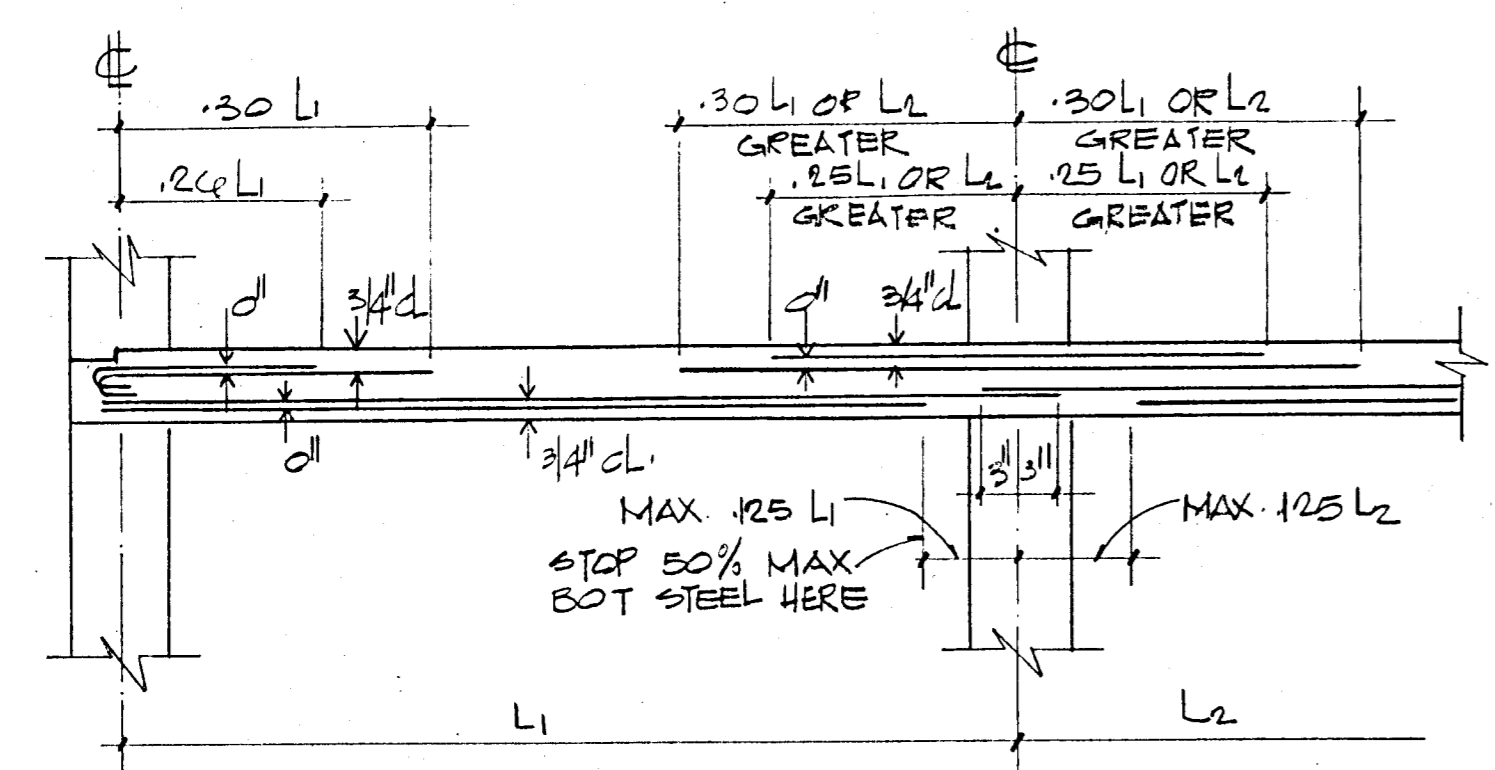
NOTE: FOR BEAM POCKETS AT MACH. ROOM FLOOR SEE MNFTR. SPECS.



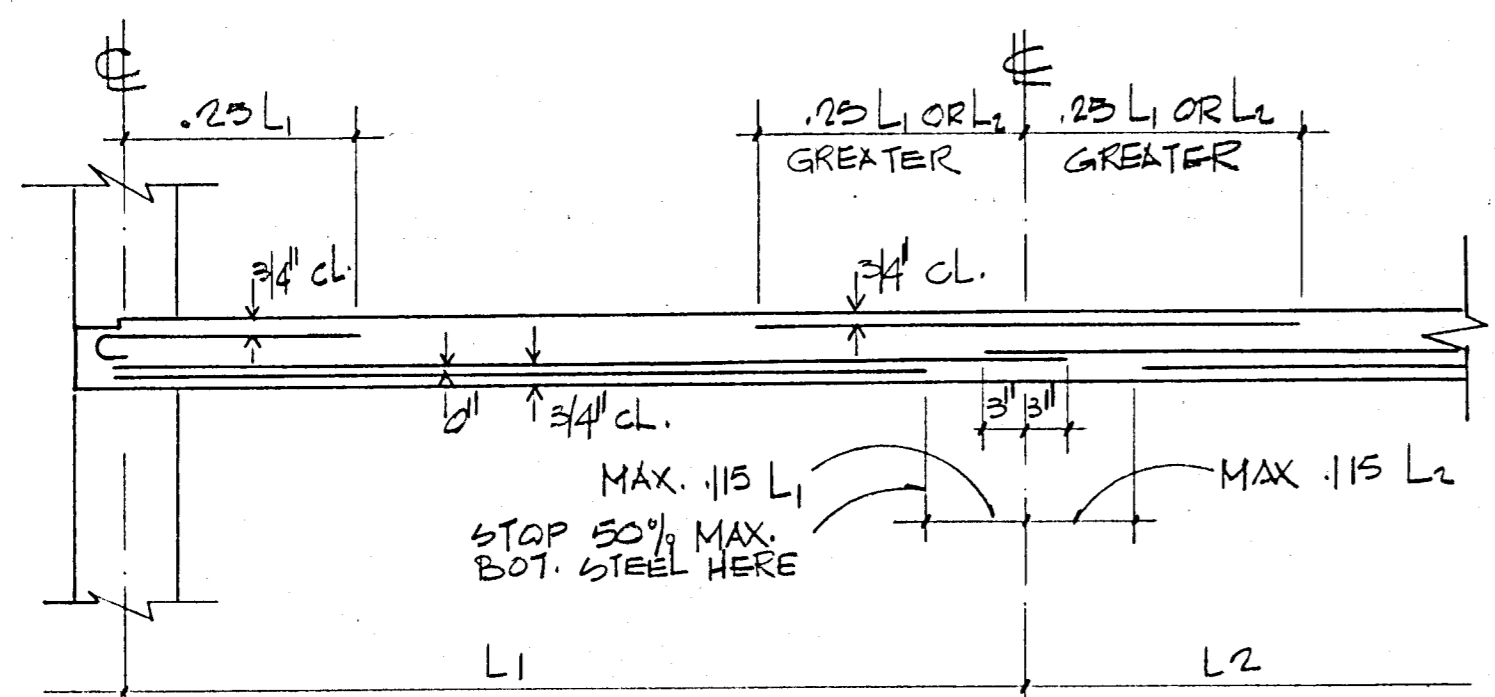
TYP. COLUMN STRIP WITH CANTILEVER
NTS



TYP. MIDDLE STRIP WITH CANTILEVER
NTS

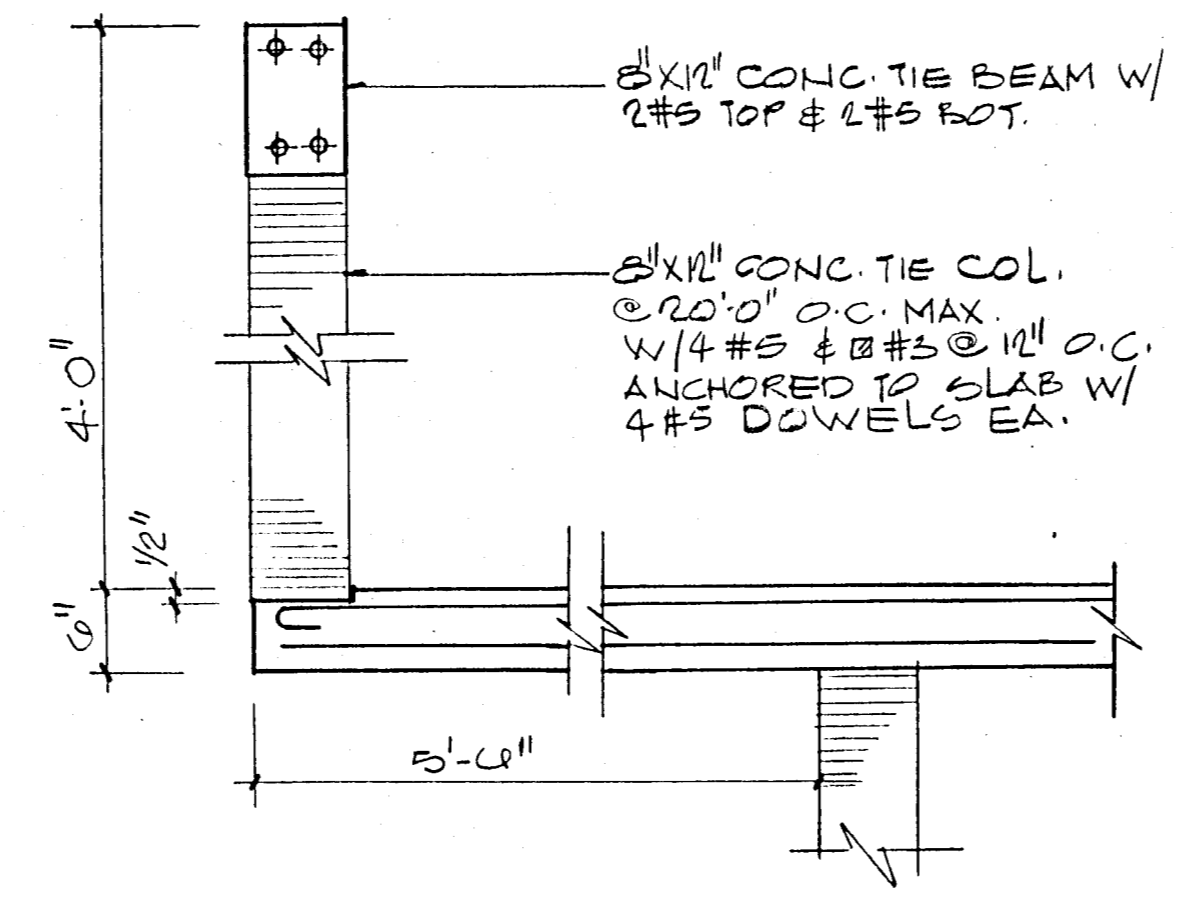


TYP. COLUMN STRIP
NTS

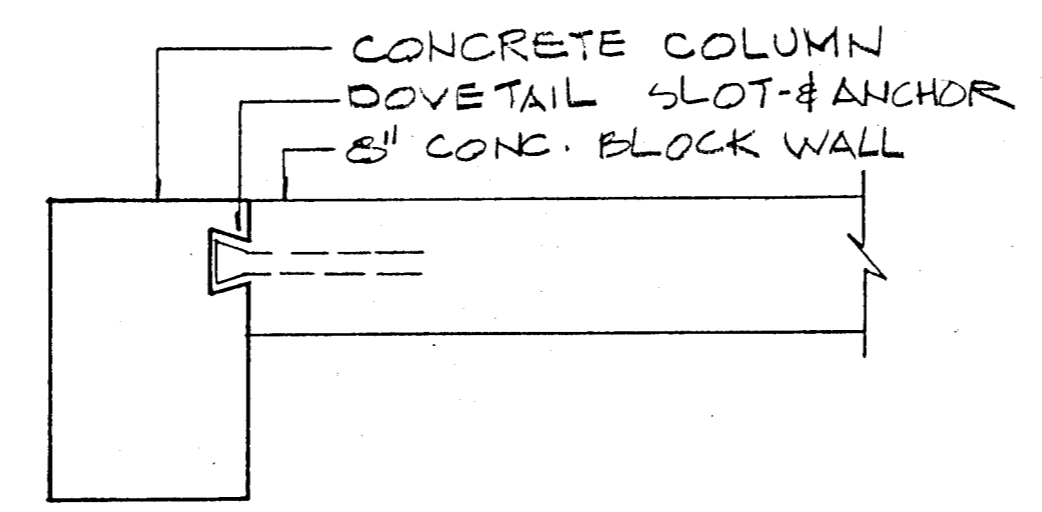


TYP. MIDDLE STRIP
NTS

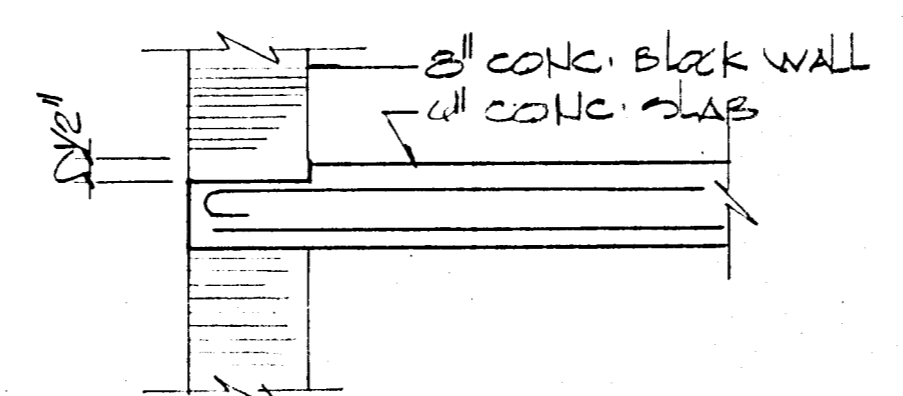
TYPICAL BAR DIAGRAM-FLAT SLABS
(UNLESS OTHERWISE NOTED)



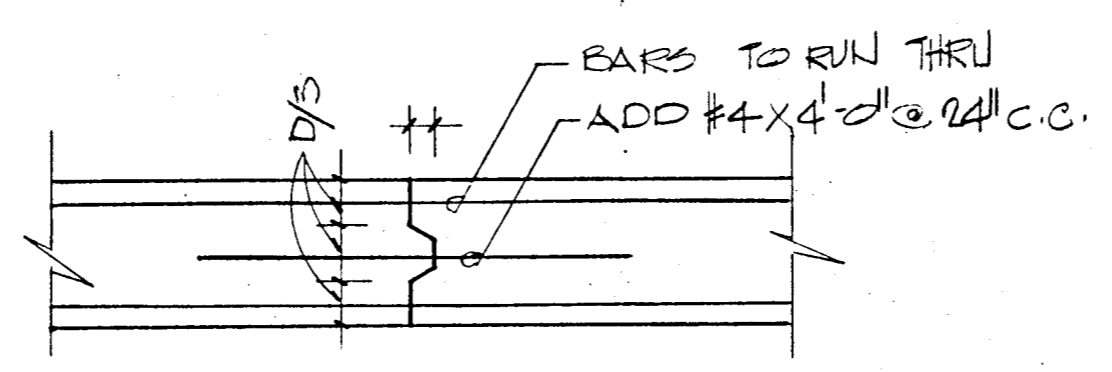
PARAPET DETAIL (TYPICAL)



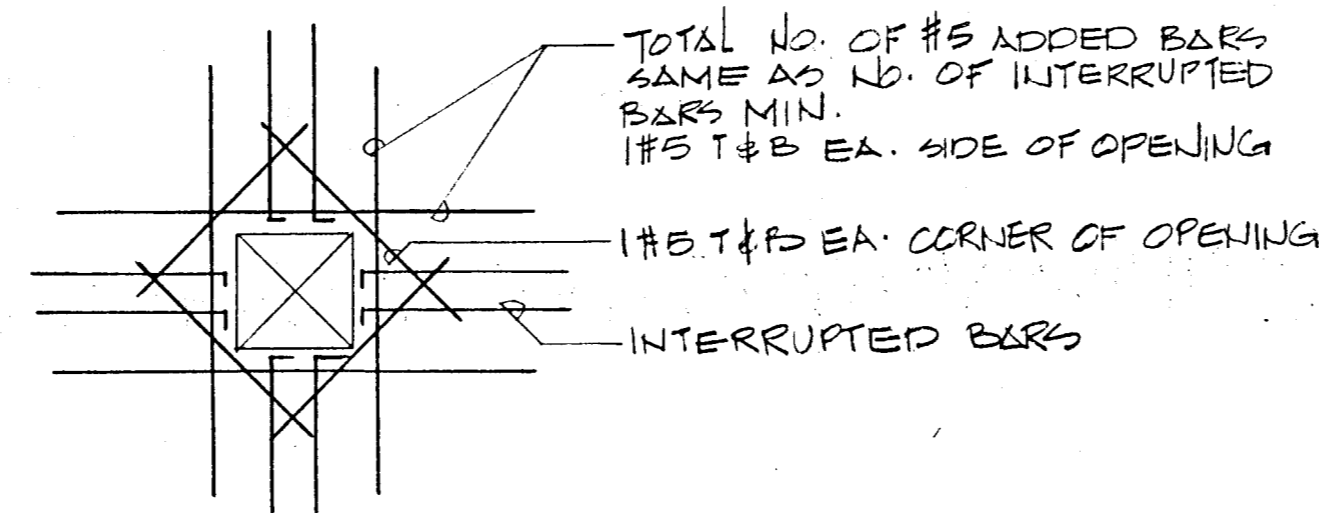
MASONRY ANCHORAGE DETAIL
NTS



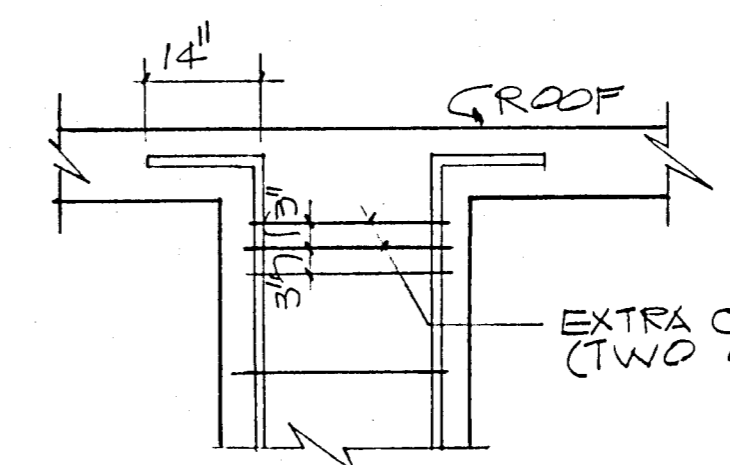
SLAB DEPRESSION
AT EXTERIOR WALLS



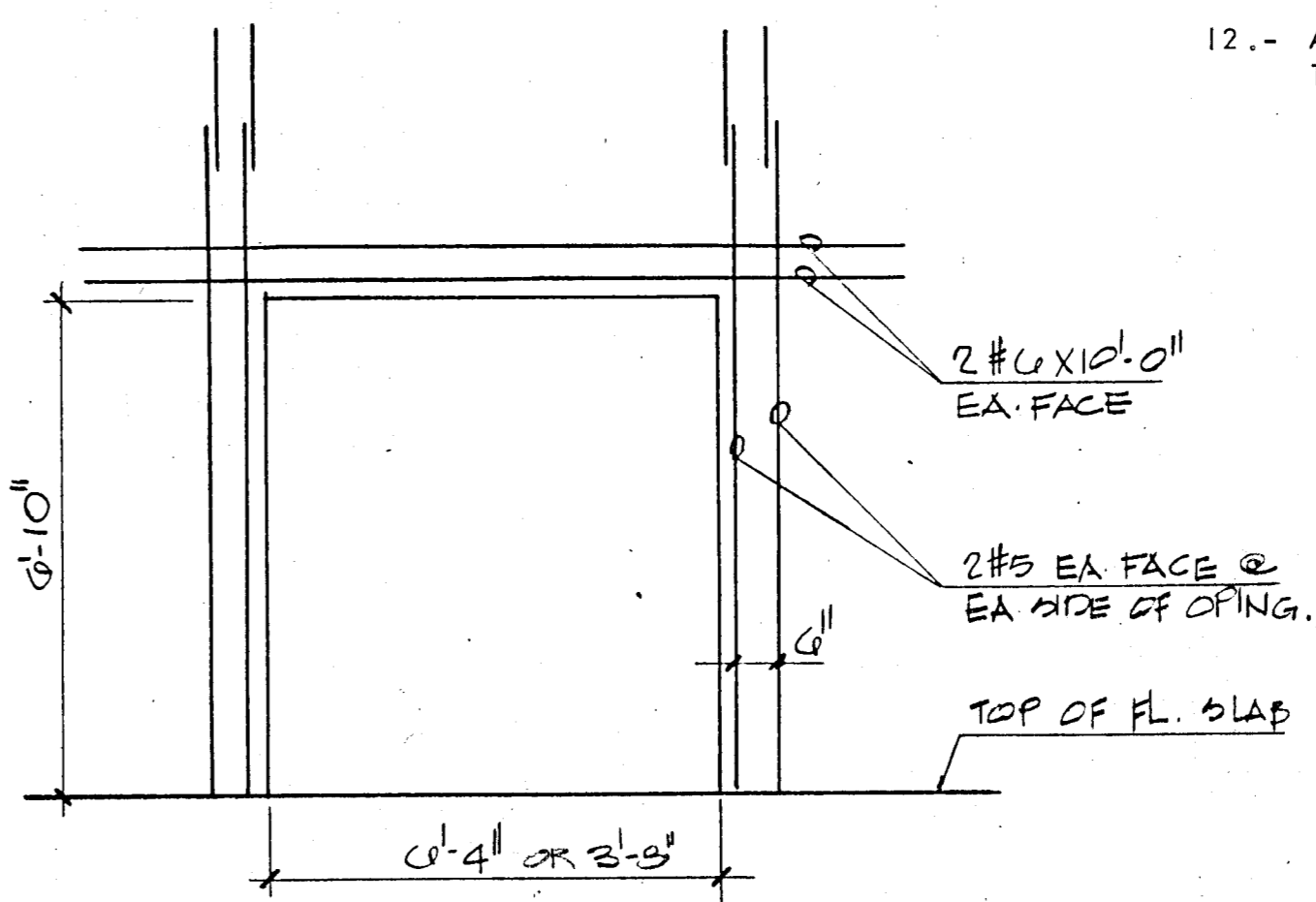
CONSTRUCTION JOINT DETAIL
NTS



SLAB OPENING DET



TYPICAL COLUMN
SPLICE DETAILS
NTS



SECTION THRU DOOR OPENING
AT SHEAR WALL

- GENERAL STRUCTURAL NOTES:-
- 1.- CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301-72 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" EXCEPT AS MODIFIED BY THE SUPPLEMENTAL REQUIREMENTS BELOW.
 - 2.- CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH WORK.
 - 3.- ALL PILES TO BE 14" x 14" PRECAST CONCRETE DRIVEN TO 50 TONS.
 - 4.- CONTRACTOR SHALL COORDINATE WITH ALL MECHANICAL & ELECTRICAL TRADES ALL SLAB OPENINGS & ELEVATOR DIMENSIONS. LOCATION OF OPENINGS IN SLAB IN EXCESS OF 8" SHOULD BE SUBMITTED TO A/E FOR APPROVAL.
 - 5.- REINFORCING BARS TO MEET ASTM A-615 GRADE 60, DETAILED AND PLACED IN ACCORDANCE WITH ACI-318-77, AND SFBC 1976 EDITION. REINFORCING TO BE HELD SECURELY IN POSITION WITH STANDARD ACCESSORIES DURING PLACING OF CONCRETE. WELDED WIRE FABRIC TO COMPLY WITH ASTM A-185.
 - 6.- ALL CONCRETE STRENGTH TO BE AS SHOWN ON PLANS. IF NOT OTHERWISE SPECIFIED F'C = 3,000 PSI.
 - 7.- VERTICAL CONSTRUCTION JOINTS, USING APPROVED BULKHEADS, CAN BE MADE AT CENTER OF BEAM OR SLAB IF REQUIRED. NO HORIZONTAL CONSTRUCTION JOINTS SHALL BE MADE IN BEAMS OR SLABS.
 - 8.- SEE ARCHITECTURAL DRAWINGS FOR ELEVATIONS.
 - 9.- TIE BEAMS (MARKED T.B.) REFER TO 8 X 12 INCHES TIE BEAMS REINFORCED WITH 2 #5 TOP AND 2 #5 BOTT. TIE COLUMNS (MARKED T.C.) ARE 8 X 12 INCHES TIE COLUMNS REINFORCED WITH 4 #5 BARS AND #2 TIES SPACED AT 12 INCHES O.C.
 - 10.- REINFORCING BAR SPLICED, WHERE REQUIRED SHALL BE DETAILED AND MADE IN ACCORDANCE WITH AC-318-77.
 - 11.- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL ORDINANCES.
 - 12.- ALL PRECAST PRESTRESSED UNITS TO BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH APPLICABLE ACI STANDARDS.

FLAT PLATE SECTIONS
AND DETAILS
NTS

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

133 S.E. 14th ST.

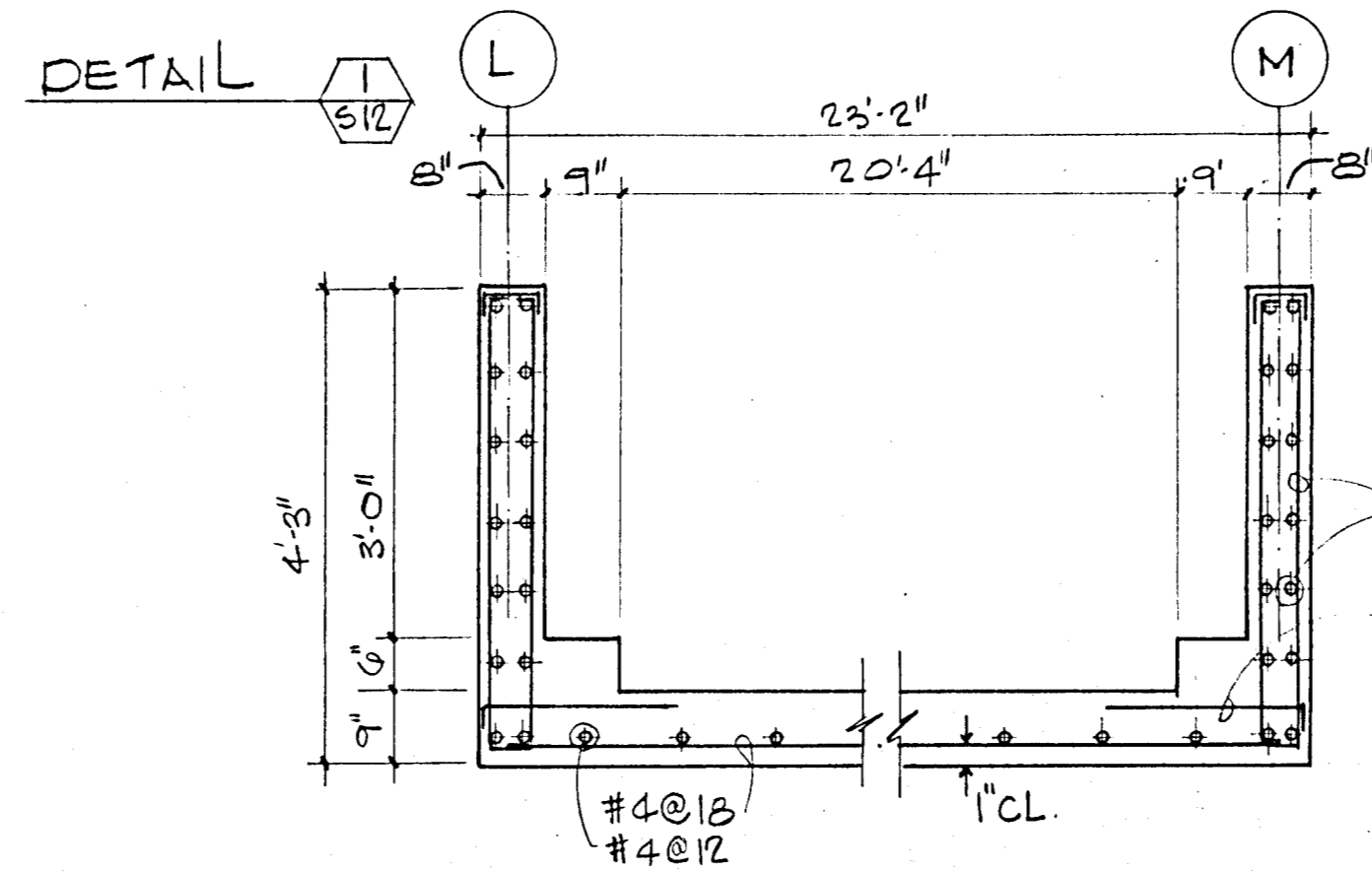
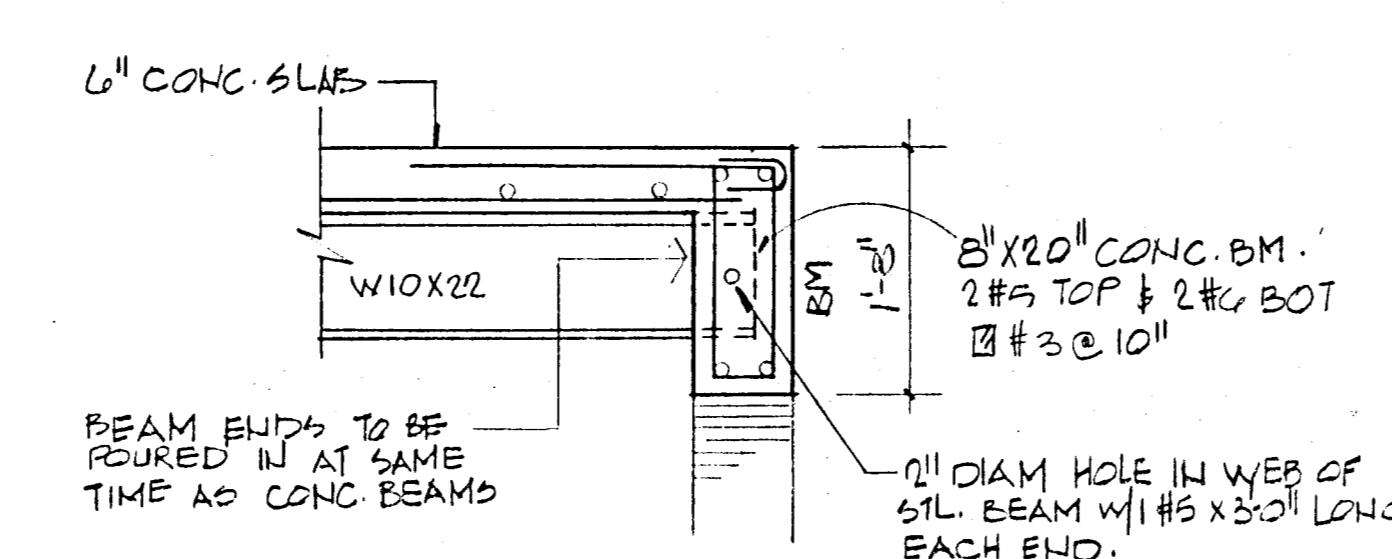
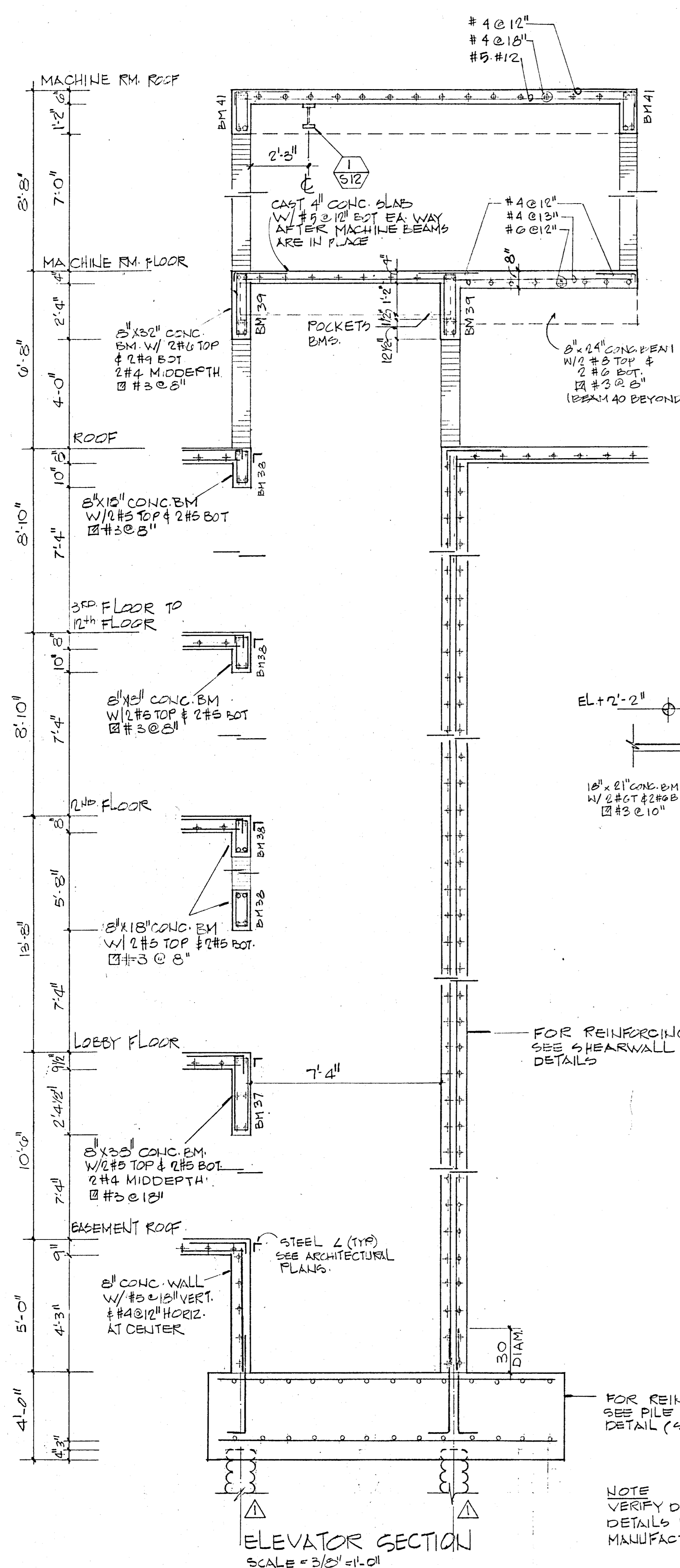
CHAMPLAIN TOWERS SOUTH

A 133 UNIT CONDOMINIUM

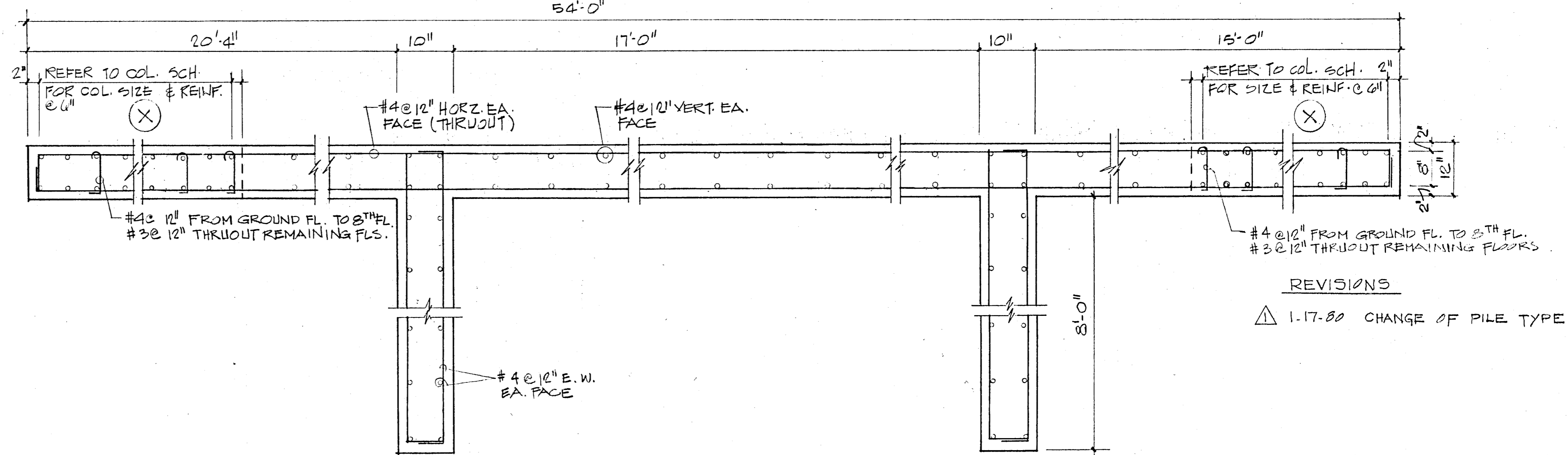
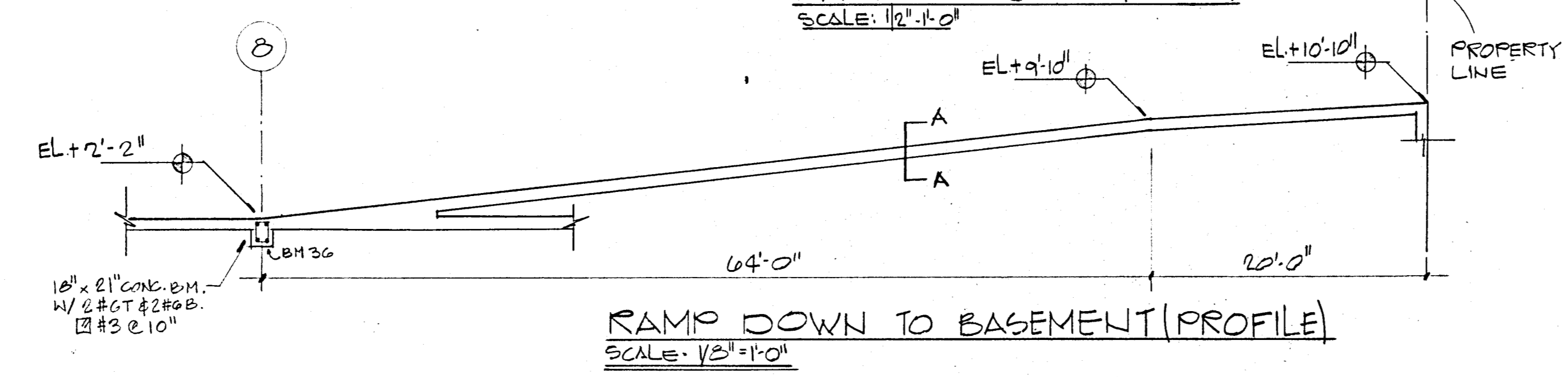
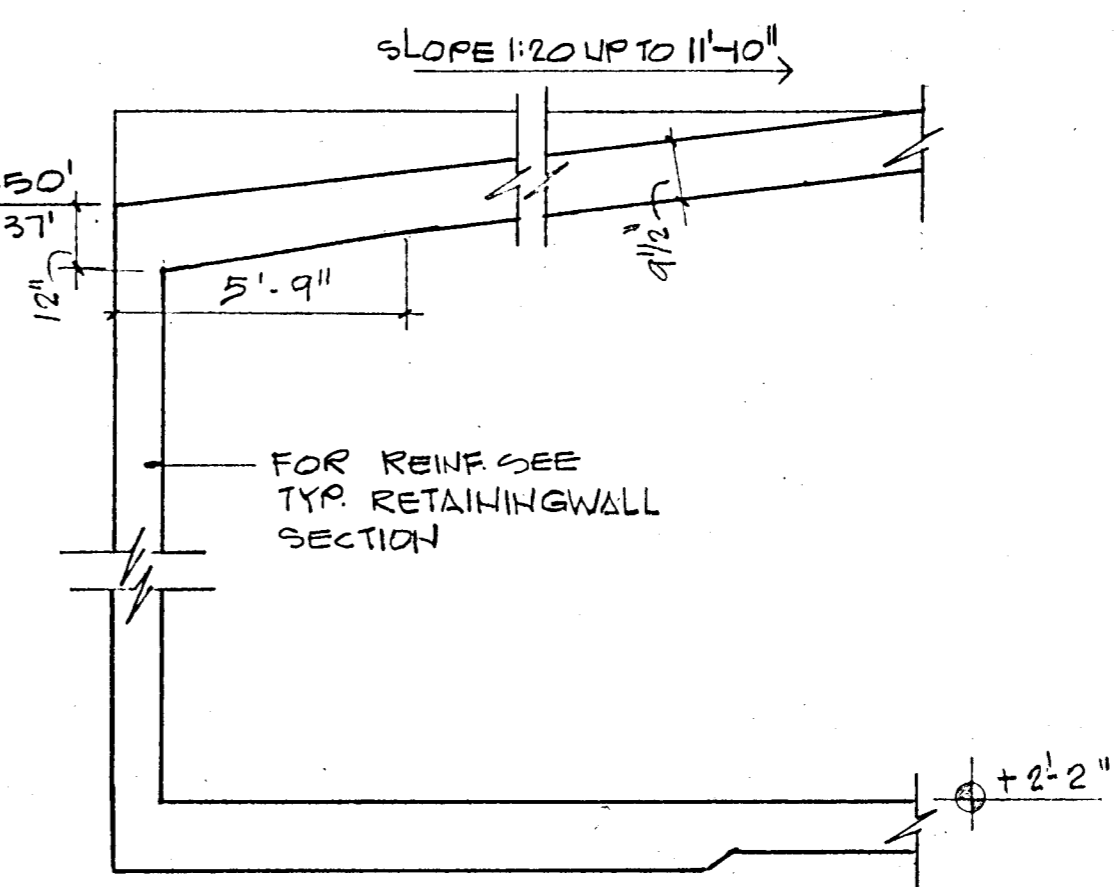
COMM. NO. DATE 8/22/77 SHEET NO. 511 OF 14

REV.

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

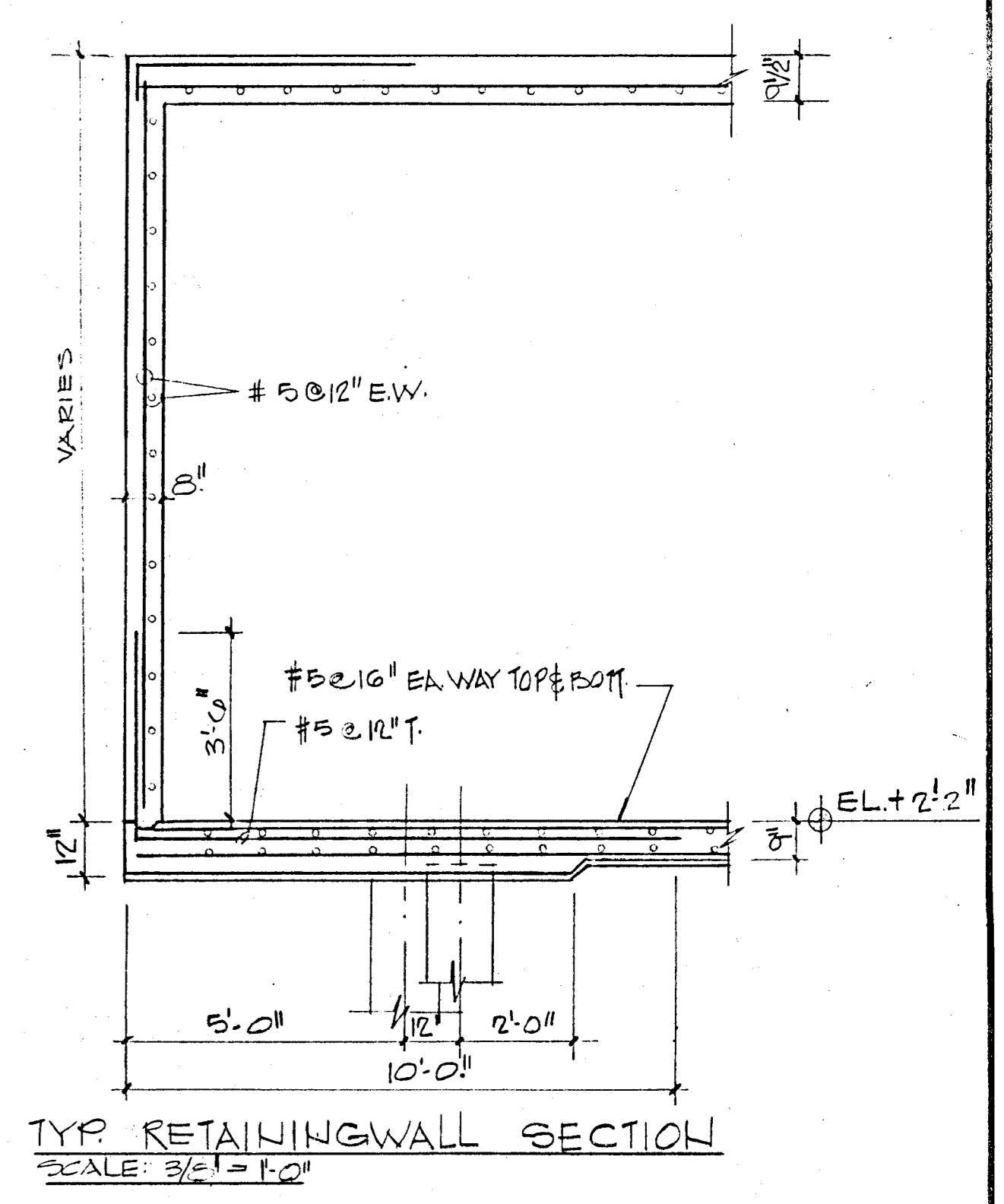


REINF. DETAIL FOR SHEAR WALL
SCALE: 3/4" = 1'-0"



REINFORCEMENT DETAIL FOR SHEAR WALL
SCALE: 3/4" = 1'-0"

PARTIAL SECTIONS PLAN
SCALE: 3/8" = 1'-0"



REVISIONS

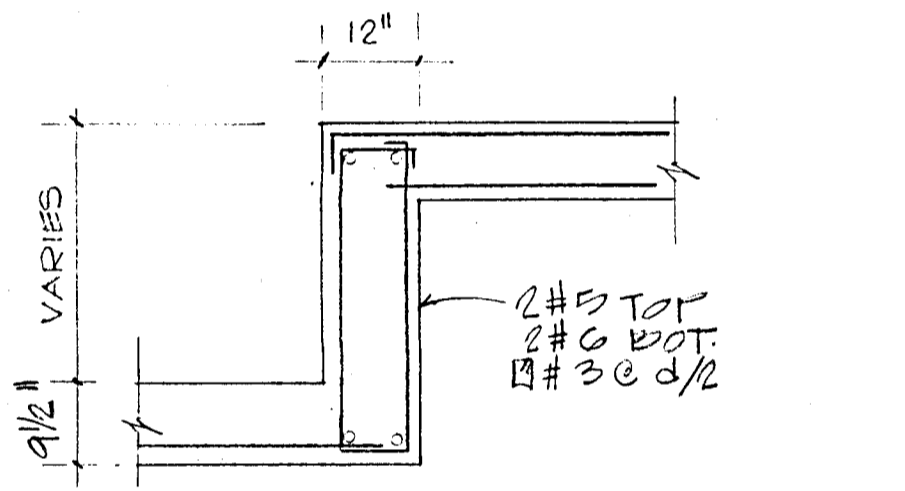
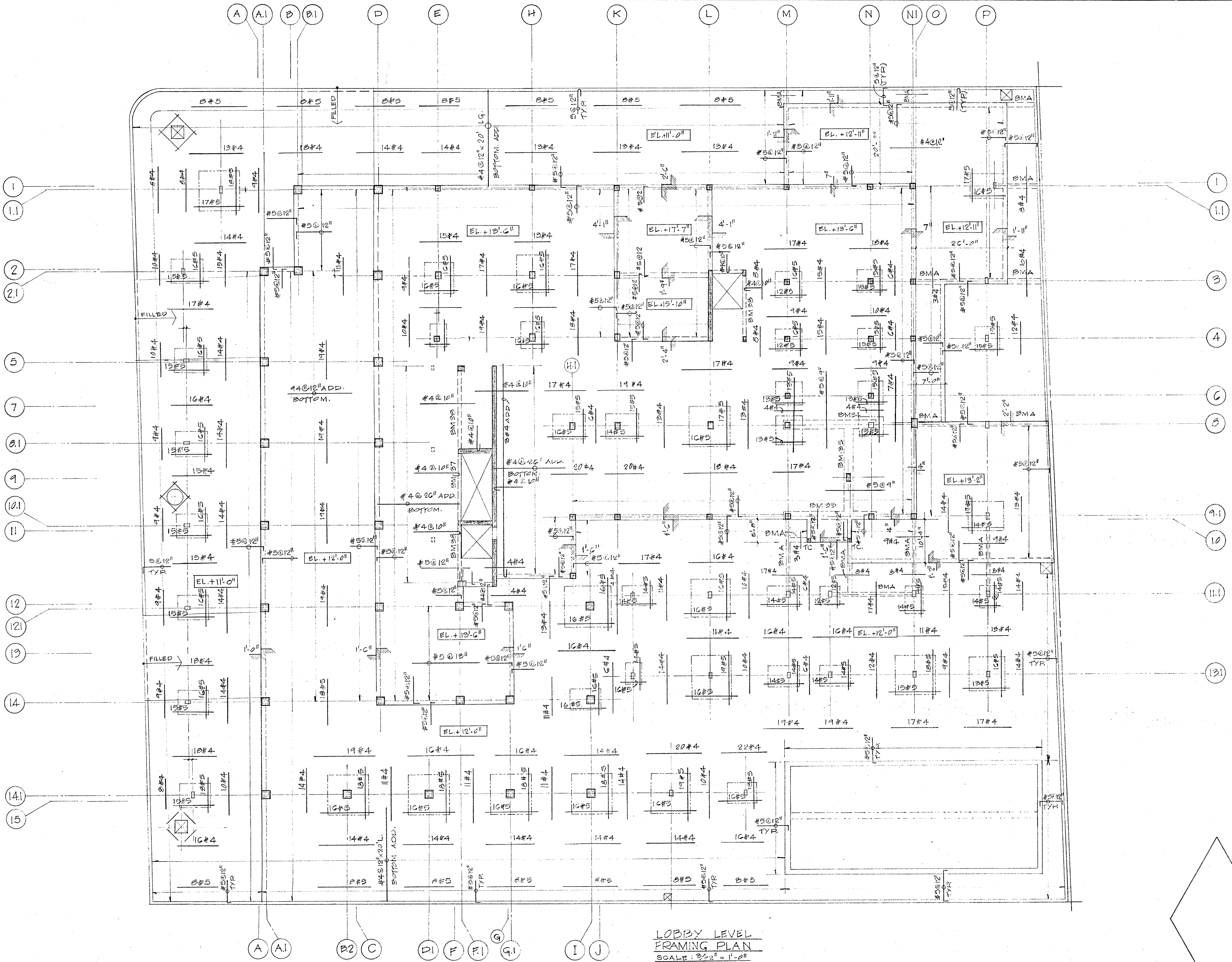
1-17-80 CHANGE OF PILE TYPE

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

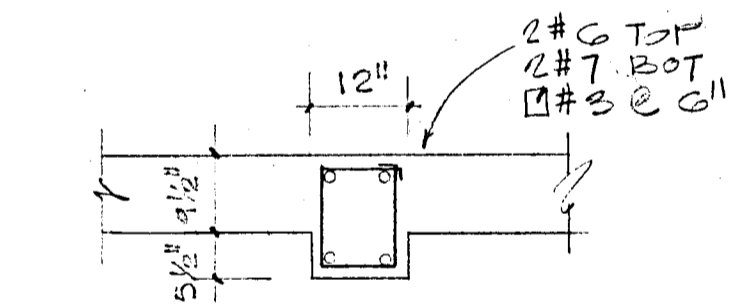
BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

CHAMPLAIN TOWERS SOUTH
A 135 UNIT CONDOMINIUM
COMM. NO. DATE: 8/22/79 SHEET NO. 512 OF 14
REV.

NOTE
VERIFY DIMENSIONS AND
DETAILS WITH ELEVATOR
MANUFACTURER SPECIFICATIONS



DETAIL AT SLAB DROPS (TYP.)



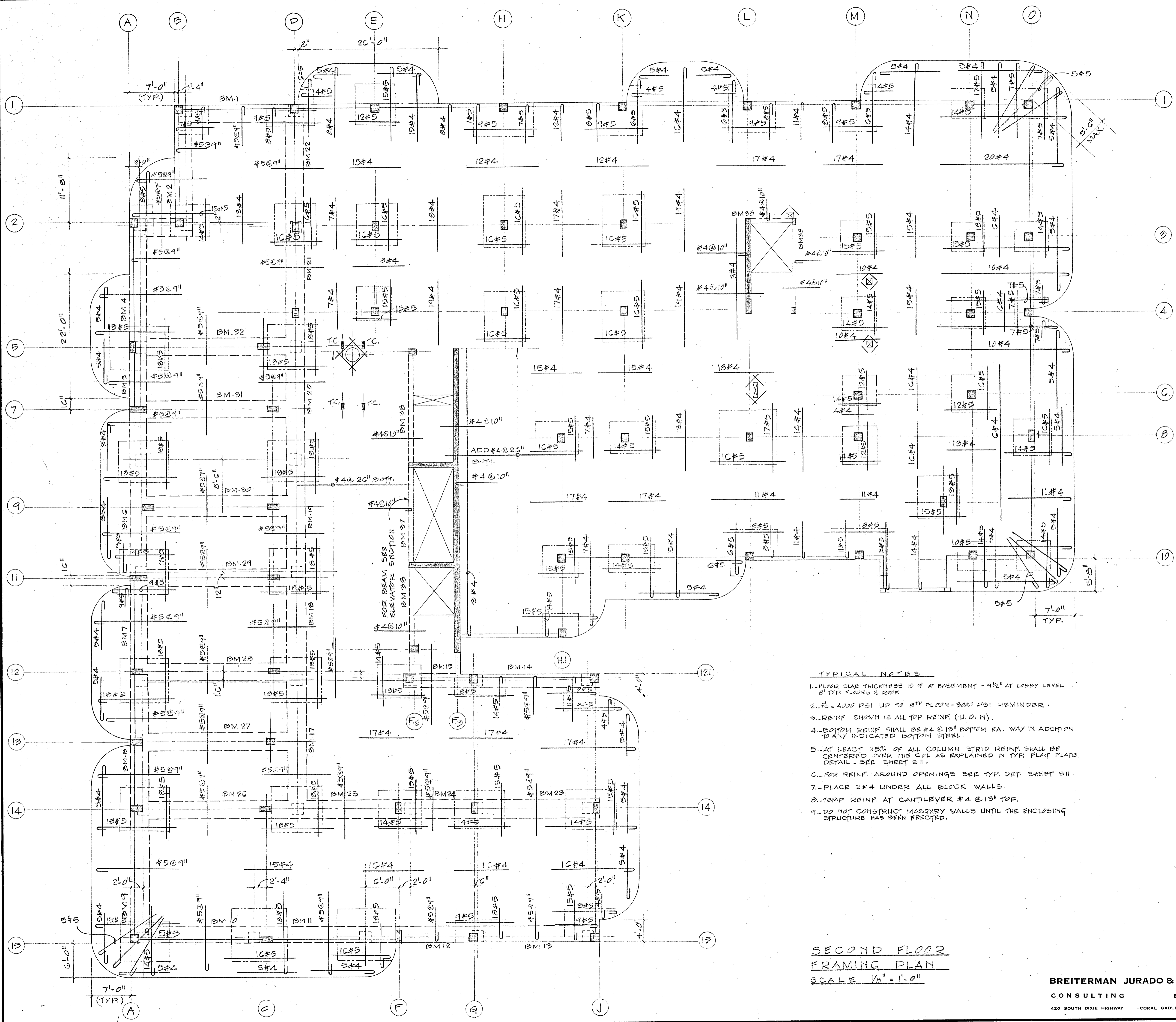
BEAMS TYPE A

NOTE: BOTTOM REINFS SHALL BE #4@12" FROM EA. WAY IN ADDITION TO ANY INDICATED STEEL.

LOBBY LEVEL
FRAMING PLAN
SCALE: 3/4" = 1'-0"

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

CHAMPLAIN TOWERS NORTH COLLINS AVE.		
A12 UNIT CONDOMINIUM		
COMM. No.	DATE: H-C-79	SHEET
REV.		55 of 14



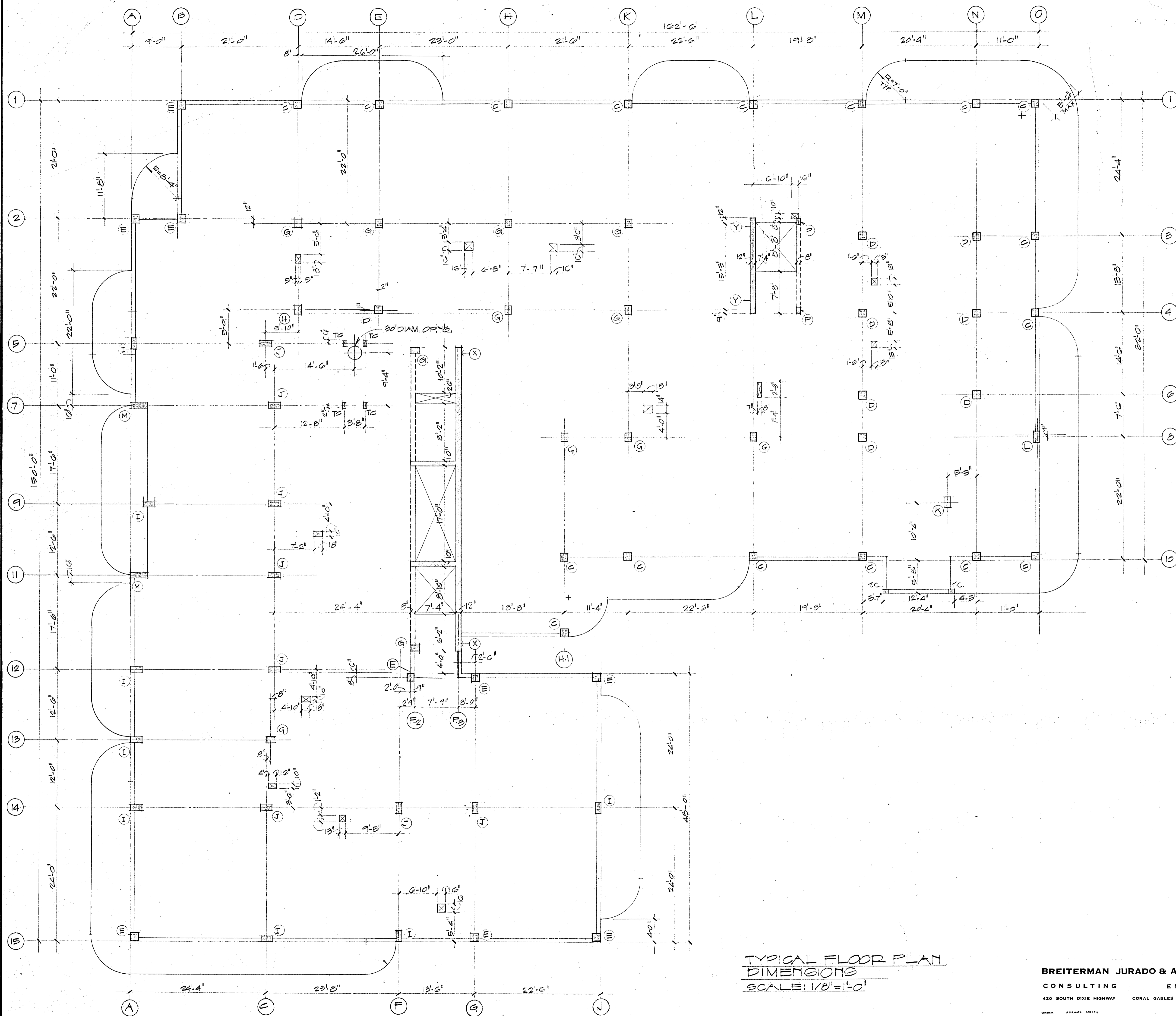
- TYPICAL NOTES**
1. FLOOR SLAB THICKNESS 10" AT BASEMENT - 9 1/2" AT LOBBY LEVEL 8" TYP FLOORS & ROOF.
 2. f_c = 4000 PSI UP TO 8TH FLOOR - 3000 PSI REMINDER.
 3. REINF SHOWN IS ALL TOP REINF (U.O.N).
 4. BOTTOM REINF SHALL BE #4 @ 13" BOTTOM EA. WAY IN ADDITION TO ANY INDICATED BOTTOM STEEL.
 5. AT LEAST 25% OF ALL COLUMN STRIP REINF SHALL BE CENTERED OVER THE COL AS EXPLAINED IN TYP. FLAT PLATE DETAIL - SEE SHEET S11.
 6. FOR REINF. AROUND OPENINGS SEE TYP. DET. SHEET S11.
 7. PLACE #4 UNDER ALL BLOCK WALLS.
 8. TEMP. REINF. AT CANTILEVER #4 @ 13" TOP.
 9. DO NOT CONSTRUCT MASONRY WALLS UNTIL THE ENCLOSING STRUCTURE HAS BEEN FRECTED.

**SECOND FLOOR
FRAMING PLAN**
SCALE 1/8" = 1'-0"

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

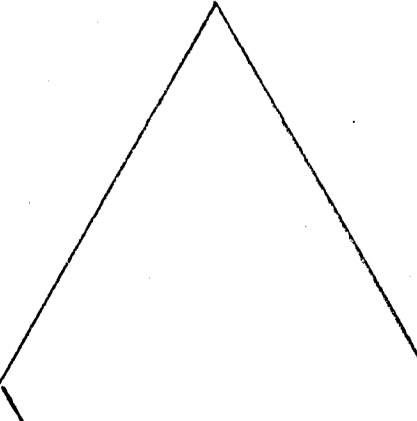
CHAMPLAIN TOWERS NORTH
8777 COLLINS AVE.
A 112 UNIT CONDOMINIUM

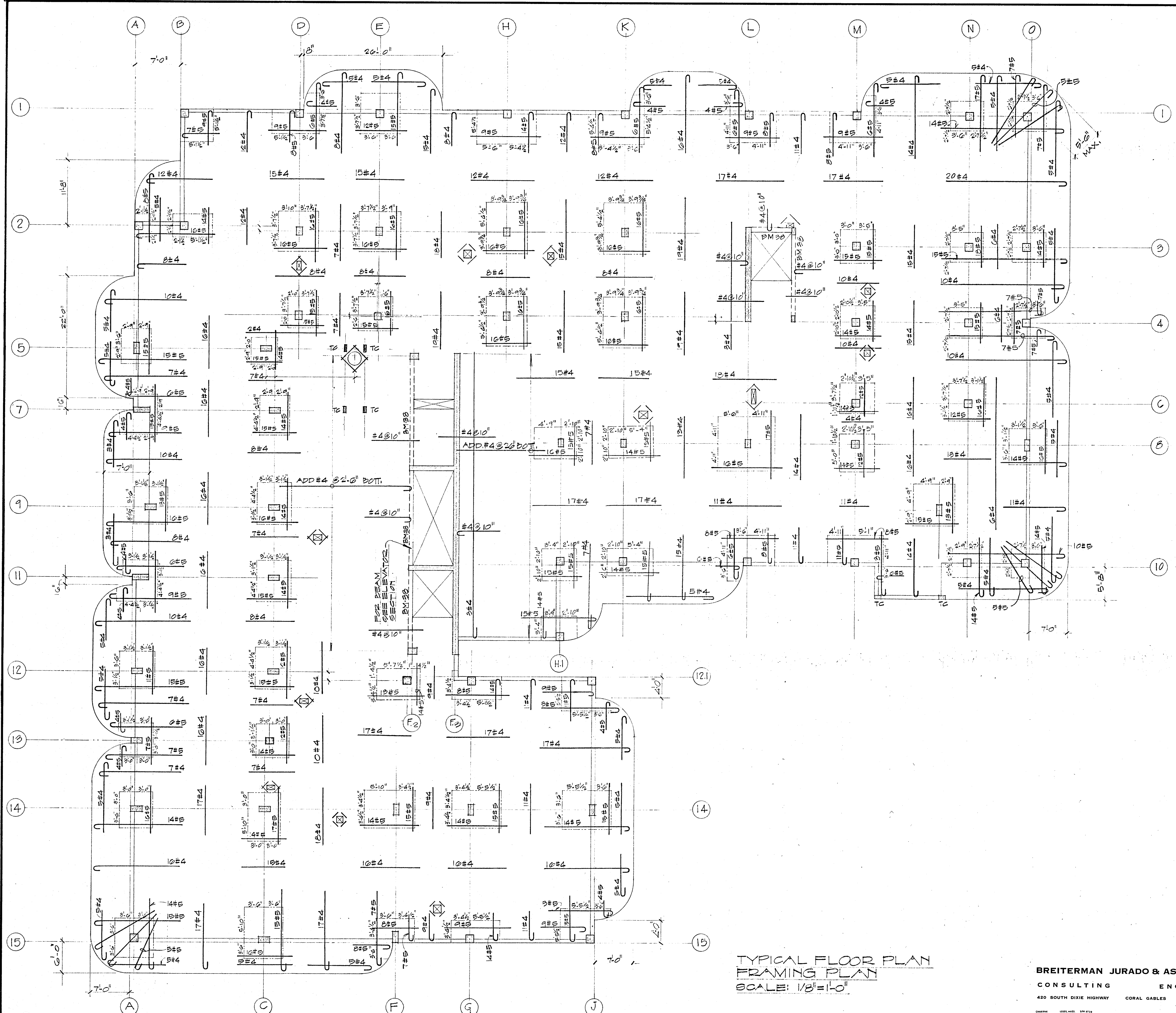
COMM. NO.	DATE: 11-6-79	SHEET
REV:		56 of 14



TYPICAL FLOOR PLAN
DIMENSIONS
SCALE: 1/8" = 1'-0"

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

			CHAMPLAIN TOWERS NORTH	
			277 COLLINS AVE.	
		A-112 UNIT CONDOMINIUM		
COMM. No.	DATE:	SHEET		
71000	11-C-79	57 of 14		
	REV.			

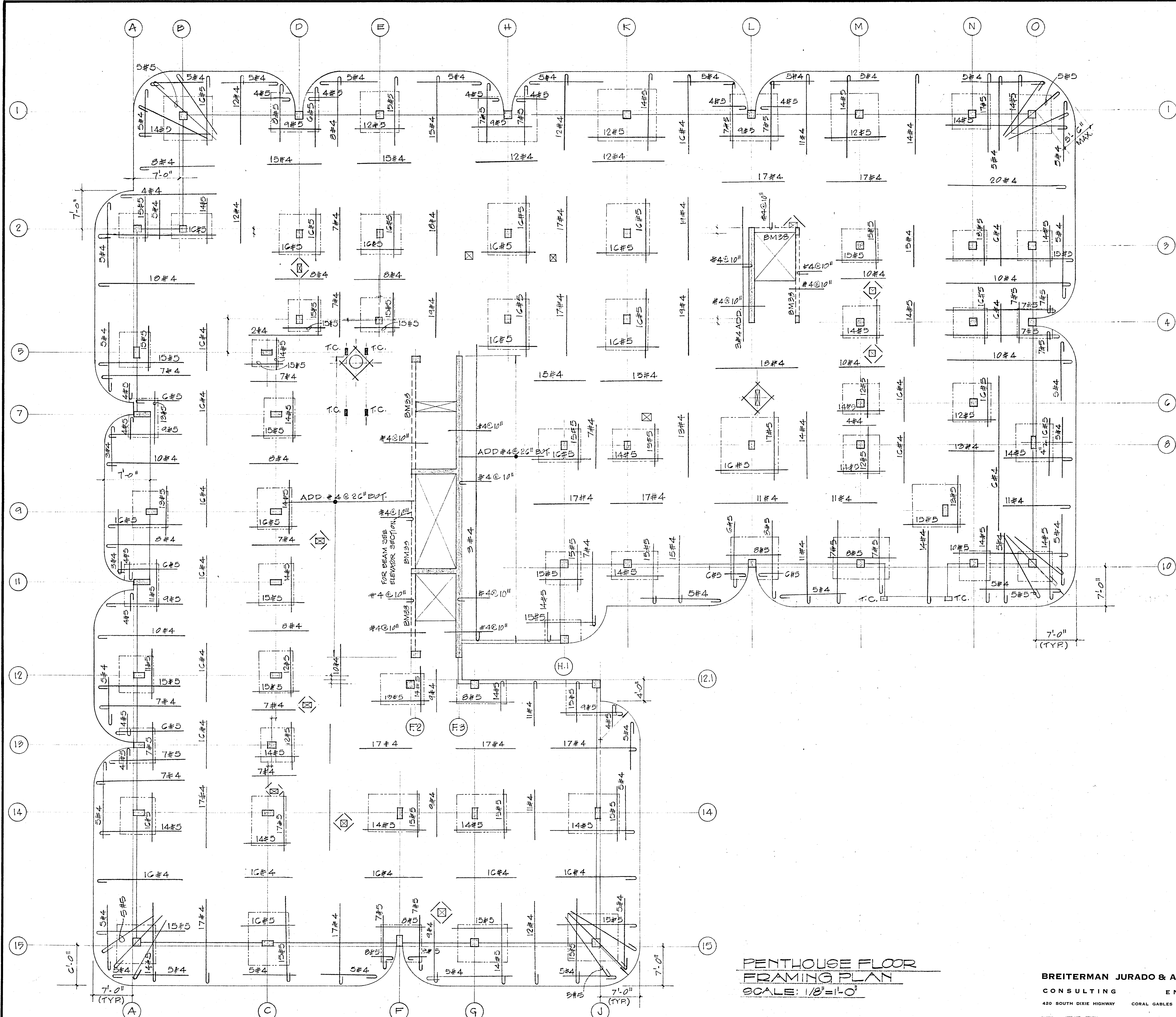


TYPICAL FLOOR PLAN
FRAMING PLAN
SCALE: 1/8"=1'-0"

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

CHAMPLAIN TOWERS NORTH
2777 COLLINS AVE.
A 112 UNIT CONDOMINIUM

COMM. No. 79020	DATE: 11-6-79	SHEET. No. 53 of 14
REV.		



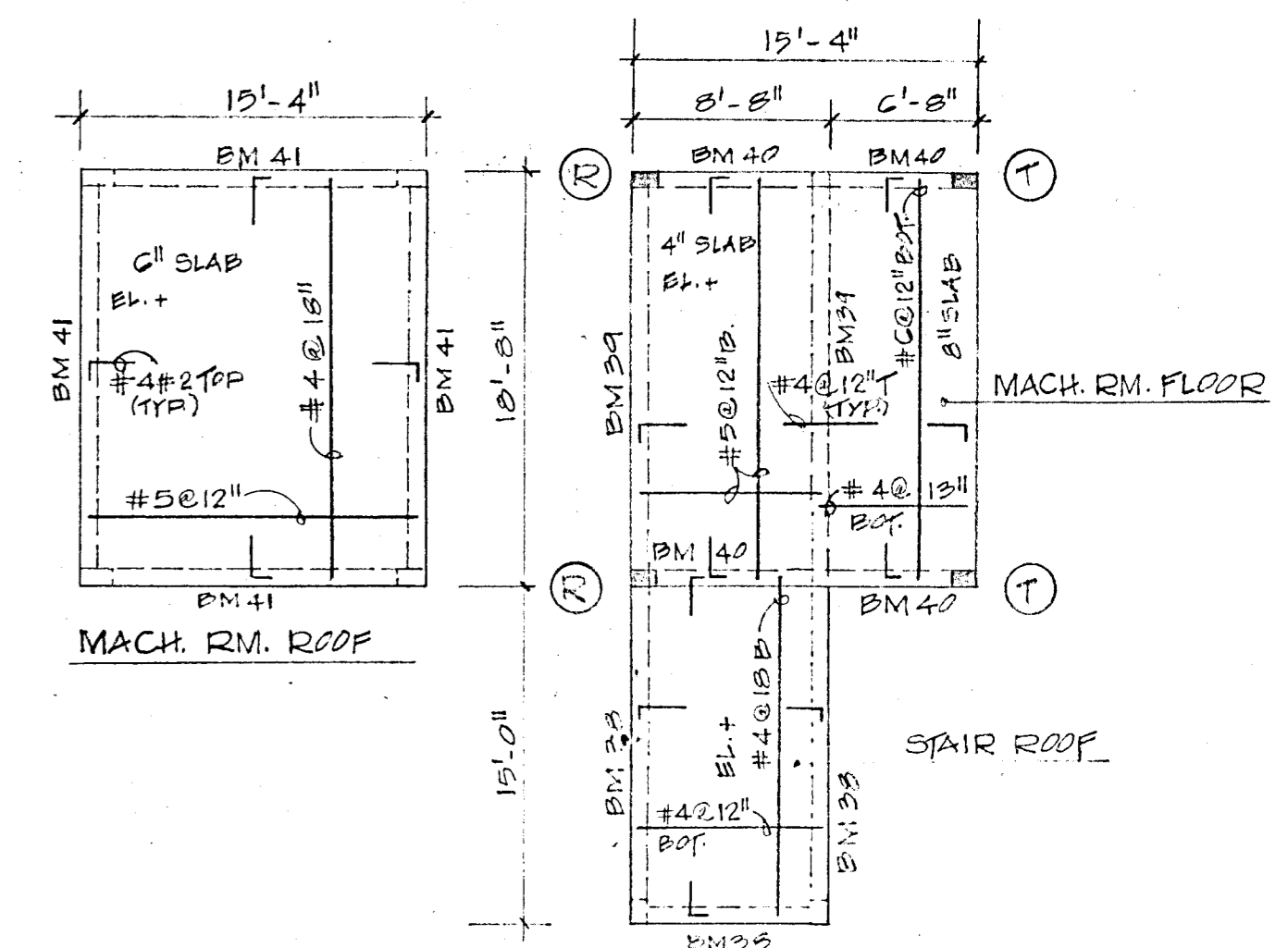
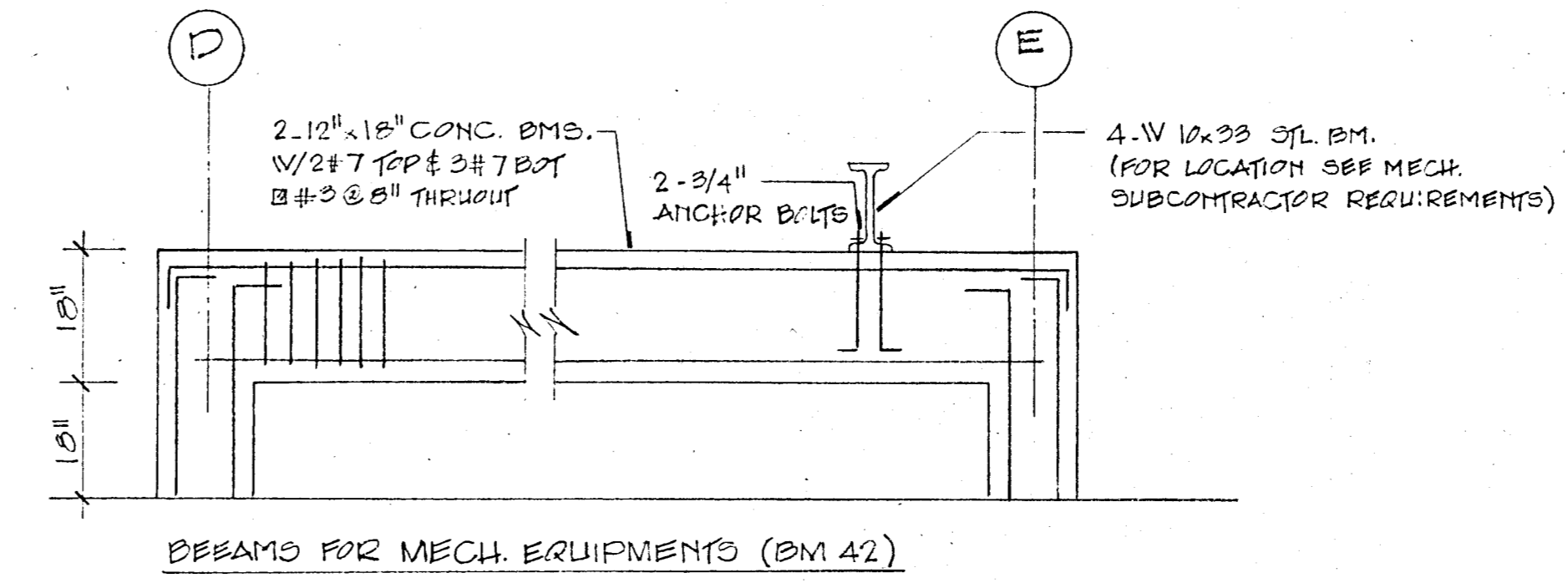
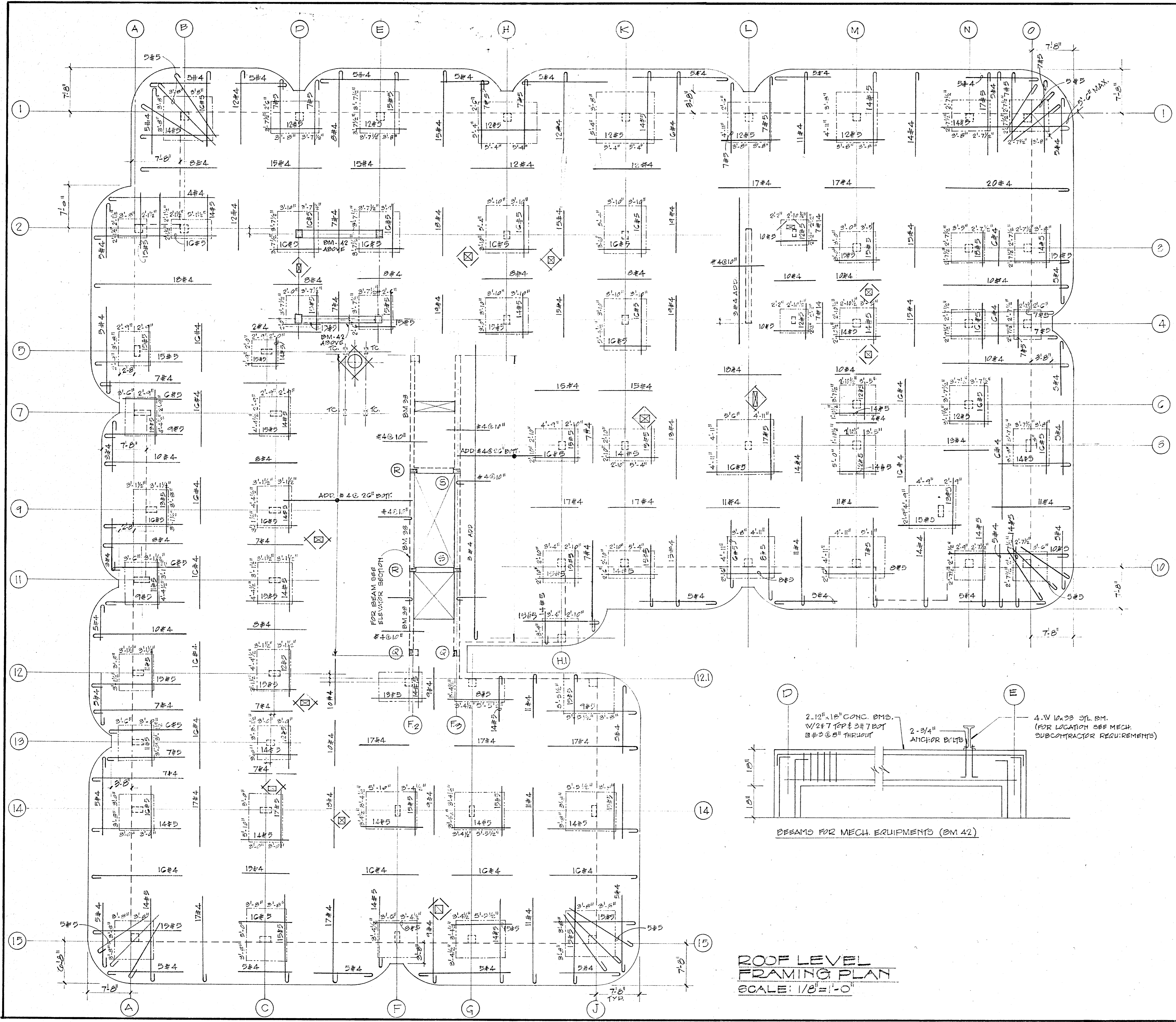
**PENTHOUSE FLOOR
FRAMING PLAN**
SCALE: 1/8" = 1'-0"

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

CHAMPLAIN TOWERS NORTH
177 COLLINS AVE.
A 112 UNIT CONDOMINIUM

COMM. No. 79222	DATE: 11-6-77	SHEET: 39 OF 14
REV.		

[Handwritten Signature]

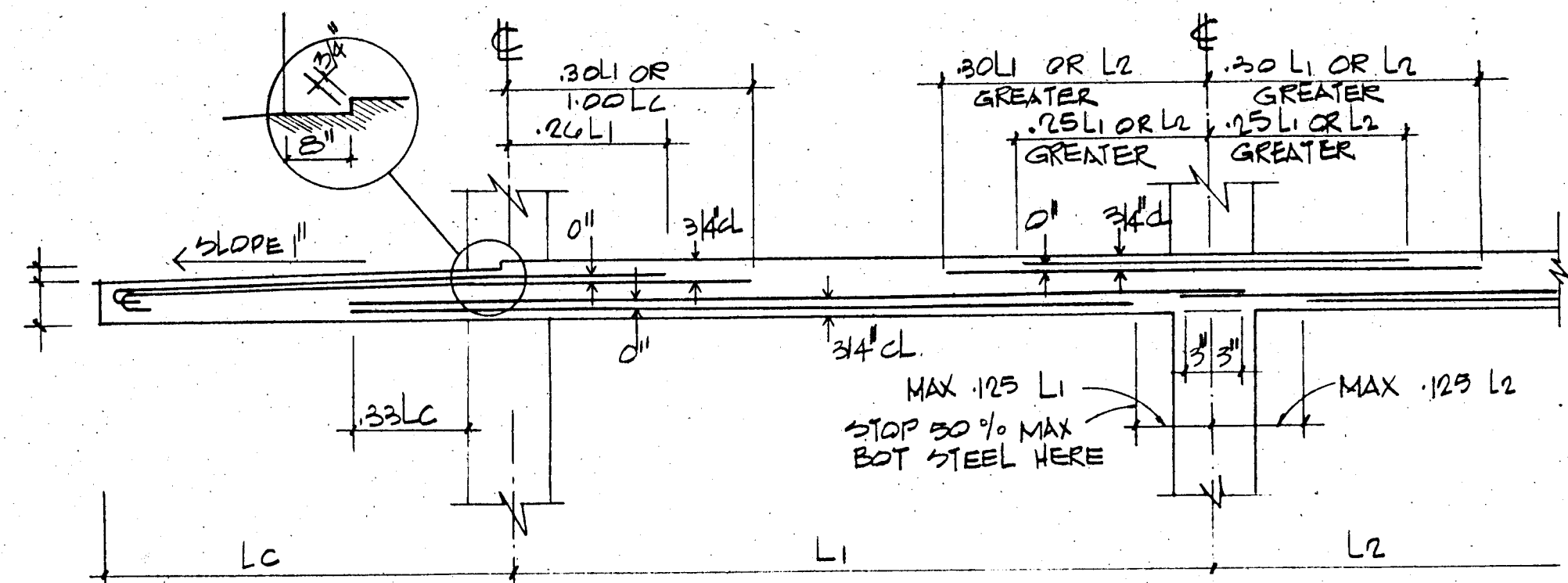


NOTE: FOR BEAM PACKETS AT MACH. ROOM FLOOR SEE M.F.P.R. SPECS.

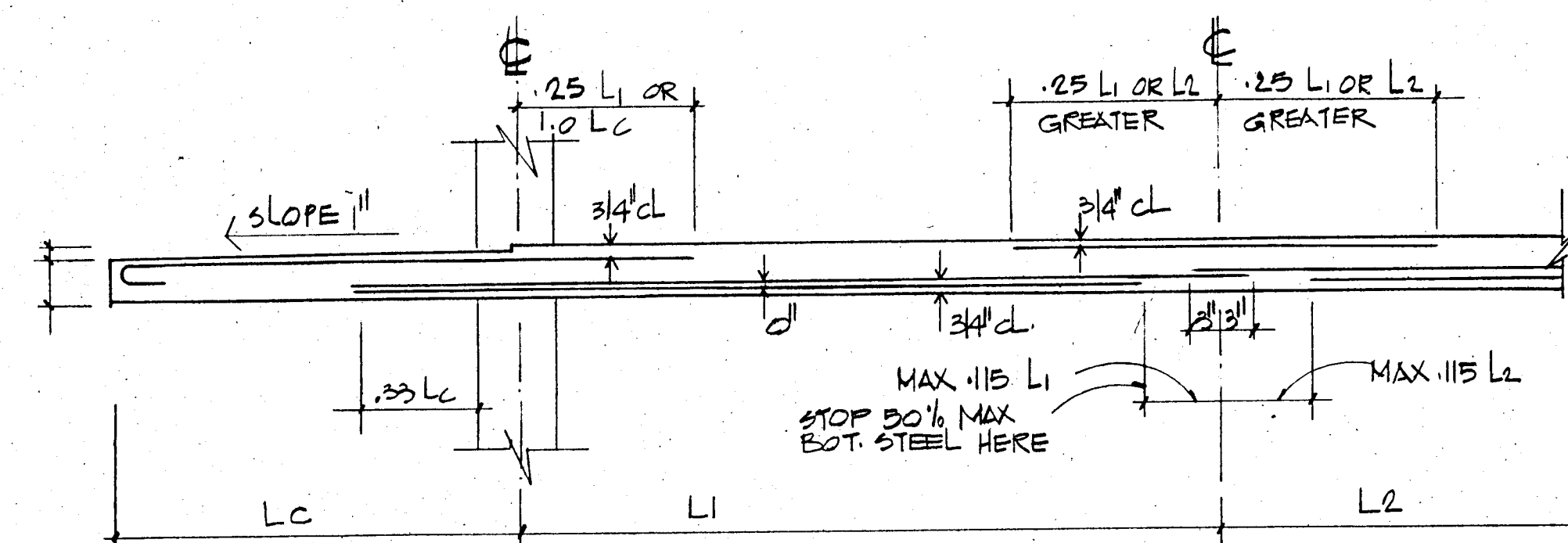
ROOF LEVEL FRAMING PLAN
SCALE: 1/8" = 1'-0"

CHAMPLAIN TOWERS NORTH
8777 COLLINS AVE.
A-112 UNIT CONDOMINIUM

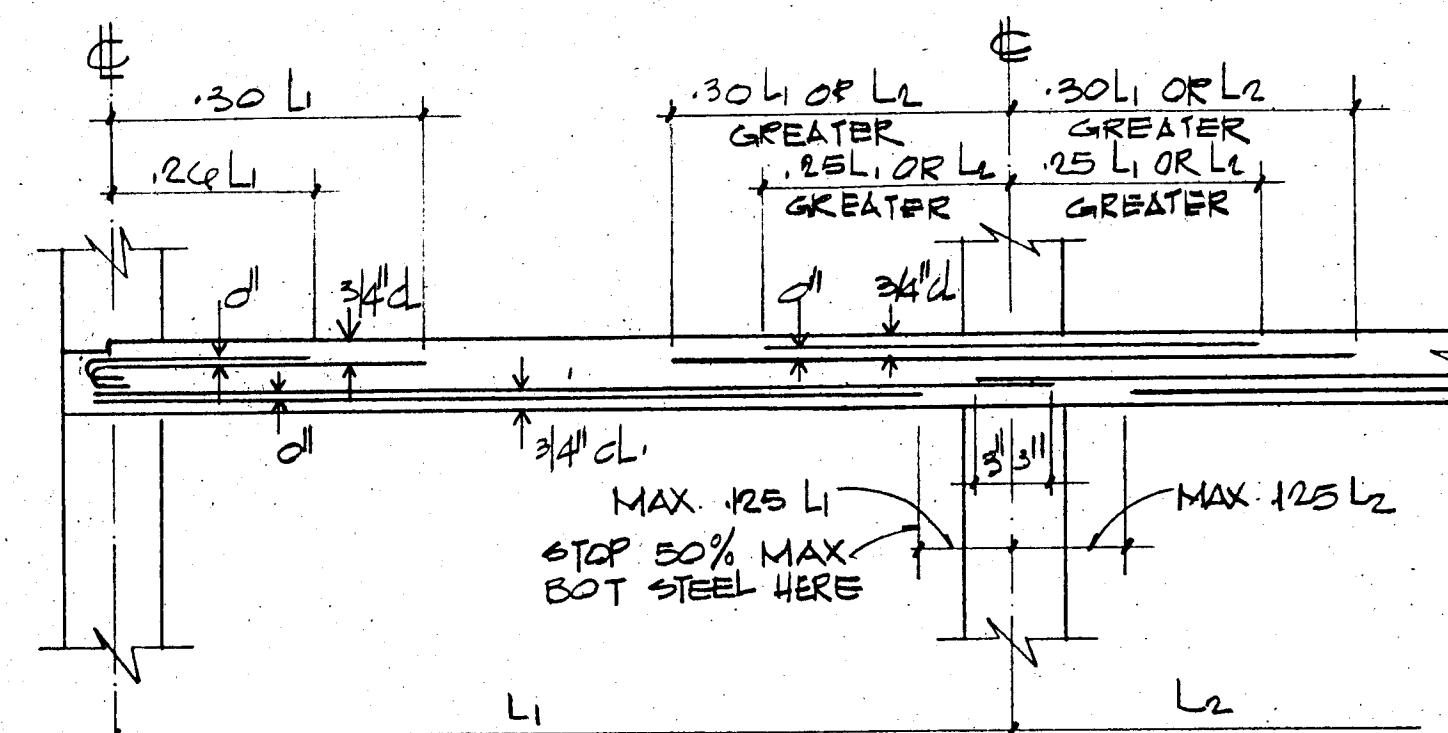
COMM. NO. 7900	DATE: 11-6-79	SHEET NO. 510-14
	REV:	



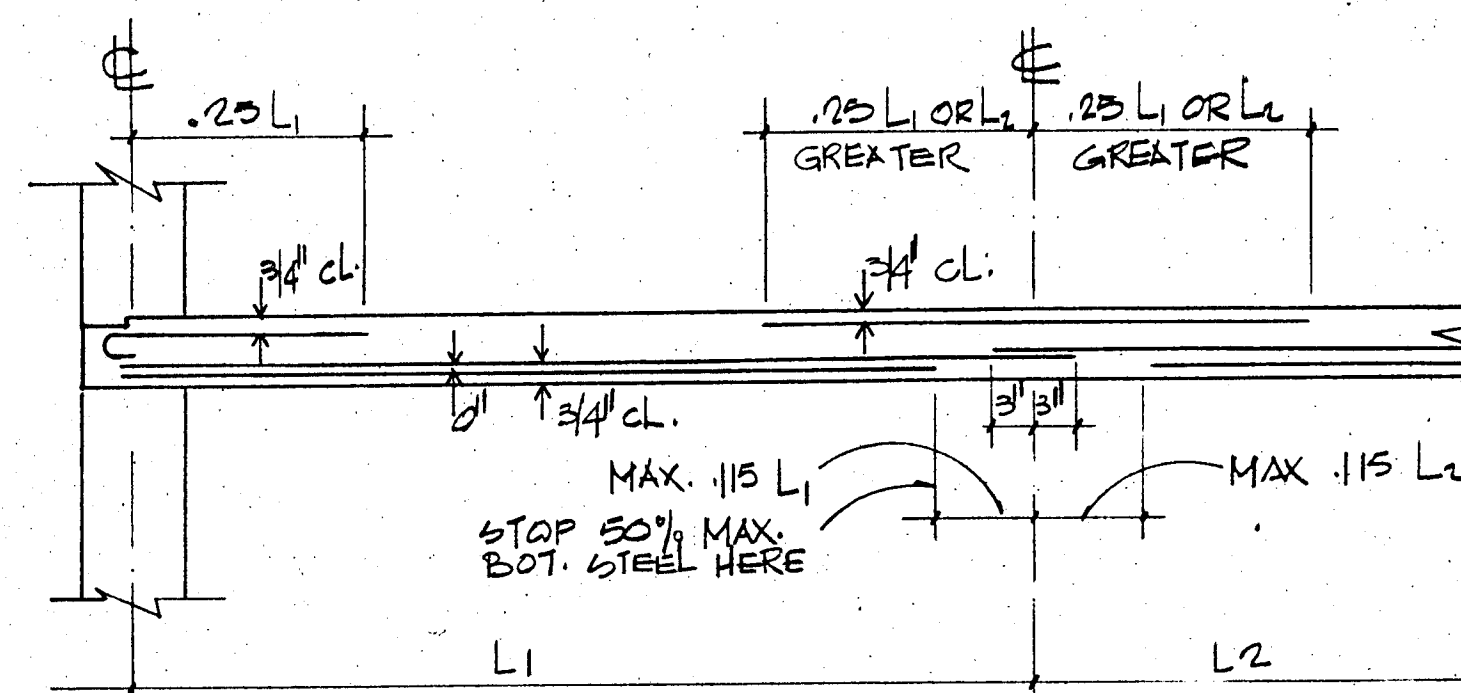
TYP. COLUMN STRIP WITH CANTILEVER
NTS



TYP. MIDDLE STRIP WITH CANTILEVER
NTS

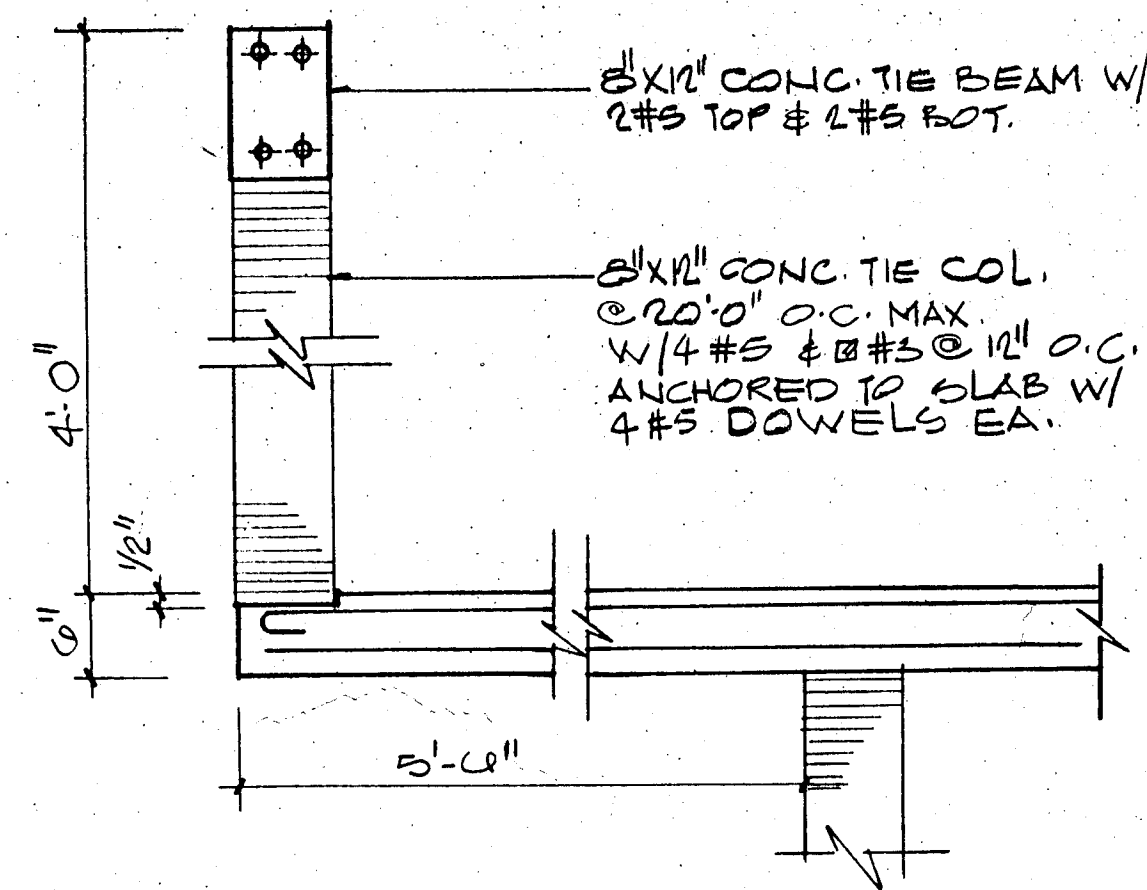


TYP. COLUMN STRIP
NTS

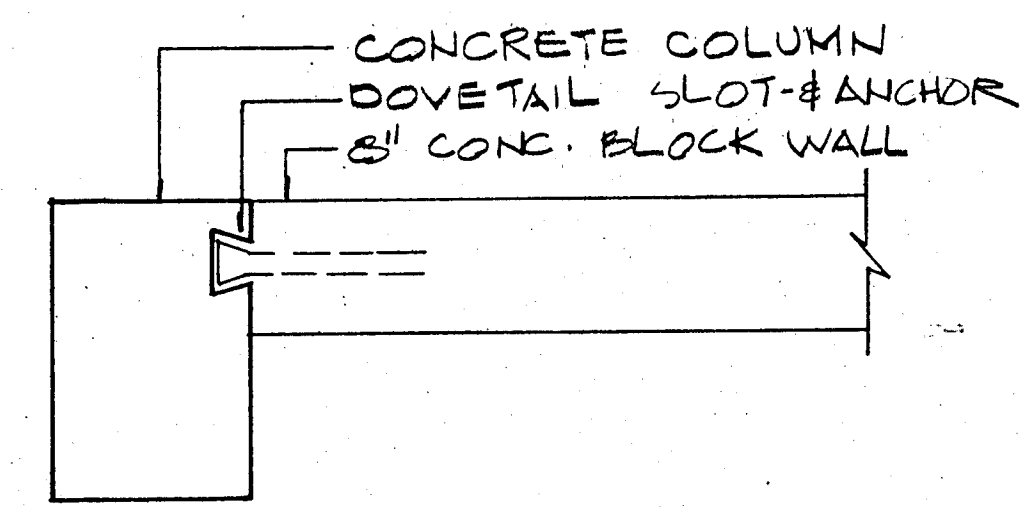


TYP. MIDDLE STRIP
NTS

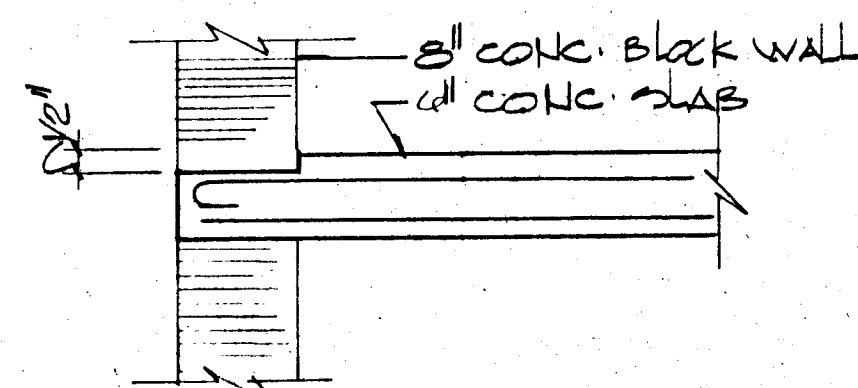
TYPICAL BAR DIAGRAM-FLAT SLABS
(UNLESS OTHERWISE NOTED)



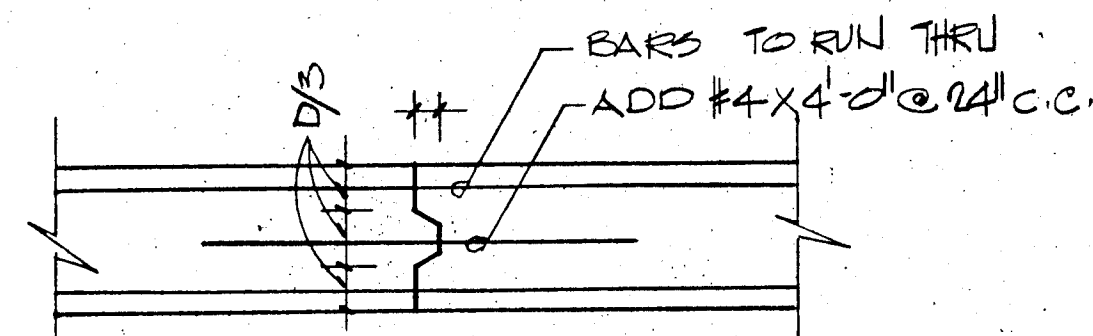
PARAPET DETAIL (TYPICAL)



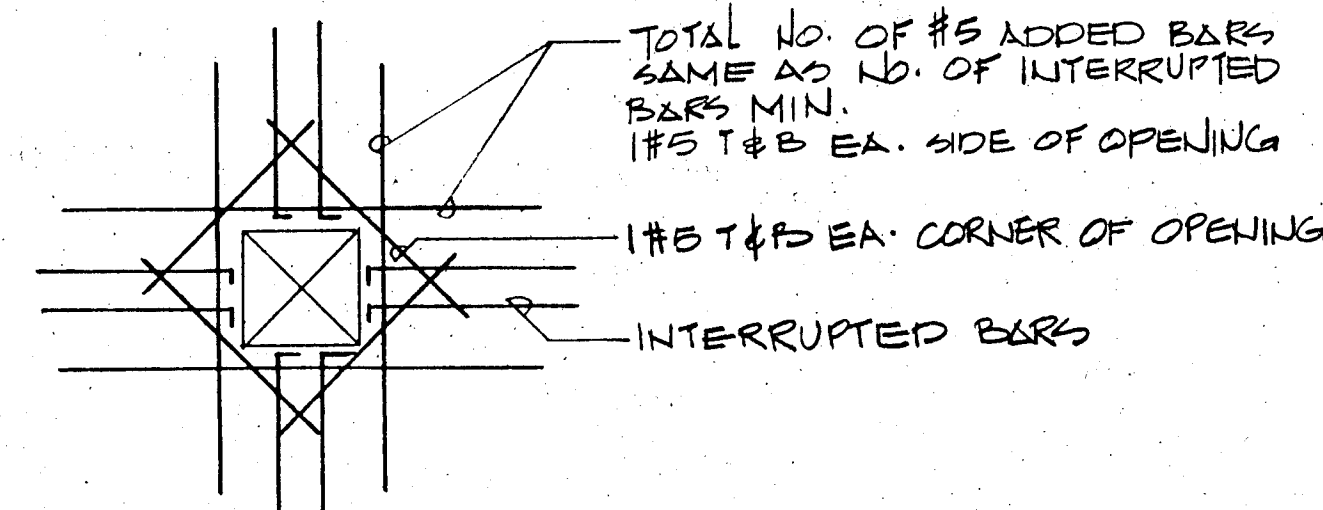
MASONRY ANCHORAGE DETAIL
NTS



SLAB DEPRESSION
AT EXTERIOR WALLS

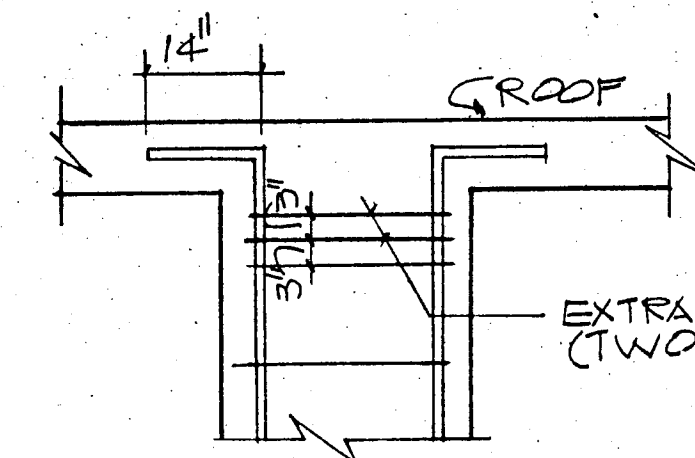


CONSTRUCTION JOINT DETAIL
NTS

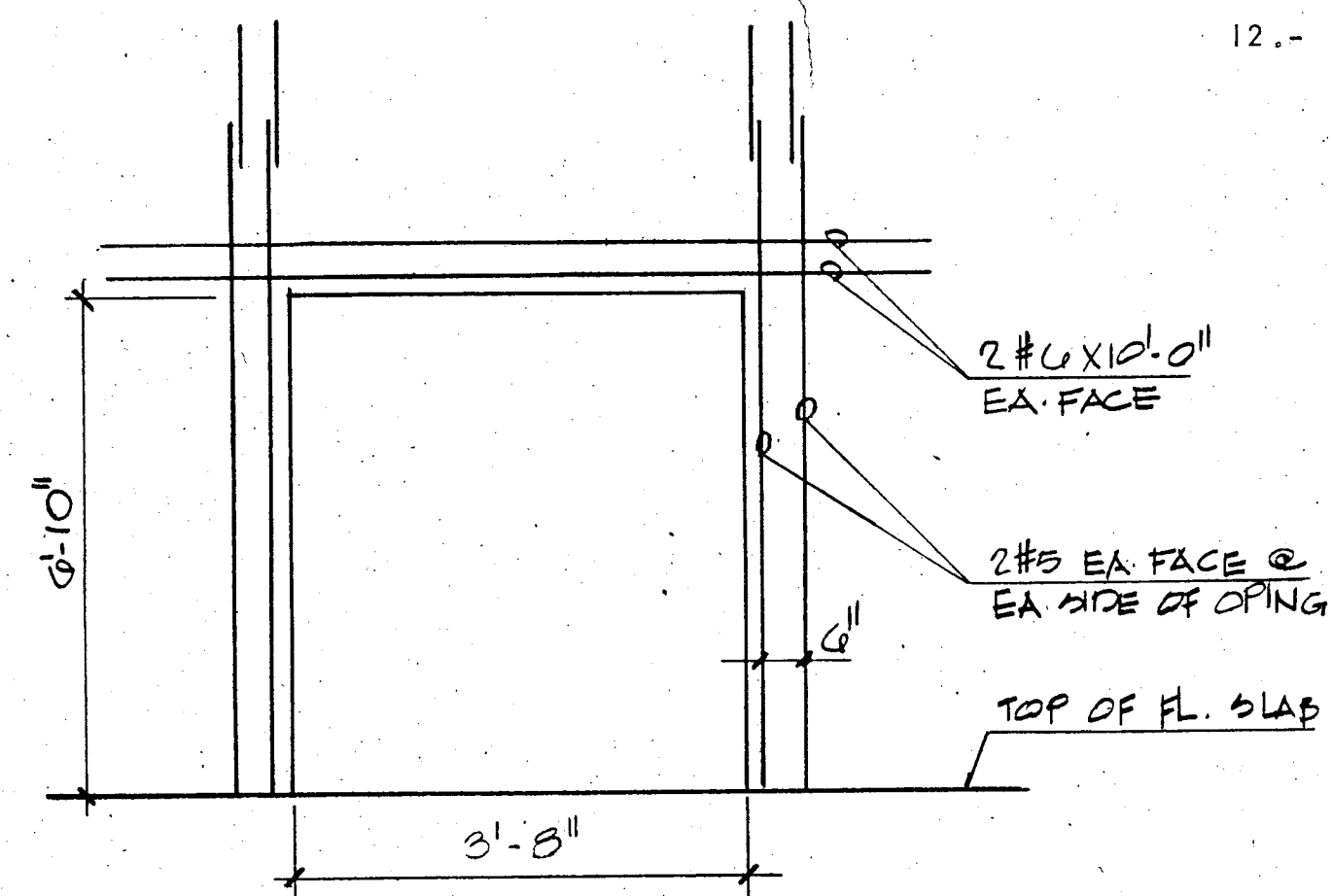


SLAB OPENING DET

FLAT PLATE SECTIONS
AND DETAILS
NTS



TYPICAL COLUMN
SPLICE DETAILS
NTS



SECTION THRU DOOR OPENING
AT SHEAR WALL

GENERAL STRUCTURAL NOTES:-

- CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301-72 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" EXCEPT AS MODIFIED BY THE SUPPLEMENTAL REQUIREMENTS BELOW.
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- REINFORCING BARS TO MEET ASTM A-615 GRADE 60, DETAILED AND PLACED IN ACCORDANCE WITH ACI-318-77. AND SFBC 1976 EDITION. REINFORCING TO BE HELD SECURELY IN POSITION WITH STANDARD ACCESSORIES DURING PLACING OF CONCRETE. WELDED WIRE FABRIC TO COMPLY WITH ASTM A-185.
- ALL CONCRETE STRENGTH TO BE AS SHOWN ON PLANS. IF NOT OTHERWISE SPECIFIED F'C = 3,000 PSI.
- VERTICAL CONSTRUCTION JOINTS, USING APPROVED BULKHEADS, CAN BE MADE AT CENTER OF BEAM OR SLAB IF REQUIRED. NO HORIZONTAL CONSTRUCTION JOINTS SHALL BE MADE IN BEAMS OR SLABS.
- SEE ARCHITECTURAL DRAWINGS FOR ELEVATIONS.
- TIE BEAMS (MARKED T.B.) REFER TO 8 X 12 INCHES TIE BEAMS REINFORCED WITH 2 #5 TOP AND 2 #5 BOTT. TIE COLUMNS (MARKED T.C.) ARE 8 X 12 INCHES TIE COLUMNS REINFORCED WITH 4 #5 BARS AND #2 TIES SPACED AT 12 INCHES O.C.
- REINFORCING BAR SPLICED, WHERE REQUIRED SHALL BE DETAILED AND MADE IN ACCORDANCE WITH AC-318-77.
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL ORDINANCES.
- ALL PRECAST PRESTRESSED UNITS TO BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH APPLICABLE ACI STANDARDS.

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

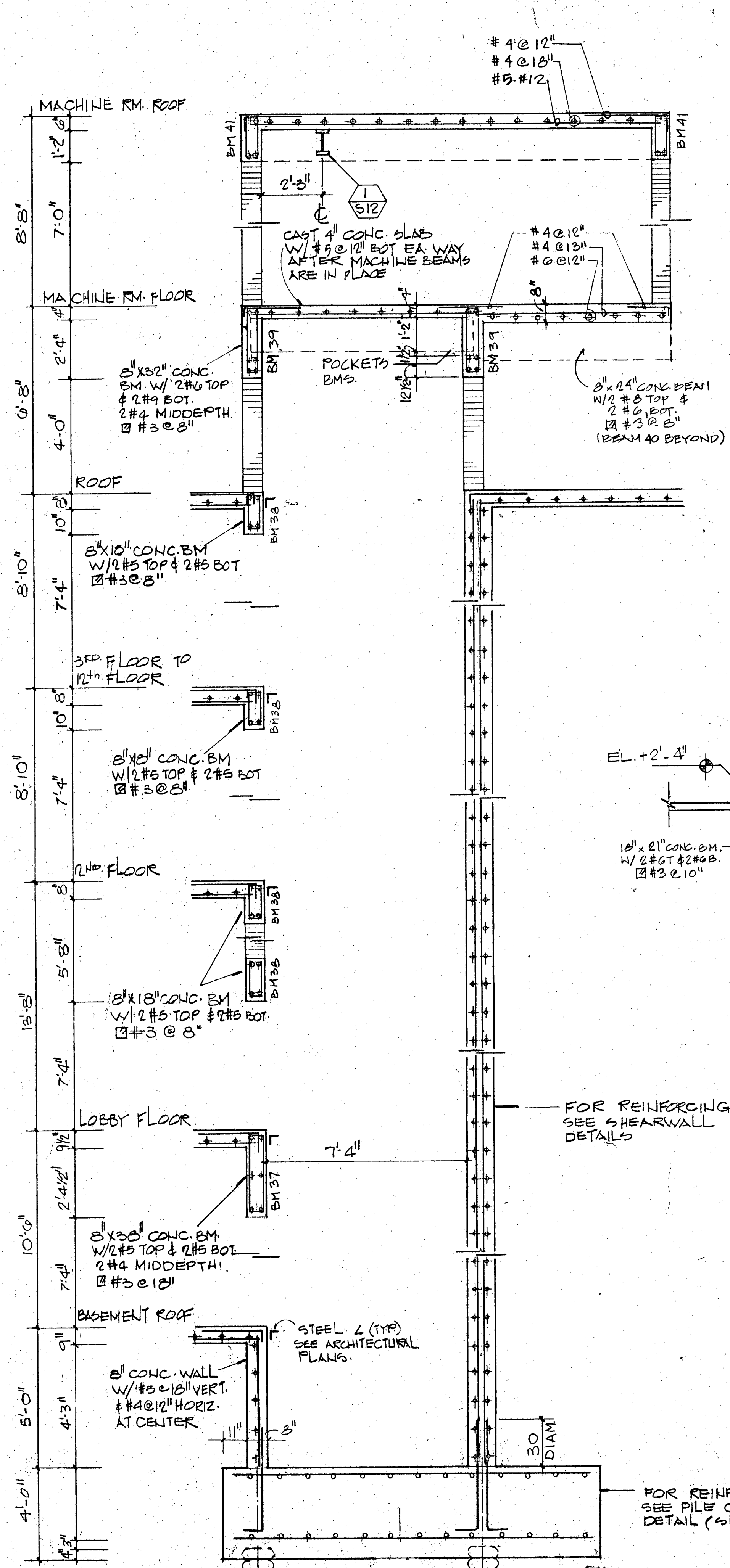
128 S.E. 14th LA.

CHAMPLAIN TOWERS NORTH

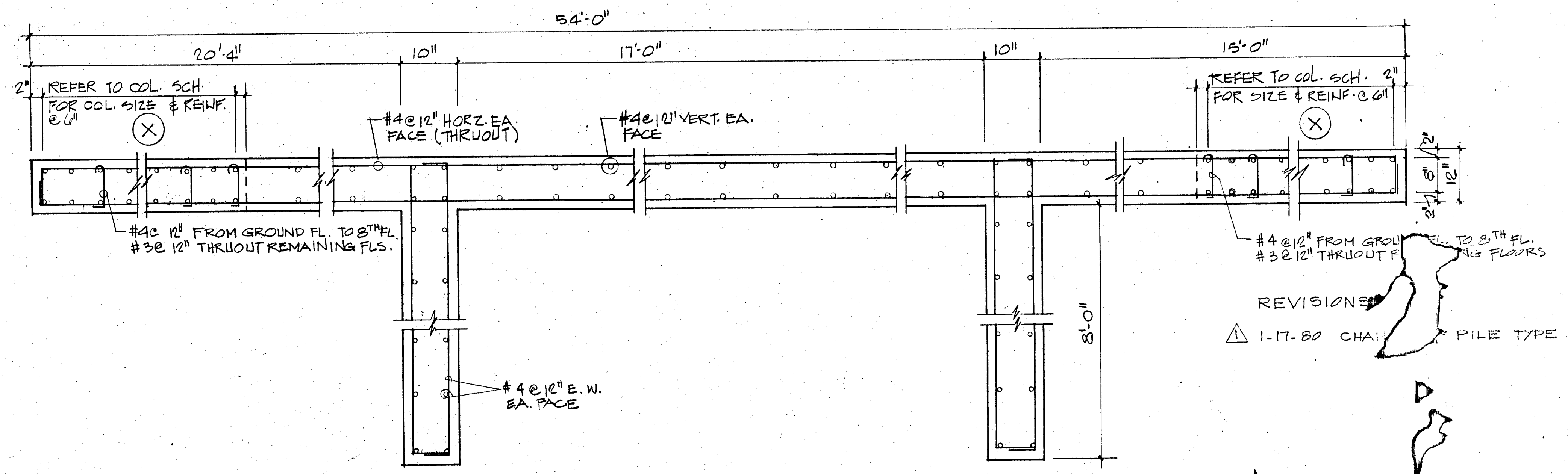
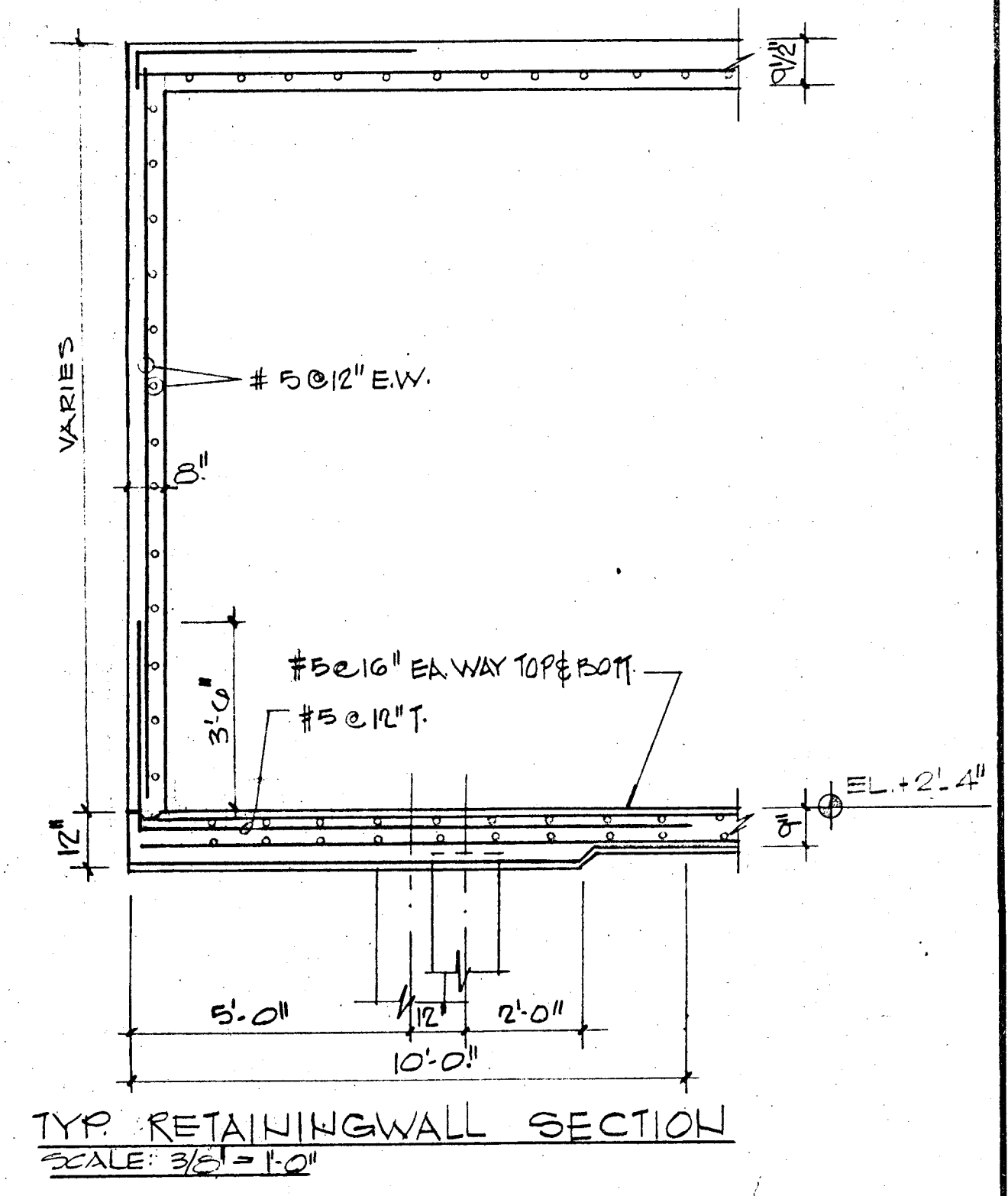
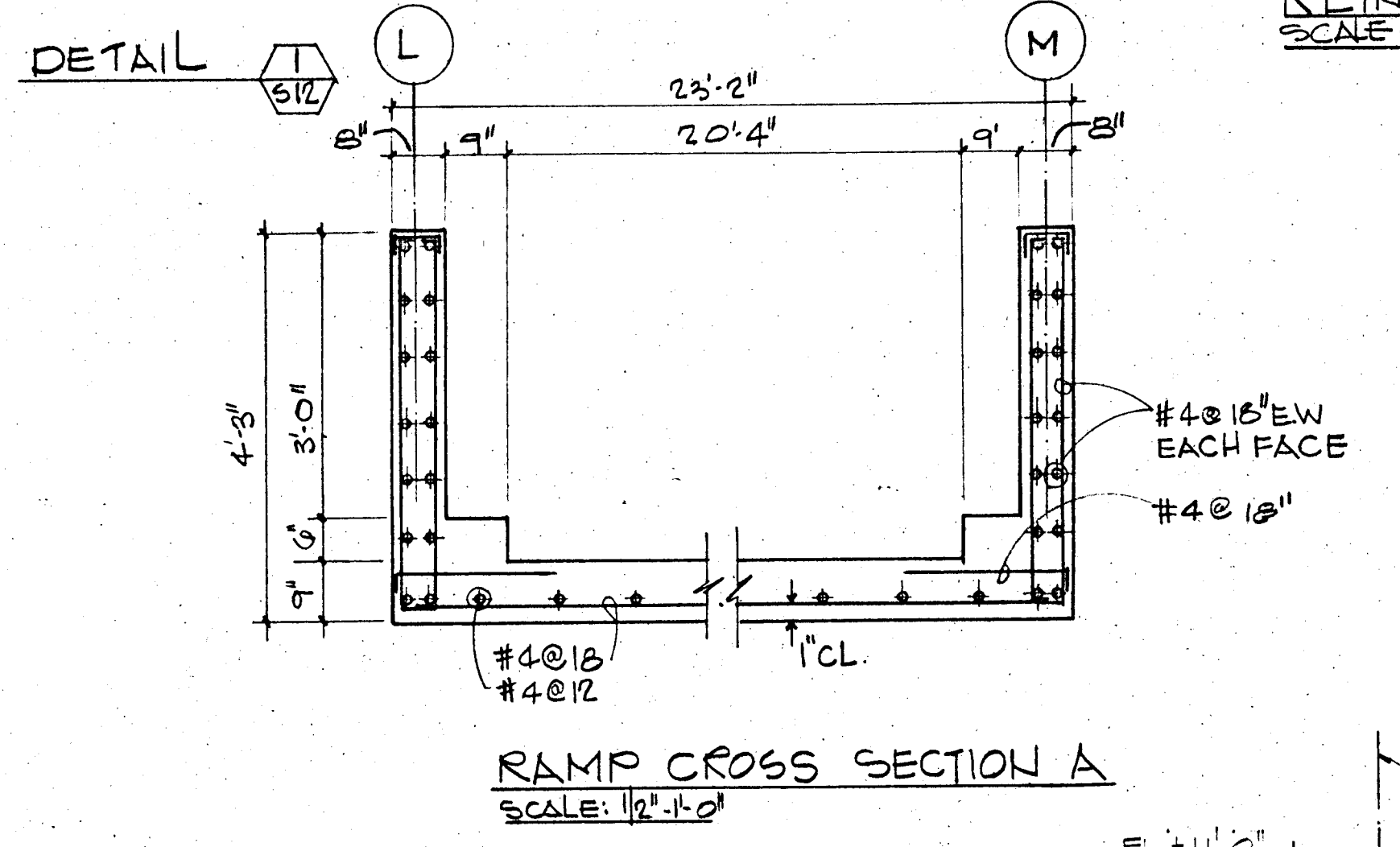
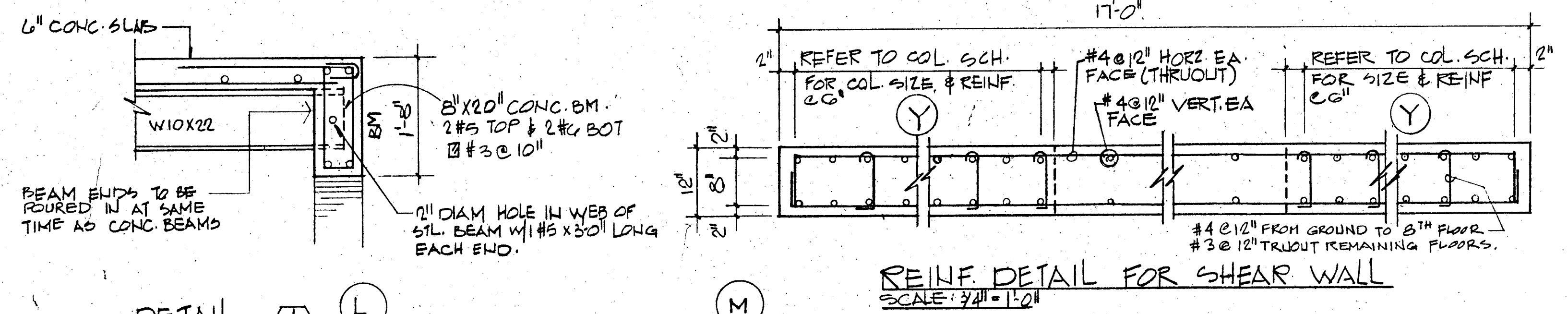
A 112 UNIT CONDOMINIUM

COMM. NO.	DATE	SHEET NO.
	11-6-79	511 OF 14
REV.		

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146



ELEVATOR SECTION
SCALE = 3/8" = 1'-0"



PARTIAL SECTIONS PLAN
SCALE = 3/8" = 1'-0"

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

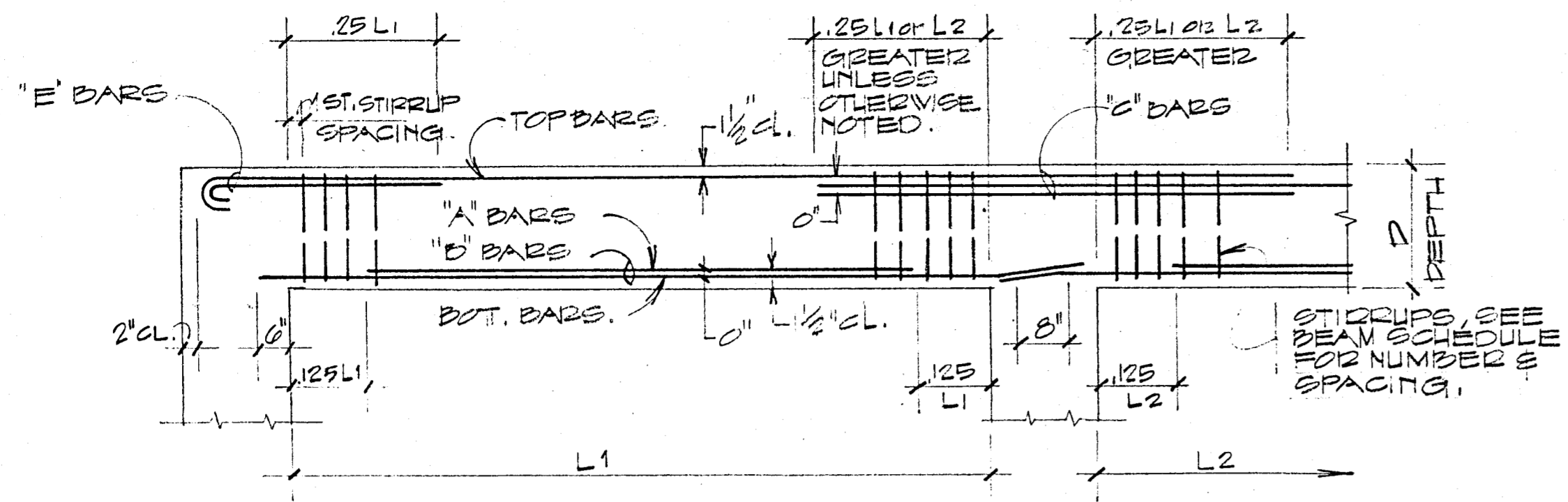
BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

135 S.E. 14TH LA.

CHAMPLAIN TOWERS NORTH

A 112 UNIT CONDOMINIUM

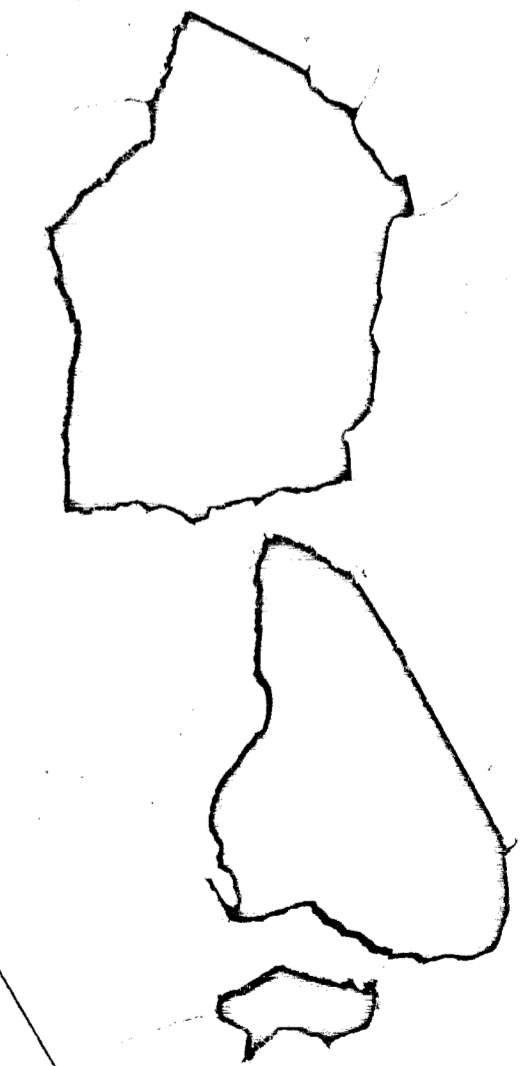
COMM. NO.	DATE	SHEET NO.
	11-6-79	312 OF 14
REV.		



TYPICAL BAR PLACING BEAM DIAGRAM.

BEAM SCHEDULE

MARK	EL. BOT. CONCRETE	SIZE B x D	LONGITUDINAL		"E" COL#	"C" COL#	STIRRUPS	REMARKS
			BOT.	TOP				
BM-1	+23'-0"	30"x42"	0#8	4#8	2#8EE		#5@18"	
BM-2		30"x42"	0#8	4#8	2#8EE		#5@18"	
BM-3			0#8	0#8			#5@18"	
BM-4			0#9	0#9	2#9		#5@18"	
BM-5			4#11	0#11		4#11	#5@6" THRUOUT.	
BM-6			*12#11	0#11			#5@6"	* 2 LAYERS 10 BARS IN OUTER LAYER
BM-7			0#9	0#11			#5-4@5" 4@6" REMAINDER @ 18"	
BM-8			*10#11	0#11			#5@6" T.O.	* 2 LAYERS 10 BARS IN OUTER LAYER
BM-9			0#9	0#9	2#9		#5@18"	
BM-10		30"x42"	0#9	0#9	2#9	4#10	#5@18"	
BM-11			10#10	0#10		4#10	#5-5@6" WEST END REMAINDER @ 18"	
BM-12			10#11	0#10			#5-10@6" EE REM. @ 18"	
BM-13			0#9	0#10	2#10		#5@10"	
BM-14			0#9	*0#9	4#10		#5@10"	* CONTINUOUS TOP STEEL
BM-15			0#9	*0#9	4#9		#5@10"	* CONTINUOUS TOP STEEL
BM-16			D E L T E					
BM-17		30"x42"	*10#11	0#11	2#11		#5@6"	* 2 LAYERS 10 BARS OUTER LAYER
BM-18			0#10	0#11			#5@18"	
BM-19			*12#11	0#11		4#11	#5@6"	* 2 LAYERS 10 BARS OUTER LAYER
BM-20			*12#11	0#11		2#11	#5@6"	* 2 LAYERS 10 BARS OUTER LAYER
BM-21			*14#11	0#11			#5-5@6" SOUTH END REMAINDER @ 18"	* 2 LAYERS 10 BARS OUTER LAYER.
BM-22			0#10	0#8	2#8		#5@18"	
BM-23			0#10	*4#11	0#11		#5@18"	* CONTINUOUS TOP STEEL.
BM-24			0#10	*4#11	4#8		#5@18"	* CONTINUOUS TOP STEEL
BM-25			*12#11	0#11		2#11		* 2 LAYERS 10 BARS OUTER LAYER
BM-26			*16#11	0#11		2#11	#5-8@6" EAST END REM. @ 18"	* 2 LAYERS 10 BARS OUTER LAYER
BM-27			*14#11	0#11	2#10EE		#5-10@6" EAST END REM. @ 18"	* 2 LAYERS 10 BARS OUTER LAYER
BM-28			*14#11	0#11	2#10EE		#5-10@6" EAST END REM. @ 18"	* 2 LAYERS 10 BARS OUTER LAYER
BM-29			*14#11	0#11	2#10EE		#5-10@6" EAST END REM. @ 18"	* 2 LAYERS 10 BARS OUTER LAYER
BM-30			*14#11	0#11	2#10EE		#5-10@6" EAST END REM. @ 18"	* 2 LAYERS 10 BARS OUTER LAYER
BM-31			*14#11	0#10	2#10EE		#5-10@6" EAST END REM. @ 18"	* 2 LAYERS 10 BARS OUTER LAYER
BM-32	+23'-0"		*14#11	0#10	2#10		#5-10@6" EAST END REM. @ 18"	* 2 LAYERS 10 BARS OUTER LAYER
BM-33	+9'-10"	24"x42"	*10#11	4#10			#5-10@6" EAST END REM. @ 18"	* 2 LAYERS 6 BARS OUTER LAYER
BM-34			*10#11	4#10			#5-10@6" EAST END REM. @ 18"	* 2 LAYERS 6 BARS OUTER LAYER
BM-35	+9'-10"		*12#11	4#10			#5@6" THRUOUT.	* 2 LAYERS 6 BARS EA.
BM-36	+1'-1"	8"x21"	2#6	2#6			#3@10"	
BM-37	+10'-2"	8"x28"	2#5	2#5			#3@18"	ADD 2#4 AT MID DEPTH
BM-38	VARIES	8"x18"	2#5	2#5			#3@8"	
BM-39	+127'-7"	8"x32"	2#9	2#6			#3@6"	ADD 2#4 AT MID DEPTH
BM-40	+125'-10"	8"x24"	2#6	2#8			#3@6"	
BM-41	+137'-10"	8"x20"	2#6	2#5			#3@10"	
BM-42	+125'-8"	12"x18"	3#7	2#7			#3@8"	

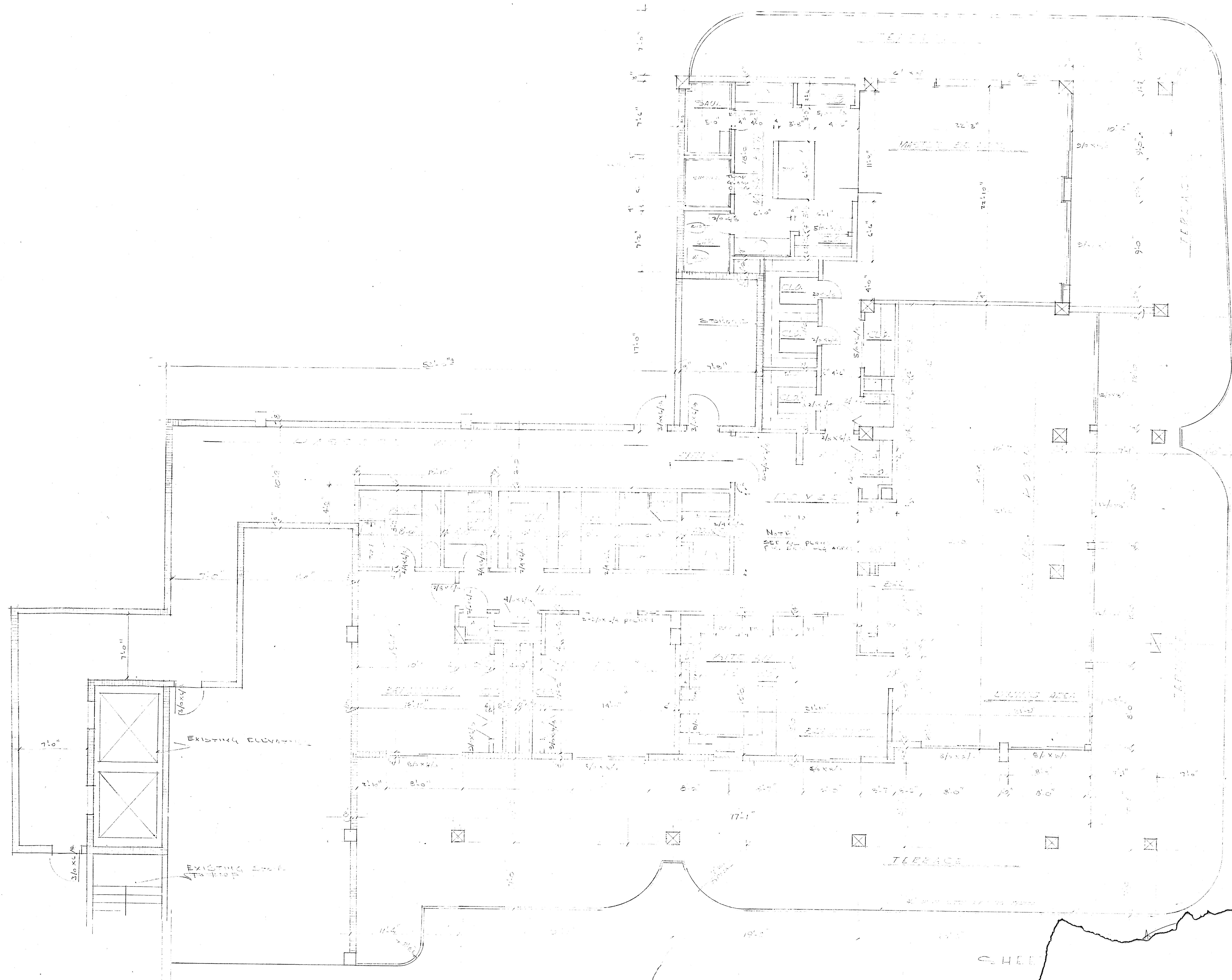


BEAM SCHEDULE

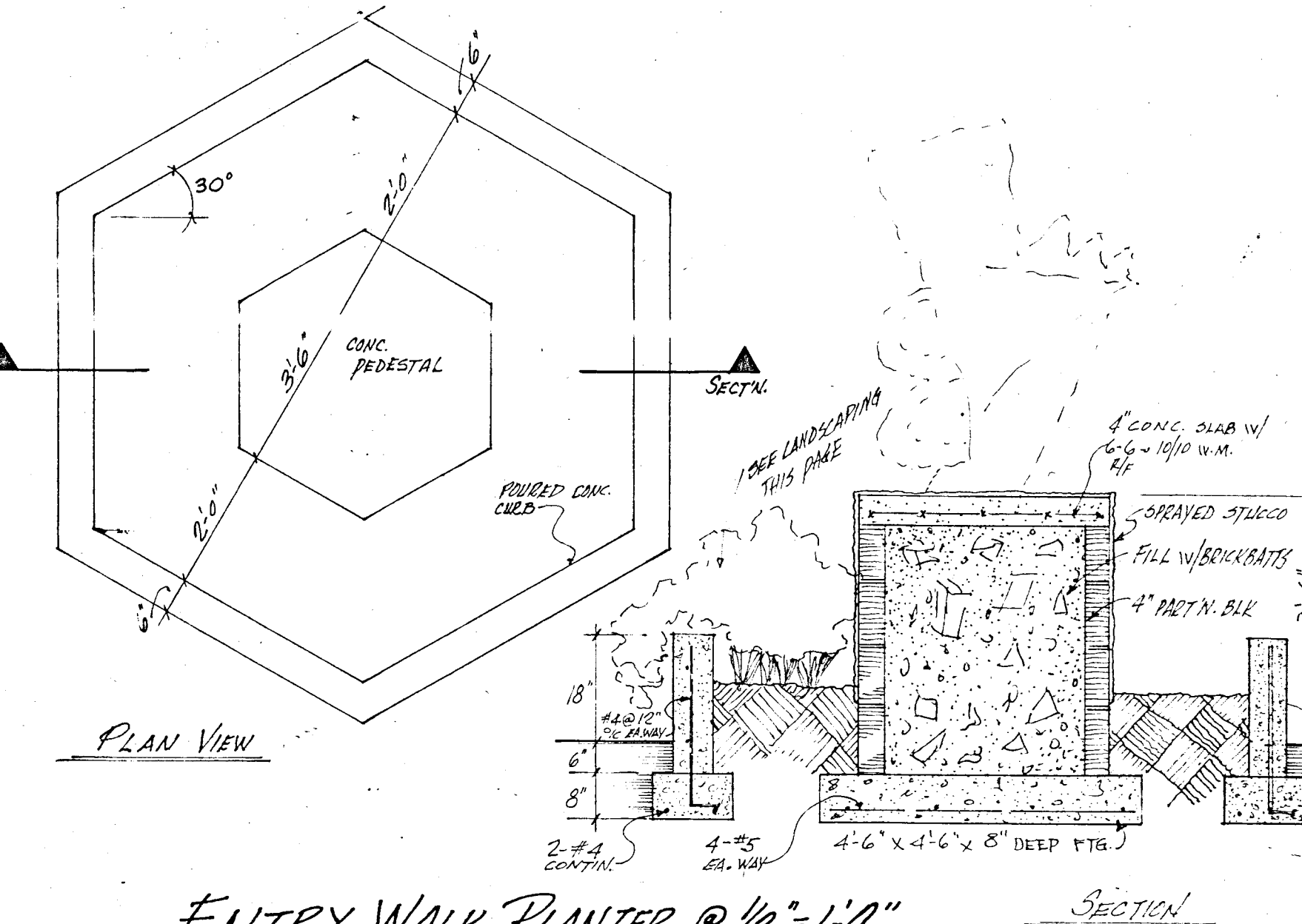
BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

CHAMPLAIN TOWERS NORTH
8777 COLLINS AVE
A-112 UNIT CONDOMINIUM

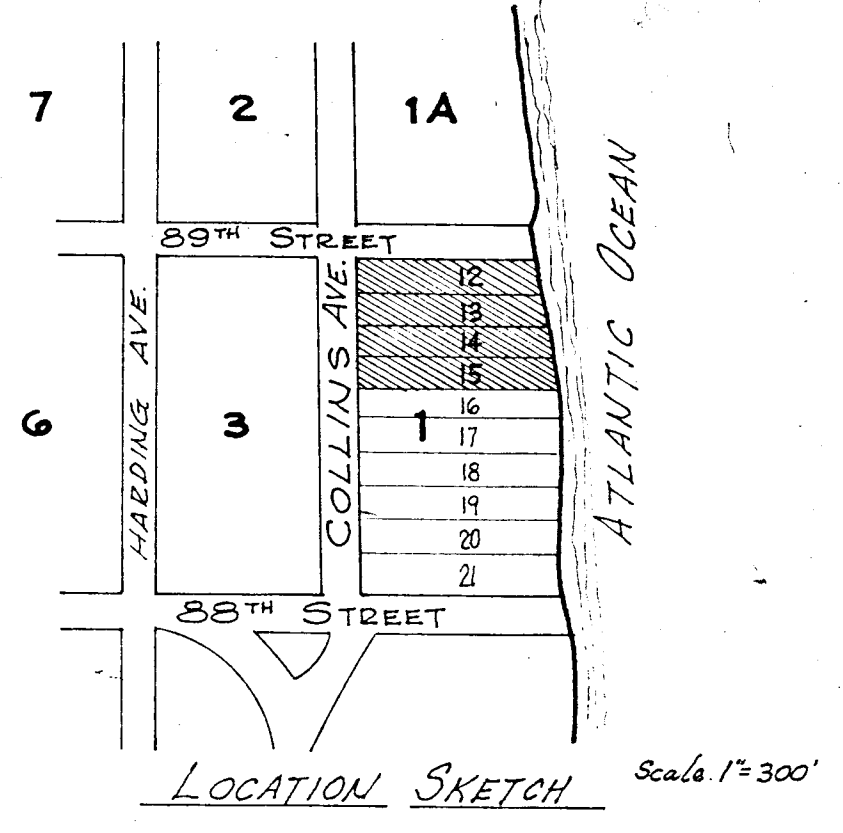
COMM. No. 79020 DATE: 11-6-79 SHEET No. 5 B of 14
REV.



- ### LANDSCAPING SYMBOLS
- ① CORAL ROCK Boulders - 18" MIN. HGT. x 6" LONG x 3" WIDE
 - ② SHADE TREE - 5" MIN. TRUNK DIAM., 12' MIN. HGT. - MANABANY, BLACK ALIVE, BUTTE BUSH, JACARANDA, PHOENIX RECLINATA, SHEFFLEA, ARE ALL ACCEPTABLE. CAUTION! USE SHALLOW ROOT BALL.
 - ③ SPRING-A-RISE - #12 CAN - MIN. 9 PLANTS PER SQ. YD.
 - ④ WEDELIA - (GROUND COVER) - #2 CAN - MIN. 6 PLANTS PER SQ. YARD
 - ⑤ LIGUSTRUM HEDGE - VAGUATED LEAF - 24" HGT. - PLANTS @ 24" x 24"
 - ⑥ PURPLE QUEEN - 10" x 6" EA. WAY - STAGGER PATTERN - 6" DIAM. PLANT
 - ⑦ ALDENEIDA - 24" TO 30" HGT. - 36" MIN. SPREAD - 48" MIN. STAGGER SPACING
 - ⑧ ROUNDED & MULCHED MUCK SOIL - 12" HIGH, LOOSELY PLACED.
 - ⑨ SHEFFLEA - (UMBRELLA TREE) - 12' MIN. HGT. - MULTI-TRUNK PREFERRED.
 - ⑩ SEA GRASS CLUSTER - 7" TO 8" MIN. HGT. # 10 TO 15 LEAVES OF SEED.
 - ⑪ INOBA HEDGE - 24" TO 36" HGT. # PLANTS @ 24" x 24"
 - ⑫ CABBAGE PALM - 3 TRUNK CLUSTER - MIN. 18" TO 25" HGT.
 - ⑬ ROSE BUSHES - 36" HGT. - 3 BUSH CLUSTER - 24" MIN. 2 TO 42" 22" MIN.
 - ⑭ ALEXANDER PALM CLUSTER - 12' MIN. HGT.
 - ⑮ BABY BAMBOO CLUSTER - 12' MIN. HGT.
 - ⑯ ASPERAGUS FEEN - VAGUATED - PLANTS @ 18" x 6" EA. WAY.
 - ⑰ FLAME VINE - (GROUND COVER)
 - ⑱ MARGINATA - MULTI STEM - 12' MIN. HGT.



LEGAL DESCRIPTION
 Lots 12, 13, 14, 15, of Block 1,
 "SECOND AMENDED PLAT OF
 NORMANDY BEACH", PLAT BK #16,
 PAGE 44, DADE COUNTY, FLA. ~
 LYING & BEING IN THE CITY OF SURFSIDE,
 DADE COUNTY, FLA.



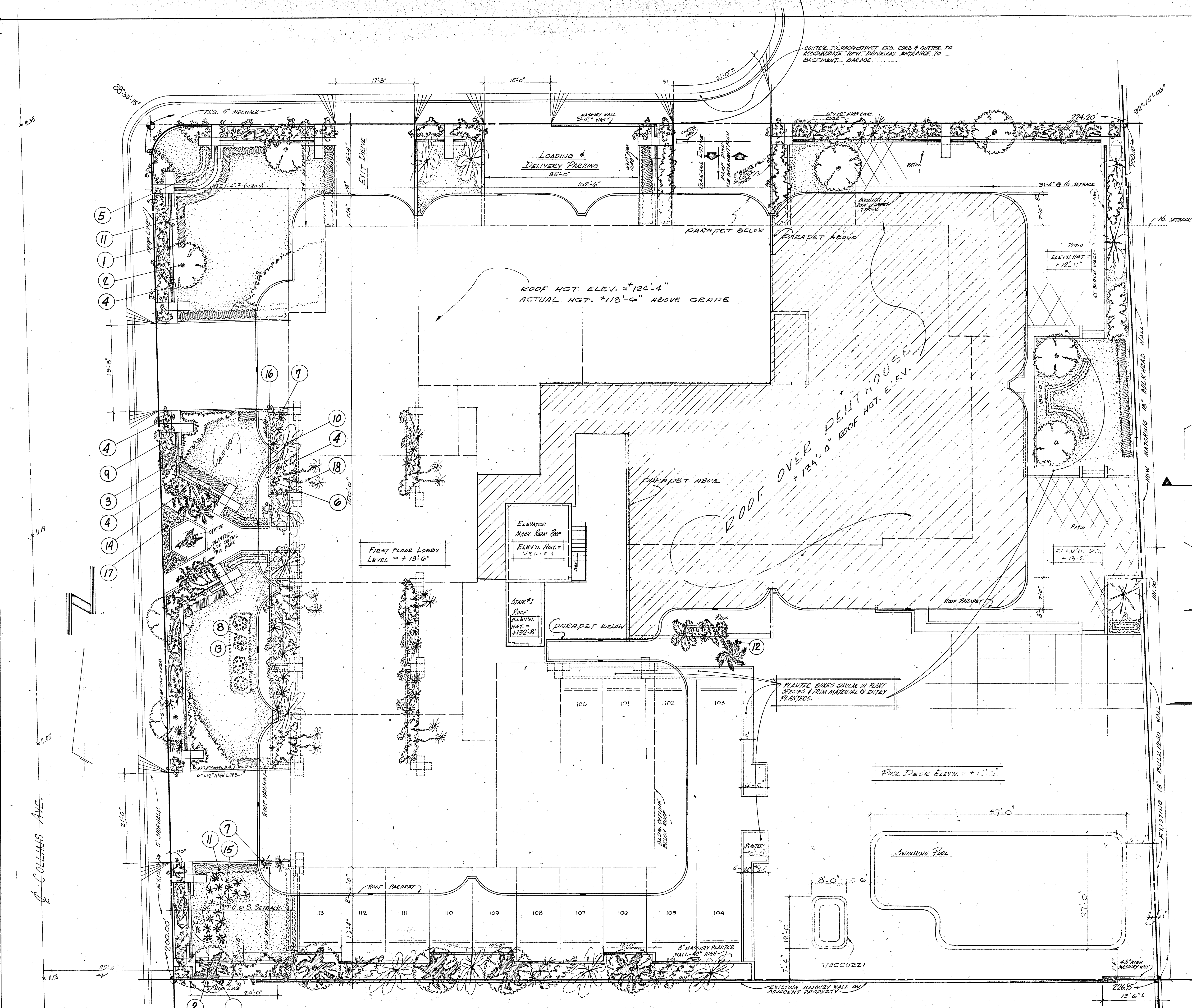
NEW PENTHOUSE ADDITION

WILLIAM M. ...
 ARCHITECT, INC.

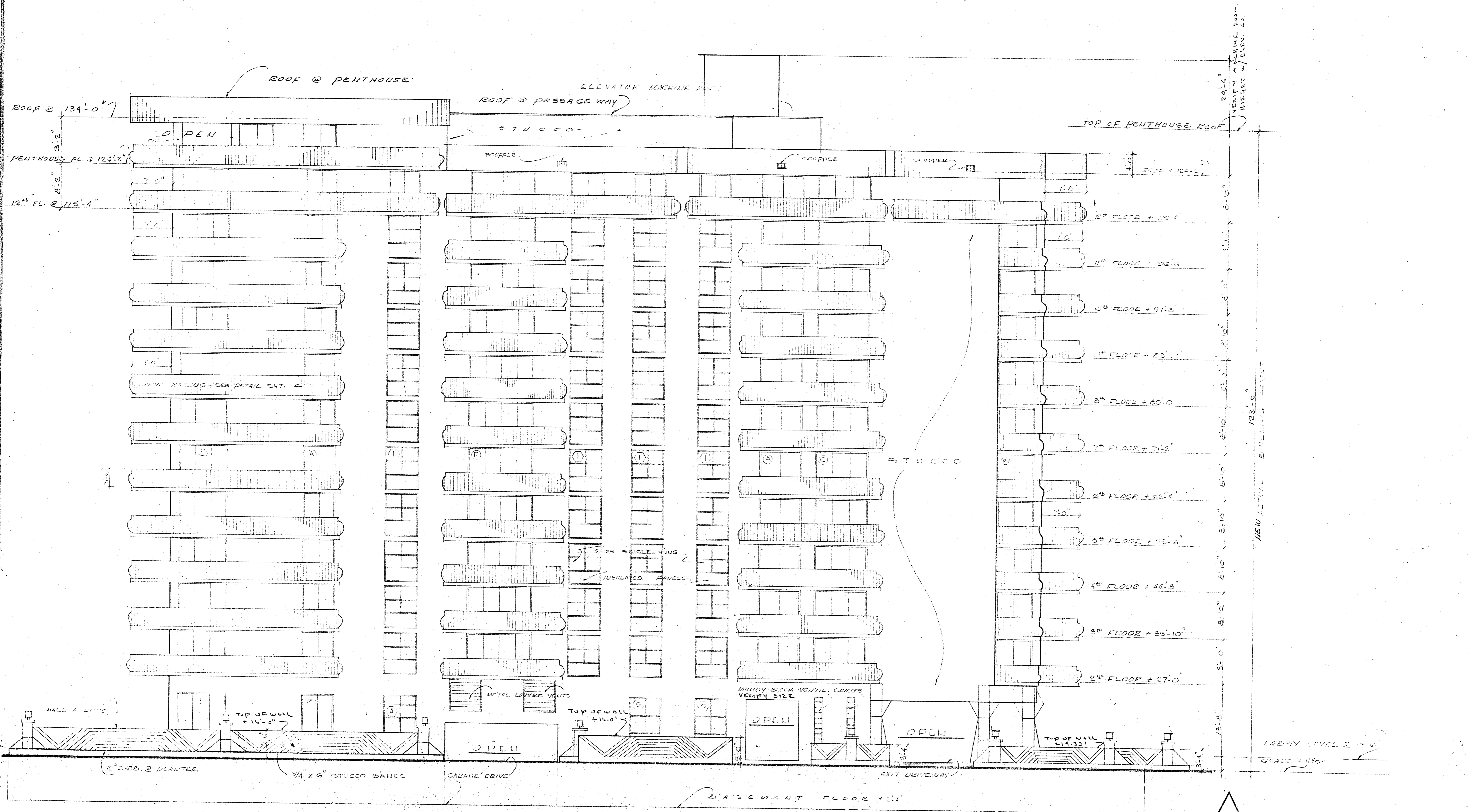
180 S.E. 24th St.
 PA. 30881

DATE: 6/26/80

REV. 1 OF 1



LANDSCAPING ~ ROOF ~ SITE PLAN @ 3/32" = 1'-0"



NORTH ELEVATION @ 1/8" = 1'-0"

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

150 S.E. 2nd Ave.
3588044

CHAMPLAIN TOWERS NORTH
8877 COLLIER AVE.
A - 112 UNIT CONDOMINIUM

COMM. 16. DATE: 6/26/80 SHEET
REV. 1 OF 6

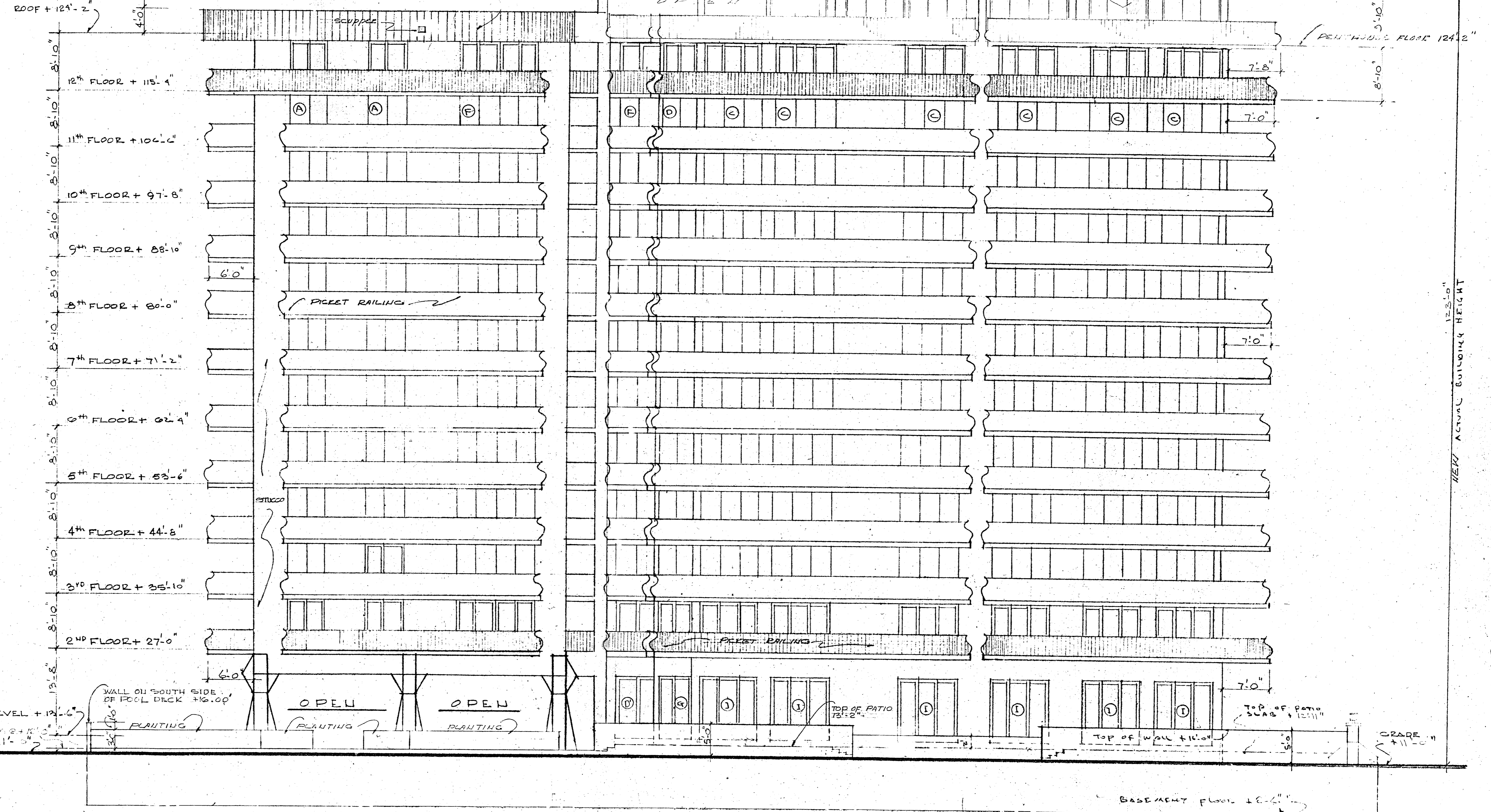
ELEVATOR MACHINE ROOM
SEC " " PLAN

GROOVED STUCCO — GROOVES TO BE 1/2" WIDE x 1/4" DEEP
AND 12" C.C. — TYPICAL THROUGH PARAPET

1/4" DEEP x 3" WIDE STUCCO GROOVES
@ 24" C.C.

TOP OF PENTHOUSE ROOF

PENTHOUSE FLOOR 124'-2"



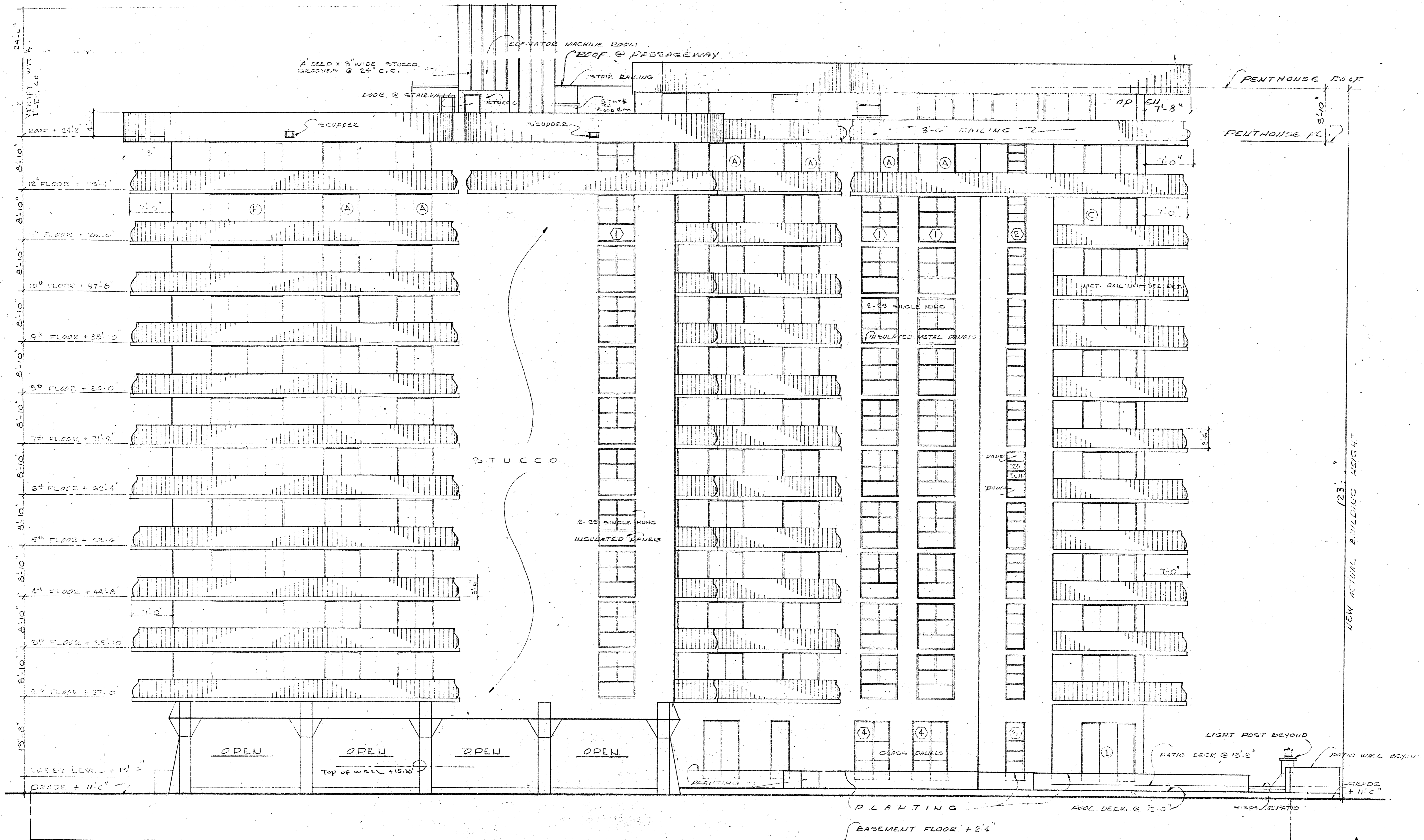
EAST ELEVATION 1/8" = 1'-0"

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

100 S. 2nd Ave.
3588044

CHAMPLAIN TOWERS NORTH
COLLINS AVE.
A-112 UNIT CONDOMINIUM

COMM. No. DATE: 6/21/78 SHEET
REVISED: 2 OF -



SOUTH ELEVATION @ 1/8"=1'-0"

WILLIAM M. FRIEDMAN

AND ASSOCIATES ARCHITECTS, P.C.

NEW PENTHOUSE ADDITION

150 S.E. 2ND AVE.
3368044

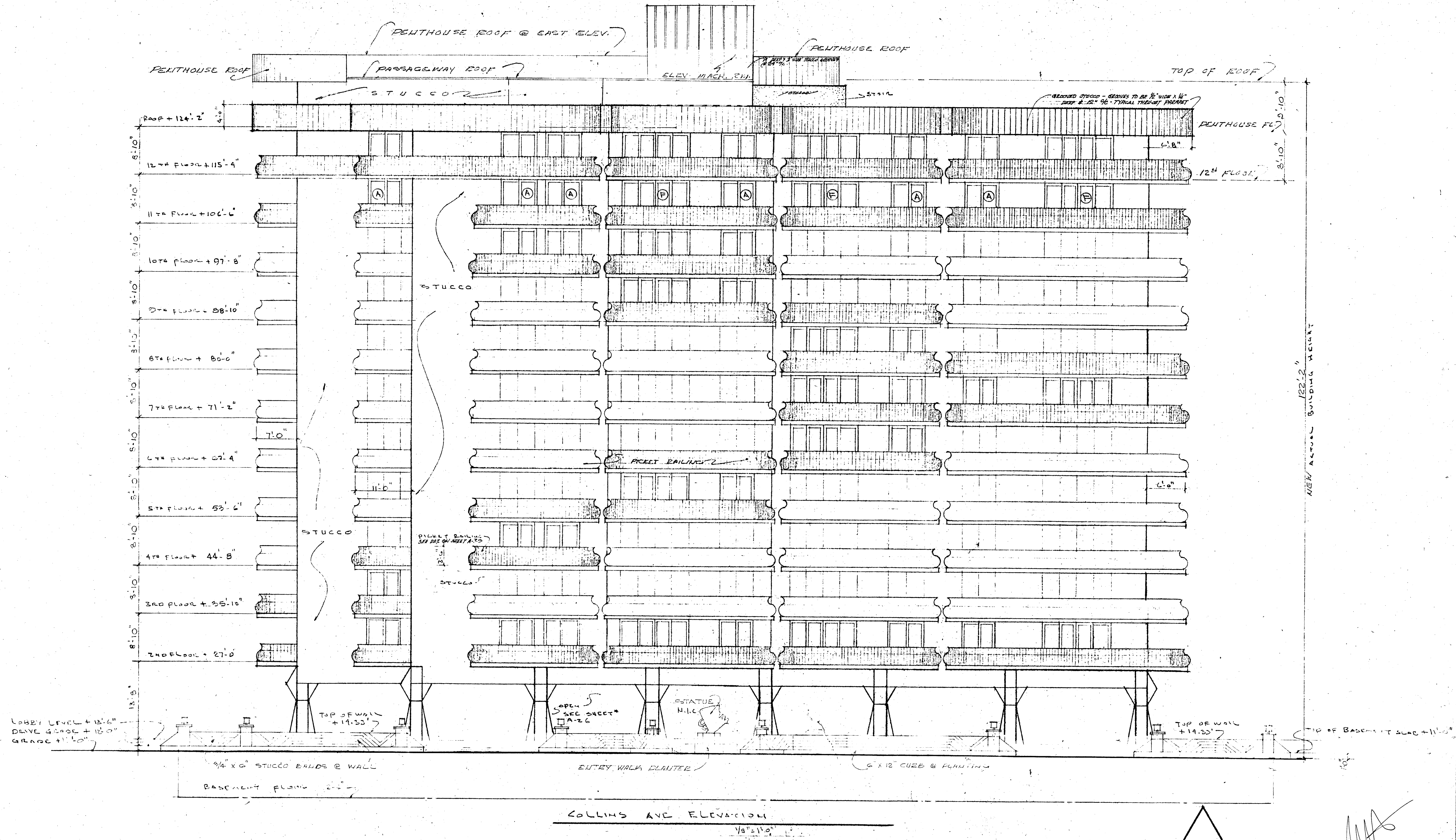
CHAMPLAIN TOWER'S NORTH

3277 COLLIER AVE.

A. 112 UNIT CONDOMINIUM

COMM. No. DATE: 6/20/89 SHEET

REVISED: 1 OF



COLLINS AVE. ELEVATION
1/8" = 1'-0"

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
NEW PENTHOUSE ALIATION

3588044

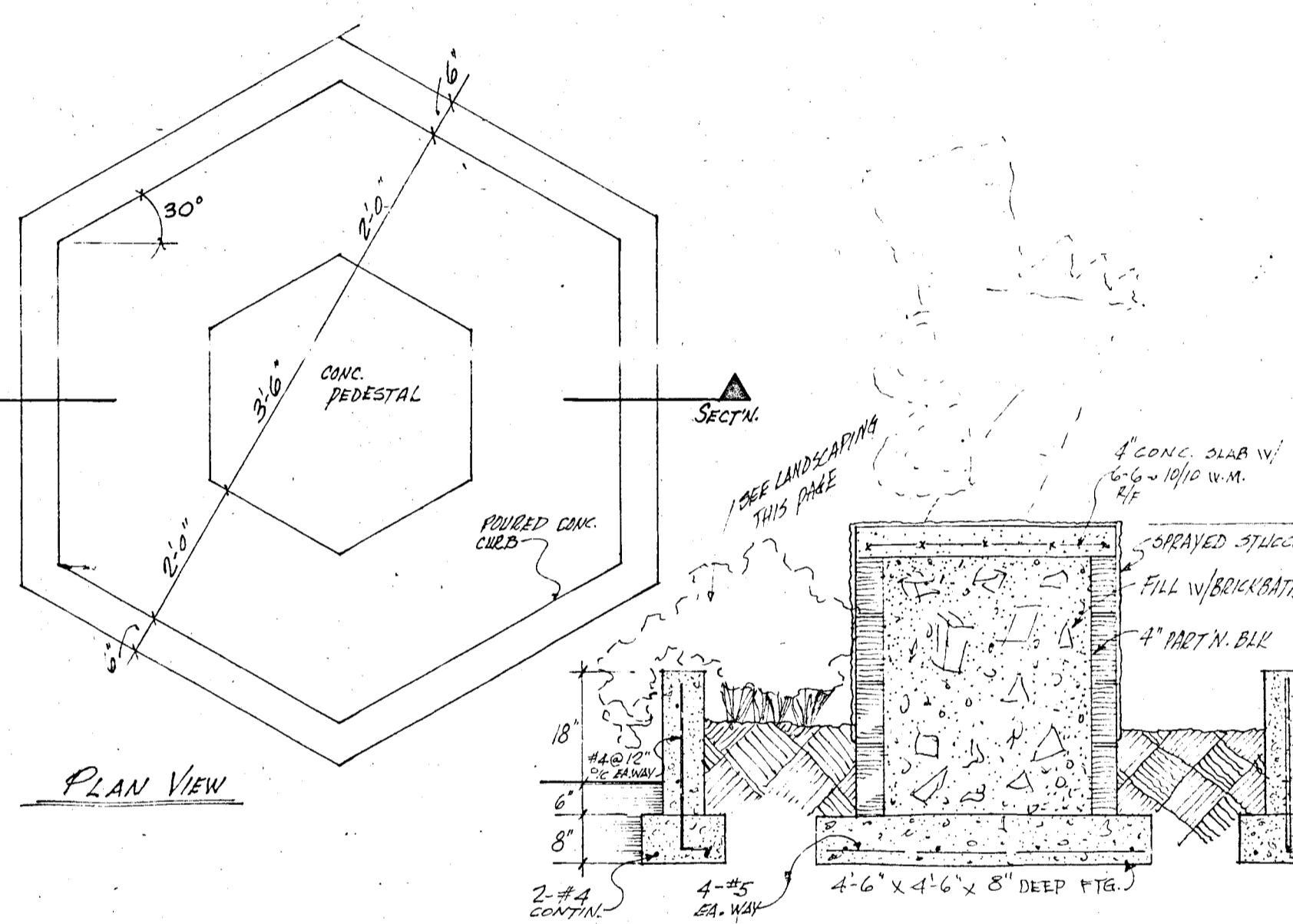
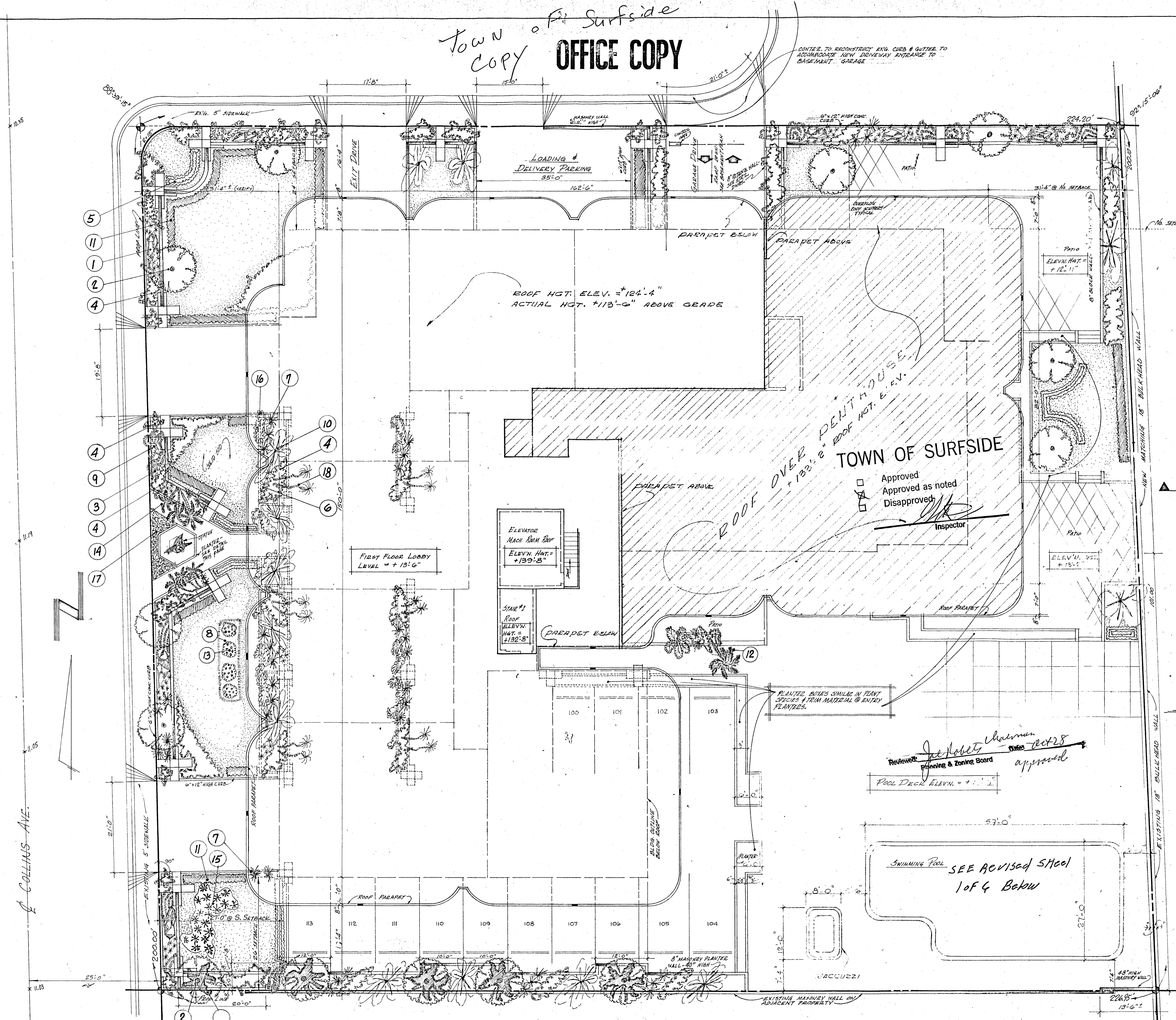
CHAMPLAIN TOWERS NORTH
COLLINS AVE.
A-112 UNIT CONDOMINIUM

COMM. No. 6/24/80

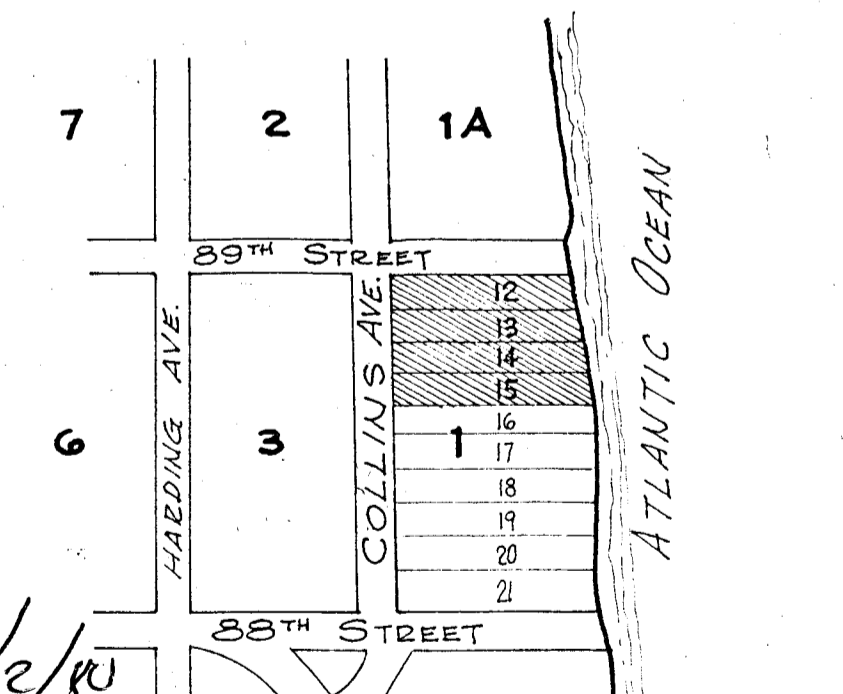
C-SHEET
REVISED: 3 OF 3

Town Copy
Office Copy

- ### LANDSCAPING SYMBOLS
- 1 CORAL ROCK BOULDER - 18" MIN. HGT. x 6' LONG x 3' WIDE
 - 2 SHADE TREE - 5" MIN. TRUNK DIAM. & 12' MIN. HGT. - NARRAGANSETT, BLACK OLIVE, BOTTLE BRUSH, JACARANDA, PRUNUS, REGINATA, SHEFFLEA, ARE ALL ACCEPTABLE. CAUTION: USE SMALL ROOT BALL.
 - 3 SPRING-A-THORN - #2 CAN - MIN. 9 PLANTS PER SQ. YD.
 - 4 WEDELIA - (GROUND COVER) - #2 CAN - MIN. 6 PLANTS PER SQ. YARD
 - 5 LIGHTSTORM HEDGE - VARIGATED LEAF - 24" HGT. - PLANTS @ 24" x 24"
 - 6 PURPLE QUEEN - 10" x 6" FA. WAY - STRAGGLER PATTERNS - 6" DIAM. PLANT
 - 7 ALICEVEEA - 24" TO 30" HGT. - 36" MIN. SPREAD - 48" MIN. STAGGER SPACING
 - 8 MOUND & MULCHED MUCK-SMIL - 12" HIGH, LOOSELY PACKED
 - 9 SHEFFLEA - (UMBRELLA TREE) - 12' MIN. HGT. - MULTI-TRUNK FEEDERED
 - 10 SEA GRAPE CLUSTER - 7' TO 8' MIN. HGT. & 10' TO 15' LENGTH OF SPREAD
 - 11 IXORA HEDGE - 24" TO 36" HGT. PLANTS @ 24" x 24"
 - 12 CABBAGE PALM - 3 TRUNK CLUSTER - MIN. 18" TO 26" HGT.
 - 13 ROSE BUSHES - 36" HGT. - 3 BUSH CLUSTER - 24" MIN. x 24" MIN.
 - 14 ALEXANDER PALM CLUSTER - 12' MIN. HGT.
 - 15 BABY BAMBOO CLUSTER - 12' MIN. HGT.
 - 16 ASPERAGUS FEEN - VARIGATED - PLANTS @ 18" x 9" FA. WAY
 - 17 FLAME VINE - (GROUND COVER)
 - 18 MARGINATA - MULTI STEM - 72" MIN. HGT.



LEGAL DESCRIPTION
 LOTS 12, 13, 14, 15, OF BLOCK 1,
 SECOND AMENDED PLAT OF
 NORMANDY BEACH, PLAT BK. #16,
 PAGE 44, DADE COUNTY, FLA. ~
 LYING & BEING IN THE CITY OF SURFSIDE,
 DADE COUNTY, FLA.



APPROVED: [Signature]
 Date: 11/2/10

INSPECTOR: [Signature]
 Date: 11/17/10

ELECTRICAL: [Signature]
 Date: 11/17/10

MECHANICAL: [Signature]
 Date: 11/17/10

LOCATION SKETCH Scale 1" = 300'
 See Notes - sheet 2

TOWN OF SURFSIDE

WILLIAM M. FROST & ASSOCIATES
 ARCHITECTS, INC.

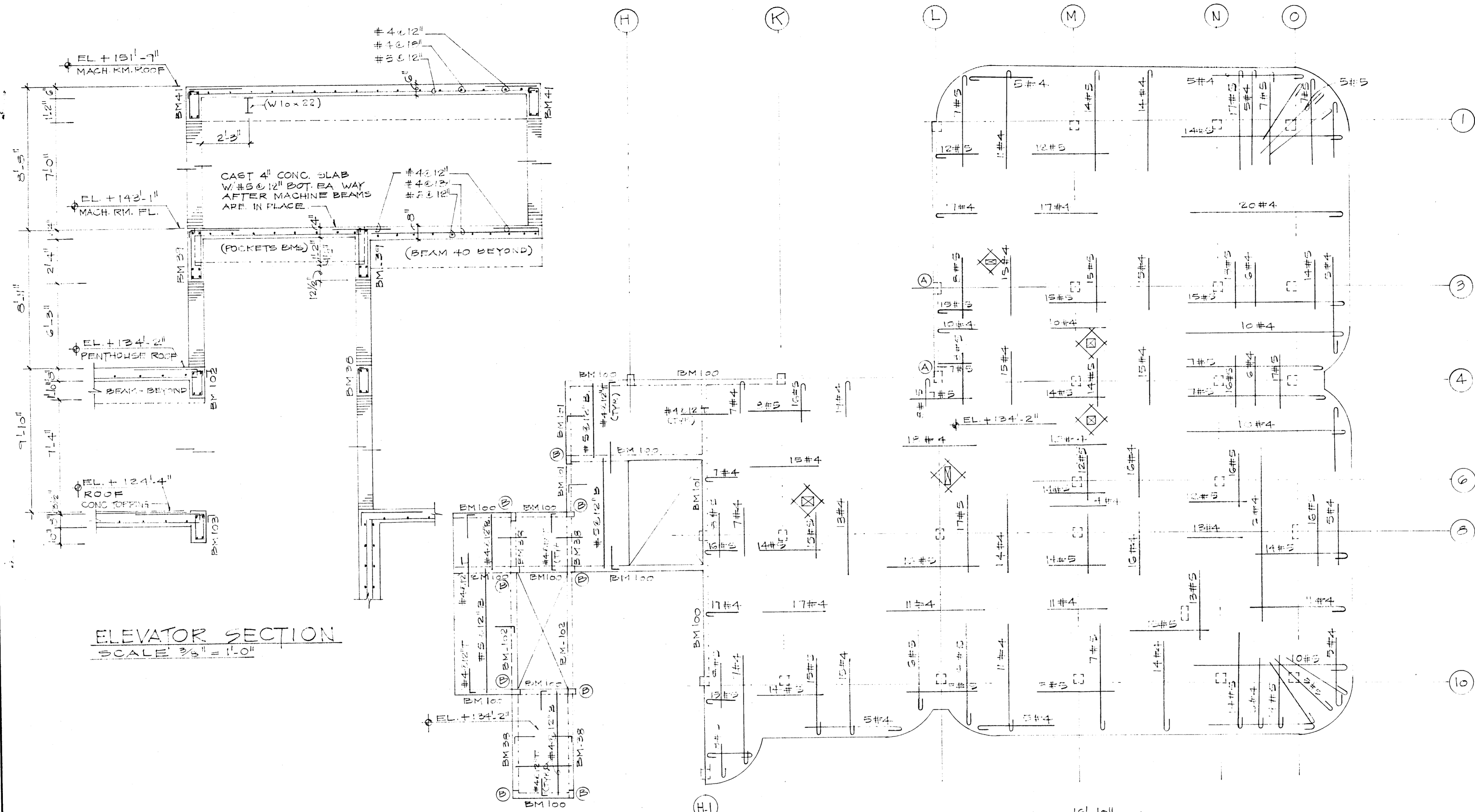
150 S.E. 27TH ST.
 FT. LAUDERDALE, FLA. 33304

CHARTERED PROFESSIONAL ARCHITECTS
 3977 S. COLLINS AVE.
 A-110 UNIT COUNTY REGISTRATION

DATE: 6/20/10

REV. 1 OF 77

LANDSCAPING ~ ROOF ~ SITE PLAN @ 3/32" = 1'-0"

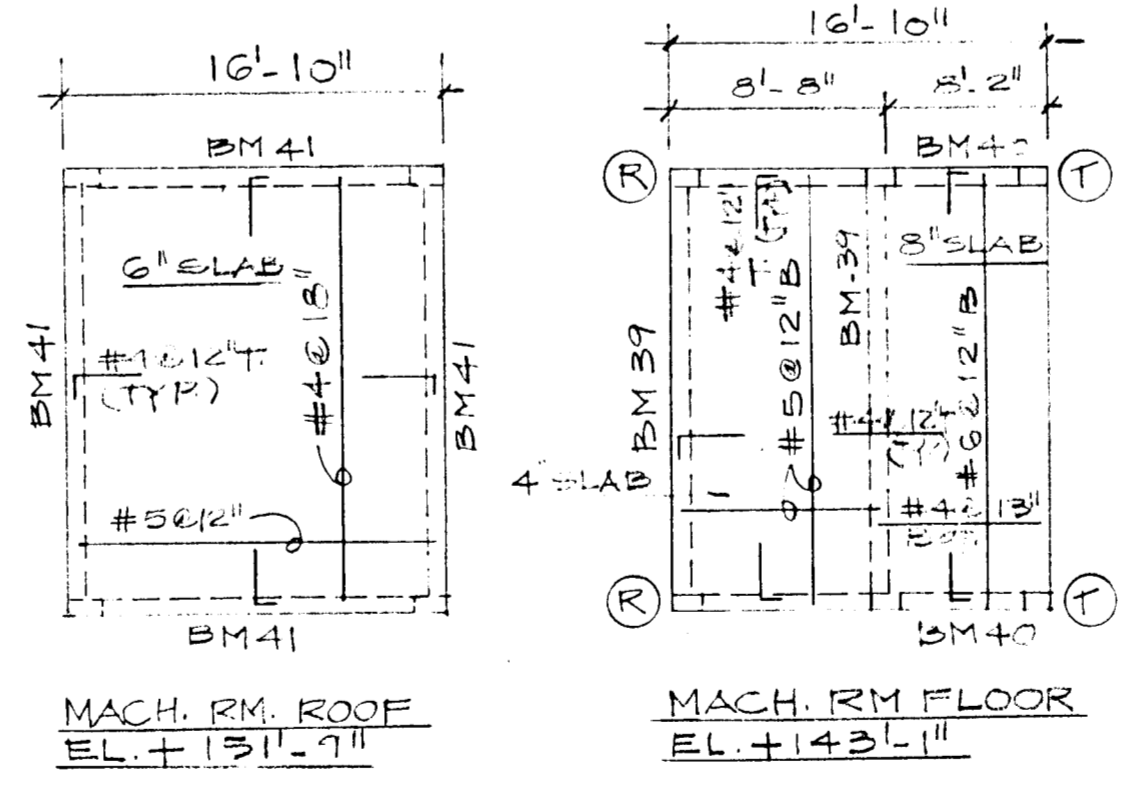


ELEVATOR SECTION
SCALE: 3/8" = 1'-0"

PENTHOUSE ROOF
SCALE: 1/8" = 1'-0"

BEAM SCHEDULE					
MARK	SIZE B x D	LONGITUDINAL		STIRRUPS	REMARKS
		BOTT.	TOP		
BM-100	8" x 22"	2#9	2#9	#3 @ 10"	
BM-101	8" x 22"	2#7*	2#7	#3 @ 10"	
BM-102	8" x 30"	2#5	2#5	#3 @ 12"	
BM-103	8" x 22"	2#5	2#5	#3 @ 12"	

NOTE:
COL. (A) 12" x 18" W/ 4#7 & 2#3 @ 12"
COL. (B) 8" x 12" W/ 4#5 & 2#3 @ 8"



[Signature]

CHAMPLAIN TOWERS NORTH
A-12 UNIT CONDOMINIUM

DATE: 11-12-20	SHEET No. S14A-14
REV:	

3800 SQ. FT. X 3 WATTS = 11.4 KW

PANEL	PHA	18, 3W, 120/208V, 225A FLUSH MTD. 40 CKTS.		
CKT. NO.	POLE BKR.	WIRE	SERVING	KW LINE
1	2-50	6	RANGE	8.0
2	2-40	8	DOUBLE OVEN	7.0
3	2-70	4	AIR CONDITIONING	12.1
4	2-60	6	AIR CONDITIONING	8.2
5	2-60	6	AIR CONDITIONING	8.2
6	2-30	10	WATER HEATER	4.5
7	2-30	10	WATER HEATER	4.5
8	2-30	10	DRYER	5.0
9	2-40	8	SAUNA	6.0
10	1-20	12	WASHER	1.5
11			REFRIGERATOR	0.9
12			REFRIGERATOR	0.9
13			DISHWASHER	1.2
14			TRASH COMPACTOR	1.0
15			MICROWAVE OVEN	1.0
16-17			SMALL APPLIANCES	3.0
18-27	1-15	14	LIGHTS & RECEPTACLE	11.4

N.E.C. TABLE 220-30

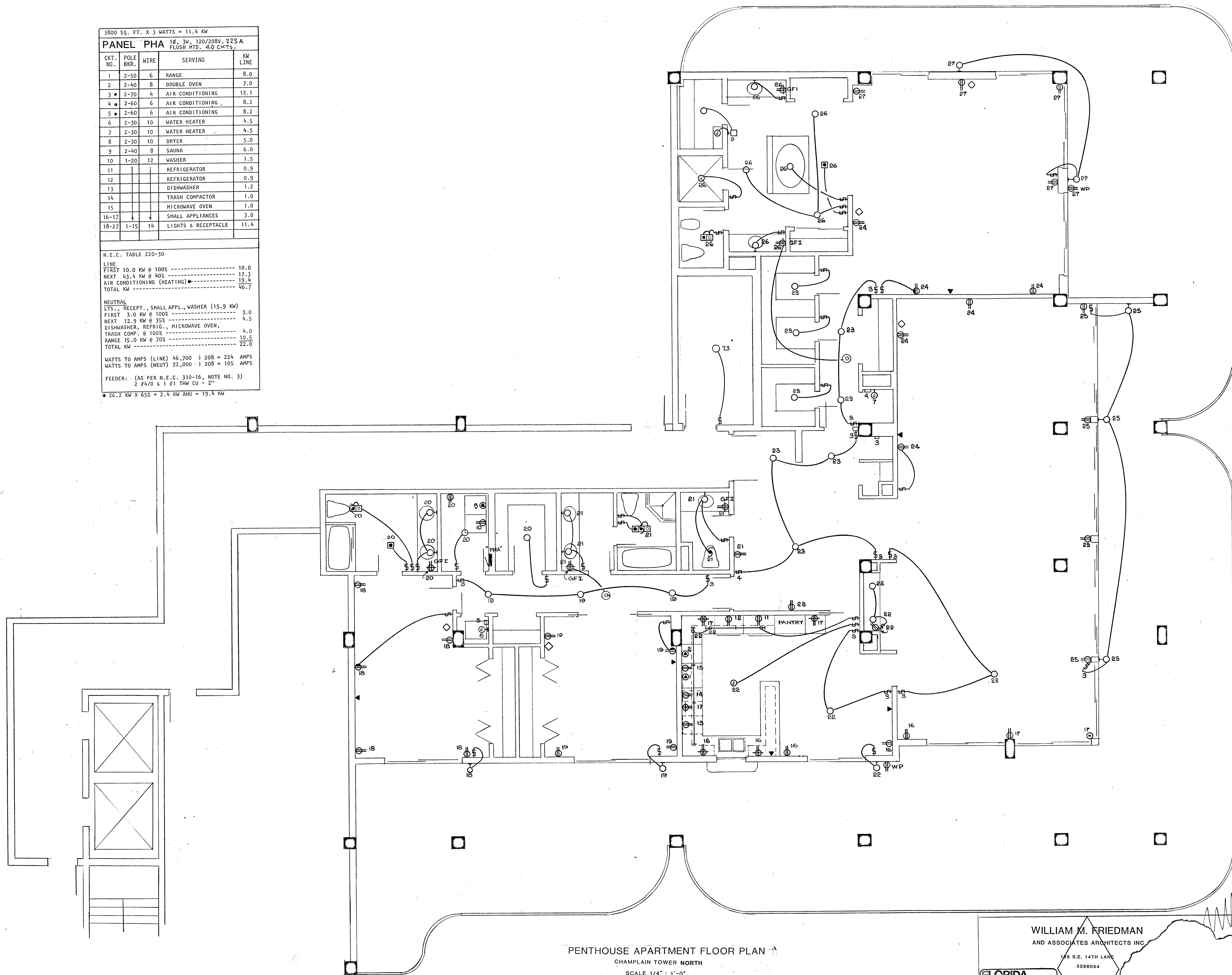
LINE
 FIRST 10.0 KW @ 100% ----- 10.0
 NEXT 43.4 KW @ 40% ----- 17.3
 AIR CONDITIONING (HEATING) ----- 19.4
 TOTAL KW ----- 46.7

NEUTRAL
 LTS., RECEPT., SMALL APPL., WASHER (15.9 KW)
 FIRST 3.0 KW @ 100% ----- 3.0
 NEXT 12.9 KW @ 35% ----- 4.5
 DISHWASHER, REFRIG., MICROWAVE OVEN,
 TRASH COMP. @ 100% ----- 4.0
 RANGE 15.0 KW @ 70% ----- 10.5
 TOTAL KW ----- 22.0

WATTS TO AMPS (LINE) 46,700 ÷ 208 = 224 AMPS
 WATTS TO AMPS (NEUT) 22,000 ÷ 208 = 105 AMPS

FEEDER: (AS PER N.E.C. 310-16, NOTE NO. 3)
 2 #4/0 & 1 #1 THW CU - 2"

• 26.2 KW X 65% + 2.4 KW AHU = 19.4 KW



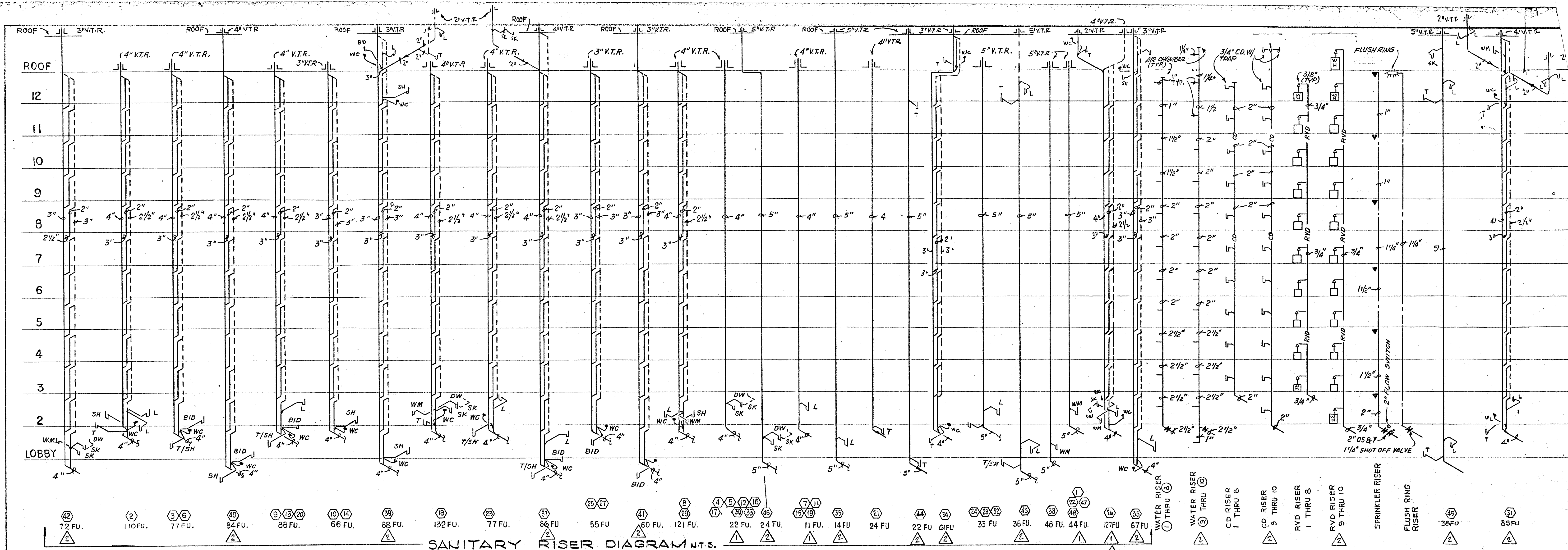
PENTHOUSE APARTMENT FLOOR PLAN
 CHAMPLAIN TOWER NORTH
 SCALE 1/4" = 1'-0"

Solomon Halperin

WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS INC.
 140 S.E. 14TH LANE
 3588044

FLORIDA
 ENGINEERING
 SERVICES
 252 NE 167 STREET
 MIAMI, FLA. 33161
 845-4743

COMM



SANITARY RISER DIAGRAM N.T.S.

- APARTMENT PLUMBING FIXTURES AND TRIM (ALL FIXTURES TO BE WHITE)
- LAVATORY: 0475.028 "AQUALYN" 20" x 17" V.C. - SELF RIMMING 2379.019 "AQUARIAN 11" FAUCET W/AERATOR, POP-UP DRAIN, AND CERAMIC DISC CARTRIDGE. 3/4" x 12" C.P. SUPPLY PIPES W/STOPS. 1 1/2" C.P. TUBE P-TRAP - 17 GAGE.
 - WATER CLOSET: 2109.056 "ELONGATED CADET" - SIPHON-JET. 5330.063 "CORONA" CLOSED FRONT SEAT W/COVER. 3/4" x 12" C.P. SUPPLY PIPES W/STOPS. (2) BOLT CAPS.
 - BATHTUB: 0135.137 (RH) OR 0137.133 (LH) "SALEM" 5'0" ACID RESISTING ENAMELED STEEL RECESSED BATH W/SLIP RESISTANT BOTTOM. 1490.093 AQUARIAN 11 BATH AND SHOWER COMBINATION - DIVERTER SPOUT - CERAMIC DISC CARTRIDGE. 1560.135 MULTI-FLEX DRAIN.
 - ROMAN TUB: FOR SPECIFICATIONS SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.
 - SHOWER: 1490.036 "AQUARIAN 11" SHOWER FITTING - CERAMIC DISC CARTRIDGE WITH SCREWDRIIVER STOPS. 1413.012 SHOWER HEAD, 1444.017 ARM AND ESCOTCHEON PLATE. ZURN: Z-415 SERIES W/TYPE B STRAINER. PROVIDE 4 LB. LED PAN.
 - KITCHEN SINK: 7017.015 "CUSTOM-LINE DOUBLE BOWL SINK, 32 x 20, 4 HOLE. 4200.077 "AQUARIAN 11" SWING SPOUT FAUCET - SWIVEL AERATOR - CERAMIC DISC CARTRIDGE. 3/4" SINK SUPPLIES W/STOPS. 1 1/2" S.F. TUBE P-TRAP - .37 GAGE. DISPOSER BY OTHERS.
 - LAUNDRY TRAY: MUSTEE MODEL 18F - FLOOR MOUNTED, 20 GAL. CAPACITY MOULDED STONE WITH DRAIN. TRIM-CHICAGO FAUCET CO., NO. 891 WITH AERATOR AND LEVER HANDLES. 1 1/2" SATIN FINISH P-TRAP, 17 GAGE, 3/4" SINK SUPPLIES W/STOPS.
 - BIDGET: 5010.103 "LUXETTE" WITH FITTING - WITH CHROME HANDLE FOR WALL MOUNTING - 3324.092.

PUMP SCHEDULE	
PUMP NUMBER	P-1
APPLICATION	DOMESTIC BOOSTER
LOCATION	LOBBY EQUIP. ROOM
G.P.M.	90+180+180
T.D.H. (IN FT. WATER)	110
H.P.	5+10+10
R.P.M.	1750
EFFICIENCY	59.5% + 71.5% + 71.5%
VOLTAGE	208-3-60
MOTOR TYPE	O.D.P.
PUMP TYPE	HORIZONTAL END SUCTION
MANUFACTURER	SYNCO-FLOW
MODEL	450ES48P
SIZE	1-1P; 2-1Q
CONSTRUCTION	CAST IRON BRONZE FITTED
SEAL	MECHANICAL
OPERATING WEIGHT - LBS	2000
INERTIA BLOCK SIZE	A, B, C, D & E
ACCESSORIES	
A.	SPRING ISOLATORS
B.	HIGH & LOW PRESSURE CUT-OFF
C.	ELECTRICAL ALTERNATION
D.	COPPER PIPING
E.	PIPE ISOLATORS

- PUBLIC AREA PLUMBING FIXTURES AND TRIM (ALL FIXTURES TO BE WHITE)
- PLUMBING FIXTURES - ALL FIXTURES TO BE AMERICAN STANDARD.
- WATER CLOSET: (FOR THE HANDICAPPED) 9468.018 "ELONGATED CADET" - SIPHON JET - 11" TOP STUD SEAT: HEAVY DUTY SOLID PLASTIC OPEN FRONT SEAT, LESS COVER, WITH STAINLESS STEEL CHECK HINGE. SLOAN ROYAL 115 FLUSH VALVE 481310-100 BOLT CAPS.
 - WATER CLOSET: (REGULAR) 2222.016 "MODERN" SIPHON JET 1 1/2" TOP STUD SEAT: HEAVY DUTY SOLID PLASTIC OPEN FRONT SEAT, LESS COVER, WITH STAINLESS STEEL CHECK HINGE. SLOAN ROYAL 110 FLUSH VALVE 481310-100 BOLT CAPS.
 - LAVATORY: 0475.028 "AQUALYN" 20 x 17 VITREOUS CHINA SELF RIMMING LAVATORY. 2379.063 AQUARIAN 11 CENTER SET SINGLE HANDLE VALVE WITH AERATOR AND POP-UP DRAIN. 1/2" x 12" C.P. SUPPLY PIPES WITH STOPS 1 1/4" C.P. TUBE P-TRAP - 17 GAGE.
 - URINAL: 6560.015 "TRIMBROOK" WALL HUNG SIPHON JET URINAL SLOAN ROYAL 106-11 FLUSH VALVE.
 - SHOWER: PUBLIC 1490.036 AQUARIAN 11 SHOWER FITTING - CERAMIC DISC CARTRIDGE WITH SCREWDRIIVER STOPS.
 - SERVICE SINK: 7692.049 "LAKEWELL" 22" x 18" AERCI SINK WITH 8379.018 RIM GUARD 8340.242 DOUBLE FAUCET WITH HOSE AND SPOUT, PAIL HOOK, AND VACUUM BREAKER. .7798.176 3" TRAP STANDARD.
 - ELECTRIC WATER COOLER: PUBLIC HALSEY TAYLOR WC-7A-1 WALL HUNG WATER COOLER.
 - FLOOR DRAIN: ZURN MODEL ZN415 - WITH NO HUB FITTING.
 - PLANTER DRAIN: ZURN ZB114C WITH SUMP RECEIVER AND PERFORATED OVERFLOW. SEE ARCHITECTURAL PLANS FOR LENGTH OF OVERFLOW REQUIRED.
 - ROOF DRAIN: ZURN MODEL Z-113 WITH LEAD FLASHING AROUND DRAIN
 - POOL EQUIPMENT ROOM: ZURN ZB-520-Y WITH Z-1099 BW WITH PRIMING CONNECTION.
 - PUMP ROOM DRAIN: ZURN Z-550-Y WITH PRIMING CONNECTION
 - TRASH ROOM: ZURN Z-451 WITH Z-1099 BW WITH PRIMING CONNECTION.
 - TRENCH DRAIN: ZURN ZN-666.
 - POOL AND LOBBY LEVEL DECK: ZURN ZN-415 WITH 10" TYPE "H" TOP.
 - PARKING DECK DRAIN: ZURN Z-150 WITH 14" TOP.

FIXTURE CONNECTION SCHEDULE					
ITEM	C.W. CONN	H.W. CONN	TRAP SIZE	F.U. COUNT	REMARKS
LAVATORY	1/2"	1/2"	1 1/2"	1	
BATHTUB	1/2"	1/2"	1 1/2"	2	
SHOWER	1/2"	1/2"	2"	2	
WATER CLOSET (TANK)	1/2"	---	3"	4	
KITCHEN SINK	1/2"	1/2"	1 1/2"	4	
WASHING MACHINE	1/2"	1/2"	1 1/2"	4	VACUUM BKR & VALVE IN THE VERTICAL
HOSE BIB	3/4"	---	---	---	
DISHWASHER	---	1/2"	1 1/2"	2	
FLOOR DRAIN	---	---	3 or 4"	3	PROVIDE TRAP RESEALER
URINAL	3/4"	---	2"	4	WALL MOUNTED
WATER CLOSET (FLUSH VALVE)	1"	---	3"	8	
DRINKING FOUNTAIN	3/8"	---	1 1/2"	1	SEE PLANS FOR LOCATIONS

WILLIAM M. FRIEDMAN AND ASSOCIATES ARCHITECTS, INC.

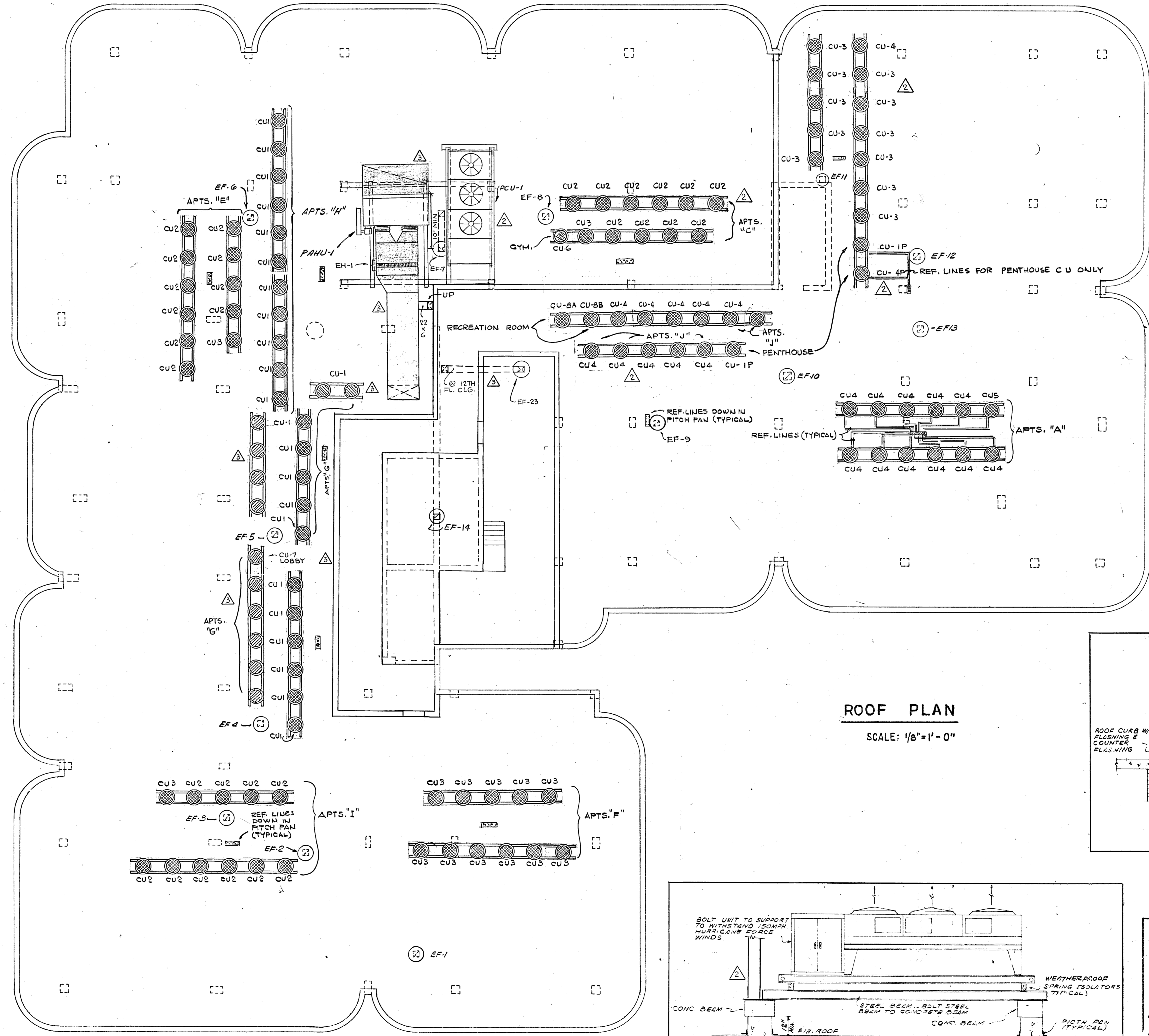
150 S. E. 2ND AVE. 358 8044

TOWERS

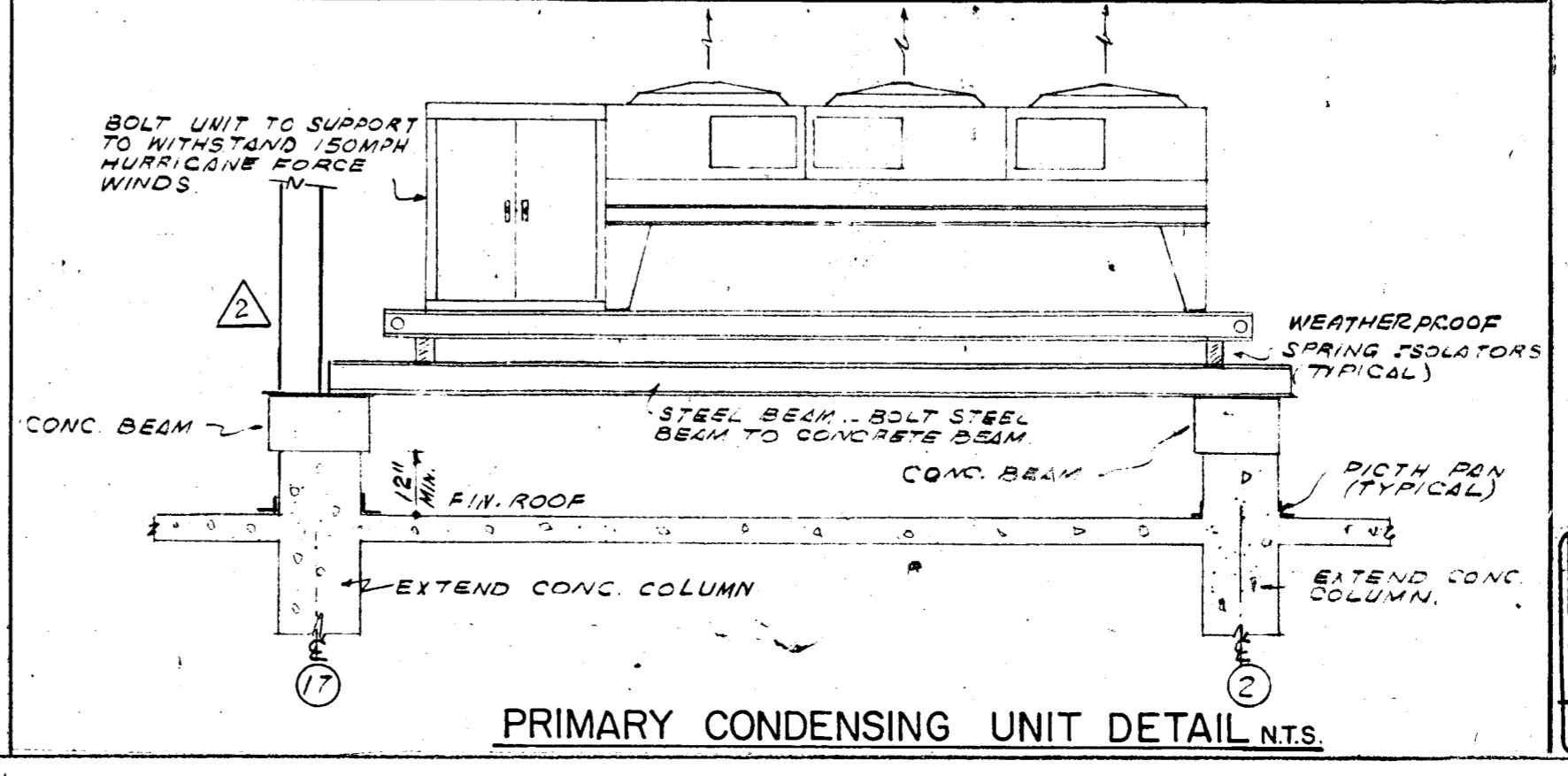
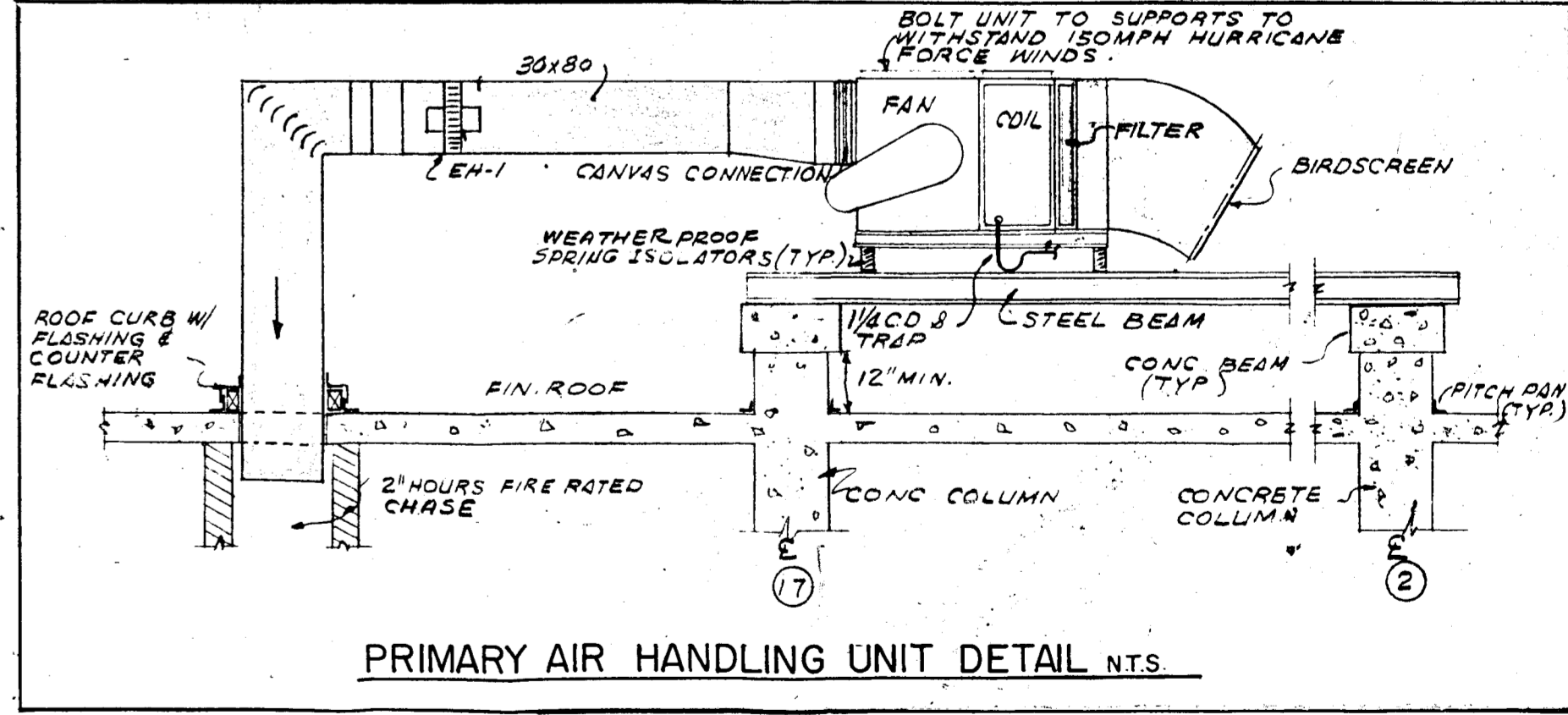
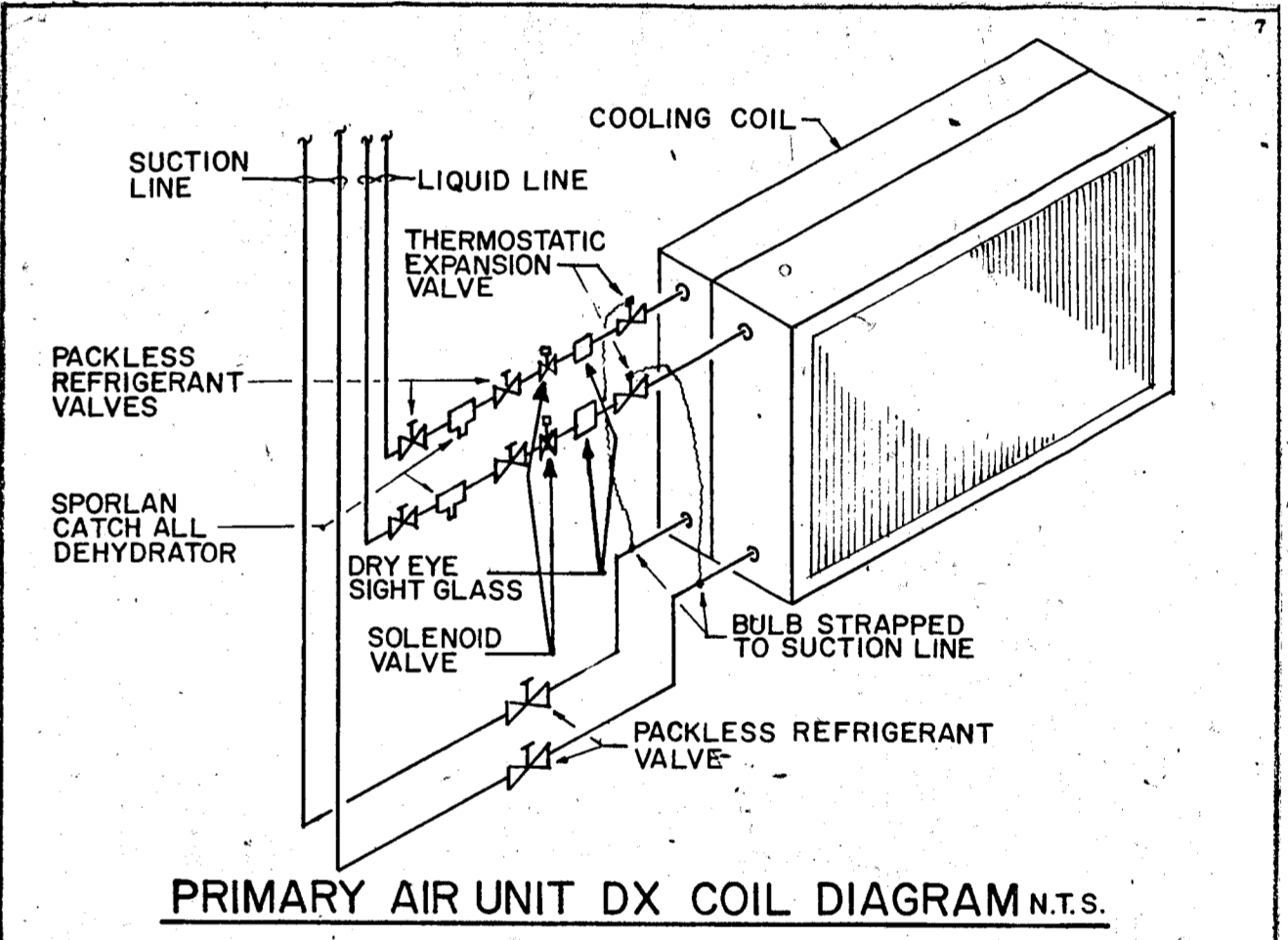
11-80 REV.
4-1-80 REV.
FLORIDA ENGINEERING SERVICES
352 NE 167 STREET
SUITE 1000
MIAMI, FL 33132
945-4743

A 112 UNIT CONDOMINIUM
COMM. NO. DATE 10.9.80 SHEET NO. 110 OF 11

Solomon Medina



ROOF PLAN
SCALE: 1/8" = 1'-0"

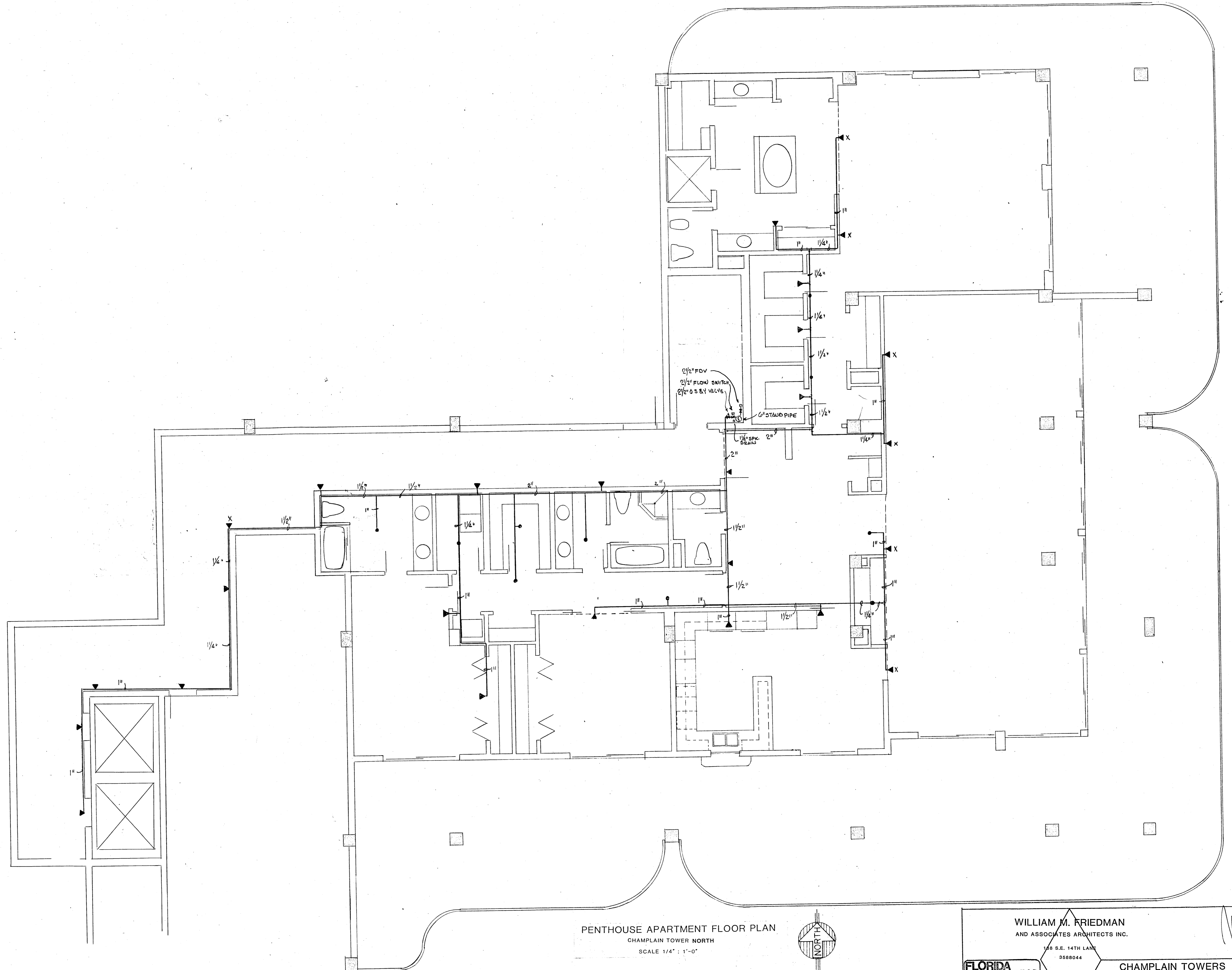


WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
150 S.E. 2ND AVE.
358 8044

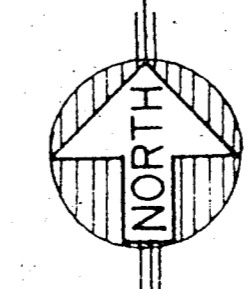
TOWERS
A 112 UNIT CONDOMINIUM

COMM NO. DATE 10-1-80 SHEET NO. 9
REV. 11-10-80 REV. 10-30-80 REV. 4-9-80 REV.

FLORIDA ENGINEERING SERVICES
352 N.E. 167 STREET
N. MIAMI BCH, FLA.
33162 945-4743



PENTHOUSE APARTMENT FLOOR PLAN
 CHAMPLAIN TOWER NORTH
 SCALE 1/4" = 1'-0"



Solomon Miller

WILLIAM M. FRIEDMAN AND ASSOCIATES ARCHITECTS INC. 128 S.E. 14TH LANE 3588044		CHAMPLAIN TOWERS NORTH A. 112 UNIT CONDOMINIUM
FLORIDA ENGINEERING SERVICES 352 NE 167 STREET MIAMI BCH, FLA 33162 845-4743	COMM. NO. DATE: SHEET NO. 311 REV:	

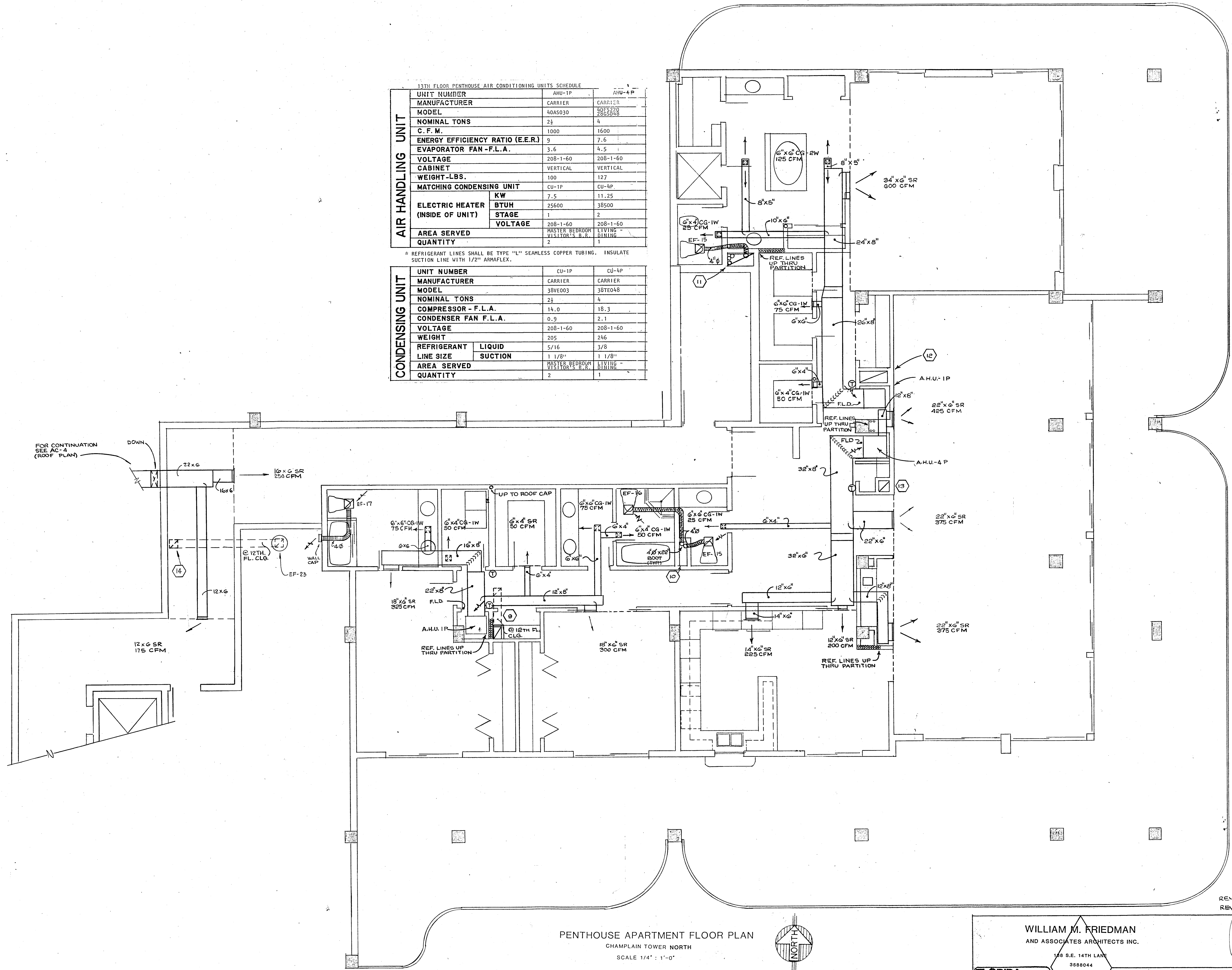
REV. 11-13-80
 REV. 11-7-80

13TH FLOOR PENTHOUSE AIR CONDITIONING UNITS SCHEDULE

UNIT NUMBER	AHU-1P	AHU-4P
MANUFACTURER	CARRIER	CARRIER
MODEL	40AS030	38E0408
NOMINAL TONS	2 1/2	4
C.F.M.	1000	1600
ENERGY EFFICIENCY RATIO (E.E.R.)	9	7.6
EVAPORATOR FAN - F.L.A.	3.6	4.5
VOLTAGE	208-1-60	208-1-60
CABINET	VERTICAL	VERTICAL
WEIGHT - LBS.	100	127
MATCHING CONDENSING UNIT	CU-1P	CU-4P
KW	7.5	11.25
ELECTRIC HEATER (INSIDE OF UNIT)	BTUH	BTUH
STAGE	1	2
VOLTAGE	208-1-60	208-1-60
AREA SERVED	MASTER BEDROOM	LIVING - DINING
QUANTITY	2	1

REFRIGERANT LINES SHALL BE TYPE "L" SEAMLESS COPPER TUBING. INSULATE SUCTION LINE WITH 1/2" ARMAFLEX.

UNIT NUMBER	CU-1P	CU-4P
MANUFACTURER	CARRIER	CARRIER
MODEL	38VE003	38TE048
NOMINAL TONS	2 1/2	4
COMPRESSOR - F.L.A.	14.0	18.3
CONDENSER FAN F.L.A.	0.9	2.1
VOLTAGE	208-1-60	208-1-60
WEIGHT	205	246
REFRIGERANT	LIQUID	LIQUID
LINE SIZE	5/16"	3/8"
SUCTION	1 1/8"	1 1/8"
AREA SERVED	MASTER BEDROOM	LIVING - DINING
QUANTITY	2	1



PENTHOUSE APARTMENT FLOOR PLAN
 CHAMPLAIN TOWER NORTH
 SCALE 1/4" = 1'-0"

WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS INC.
 158 S.E. 14TH LANE
 3588044

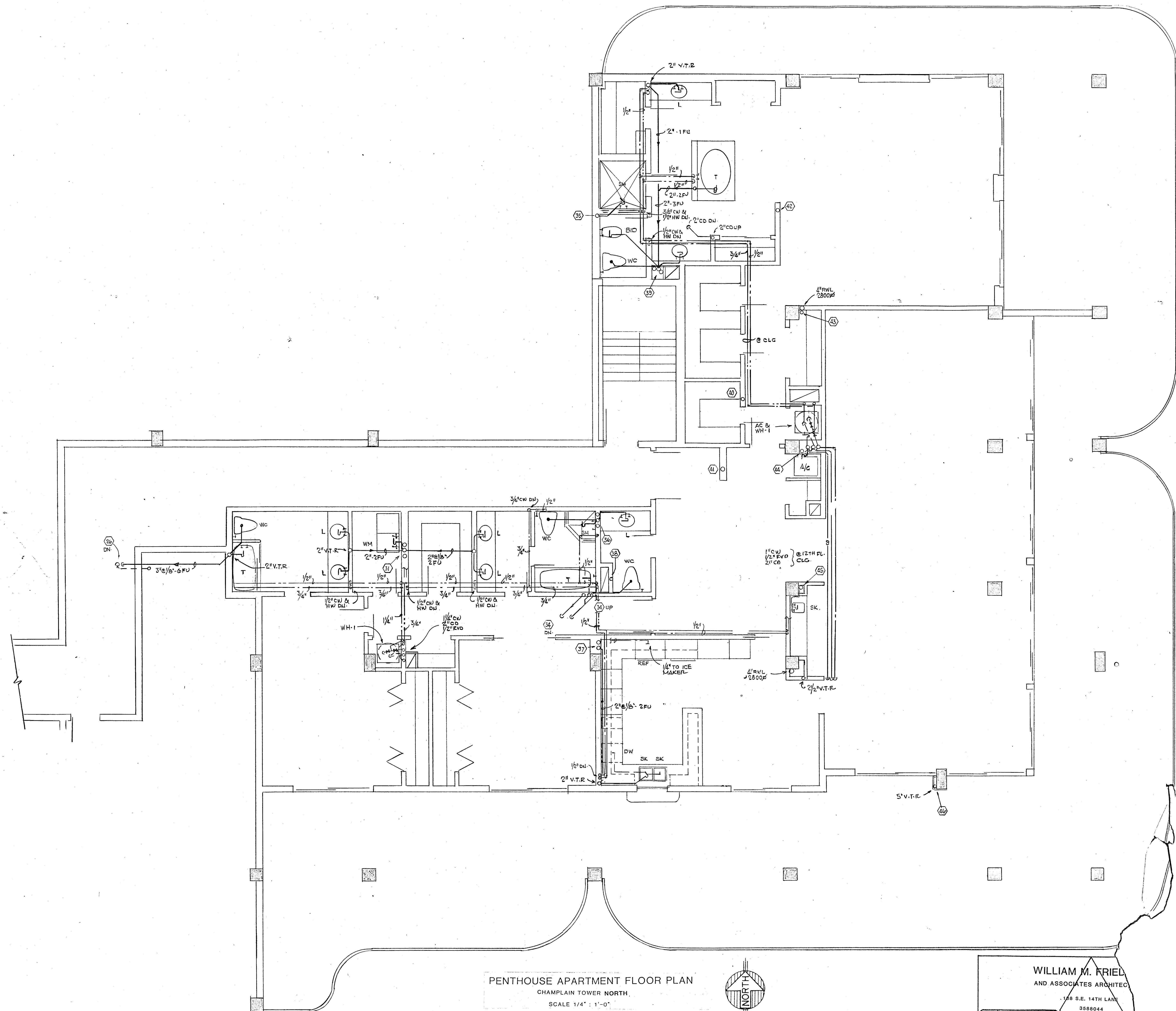
FLORIDA ENGINEERING SERVICES
 352 NE 167 STREET
 MIAMI BCH, FLA 33162
 945-4743

CHAMPLAIN TOWERS NORTH
 A. 112 UNIT CONDOMINIUM

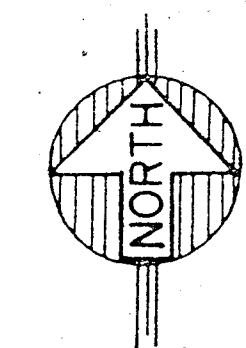
COMM. NO. DATE: NOV. 7-80 SHEET NO. REV:

REV. 11-13-80
 REV. 11-10-80

Salomon



PENTHOUSE APARTMENT FLOOR PLAN
 CHAMPLAIN TOWER NORTH,
 SCALE 1/4" = 1'-0"



Salomon M. Lior

WILLIAM M. FRIED
 AND ASSOCIATES ARCHITECTS
 100 S.E. 14TH LANE
 3586044

FLORIDA
 ENGINEERING
 SERVICES
 352 NE 167 STREET
 MIAMI BCH, FLA
 33133 945-4743

COMM. No.

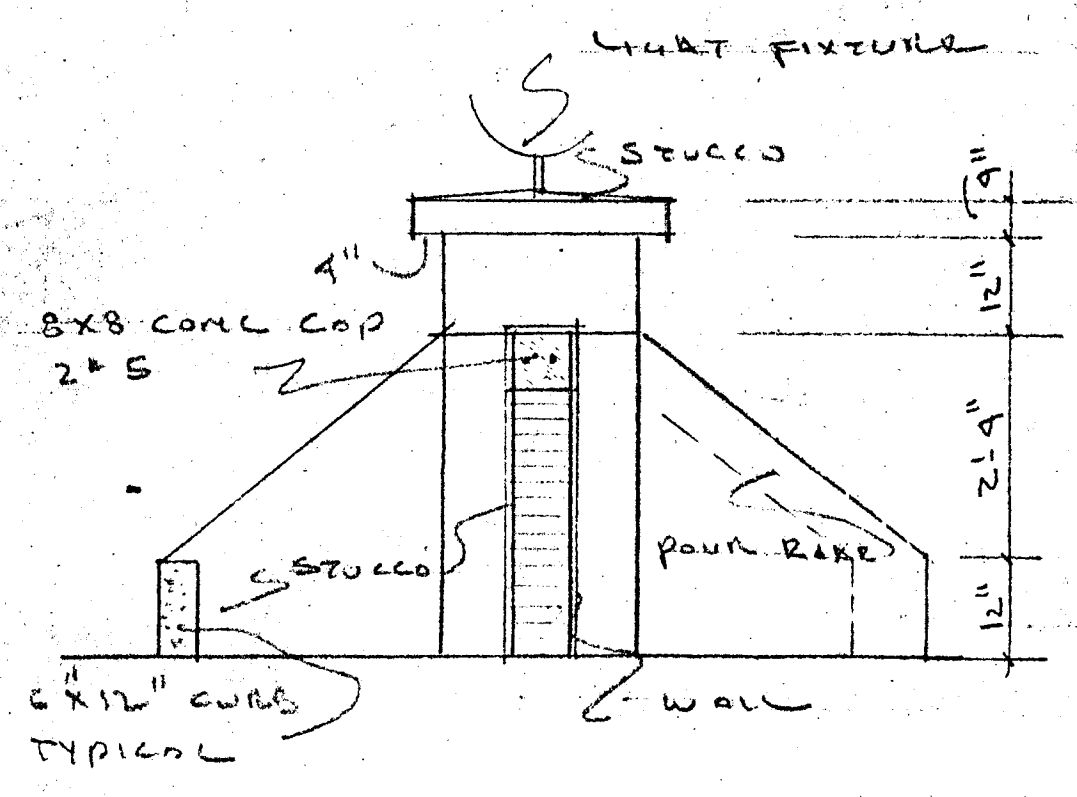
LOTS 12-14
BLOCK 1
1/2 S 24
4

~~THE GREAT TOWNS~~
CHAMPLAIN
PENTHOUSE

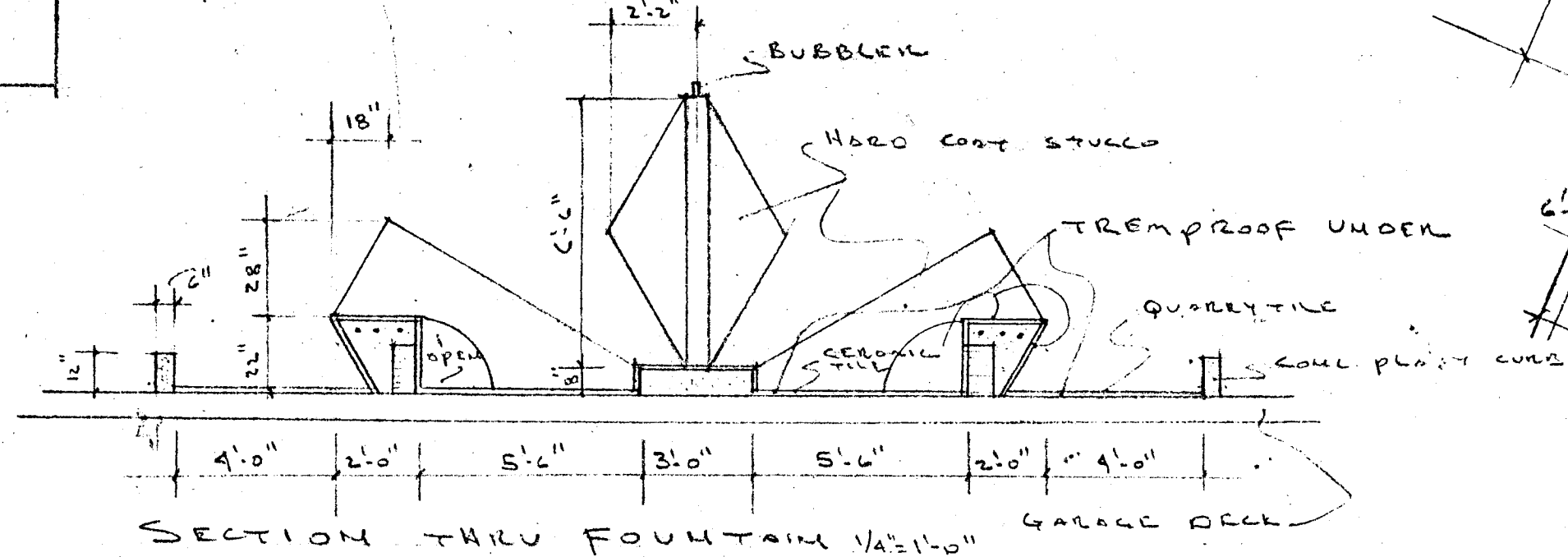
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N

Town of Sur Side
COPY

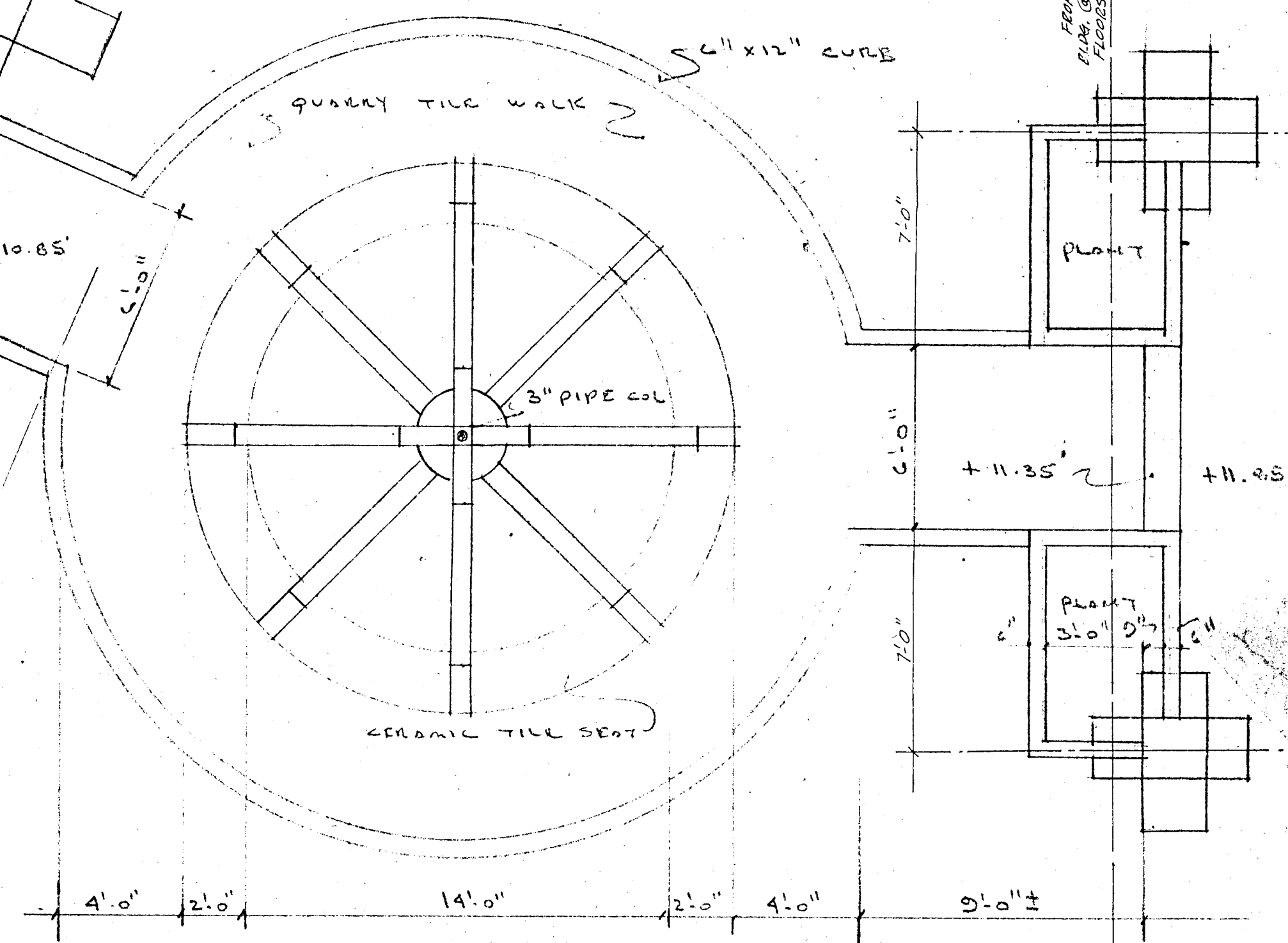
OFFICE COPY



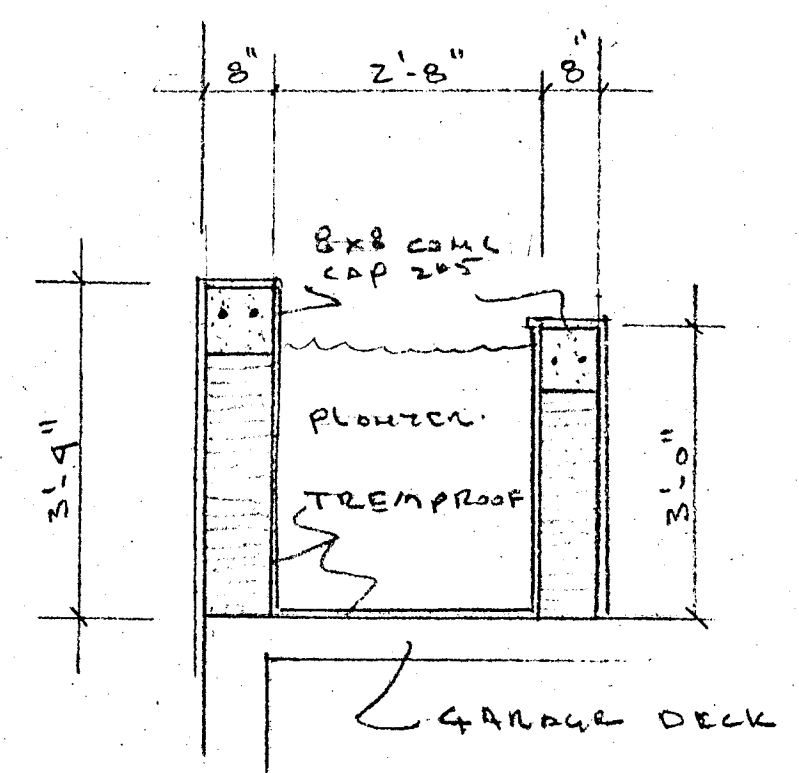
FEATURE WALL DETAIL 1/2" = 1'-0"



SECTION THRU FOUNTAIN 1/2" = 1'-0"

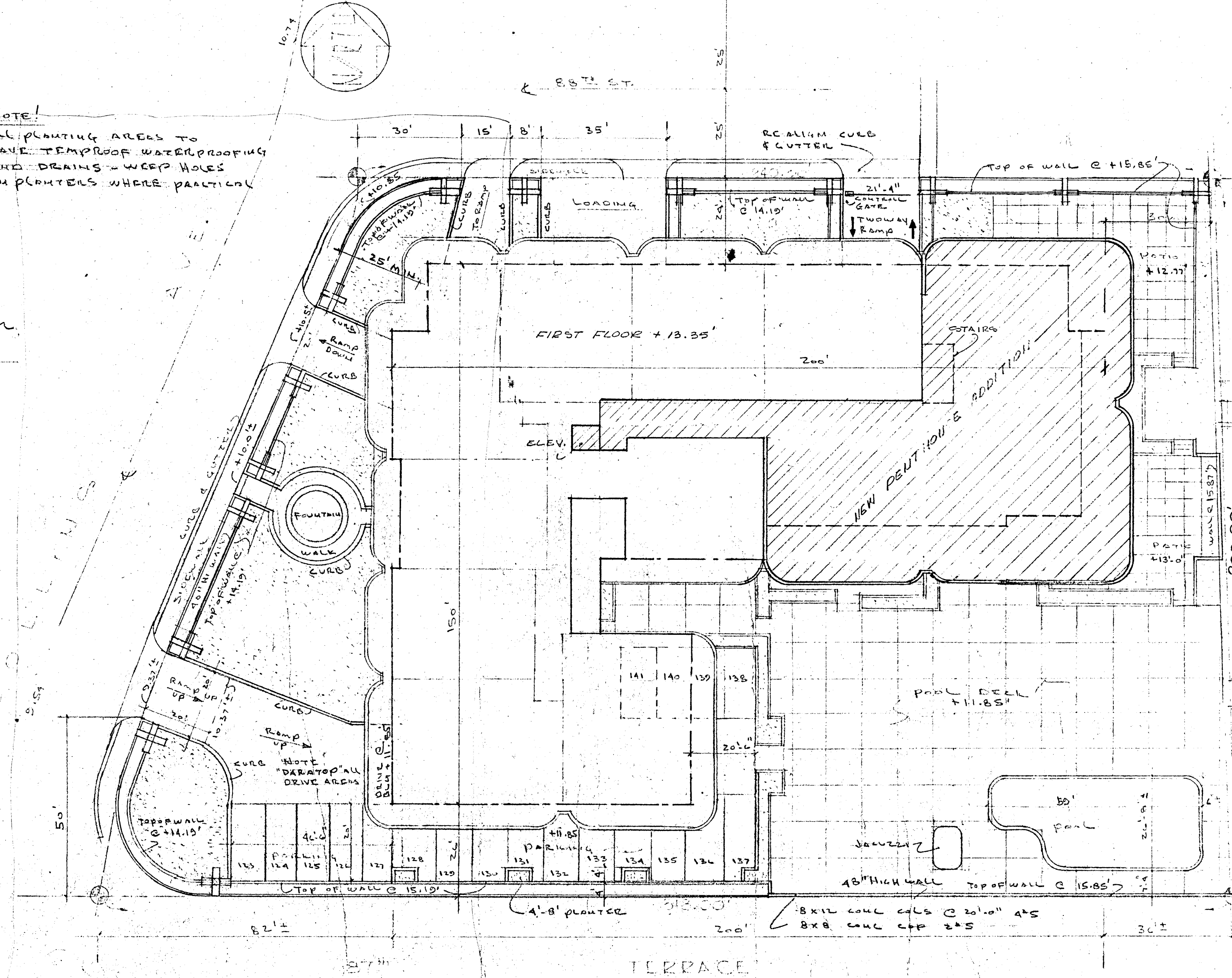


FOUNTAIN PLAN 1/4" = 1'-0"



SECTION THRU 4x8 planter 1/2" = 1'-0"

NOTE!
ALL PLANTING AREAS TO
HAVE TREMPROOF WATERPROOFING
AND DRAINS - WEEP HOLES
IN PLANTERS WHERE PRACTICAL



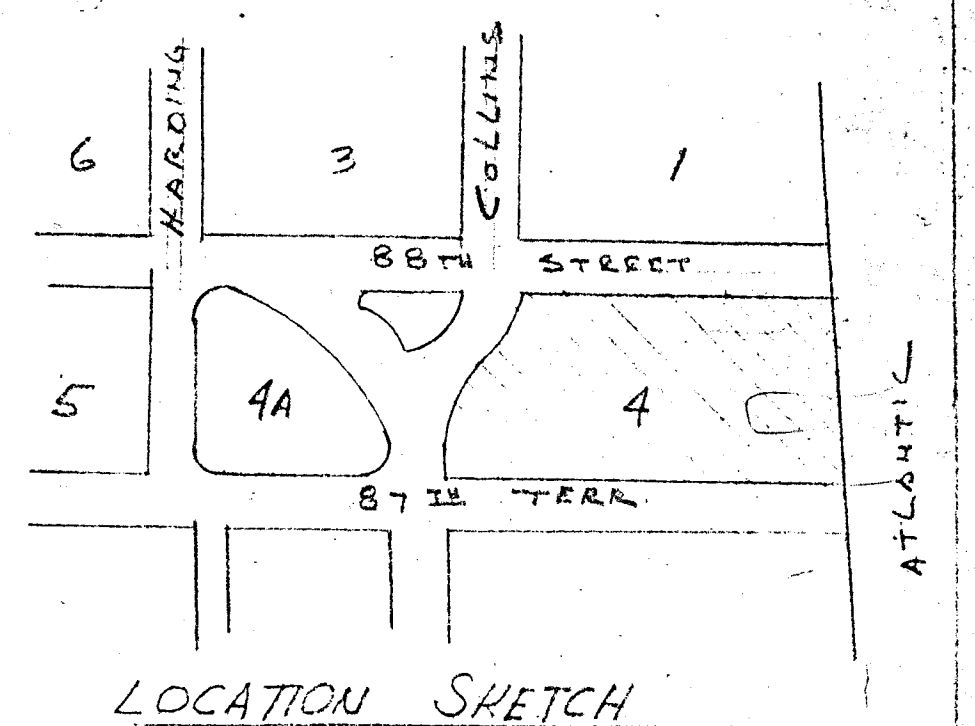
SITE PLAN @ 1" = 20'

TOWN OF SURFSIDE

- Approved
 - Approved as noted
 - Disapproved
- [Signature]*
Inspector

TOWN OF SURFSIDE

APPROVED:
Bldg. Inspector *[Signature]* Date 11/2/80
Electrical Inspector *[Signature]* Date 11/16/80
Plumbing Inspector *[Signature]* Date 11/2/80 See Note 192
Mechanical Insp. *[Signature]* Date



LOCATION SKETCH

Reviewed: *[Signature]* Chairman
Planning & Zoning Board Date 10/28/80
[Signature] approved

SEE REVISED SHEET
1 OF 6 BELOW

LEGAL
BLOCK 4
2ND AMENDED PLAT OF
NORMANDY BEACH
SURFSIDE, DADE CO., FLA.

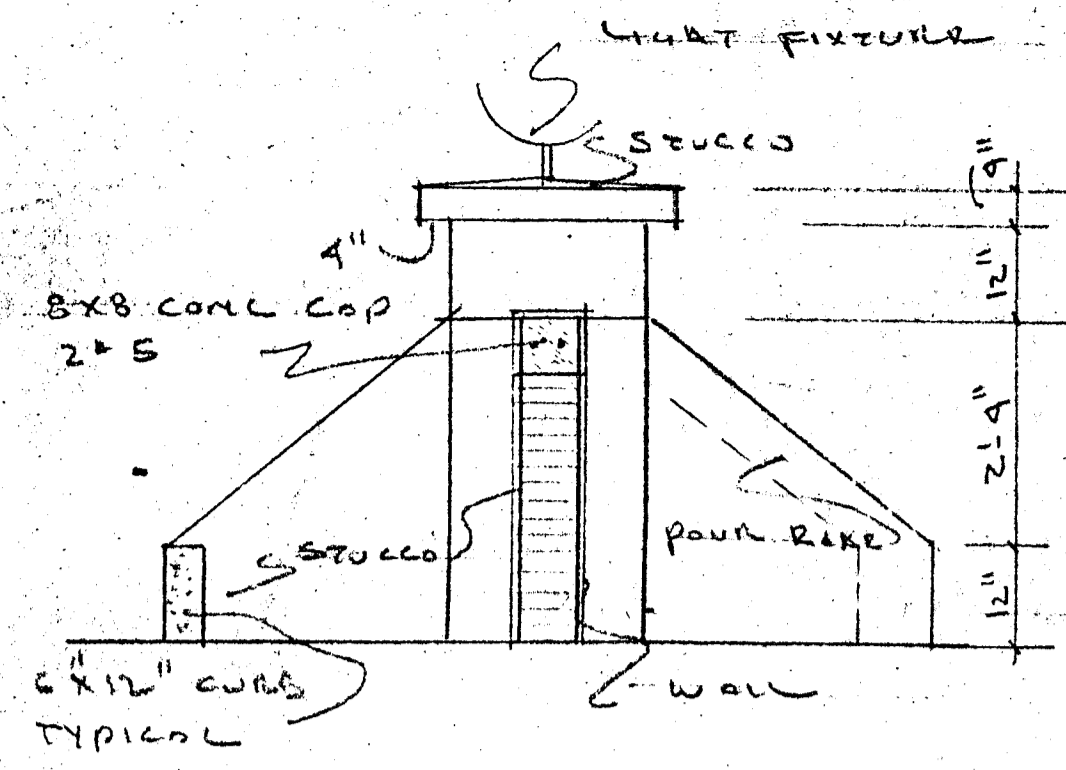
NEW PENTHOUSE ADDITION

WILLIAM M. FRIEDMAN
AND ASSOCIATES, ARCHITECTS, INC.

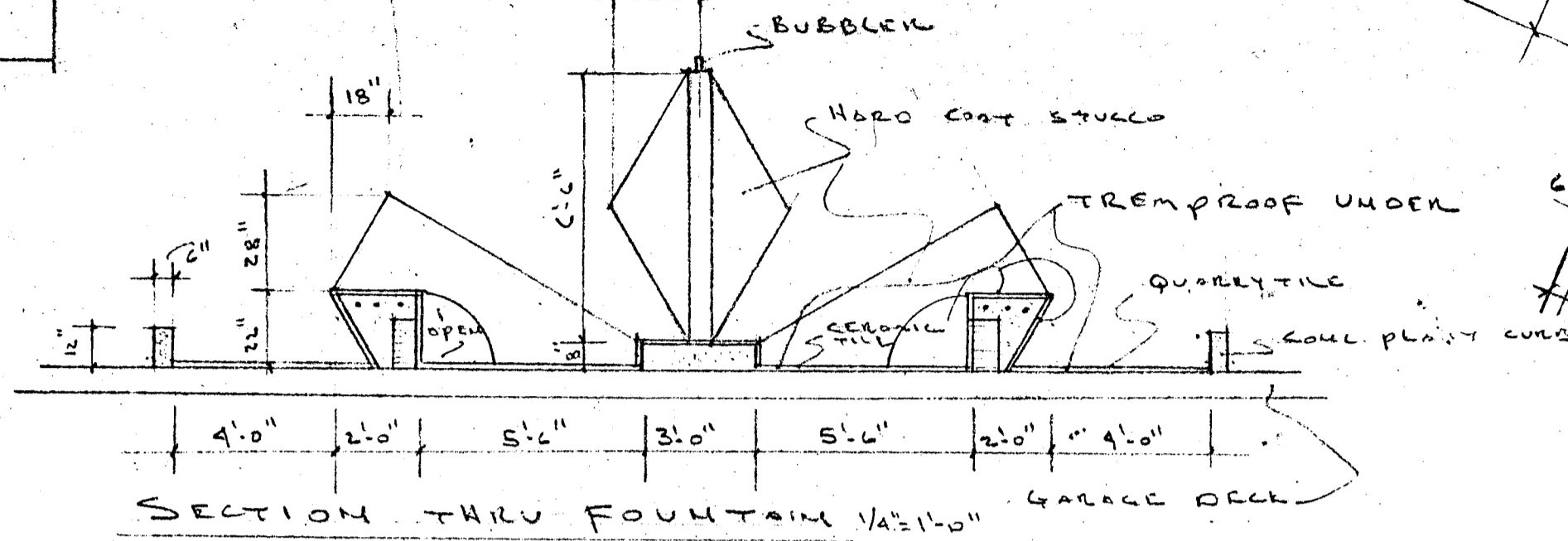
138 S.E. 14TH LANE
2688044

CHAMPLAIN TOWERS SOUTH
8777 COLLINS AVE.
A-135 UNIT CONDOMINIUM

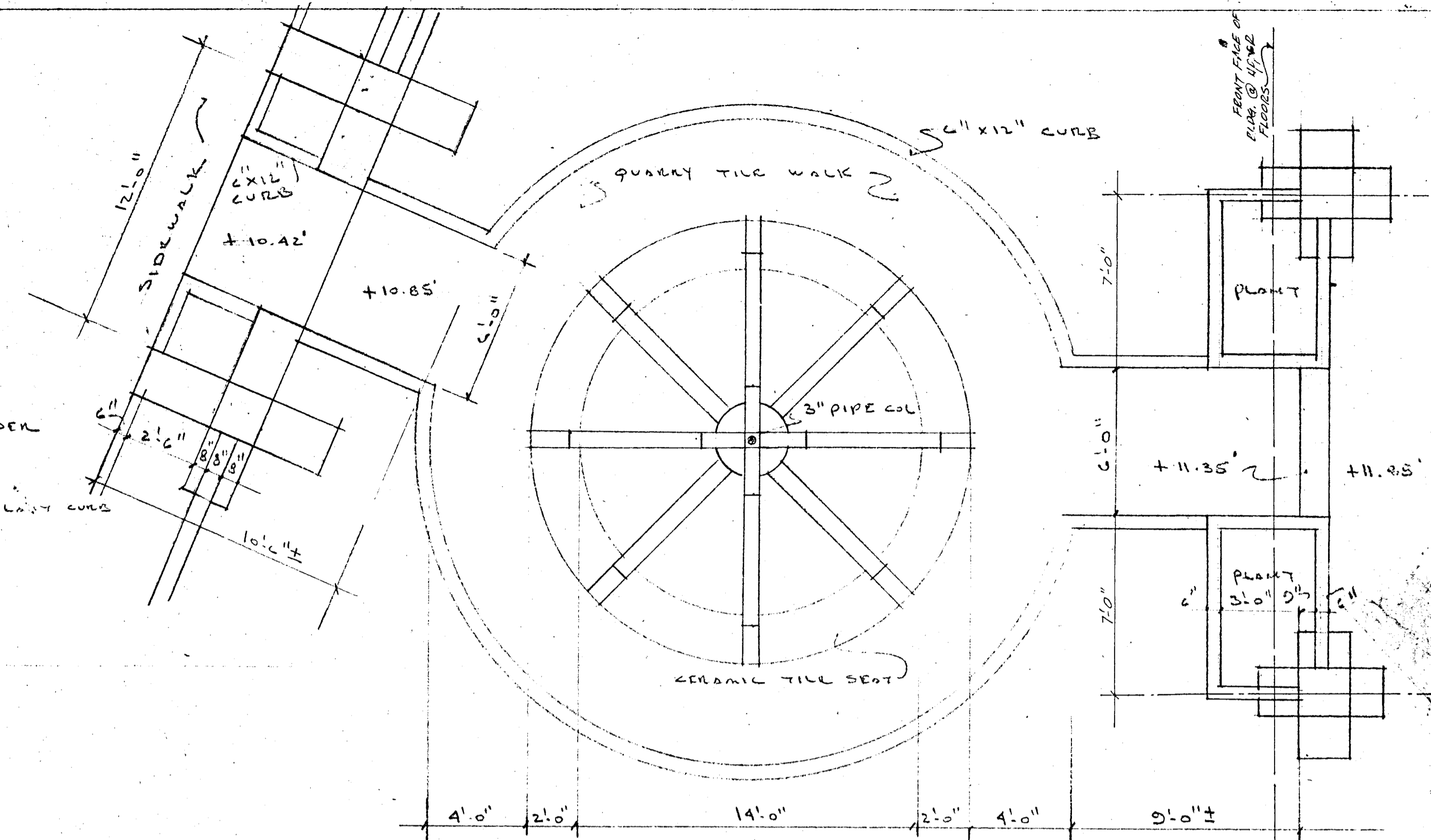
COMM. NO. 79030 DATE: 8/20/79 SHEET
REVISED: 5/14/80 11/27/79 1 OF 9



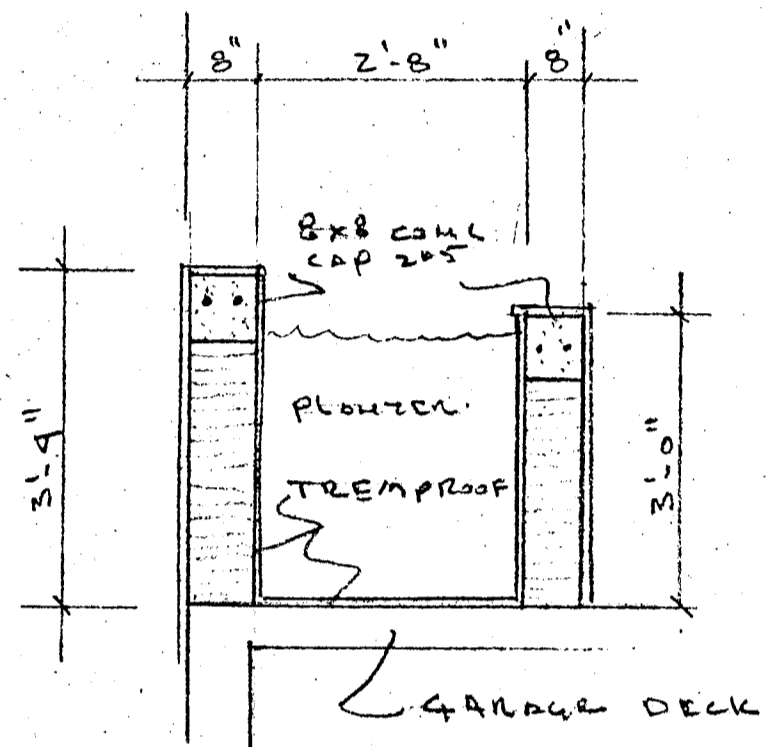
FEATURE WALL DETAIL 1/2"=1'-0"



SECTION THRU FOUNTAIN 1/2"=1'-0" GARAGE DECK

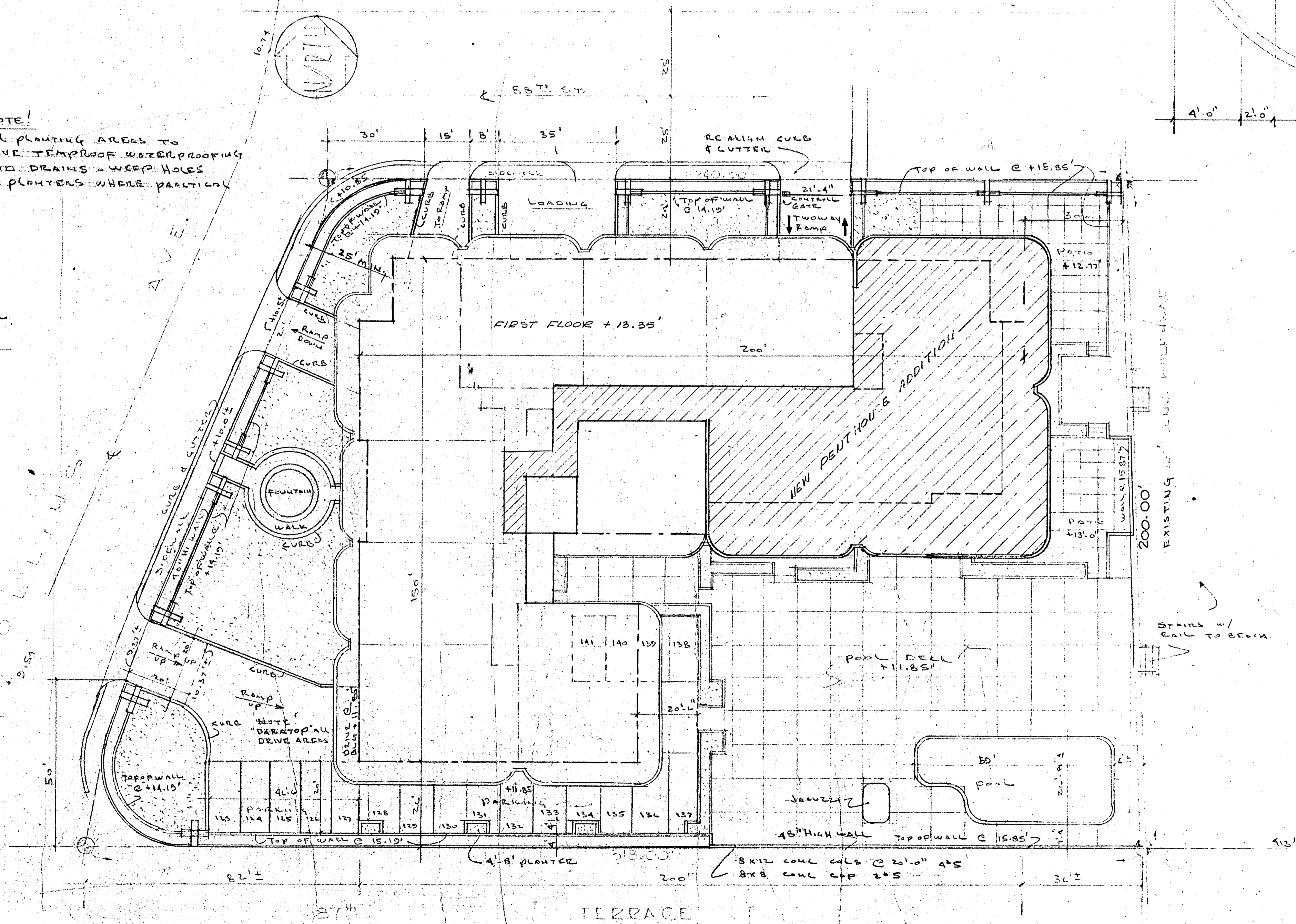


FOUNTAIN PLAN 1/4"=1'-0"

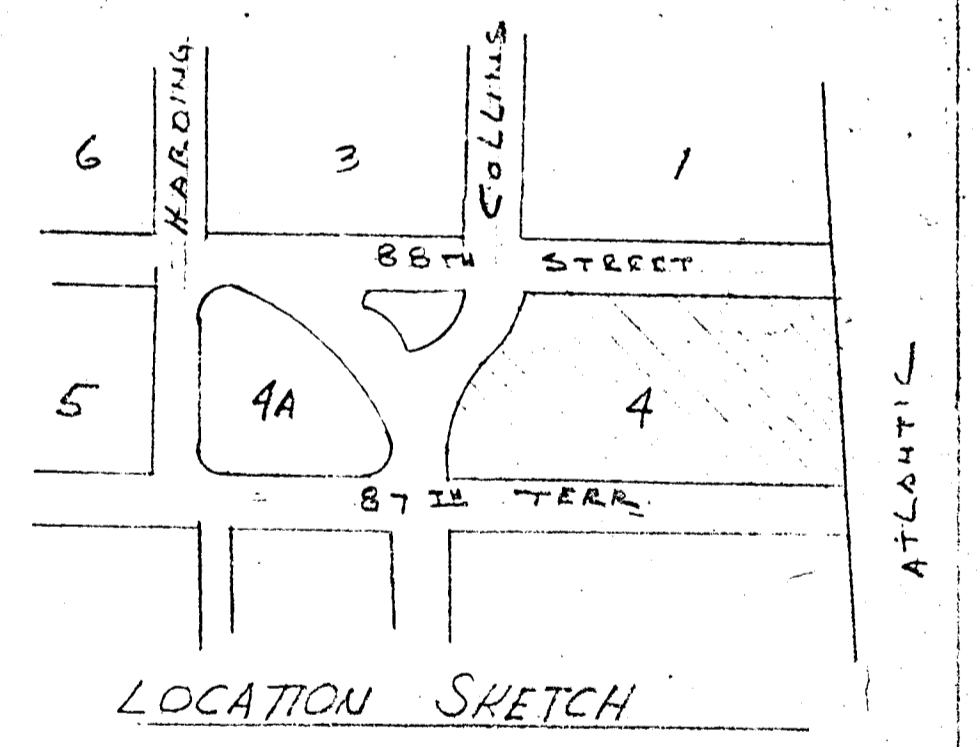


SECTION THRU 4x8 PLANTER 1/2"=1'-0"

NOTE!
ALL PLANTING AREAS TO HAVE TREMPROOF WATERPROOFING AND DRAINS - WEEP HOLES IN PLANTERS WHERE PRACTICAL



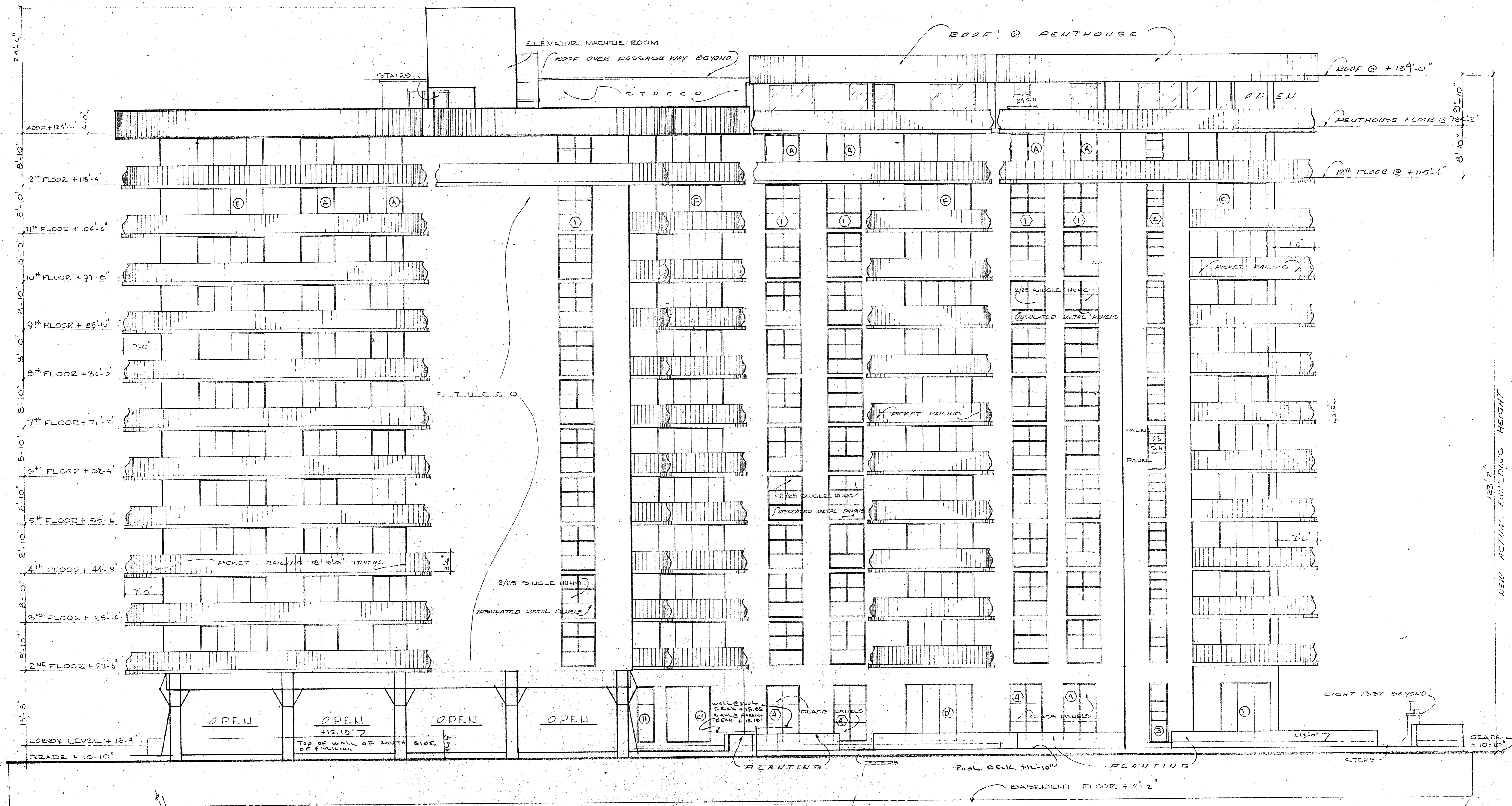
SITE PLAN @ 1"=20'



LOCATION SKETCH

LEGAL
BLOCK 4
2ND AMENDED PLAT OF
HORMONDY BEACH
SURFSIDE, DADE, FLA.

NEW PENTHOUSE ADDITION
WILLIAM M. FRIEDMAN
AND ASSOCIATES, ARCHITECTS, INC.
138 S.E. 14TH LANE
3588044
CHAMPLAIN TOWERS SOUTH
8777 COLLINS AVE.
A 135 UNIT CONDOMINIUM
COMM. No. 79030 DATE: 8/20/79 SHEET
REVISED: 5/14/80 11/27/79 1 OF 6



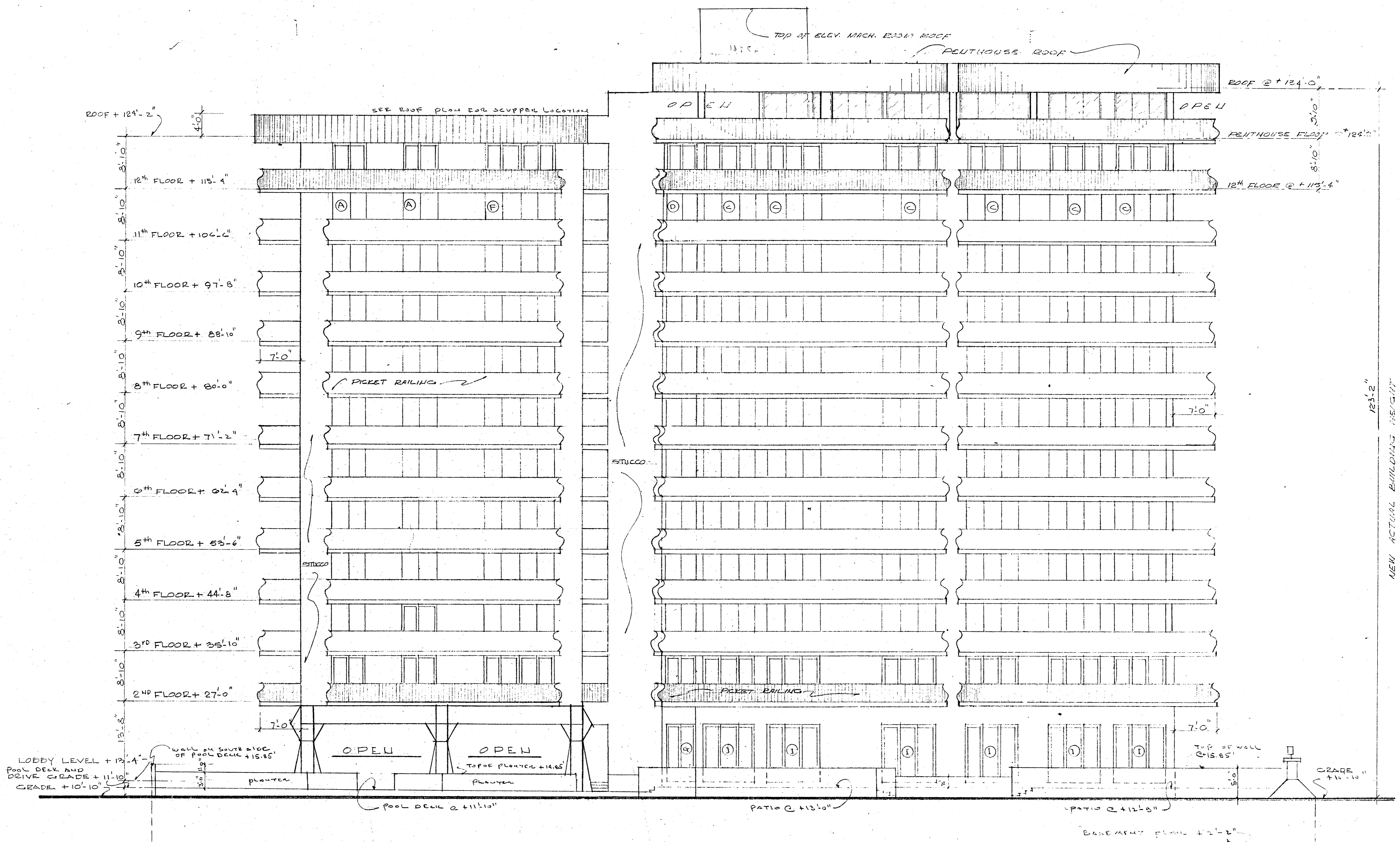
SOUTH ELEVATION @ 1/8"=1'-0"

NEW PENTHOUSE ADDITION
 WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14TH LANE
 3588044

CHAMPLAIN TOWERS SOUTH
 8777 COLLINS AVE.
 A: 125 UNIT CONDOMINIUM

COMM. No. 19030	DATE: 8/20/79	SHEET 2 OF 6
REVISED: 11/27/79 5/14/80		



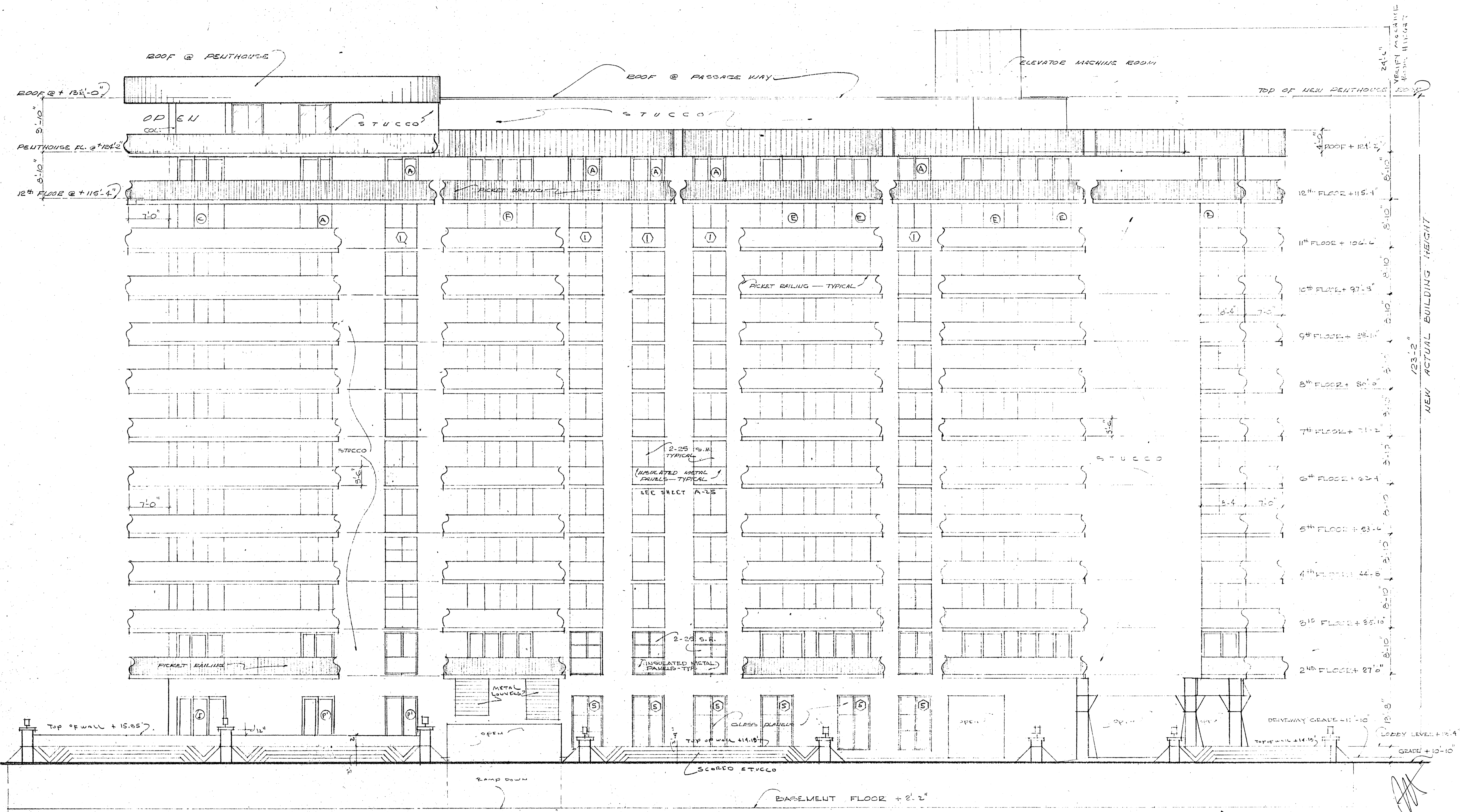
EAST ELEVATION 1/8" = 1'-0"

NEW PENTHOUSE ADDITION
 WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14th LANE
 3588044 CHAMPLAIN TOWERS SOUTH
 8777 COLLINS AVE.
 A 135 UNIT CONDOMINIUM

COMM. No. 19030	DATE: 3/20/79	SHEET 3 OF
	REVISED: 5/11/80 11/27/79	

NEW ACTUAL BUILDING HEIGHT 123'-2"



NORTH ELEVATION 1/8" = 1'-0"

NEW PENTHOUSE ADDITION

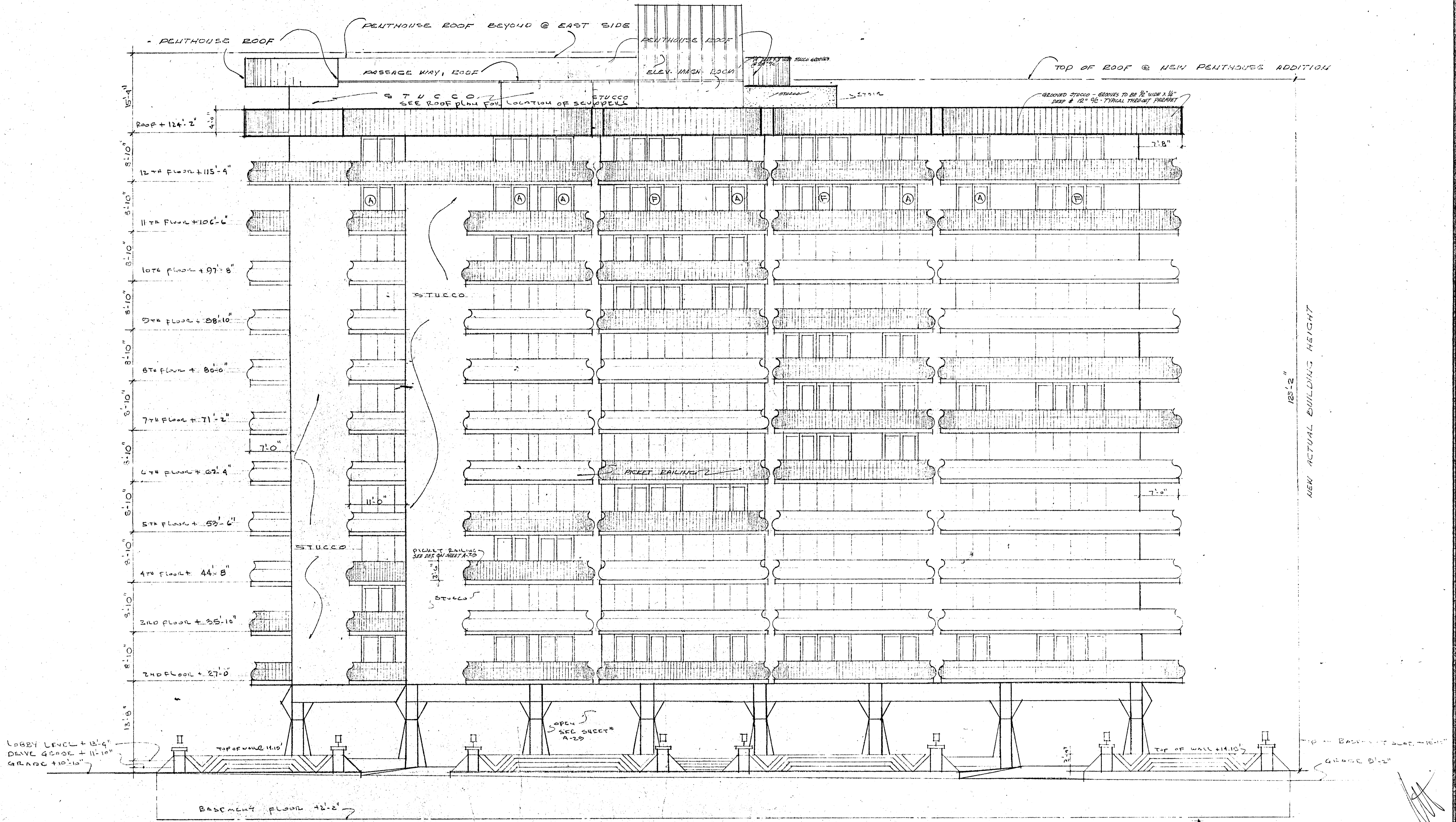
WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS SOUTH
2777 COLLINS AVE.

A. 135 UNIT CONDOMINIUM

COMM. No. 79030	DATE: 5/20/79	SHEET 4 OF 6
REVISED: 5/14/80 11/27/79		



COLLINS AVE ELEVATION
1/8" = 1'-0"

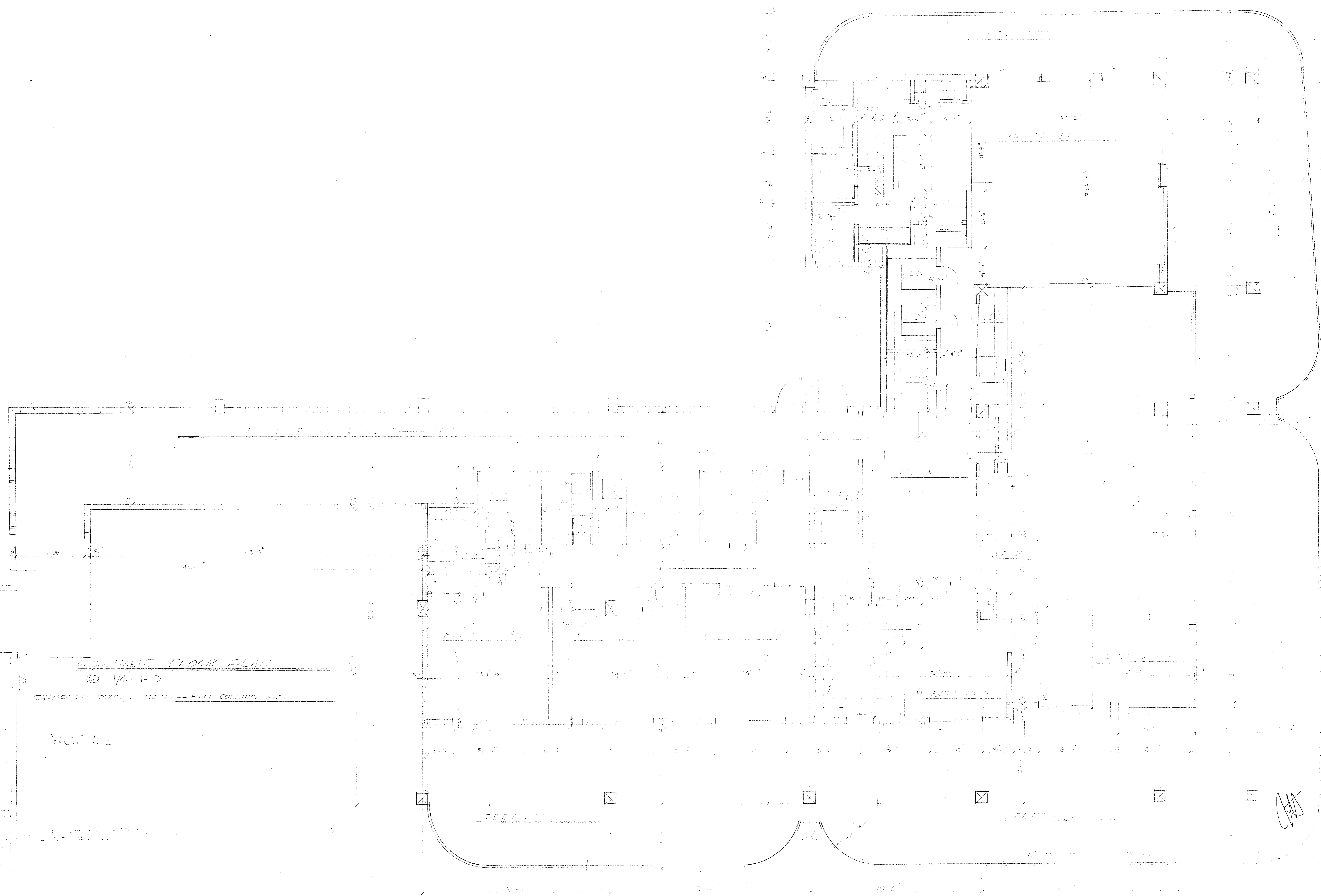
NEW PENTHOUSE ADDITION

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14TH LAWS
2668044

CHAMPLAIN TOWERS SOUTH
8777 COLLINS AVE.
A: 135 UNIT CONDOMINIUM

COMM. No. 79030	DATE: 8/20/79	SHEET
	REVISED: 8/14/80 11/27/79	5 OF 6

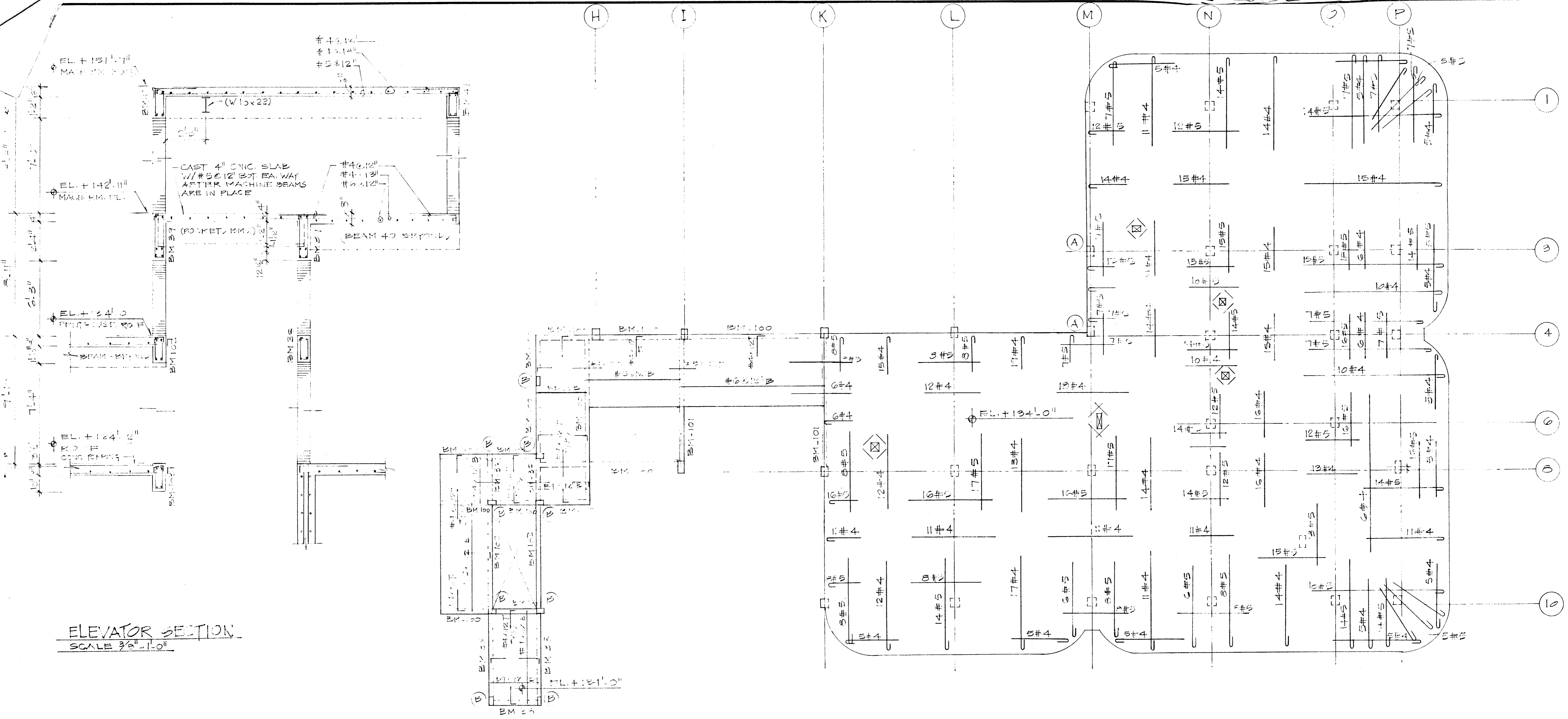


APARTMENT FLOOR PLAN

@ 1/4" = 1'-0"

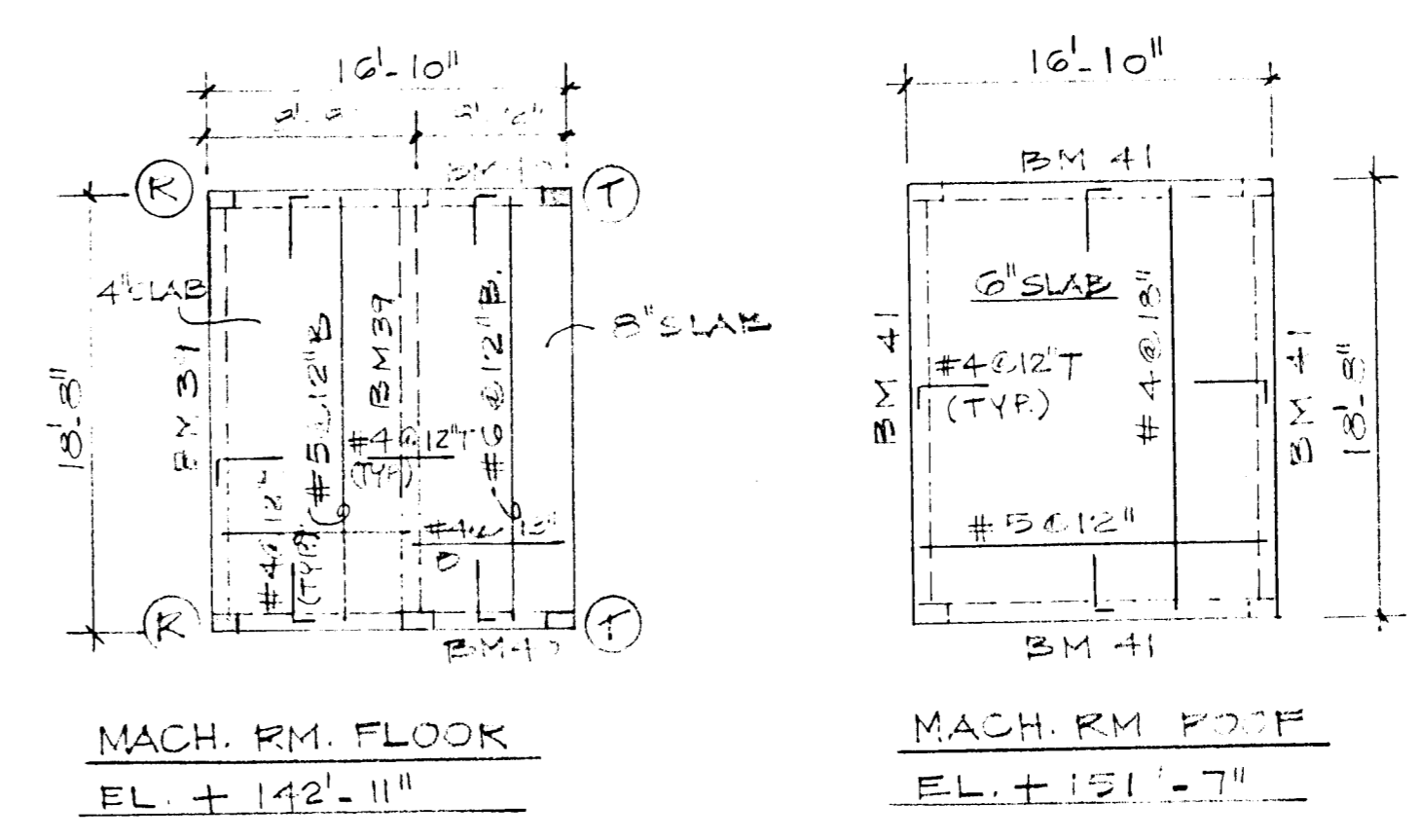
CHAPELHILL TOWNSHIP SOUTH - 6777 COLLINS AVE.

[Handwritten signature]



ELEVATOR SECTION
SCALE 3/8" = 1'-0"

PENTHOUSE ROOF
SCALE 1/8" = 1'-0"

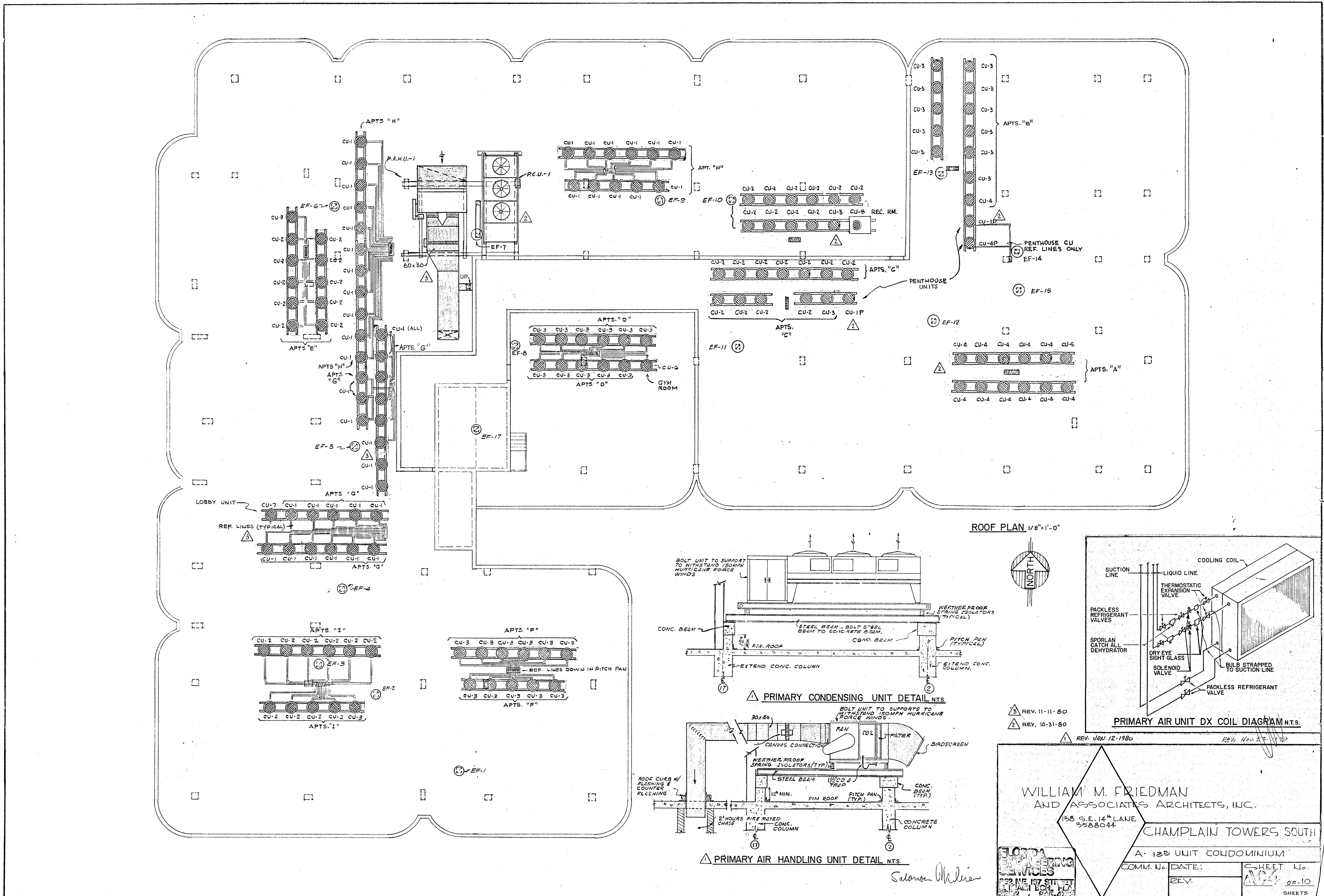


BEAM SCHEDULE					
MARK	SIZE	LONGITUDINAL		STIRRUPS	REMARKS
	B & D	BOTT.	TOP		
BM-100	8" x 22"	2#7	2#7	#3 @ 10"	
BM-101	8" x 22"	2#7*	2#7	#3 @ 10"	* 2 LAYERS
BM-102	8" x 20"	2#5	2#5	#3 @ 12"	
BM-103	8" x 21 1/2"	2#5	2#5	#3 @ 12"	

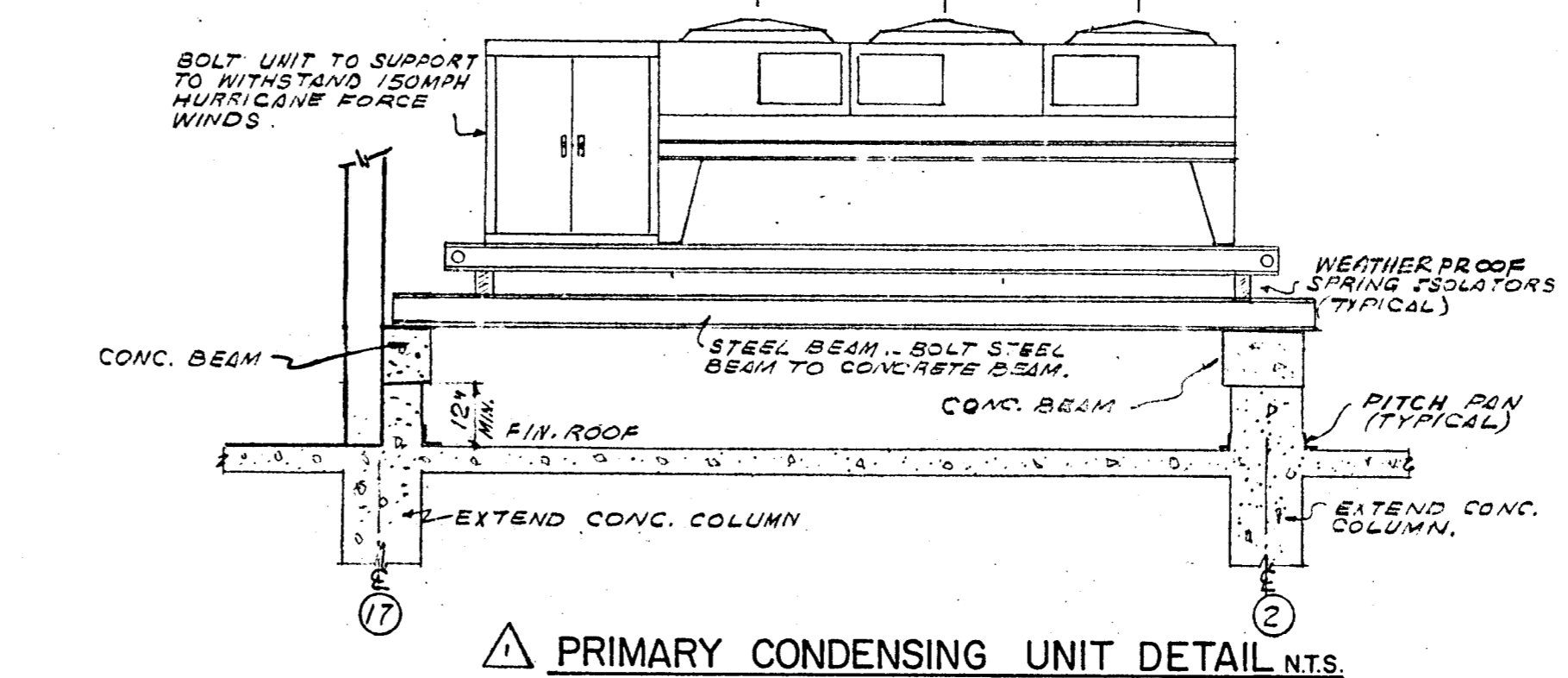
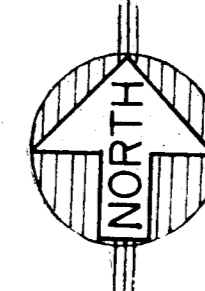
NOTE:
COL (A) 12" x 12" W/ 4#7 & #3 @ 12"
COL (B) 8" x 12" W/ 4#5 & #3 @ 8"

WILLIAM M. FRIEDMAN & ASSOC.
ARCHITECTS, INC.

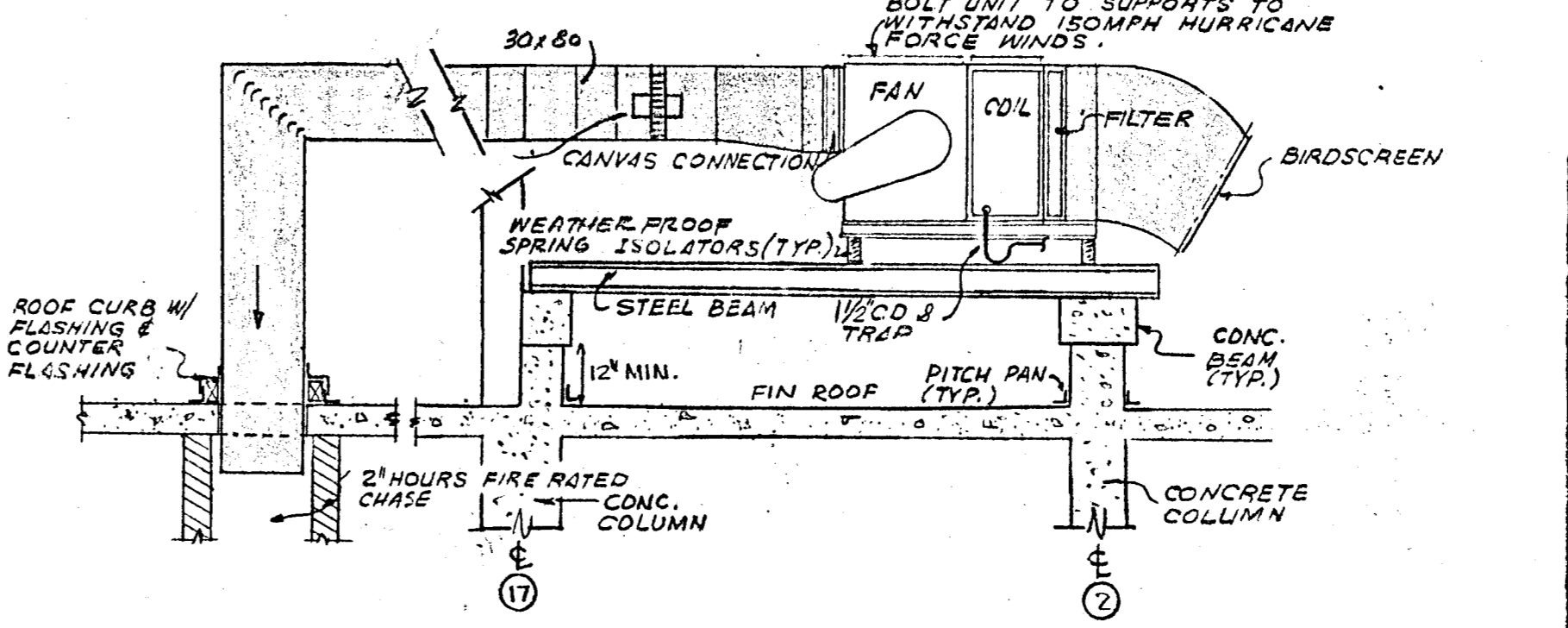
CHAMPLAIN TOWERS SOUTH
A 135 UNIT CONDOMINIUM
DATE: 11/14/85 SHEET NO.
REV: 14A-14



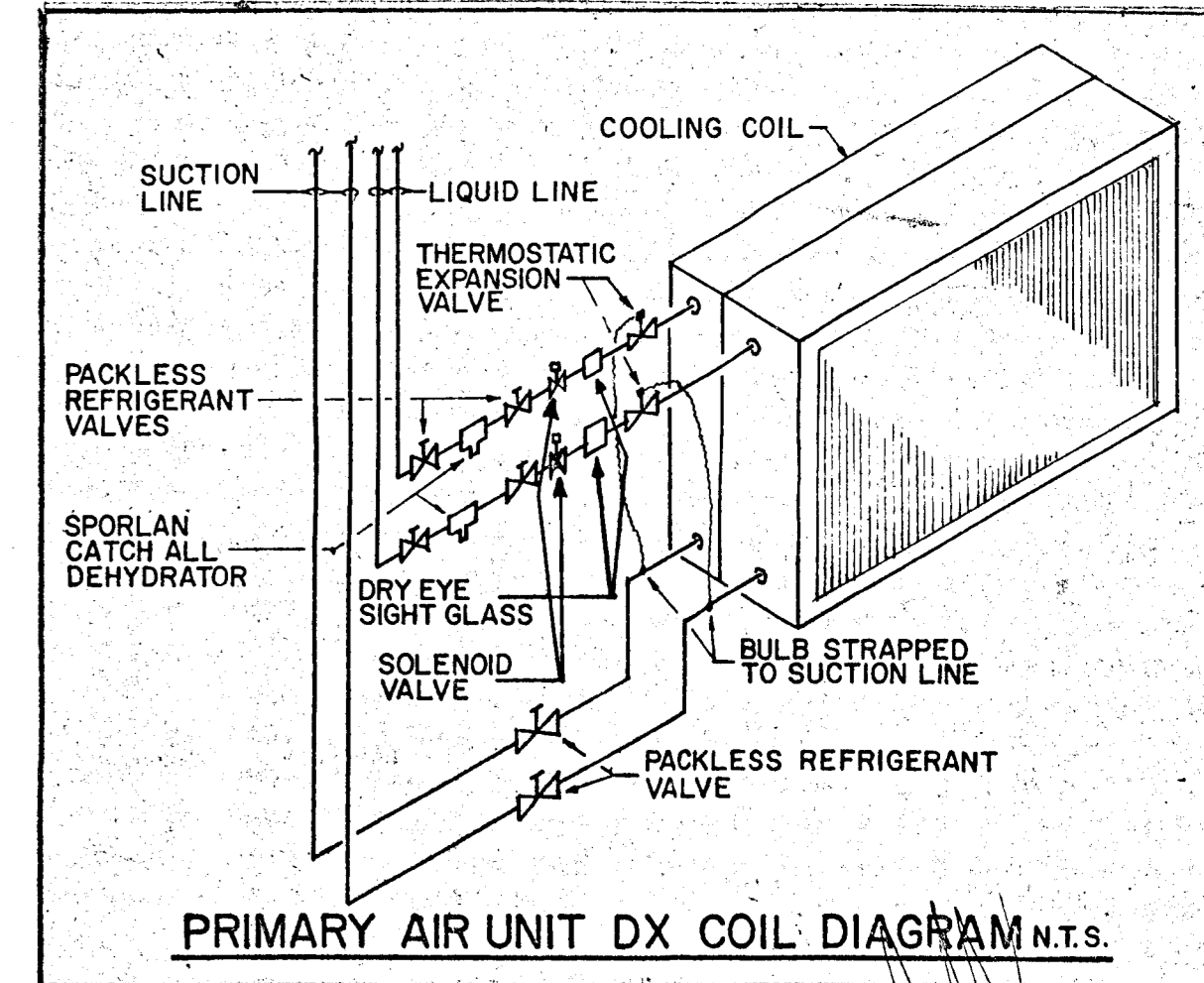
ROOF PLAN 1/8"=1'-0"



PRIMARY CONDENSING UNIT DETAIL NTS.



PRIMARY AIR HANDLING UNIT DETAIL NTS.



PRIMARY AIR UNIT DX COIL DIAGRAM NTS.

REV. 11-11-80
REV. 10-31-80

REV. JUN. 12-1980
REV. NOV. 2 1980

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
128 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS SOUTH
A-13B UNIT CONDOMINIUM

COMM. No.	DATE:	SHEET No.
REV.		13

FLORIDA ENGINEERING SERVICES
222 N.E. 127TH ST. #7
MIAMI, FL 33138

Salomon Miller

3800 SQ. FT. X 3 WATTS: 11.4 KW
PANEL PHB 10, 3W, 120/208V, 225A
 FLUSH MTD. 4C CKTS.

CKT. NO.	POLE BRK.	WIRE	SERVING	1W LINE
1	2-50	6	RANGE	8.0
2	2-40	8	DOUBLE OVEN	7.0
3	2-70	4	AIR CONDITIONING	12.1
4	2-60	6	AIR CONDITIONING	8.2
5	2-60	6	AIR CONDITIONING	8.2
6	2-30	10	WATER HEATER	4.5
7	2-30	10	WATER HEATER	4.5
8	2-30	10	DRYER	5.0
9	2-40	8	SAUNA	6.0
10	1-20	12	WASHER	1.5
11			REFRIGERATOR	0.9
12			REFRIGERATOR	0.9
13			DISHWASHER	1.2
14			TRASH COMPACTOR	1.0
15			MICROWAVE OVEN	1.0
16-17			SMALL APPLIANCES	3.0
18-27	1-15	14	LIGHTS & RECEPTACLE	11.4

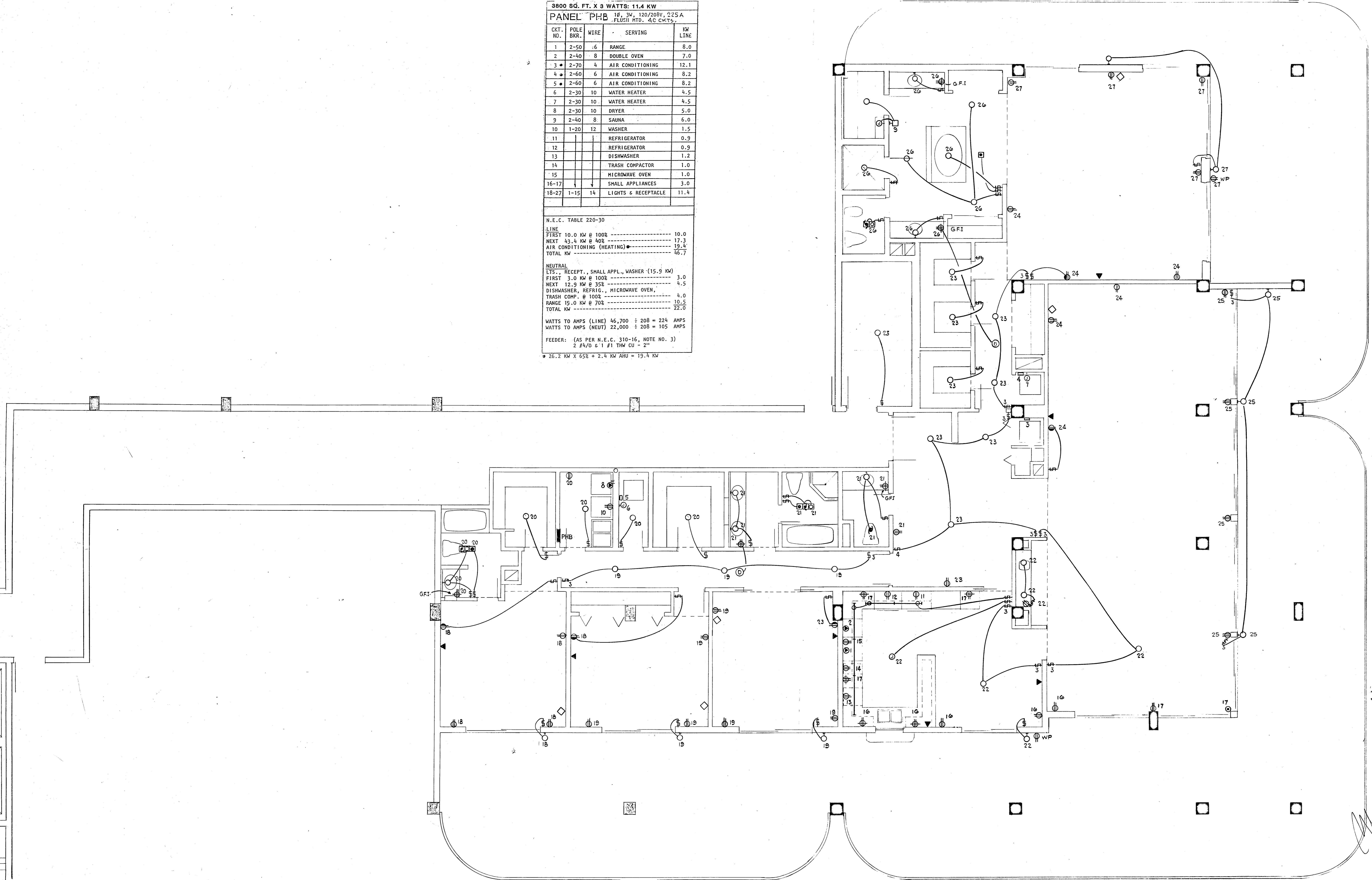
N.E.C. TABLE 220-30
 LINE
 FIRST 10.0 KW @ 100% ----- 10.0
 NEXT 43.4 KW @ 40% ----- 17.3
 AIR CONDITIONING (HEATING) ----- 19.4
 TOTAL KW ----- 46.7

NEUTRAL
 LTS., RECEPT., SMALL APPL., WASHER (15.9 KW)
 FIRST 3.0 KW @ 100% ----- 3.0
 NEXT 12.9 KW @ 35% ----- 4.5
 DISHWASHER, REFRIG., MICROWAVE OVEN,
 TRASH COMP. @ 100% ----- 4.0
 RANGE 15.0 KW @ 70% ----- 10.5
 TOTAL KW ----- 22.0

WATTS TO AMPS (LINE) 46,700 ÷ 208 = 224 AMPS
 WATTS TO AMPS (NEUT) 22,000 ÷ 208 = 105 AMPS

FEEDER: (AS PER N.E.C. 310-16, NOTE NO. 3)
 2 #4/0 & 1 #1 THW CU - 2"

* 26.2 KW X 65% + 2.4 KW AHU = 19.4 KW



PENTHOUSE APARTMENT FLOOR PLAN
 CHAMPLAIN TOWER SOUTH
 SCALE 1/4" = 1'-0"

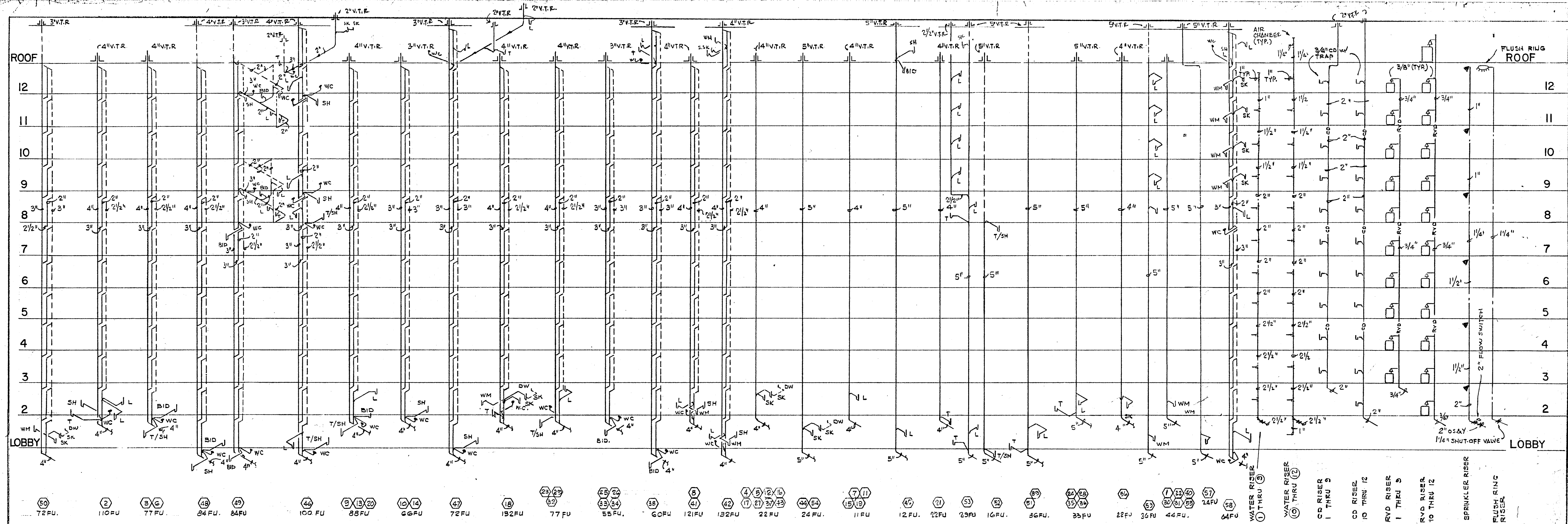
WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS INC.
 188 S.E. 14TH LANE
 3588044

FLORIDA ENGINEERING SERVICES
 352 NE 167 STREET
 MIAMI BCH, FLA 33162 945-4743

CHAMPLAIN TOWERS SOUTH
 A. 135 UNIT CONDOMINIUM

COMM. No. DATE: SHEET No.
 REV:

Salomon M. Davis



SANITARY RISER DIAGRAM

- APARTMENT PLUMBING FIXTURES AND TRIM
(ALL FIXTURES TO BE WHITE)
- LAVATORY: 0476.028 "AQUALYN" 20" x 17" V.C. - SELF RIMMING 2379.019 "AQUARIAN 11" FAUCET W/AERATOR, POP-UP DRAIN, AND CERAMIC DISC CARTRIDGE. 3/4" x 12" C.P. SUPPLY PIPES W/STOPS. 1/2" C.P. TUBE P-TRAP - 17 GAGE.
 - WATER CLOSET: 2109.056 "ELONGATED CADET" - SIPHON-JET 5330.063 "CHURCH" CLOSED FRONT SEAT W/COVER. 3/4" x 12" C.P. SUPPLY PIPES W/STOPS. (2) BOLT CAPS.
 - BATHTUB: 0135.137 (RH) OR 0137.133 (LH) "SALEM" 5'-0" ACID RESISTING ENAMELED STEEL RECESSED BATH W/SLIP RESISTANT BOTTOM. 1490.093 AQUARIAN 11 BATH AND SHOWER COMBINATION - DIVERTER SPOUT - CERAMIC DISC CARTRIDGE. 1560.135 MULTI-FLEX DRAIN.
 - ROMAN TUB: FOR SPECIFICATIONS SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.
 - SHOWER: 1490.036 "AQUARIAN 11" SHOWER FITTING - CERAMIC DISC CARTRIDGE WITH SCREWDRIVER STOPS. 1413.012 SHOWER HEAD, 1444.017 ARM AND ESCUTCHEON PLATE. ZURN: Z-415 SERIES W/TYPE B STRAINER. PROVIDE 4 LB. LED PAN.
 - KITCHEN SINK: 7017.015 "CUSTOM-LINE DOUBLE BOWL SINK, 32 x 20, 4 HOLE. 4200.077 "AQUARIAN 11" SWING SPOUT FAUCET - SWIVEL AERATOR - CERAMIC DISC CARTRIDGE. 1/2" SINK SUPPLIES W/STOPS. 1 1/2" S.F. TUBE P-TRAP - 17 GAGE. DISPOSER BY OTHERS.
 - LAUNDRY TRAY: MUSTEE MODEL 18F - FLOOR MOUNTED, 20 GAL. CAPACITY MOULDED STONE WITH DRAIN. TRIM-CHICAGO FAUCET CO., NO. 891 WITH AERATOR AND LEVER HANDLES. 1 1/2" SATIN FINISH P-TRAP, 17 GAGE. 1 1/2" SINK SUPPLIES W/STOPS.
 - BIDGET: 5010.103 "LUXETTE" WITH FITTING - WITH CHROME HANDLE FOR WALL MOUNTING - 3324.092.

FIXTURE CONNECTION SCHEDULE					
ITEM	C.W. CONN	H.W. CONN	TRAP SIZE	F.U. COUNT	REMARKS
LAVATORY	1/2"	1/2"	1 1/2"	1	
BATHTUB	1/2"	1/2"	1 1/2"	2	
SHOWER	1/2"	1/2"	2"	2	
WATER CLOSET (TANK)	1/2"	---	3"	4	
KITCHEN SINK	1/2"	1/2"	1 1/2"	2	
WASHING MACHINE	1/2"	1/2"	1 1/2"	4	
HOSE BIB	3/4"	---	---	---	VACUUM BRK & VALVE IN THE VERTICAL
DISHWASHER	---	1/2"	1 1/2"	2	
FLOOR DRAIN	---	---	3 or 4"	3	PROVIDE TRAP RESEALER
URINAL	3/4"	---	2"	4	WALL MOUNTED
WATER CLOSET (FLUSH VALVE)	1"	---	3"	8	
DRINKING FOUNTAIN	3/8"	---	1 1/2"	1	SEE PLANS FOR LOCATIONS

- PUBLIC AREA PLUMBING FIXTURES AND TRIM
(ALL FIXTURES TO BE WHITE)
- PLUMBING FIXTURES - ALL FIXTURES TO BE AMERICAN STANDARD.
- WATER CLOSET: (FOR THE HANDICAPPED) 9468.018 "ELONGATED CADET" - SIPHON-JET - 1 1/2" TOP STUD SEAT: HEAVY DUTY SOLID PLASTIC OPEN FRONT SEAT, LESS COVER, WITH STAINLESS STEEL CHECK HINGE. SLOAN ROYAL 115 FLUSH VALVE 481310-100 BOLT CAPS.
 - WATER CLOSET: (REGULAR) 2222.016 "MORERA" SIPHON-JET 1 1/2" TOP STUD SEAT: HEAVY DUTY SOLID PLASTIC OPEN FRONT SEAT, LESS COVER, WITH STAINLESS STEEL CHECK HINGE. SLOAN ROYAL 110 FLUSH VALVE 481310-100 BOLT CAPS.
 - LAVATORY: 0475.028 "AQUALYN" 20 x 17 VITREOUS CHINA SELF RIMMING LAVATORY. 2379.063 AQUARIAN 11 CENTER SET SINGLE HANDLE VALVE WITH AERATOR AND POP-UP DRAIN. 1/2" x 12" C.P. SUPPLY PIPES WITH STOPS 1 1/4" C.P. TUBE P-TRAP - 17 GAGE.
 - URINAL: 6560.015 "TRIMBROOK" WALL HUNG SIPHON-JET URINAL SLOAN ROYAL 106-11 FLUSH VALVE.
 - SHOWER: PUBLIC. 1490.036 AQUARIAN 11 SHOWER FITTING - CERAMIC DISC CARTRIDGE WITH SCREWDRIVER STOPS.
 - SERVICE SINK: 7692.049 "LAKEWELL" 22" x 18" ARCI SINK WITH 8379.018 RIM GUARD 8340.242 DOUBLE FAUCET WITH HOSE AND SPOUT, PAIL HOOK, AND VACUUM BREAKER. 7798.176 3" TRAP STANDARD.
 - ELECTRIC WATER COOLER: PUBLIC HALSEY TAYLOR WC-7A-1 WALL HUNG WATER COOLER.
 - FLOOR DRAIN: ZURN MODEL ZN415 - WITH NO HUB FITTING.
 - PLANTER DRAIN: ZURN ZB114C WITH SUMP, RECEIVER AND PERFORATED OVERFLOW. SEE ARCHITECTURAL PLANS FOR LENGTH OF OVERFLOW REQUIRED.
 - ROOF DRAIN: ZURN MODEL Z-113 WITH LEAD FLASHING AROUND DRAIN.
 - POOL EQUIPMENT ROOM: ZURN ZB-520-Y WITH Z-1099 BW WITH PRIMING CONNECTION.
 - PUMP ROOM DRAIN: ZURN Z-550-Y WITH PRIMING CONNECTION.
 - TRASH ROOM: ZURN Z-451 WITH Z-1099 BW WITH PRIMING CONNECTION.
 - TRENCH DRAIN: ZURN ZN-666.
 - POOL AND LOBBY LEVEL DECK: ZURN ZN-415 WITH 1 1/2" TYPE "M" TOP.
 - PARKING DECK DRAIN: ZURN Z-150 WITH 1 1/2" TOP.

PUMP SCHEDULE	
PUMP NUMBER	P-1
APPLICATION	DOMESTIC BOOSTER
LOCATION	LOBBY EQUIP. ROOM
G.P.M.	90+180+180
T.D.H. (IN FT. WATER)	110
HP	5+10+10
R.P.M.	1750
EFFICIENCY	59.5 + 71.5 + 71.5
VOLTAGE	208-3-60
MOTOR TYPE	O.D.P.
PUMP TYPE	HORIZONTAL END SUCTION
MANUFACTURER	SYNORO-FLOW
MODEL	450ES48P
SIZE	1-1/2" - 2-1/2"
CONSTRUCTION	CAST IRON BRONZE FITTED
SEAL	MECHANICAL
OPERATING WEIGHT - LBS	2000
INERTIA BLOCK SIZE	A, B, C, D & E
ACCESSORIES	
A. SPRING ISOLATORS	
B. HIGH - LOW PRESSURE CUT-OFF	
C. ELECTRICAL ALTERNATION	
D. COPPER PIPING	
E. PUMP ISOLATORS	

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

135 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS, SOUTH

A-135 UNIT CONDOMINIUM

COMM. No. DATE: SHEET No. 12 OF 12

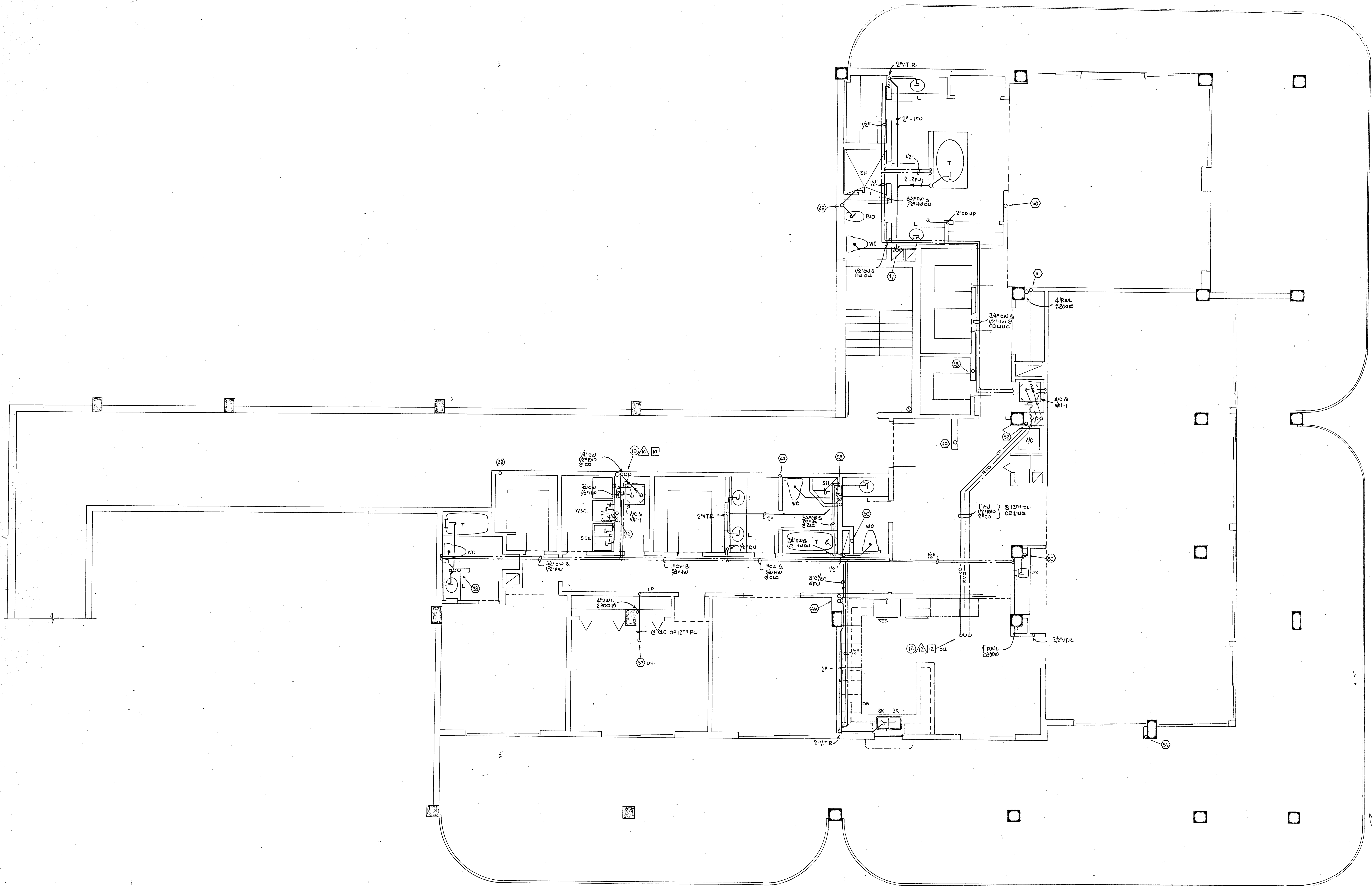
REV. 12/12/78

REV. 12/12/78

REV. 12/12/78

Salomon M. Lerner

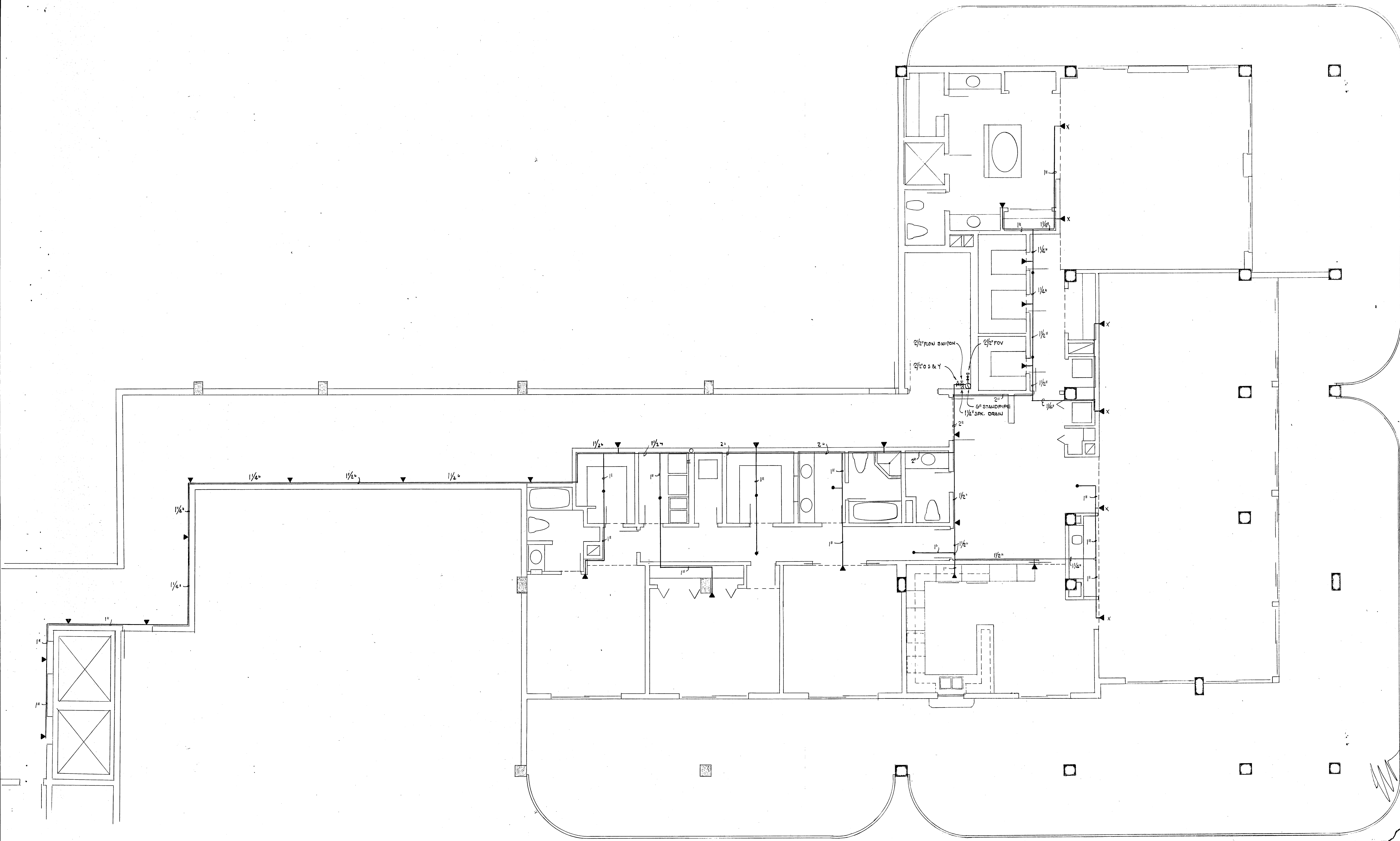
GENERAL REV. NOV. 10-80
REV. JAN. 30, 1980
REV. JAN. 12, 1980
REV. JAN. 1978



PENTHOUSE APARTMENT FLOOR PLAN
 CHAMPLAIN TOWER SOUTH
 SCALE 1/4" = 1'-0"

WILLIAM M. FRIEDMAN AND ASSOCIATES ARCHITECTS INC. 128 S.E. 14TH LANE 3588044		CHAMPLAIN TOWERS, SOUTH A. 135 UNIT CONDOMINIUM
FLORIDA ENGINEERING SERVICES 352 NE 167 STREET MIAMI BEACH, FLA. 33162 945-4743	COMM. NO. DATE: Nov. 10 - 80 REV: 11-13-80	SHEET NO. 13

Salomon Medina



PENTHOUSE APARTMENT FLOOR PLAN
 CHAMPLAIN TOWER SOUTH
 SCALE 1/4" = 1'-0"

WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS INC.
 188 S.E. 14TH LANE
 3588044

FLORIDA ENGINEERING SERVICES
 352 NE 167 STREET
 MIAMI BEACH, FLA 33162
 945-4743

CHAMPLAIN TOWERS
 A. 135 UNIT CONDOMINUM

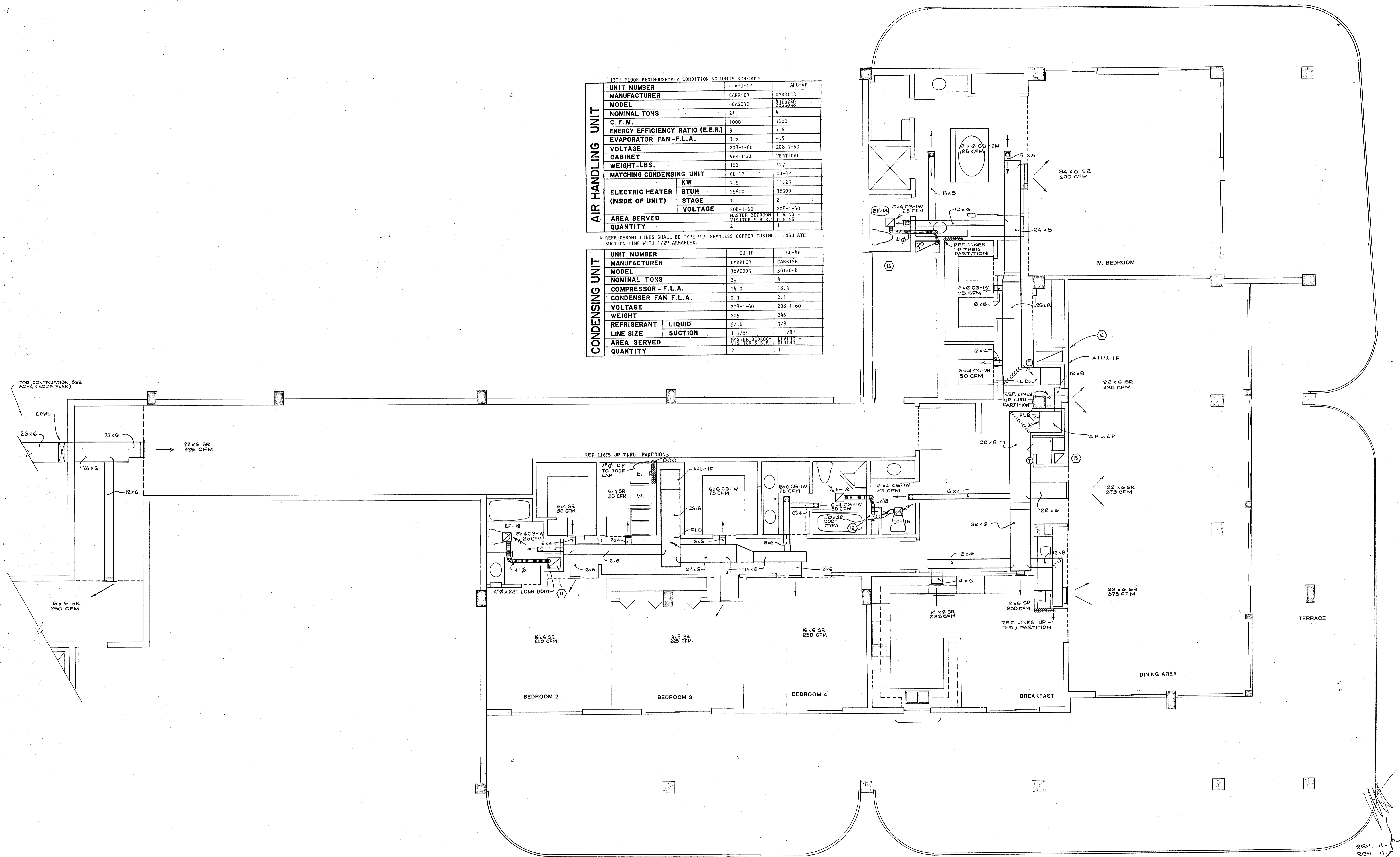
COMM. No.	DATE:	SHEET
	REV: 11-13-80	

Salomon Medson

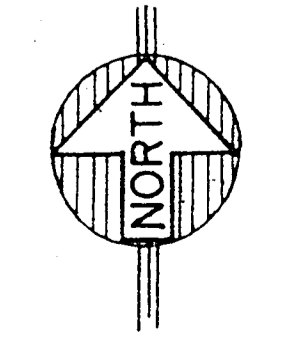
13TH FLOOR PENTHOUSE AIR CONDITIONING UNITS SCHEDULE		
UNIT NUMBER	AHU-1P	AHU-4P
MANUFACTURER	CARRIER	CARRIER
MODEL	40AS030	38ES048
NOMINAL TONS	2 1/2	4
C. F. M.	1000	1600
ENERGY EFFICIENCY RATIO (E.E.R.)	9	7.6
EVAPORATOR FAN - F.L.A.	3.6	4.5
VOLTAGE	208-1-60	208-1-60
CABINET	VERTICAL	VERTICAL
WEIGHT - LBS.	100	127
MATCHING CONDENSING UNIT	CU-1P	CU-4P
ELECTRIC HEATER (INSIDE OF UNIT)	KW	11.25
	BTUH	38500
	STAGE	2
AREA SERVED	208-1-60	208-1-60
	MASTER BEDROOM	LIVING - VISITOR'S B.R. DINING
QUANTITY	2	1

CONDENSING UNIT		
UNIT NUMBER	CU-1P	CU-4P
MANUFACTURER	CARRIER	CARRIER
MODEL	38VE003	38TE048
NOMINAL TONS	2 1/2	4
COMPRESSOR - F.L.A.	14.0	18.3
CONDENSER FAN F.L.A.	0.9	2.1
VOLTAGE	208-1-60	208-1-60
WEIGHT	205	246
REFRIGERANT	LIQUID	5/16
	SUCTION	1 1/8"
LINE SIZE	LIQUID	3/8
	SUCTION	1 1/8"
AREA SERVED	MASTER BEDROOM	LIVING - VISITOR'S B.R. DINING
	QUANTITY	2

* REFRIGERANT LINES SHALL BE TYPE "L" SEAMLESS COPPER TUBING. INSULATE SUCTION LINE WITH 1/2" ARMAFLEX.



PENTHOUSE APARTMENT FLOOR PLAN
 CHAMPLAIN TOWER SOUTH
 SCALE 1/4" = 1'-0"



Salomon M. ...

WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS INC.
 158 S.E. 14TH LANE
 3588044

FLORIDA ENGINEERING SERVICES
 352 NE 167 STREET
 MIAMI BCH, FLA 33162 945-4743

CHAMPLAIN TOWER
 A. 135 UNIT C
 COMM. NO. DATE: NOV-8-80
 REV. 11-
 REV. 11-

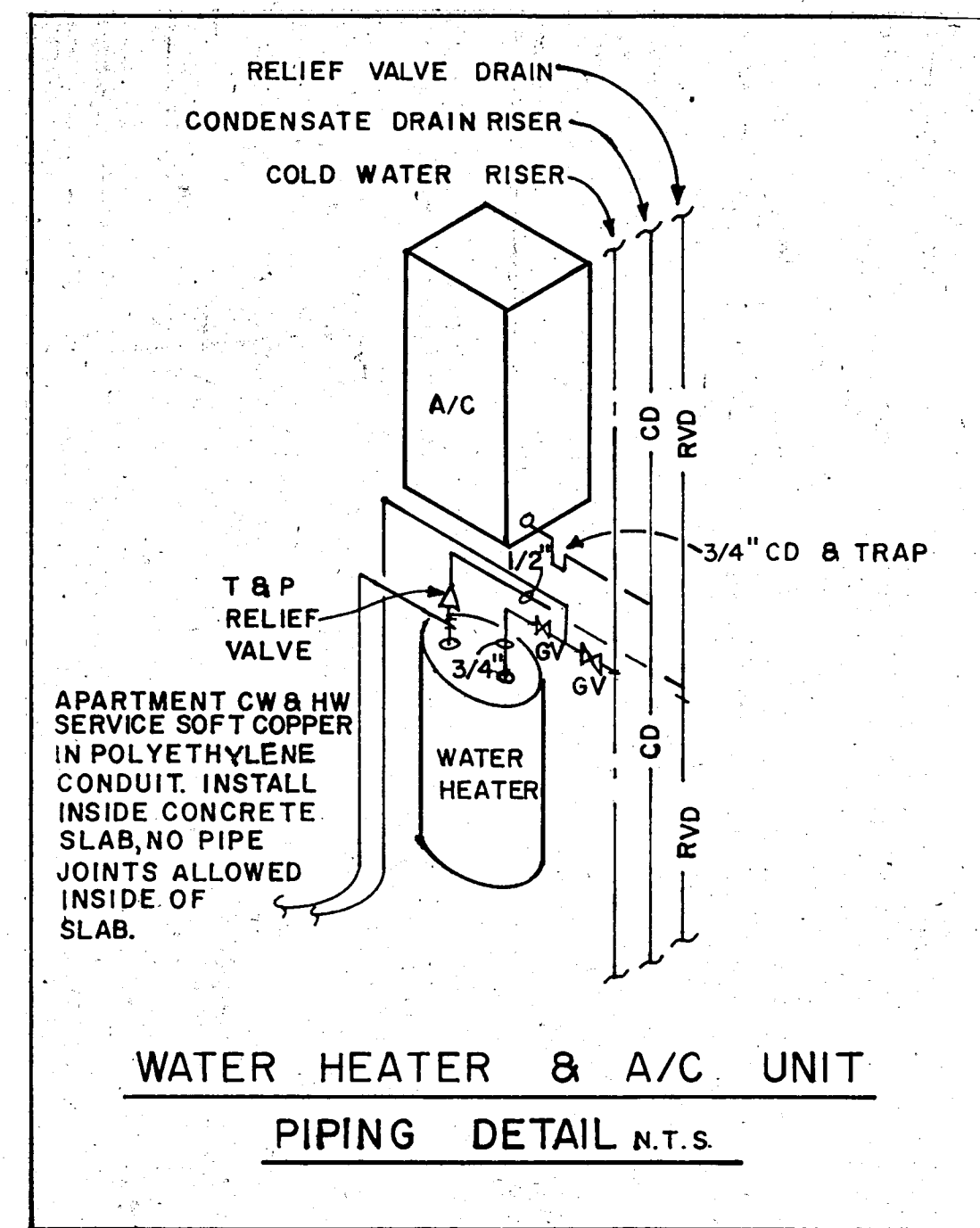
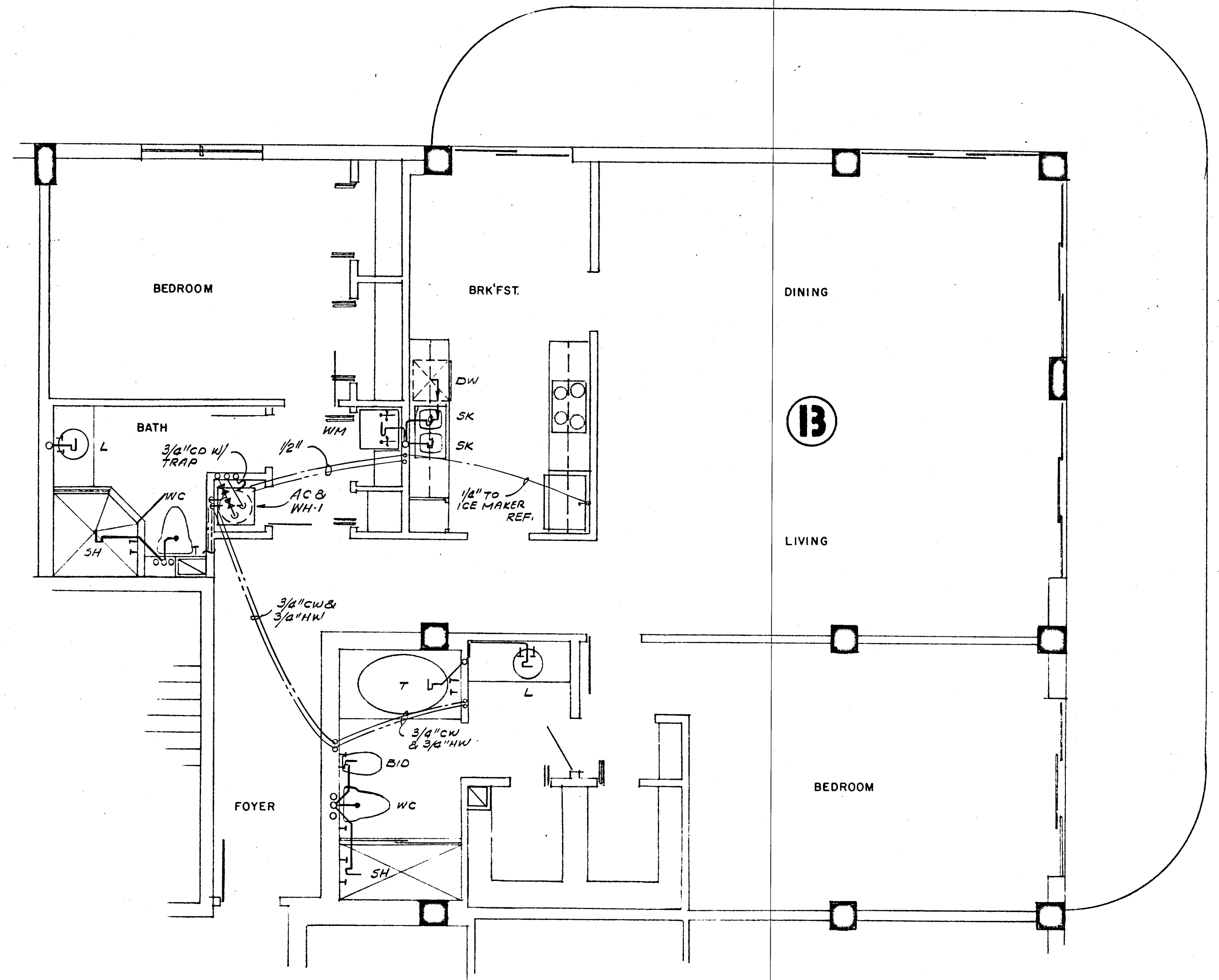
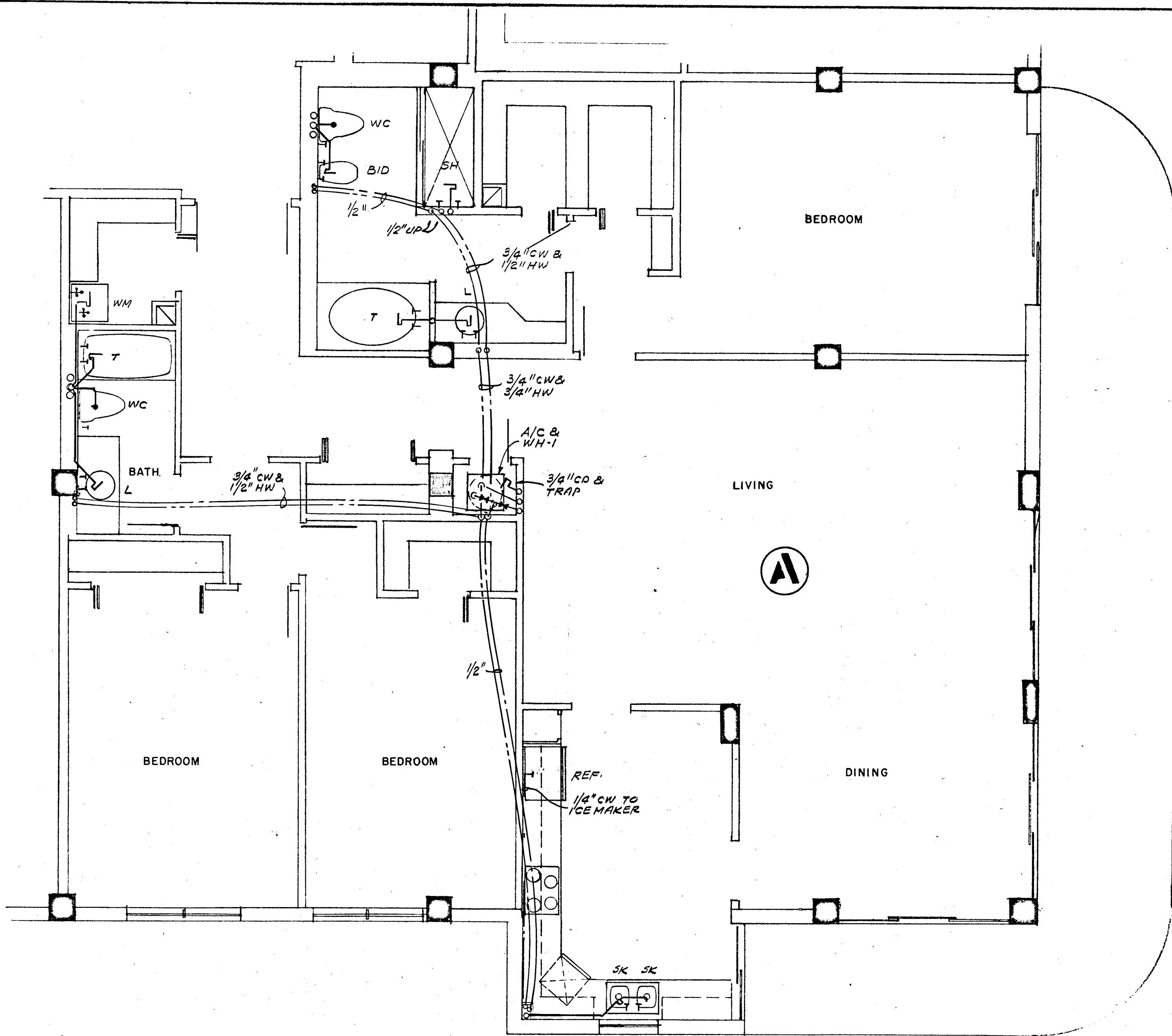
8777 Collins Ave

TOWNS
COPY

PENTHOUSE
CAMP LAIR

South
Bldg

Campan
Blank
4
NEA



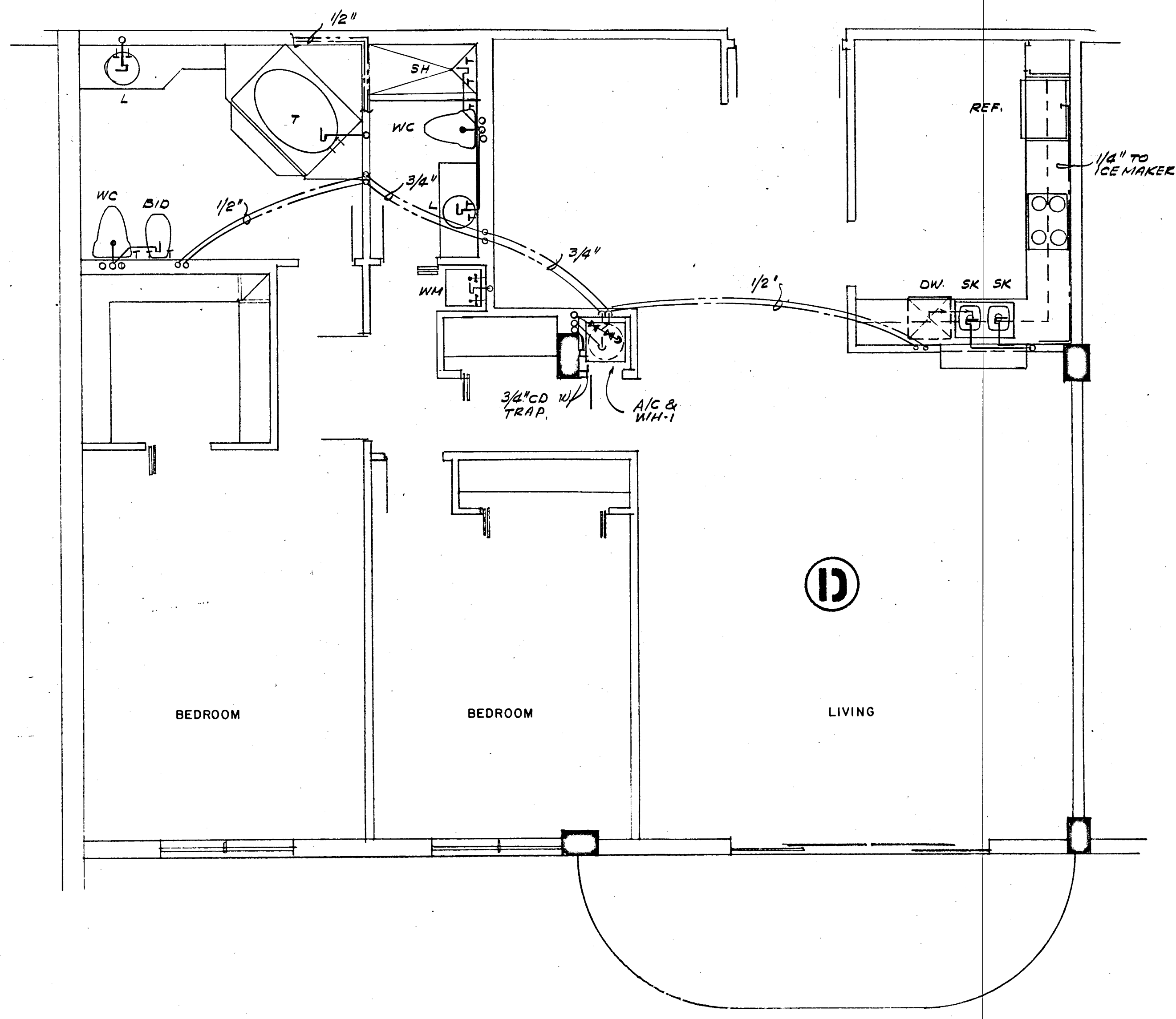
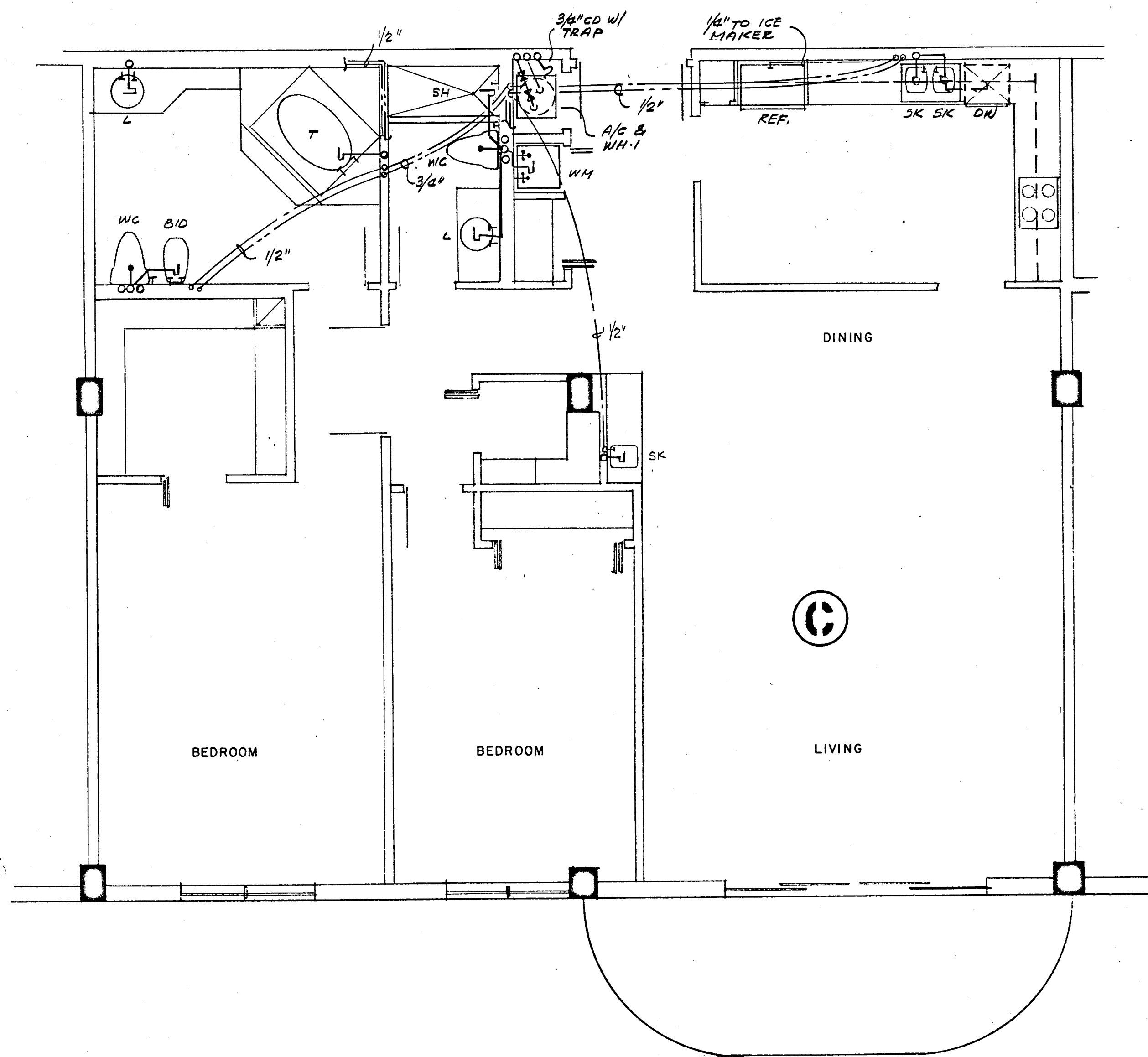
WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
128 S.E. 14th LANE
3588044

CHAMPLAIN TOWERS SOUTH
A - 135 UNIT CONDOMINIUM

FLORIDA
ENGINEERING
SERVICES
352 NE 167 STREET
MIAMI BCH, FLA
33132

COMM. No.	DATE	SHEET No.
	8-13-79	136 of 11
REV.		SHEETS

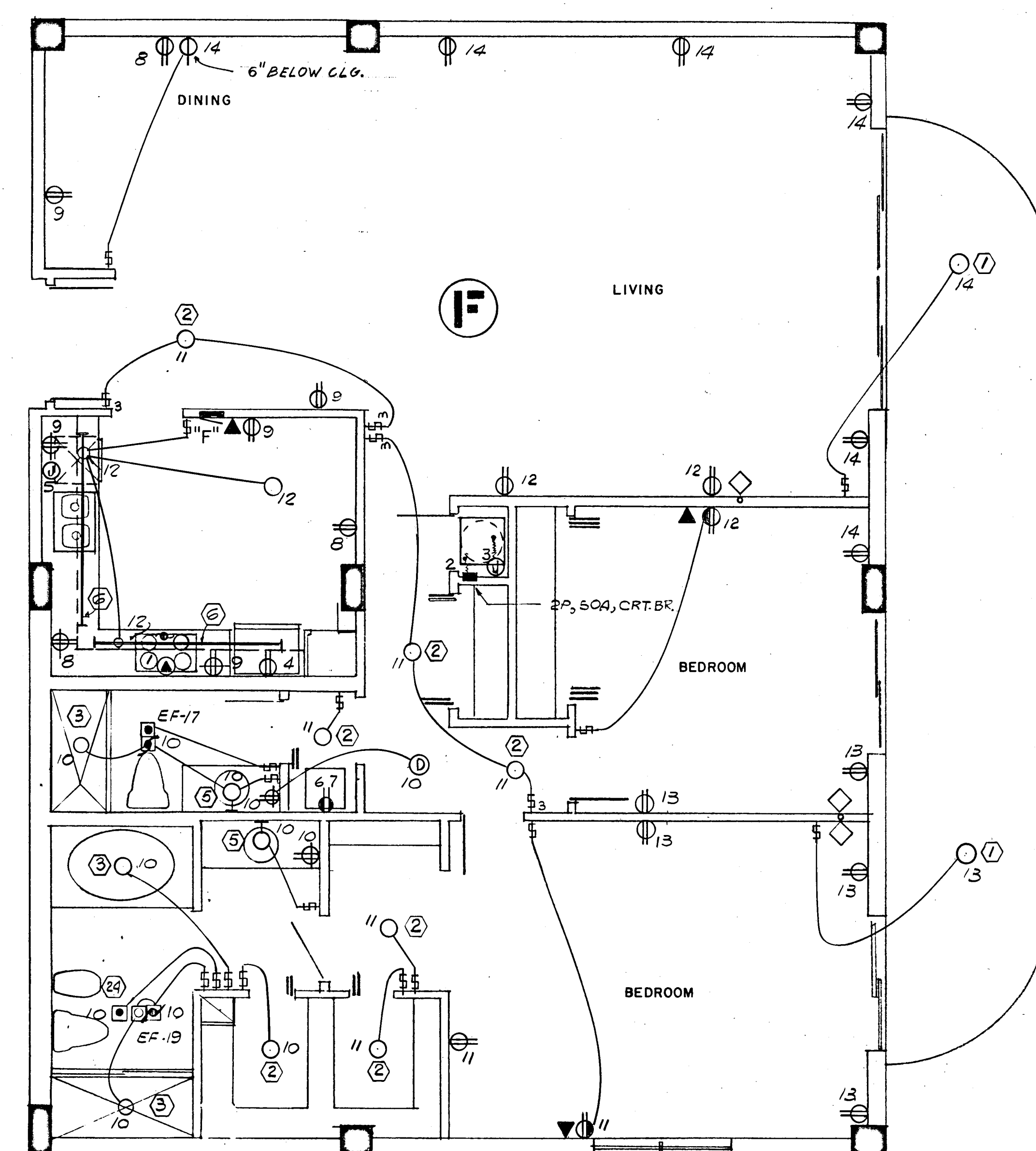
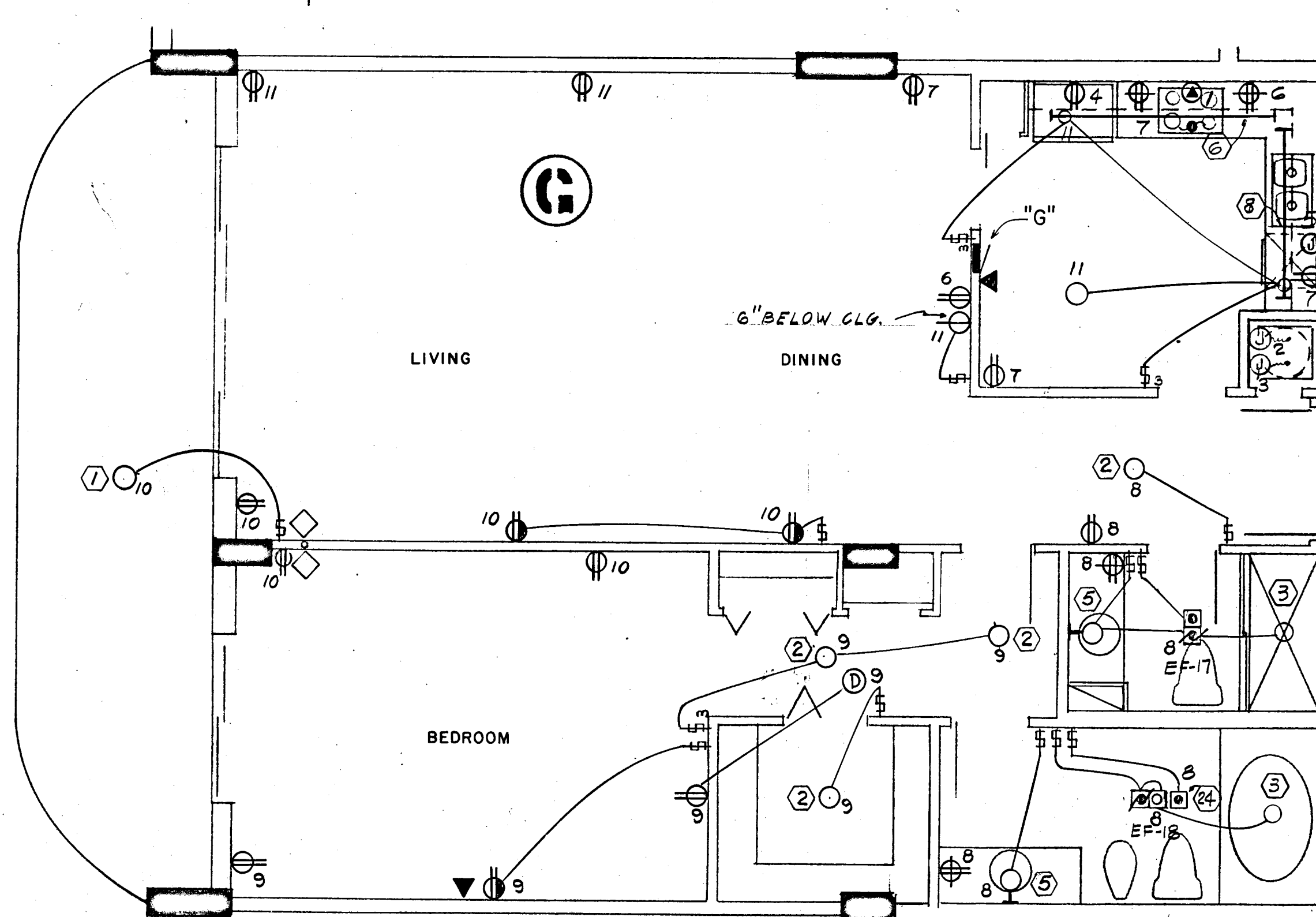
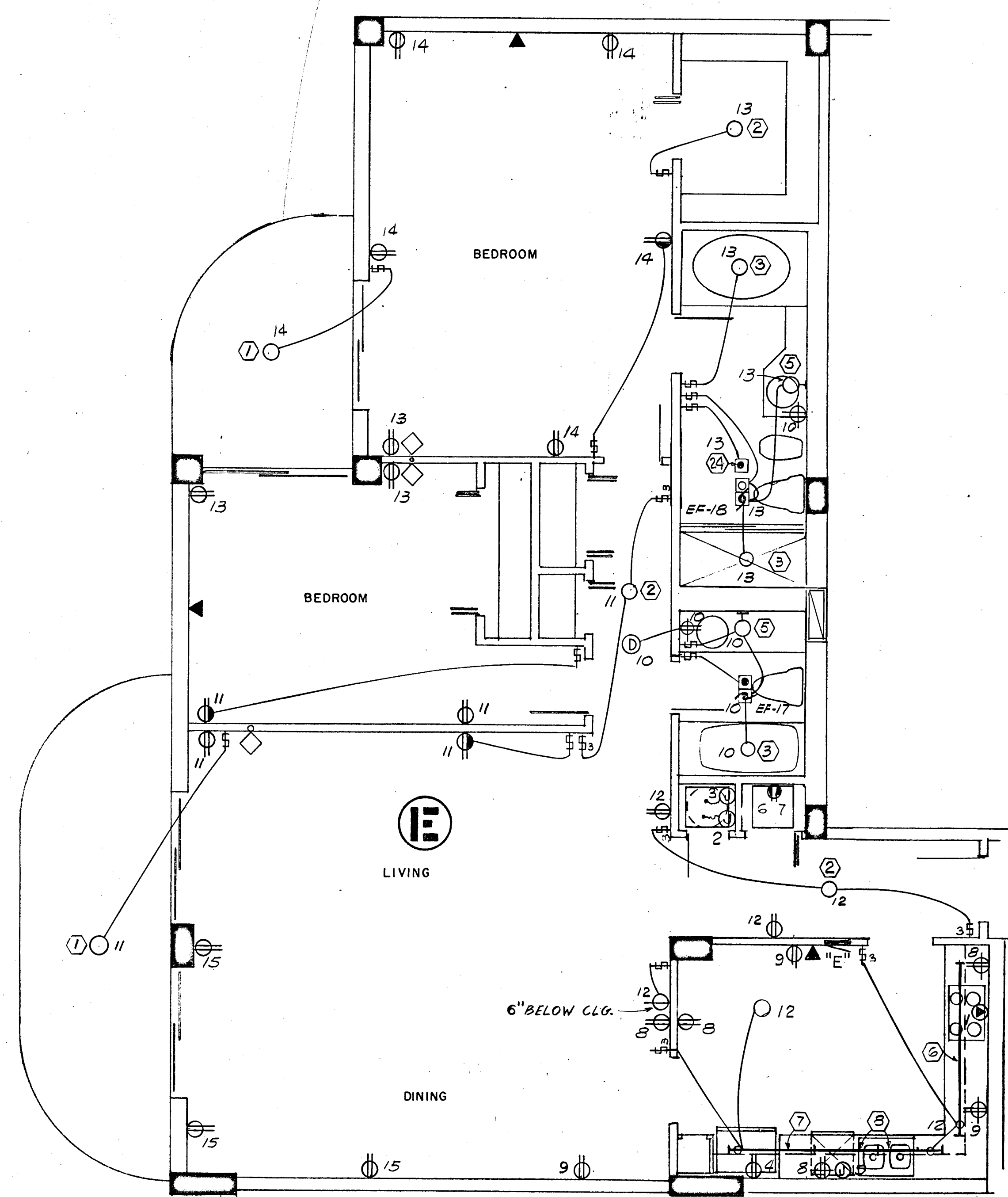
Sharon Miller
8/13/79



WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
138 S.E. 14th LANE
3588044

CHAMPLAIN TOWERS SOUTH
A- 135 UNIT COLDOMINIUM
COMM. No. DATE: 8-13-79 SHEET No. 17 of 11
REV SHEETS

Salvatore M. Wilson
8/13/79



1170 SQ. FT x 3 WATTS = 3.5 KW

PANEL "G" 10, 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	KW	
				LINE	NEUT.
1	2-50	6	RANGE	12.0	8.4
2	2-40	8	AIR COND.	5.3	---
3	2-30	10	WATER HEATER	4.5	---
4	1-20	12	REFRIGERATOR	0.7	0.7
5			DISH WASHER	1.2	1.2
6-7			SMALL APPLIANCES	3.0	3.0
*8-11	1-15	14	LIGHTS & RECEPTACLE	3.5	3.5

* CIR. NO. 8 - TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

FIRST 10.0 KW @ 100% ----- 10.0

NEXT 15.1 KW @ 40% ----- 6.0

AIR COND. (HEATING) ----- 4.3

TOTAL KW ----- 20.3

NEUTRAL

FIRST 3.0 KW @ 100% ----- 3.0

NEXT 5.4 KW @ 35% ----- 1.8

RANGE 12.0 KW @ 70% ----- 8.4

TOTAL KW ----- 13.2

WATTS TO AMPS (LINE) 20,300 ÷ 208V = 97 AMPS

WATTS TO AMPS (NEUT.) 13,200 ÷ 208V = 63 AMPS

FEEDER: 2# 3 & 1# 4 THW CU - 1 1/2"

• 5.6 KW x 65% = 3.6 KW + 0.7 KW A.H.U. = 4.3 KW

1538 SQ. FT x 3 WATTS = 4.6 KW

PANEL "E" 10, 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	KW	
				LINE	NEUT.
1	2-50	6	RANGE	12.0	8.4
2	2-50	6	AIR COND.	8.2	---
3	2-30	10	WATER HEATER	4.5	---
4	1-20	12	REFRIGERATOR	0.7	0.7
5			DISH WASHER	1.2	1.2
6			DRYER (COMPACT-FUTURE)	1.8	1.8
7			WASHER (COMPACT-FUTURE)	0.9	0.9
8-9			SMALL APPLIANCES	3.0	3.0
*10-15	1-15	14	LIGHTS & RECEPTABLES	4.6	4.6

* CIR. NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

FIRST 10.0 KW @ 100% ----- 10.0

NEXT 18.7 KW @ 40% ----- 7.4

AIR COND. (HEATING) ----- 5.5

TOTAL KW ----- 22.9

NEUTRAL

FIRST 3.0 KW @ 100% ----- 3.0

NEXT 9.2 KW @ 35% ----- 3.2

RANGE 12.0 KW @ 70% ----- 8.4

TOTAL KW ----- 14.6

WATTS TO AMPS (LINE) 22,900 ÷ 208V = 110 AMPS

WATTS TO AMPS (NEUT.) 14,600 ÷ 208V = 70 AMPS

FEEDER: 2# 2 & 1# 4 THW CU - 1 1/2"

• 7.5 KW x 65% = 4.8 KW + 0.7 KW A.H.U. = 5.5 KW

1645 SQ. FT x 3 WATTS = 4.9 KW

PANEL "F" 10, 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	KW	
				LINE	NEUT.
1	2-50	6	RANGE	12.0	8.4
2	2-50	6	AIR COND.	8.2	---
3	2-30	10	WATER HEATER	4.5	---
4	1-20	12	REFRIGERATOR	0.7	0.7
5			DISH WASHER	1.2	1.2
6			DRYER (COMPACT-FUTURE)	1.8	1.8
7			WASHER (COMPACT-FUTURE)	0.9	0.9
8-9			SMALL APPLIANCES	3.0	3.0
*10-14	1-15	14	LIGHTS & RECEPTABLES	4.9	4.9

* CIR. NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

FIRST 10.0 KW @ 100% ----- 10.0

NEXT 19.0 KW @ 40% ----- 7.6

AIR COND. (HEATING) ----- 5.5

TOTAL KW ----- 23.1

NEUTRAL

FIRST 3.0 KW @ 100% ----- 3.0

NEXT 9.5 KW @ 35% ----- 3.3

RANGE 12.0 KW @ 70% ----- 8.4

TOTAL KW ----- 14.7

WATTS TO AMPS (LINE) 23,100 ÷ 208V = 111 AMPS

WATTS TO AMPS (NEUT.) 14,700 ÷ 208V = 70 AMPS

FEEDER: 2# 2 & 1# 4 THW CU - 1 1/2"

• 7.5 KW x 65% = 4.8 KW + 0.7 KW A.H.U. = 5.5 KW

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AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS SOUTH

A-135 UNIT CONDOMINIUM

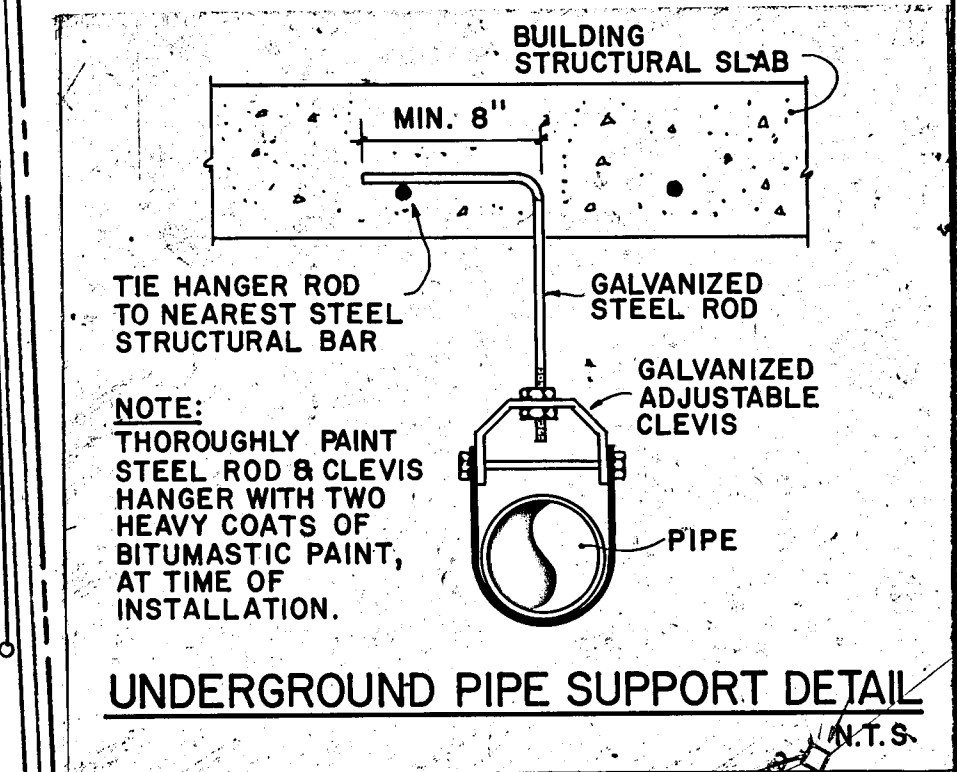
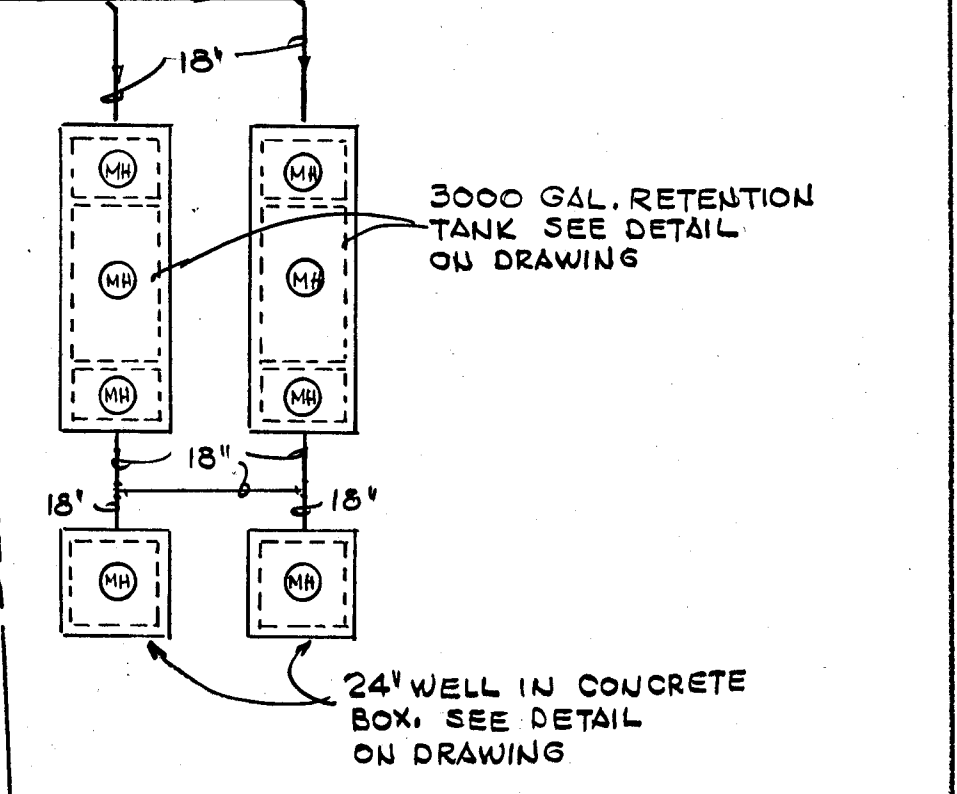
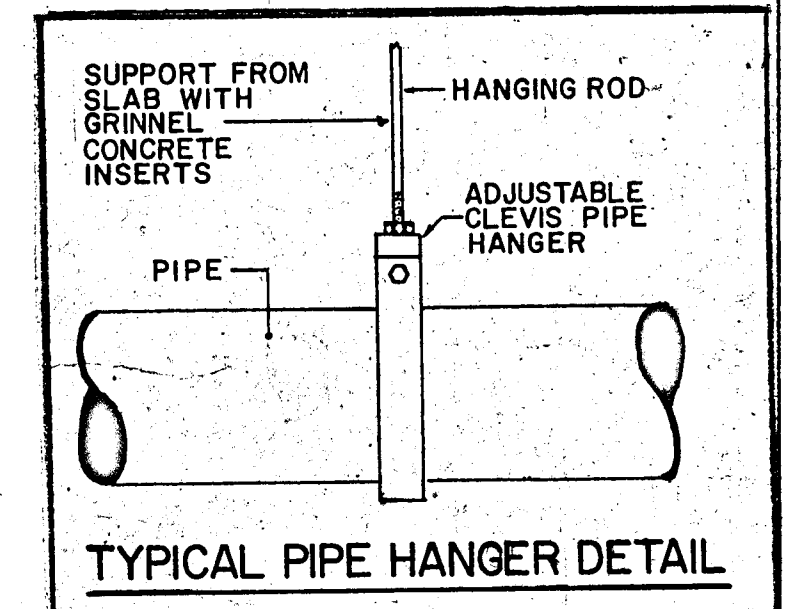
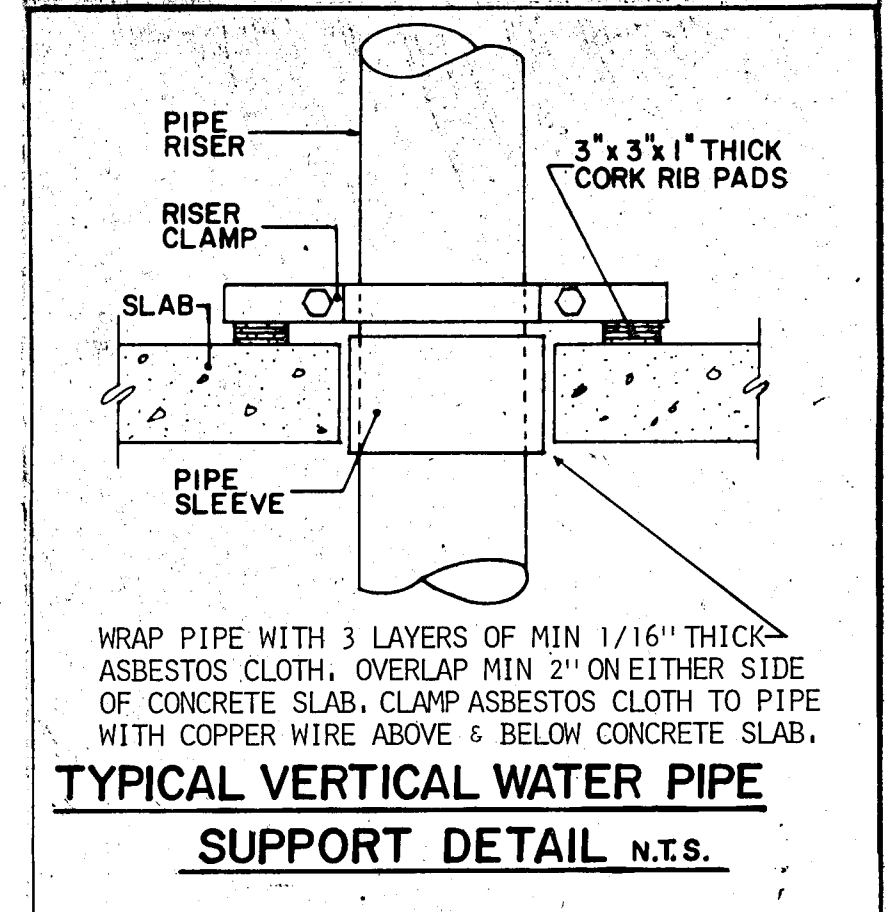
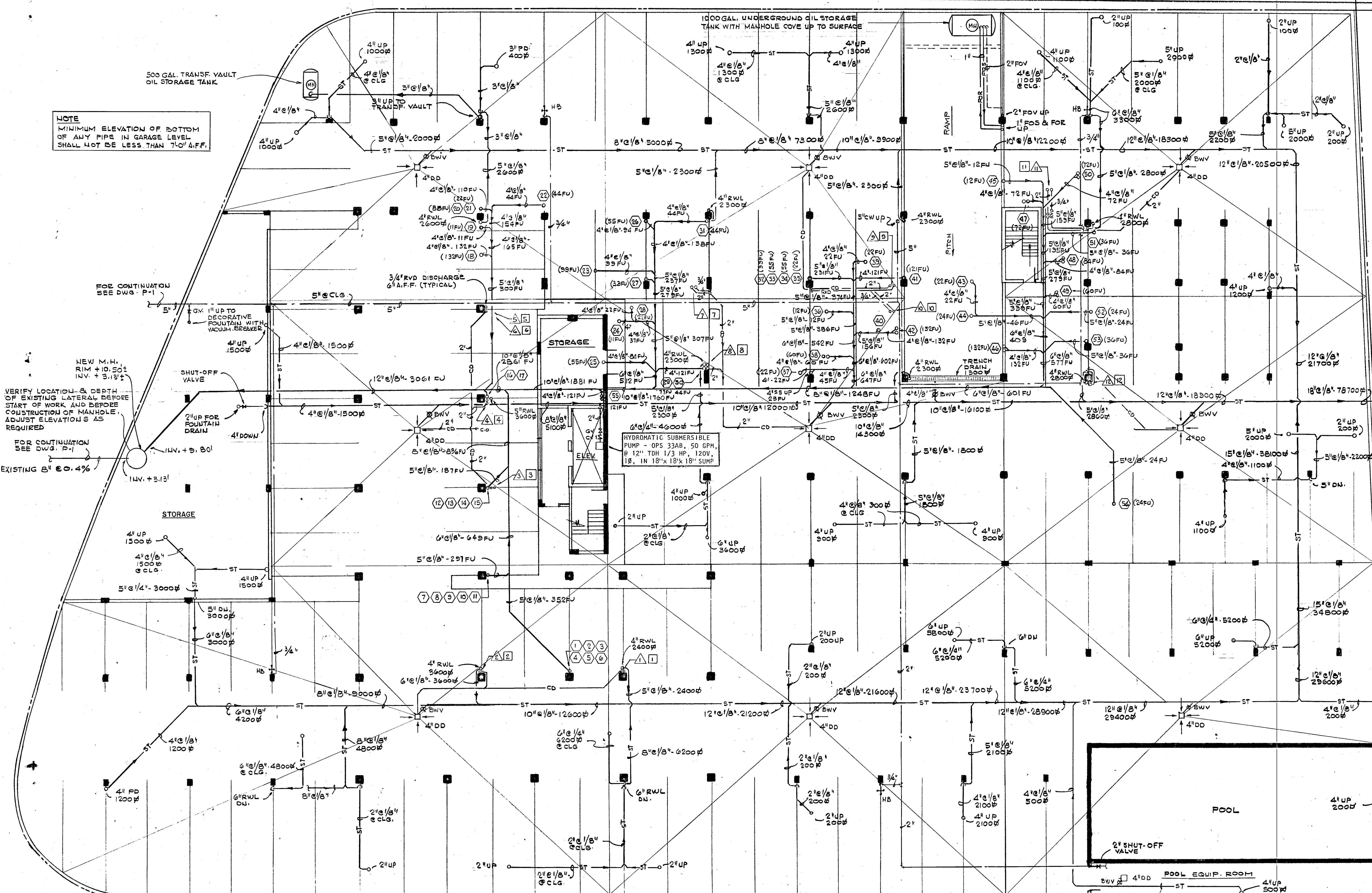
COMM. No. DATE: 8-13-79 SHEET No. 11

REV. 11

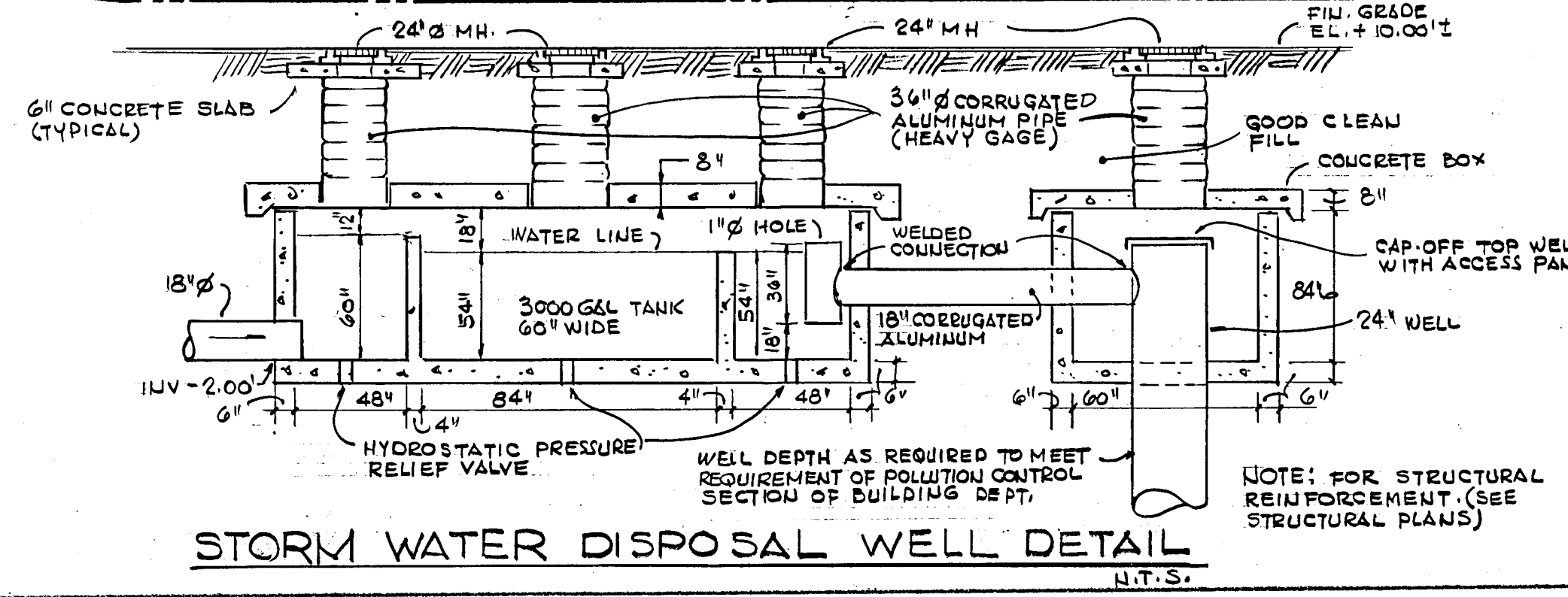
FLORIDA ENGINEERING SERVICES
352 NE 167 STREET
N. MIAMI BCH, FLA 33162 945-4743

Schwarz, Miller
8/13/79

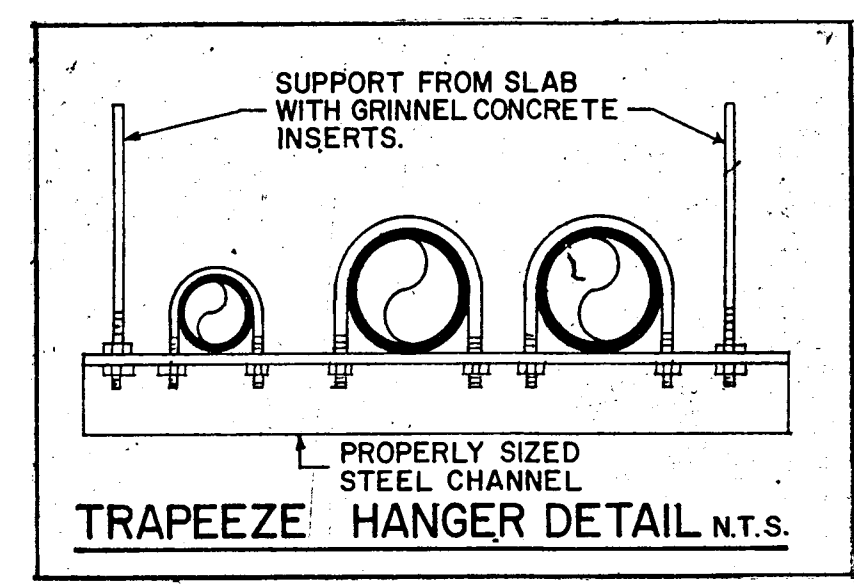
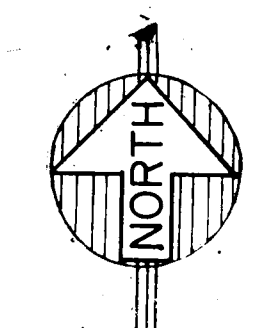
NOTE
MINIMUM ELEVATION OF BOTTOM OF ANY PIPE IN GARAGE LEVEL SHALL NOT BE LESS THAN 7'-0" A.F.F.



NOTE:
ALL PLUMBING LINES EXPOSED TO VEHICULAR TRAFFIC SHALL BE PROTECTED WITH STEEL ANGLES AS REQUIRED TO A HEIGHT OF 4 FT. A.F.F.



GARAGE LEVEL-FLOOR PLAN
SCALE: 1/32"=1'-0"



WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
138 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS SOUTH
A-135 UNIT COLDOMINIUM
COMM. No. DATE: 8-13-79 SHEET No. 12 OF 11 SHEETS

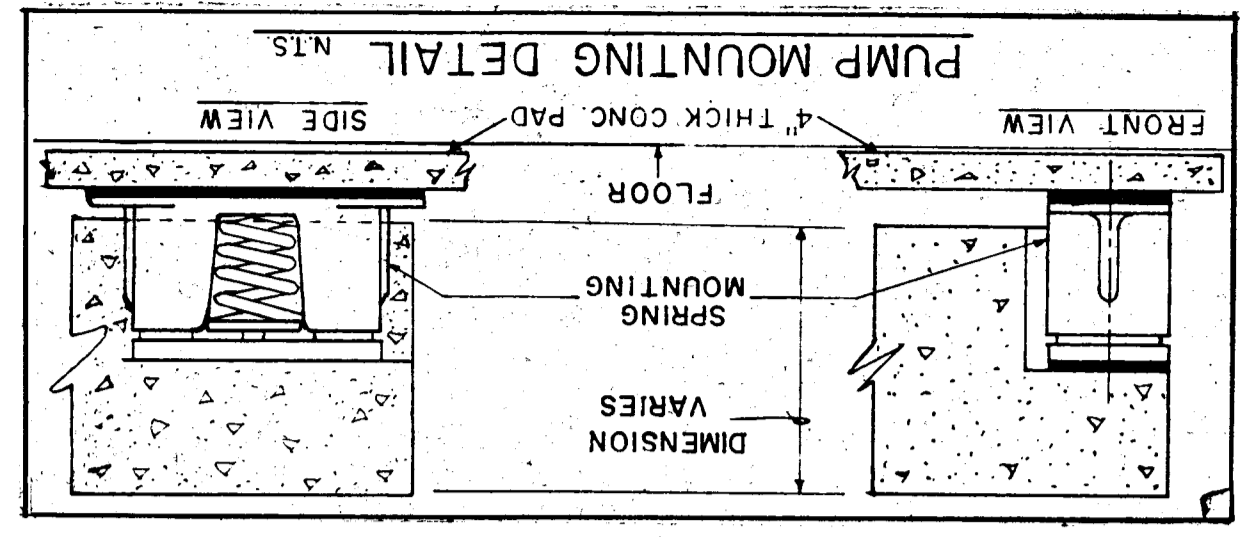
FLORIDA ENGINEERING SERVICES
12 NE 167 STREET
MIAMI, FL 33132

Salvatore...
8/13/79

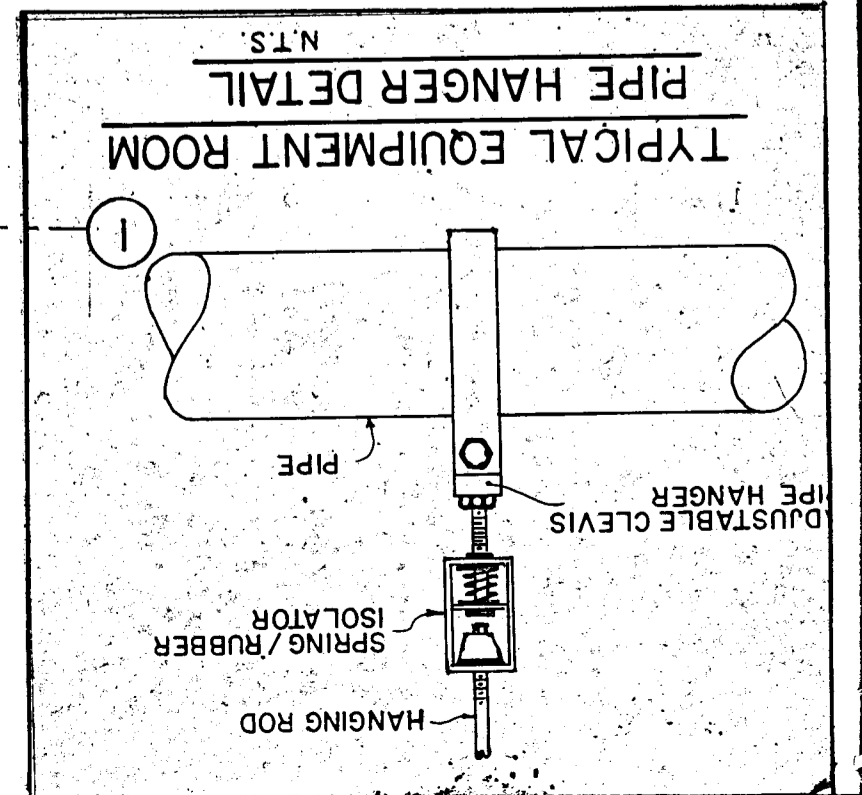
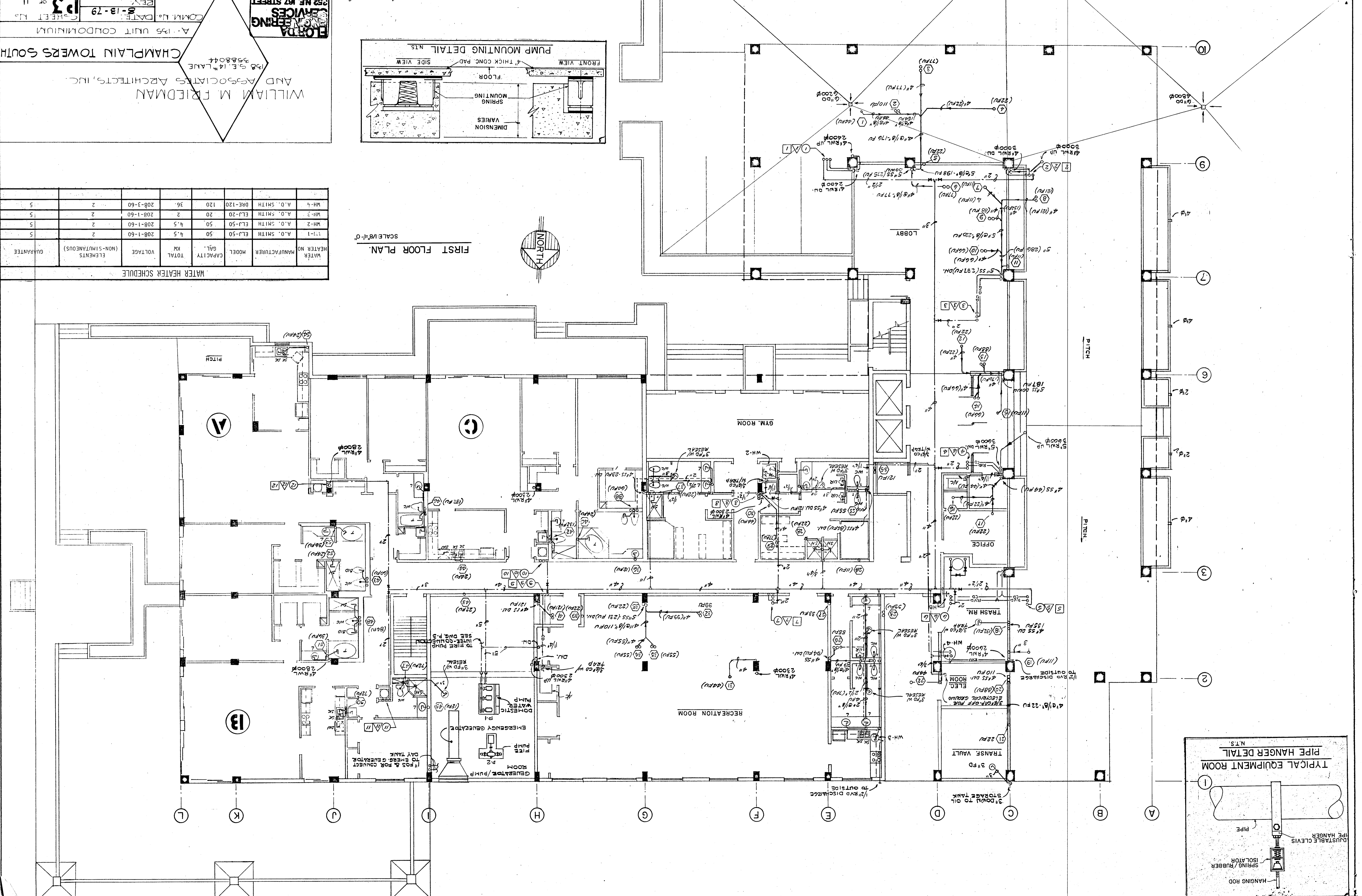
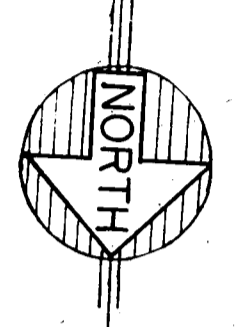
33
 5-13-79
 COMM. N. DATE
 WILLIAM M. FRIEDMAN AND ASSOCIATES ARCHITECTS, INC.
 128 S.E. 14TH LANE
 3328044
 CHAMPLAIN TOWERS SOUTH
 A-125 UNIT CONDOMINIUM
 SHEETS 11

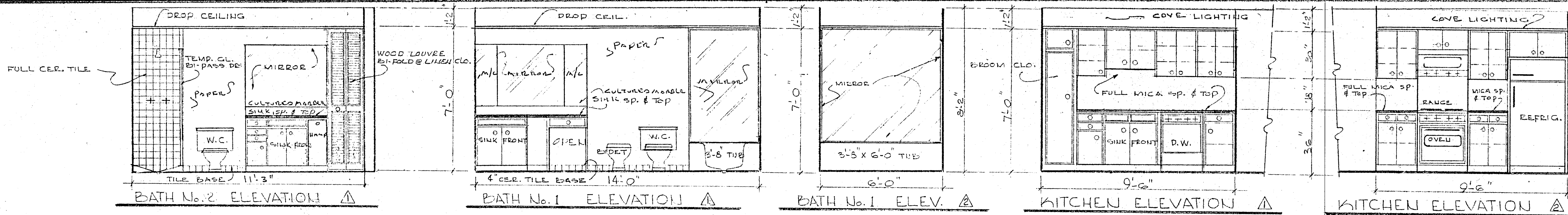
WATER HEATER SCHEDULE

WATER HEATER NO.	MANUFACTURER	MODEL	CAPACITY GAL.	TOTAL KW	VOLTAGE	ELEMENTS (NON-SIMULTANEOUS)	GUARANTEE
WH-1	A.O. SMITH	ELJ-50	50	4.5	208-1-60	2	5
WH-2	A.O. SMITH	ELJ-50	50	4.5	208-1-60	2	5
WH-3	A.O. SMITH	ELJ-20	20	2	208-1-60	2	5
WH-4	A.O. SMITH	DRE-120	120	36	208-3-60	2	5

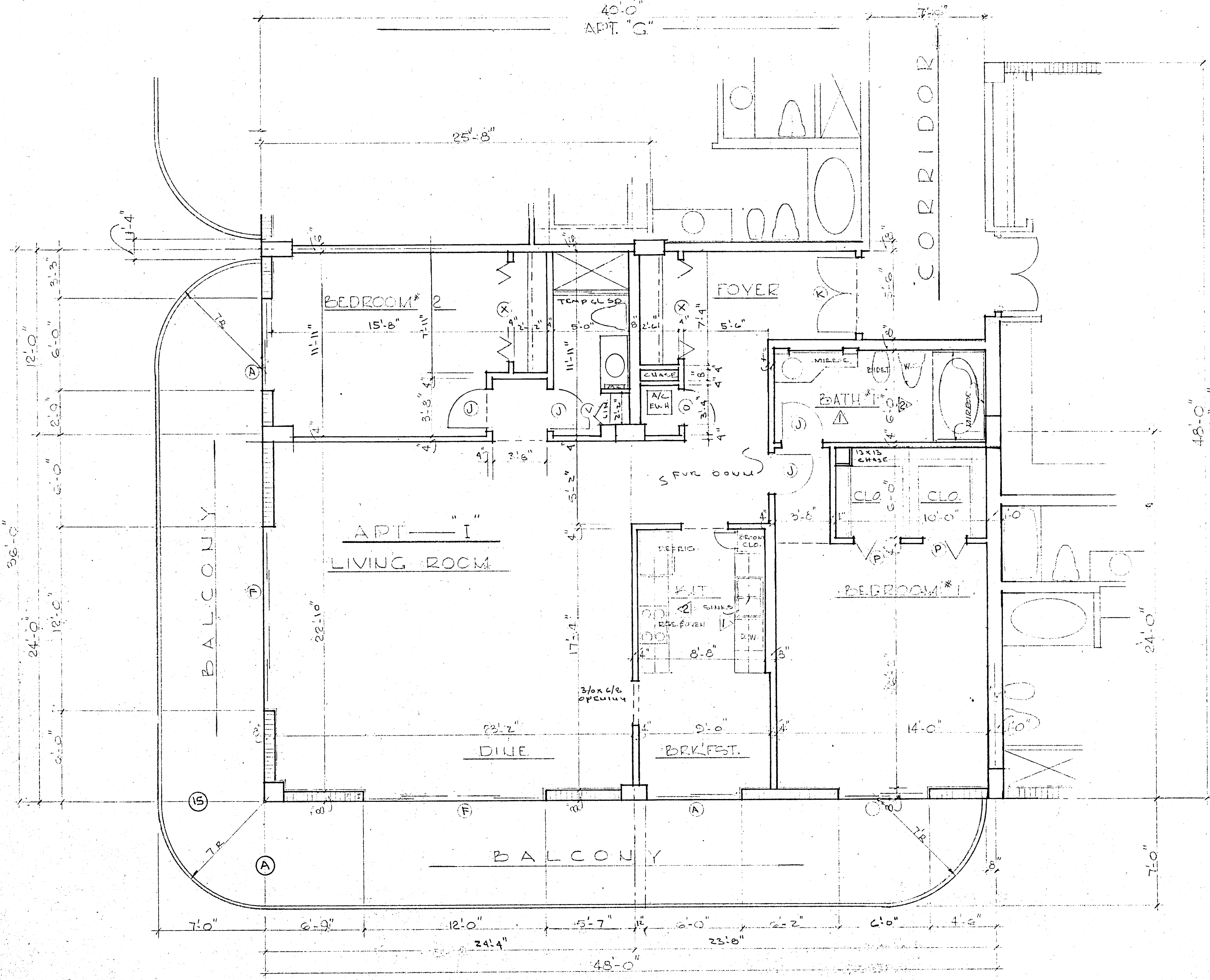


FIRST FLOOR PLAN
SCALE 1/8"=1'-0"

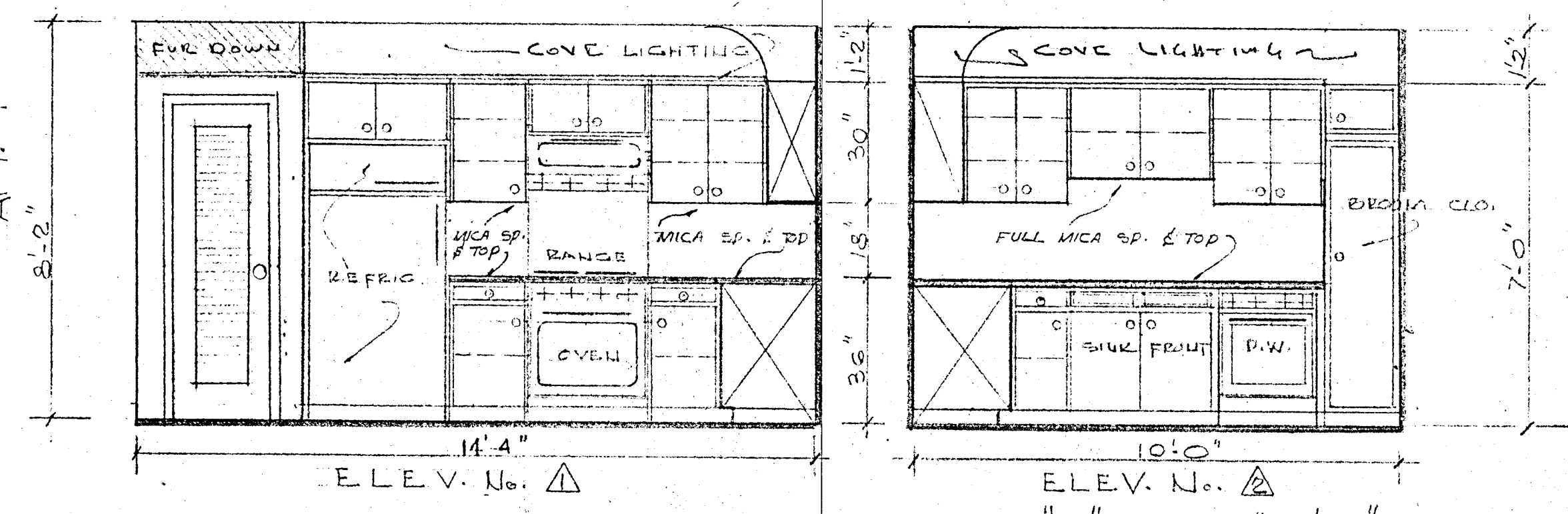




INTERIOR ELEVATIONS APARTMENT "I" @ 3/8" = 1'-0"



TYPICAL FLOOR PLAN APT. "I" @ 1/4" = 1'-0"



KITCHEN ELEVATIONS OF APARTMENT "H" @ 3/8" = 1'-0"
SEE FLOOR PLAN OF APT. "H" @ SHEET No. OF

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

133 S.E. 14TH LANE
3528044

CHAMPLAIN TOWERS SOUTH
8777 COLLINS AVE.
A-135 UNIT CONDOMINIUM

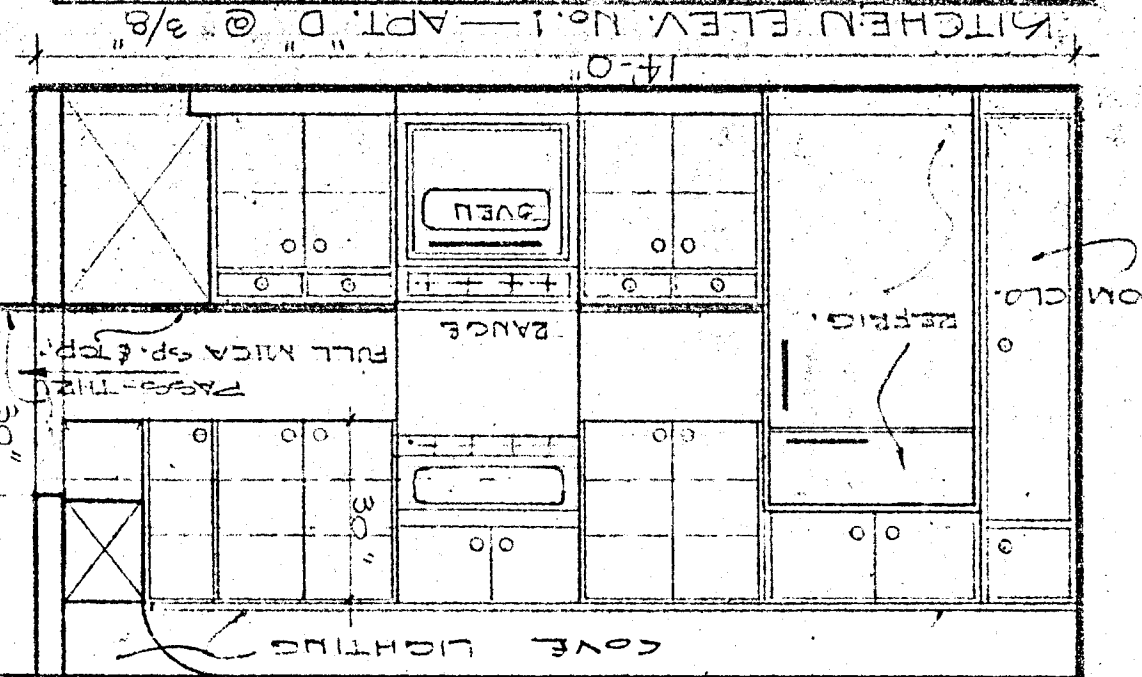
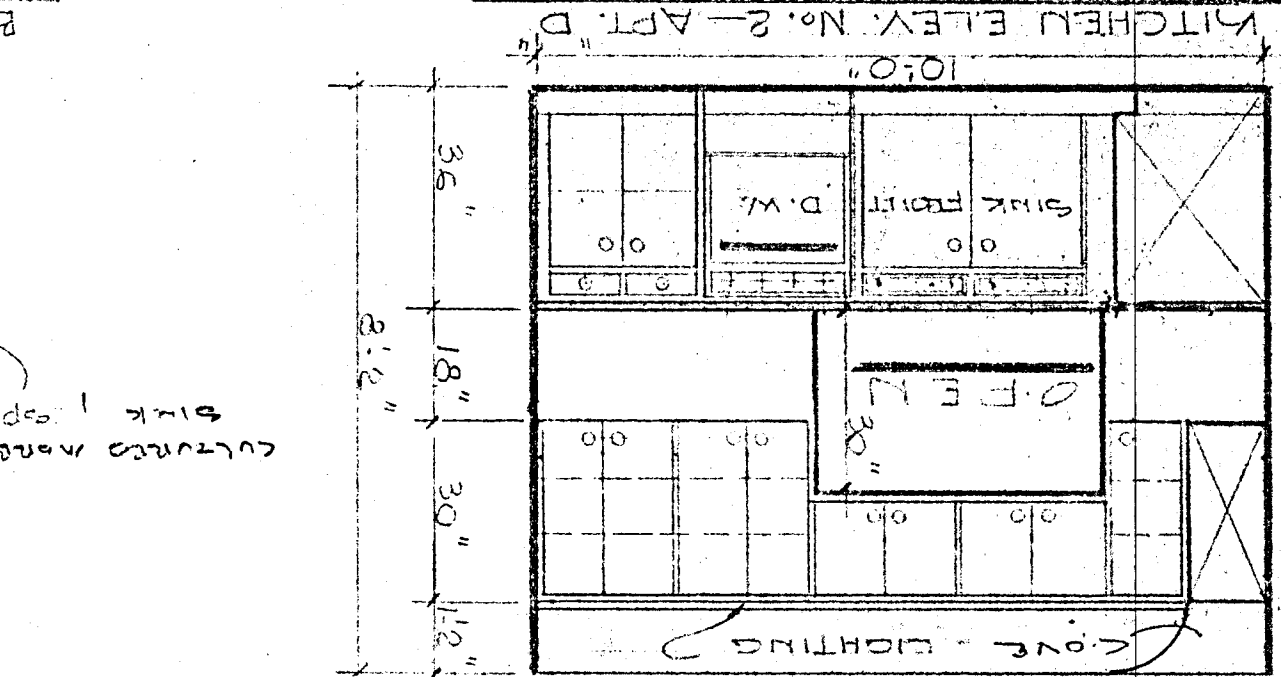
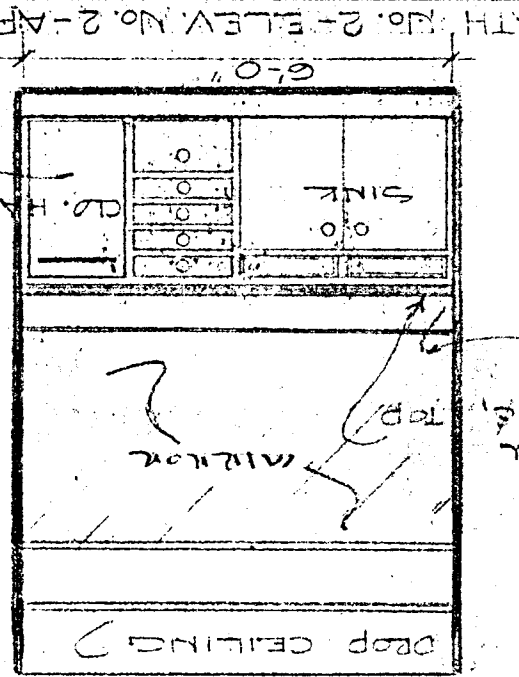
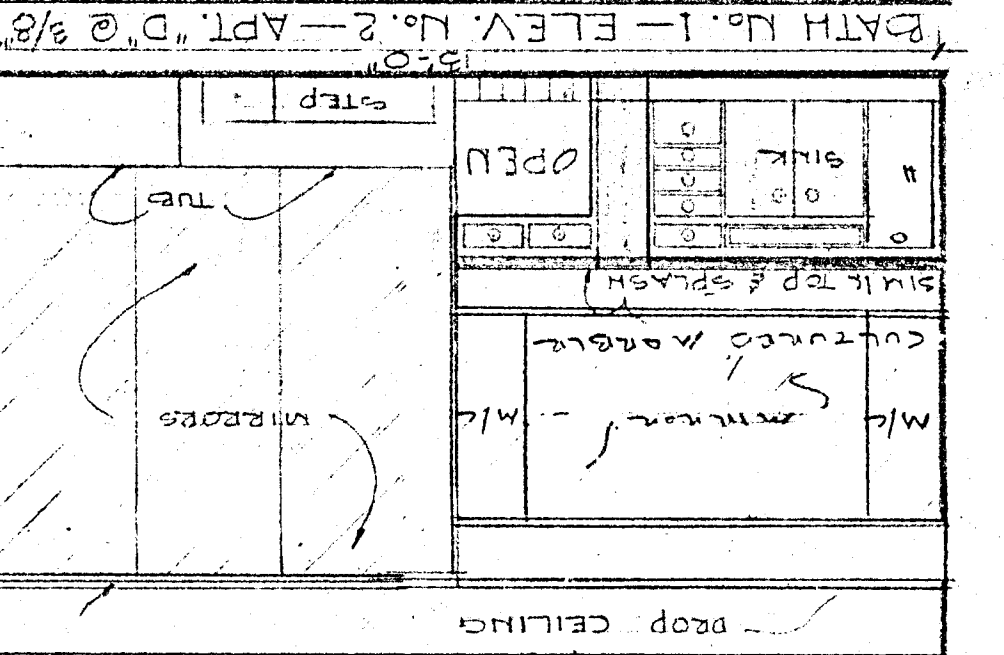
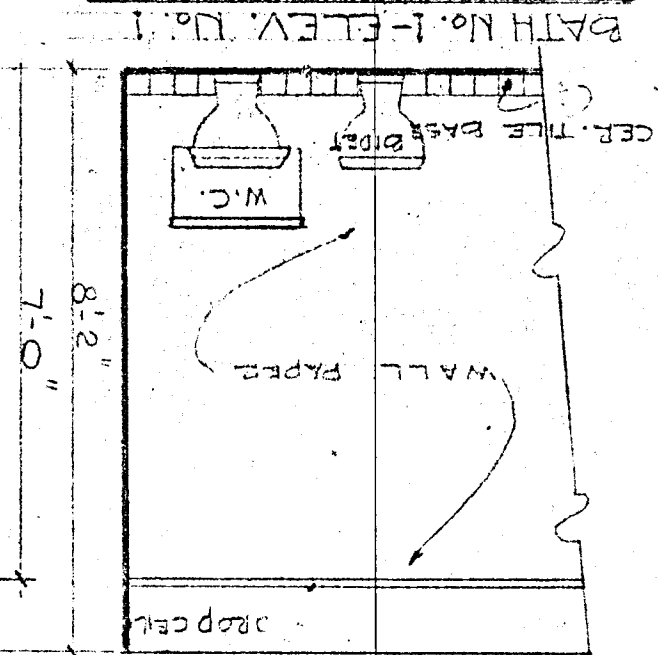
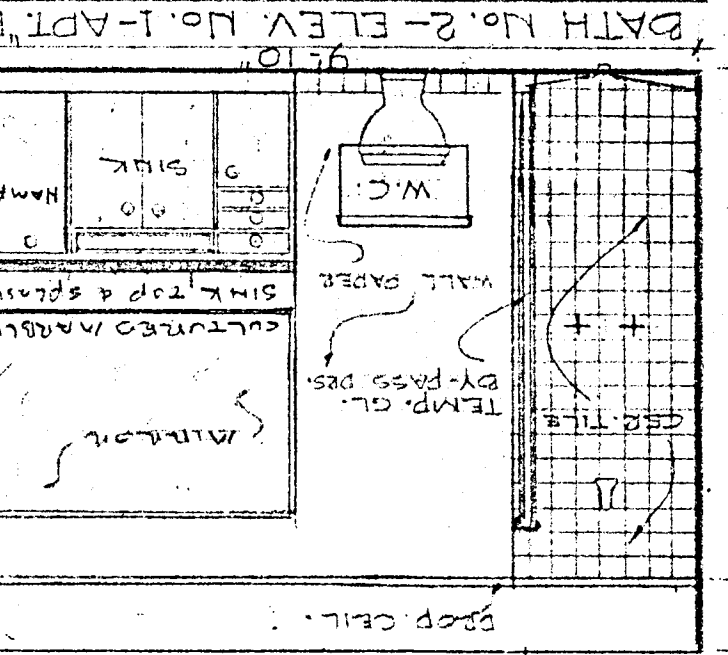
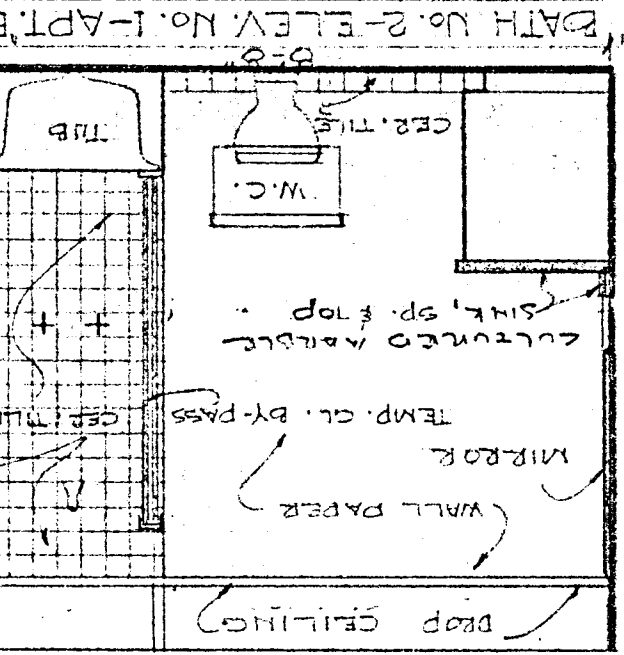
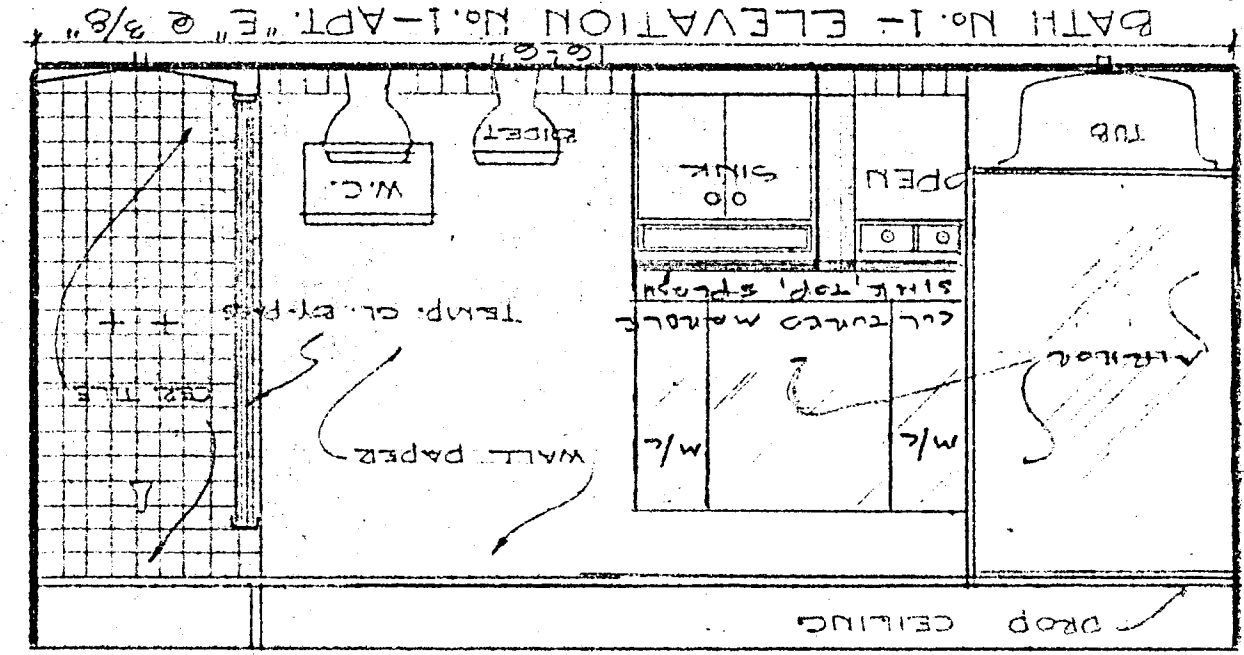
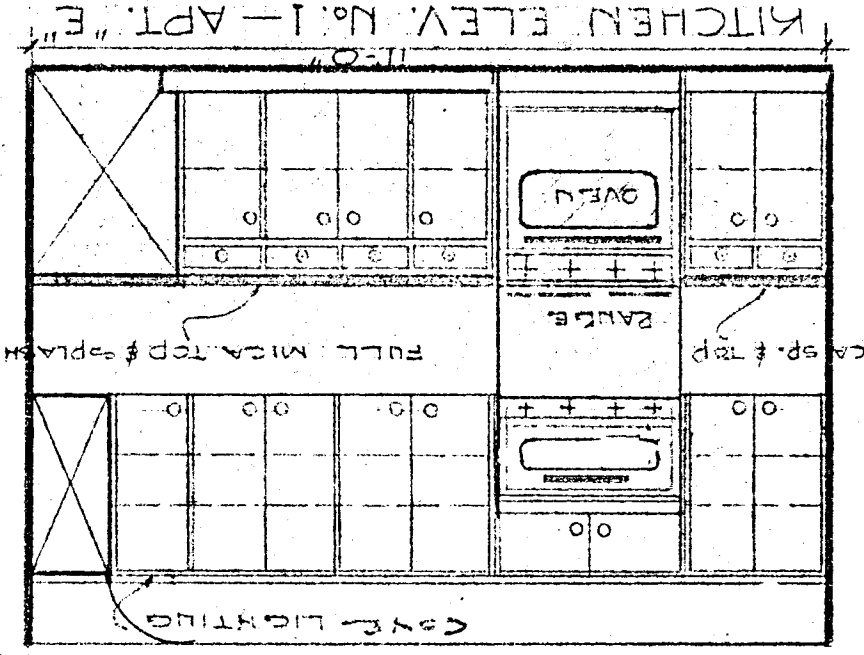
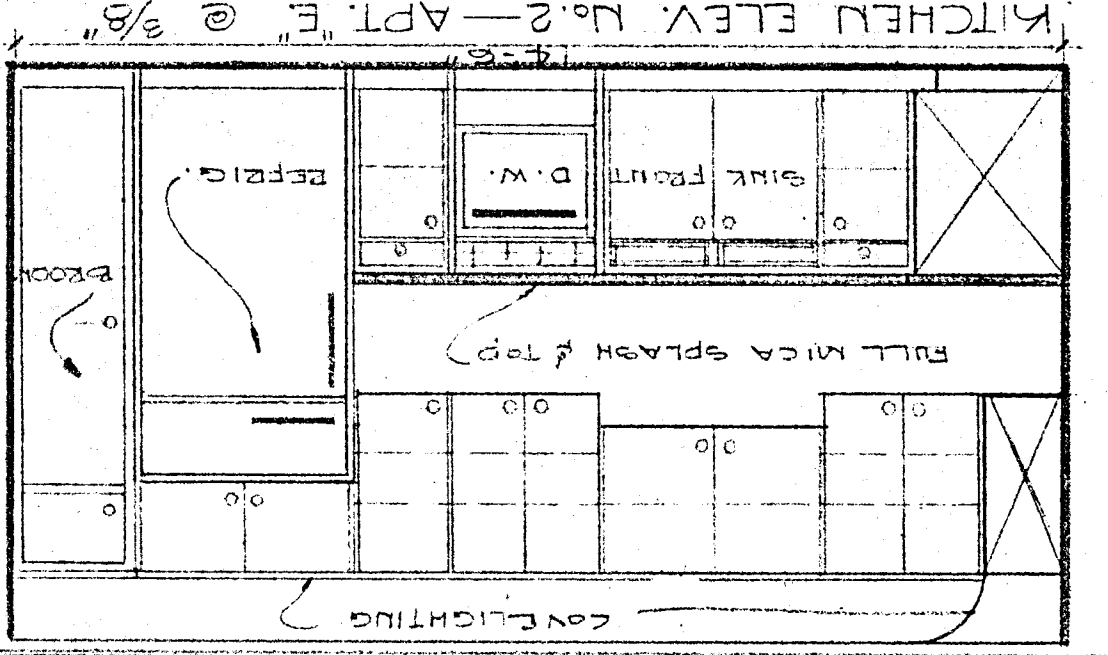
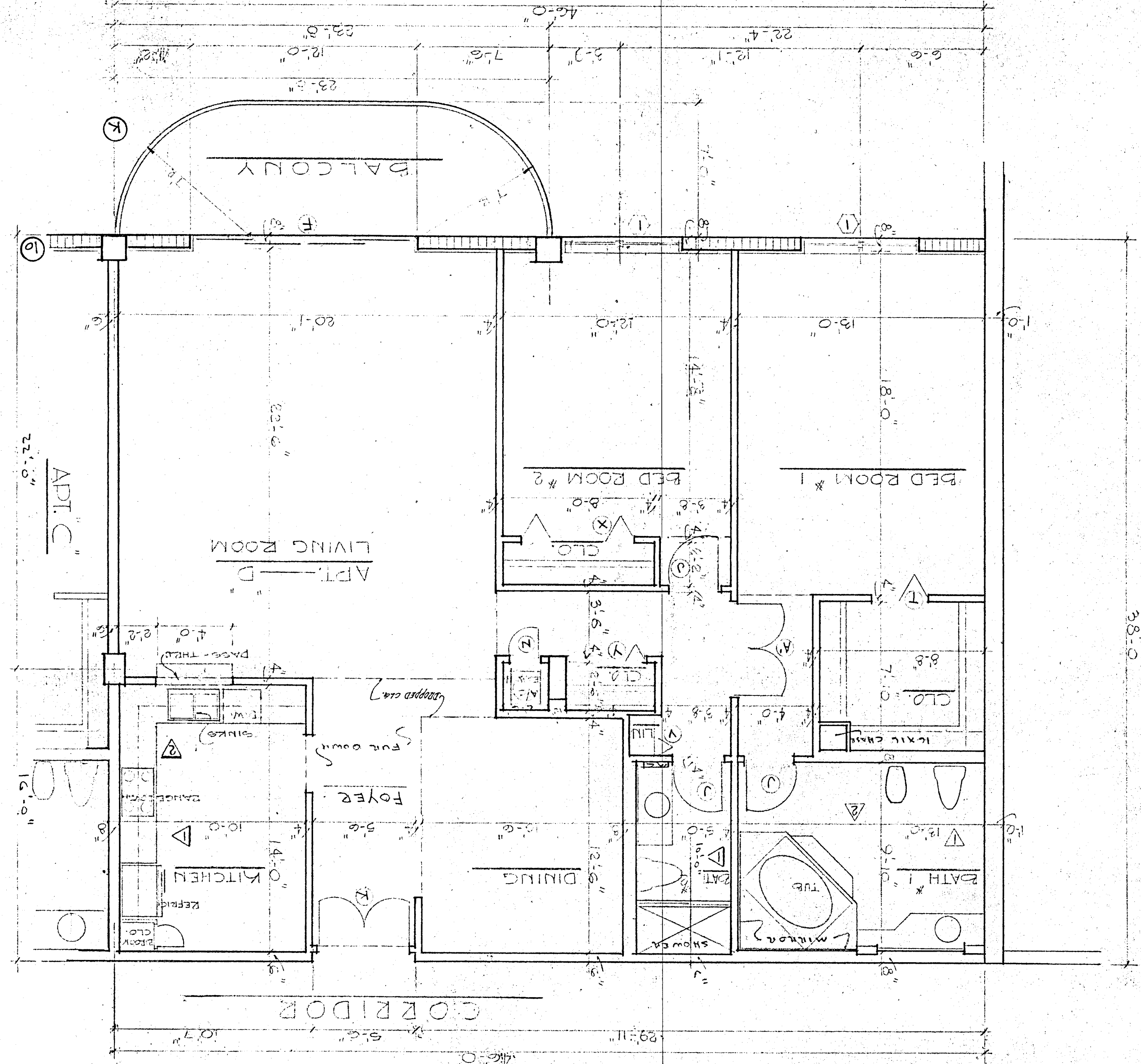
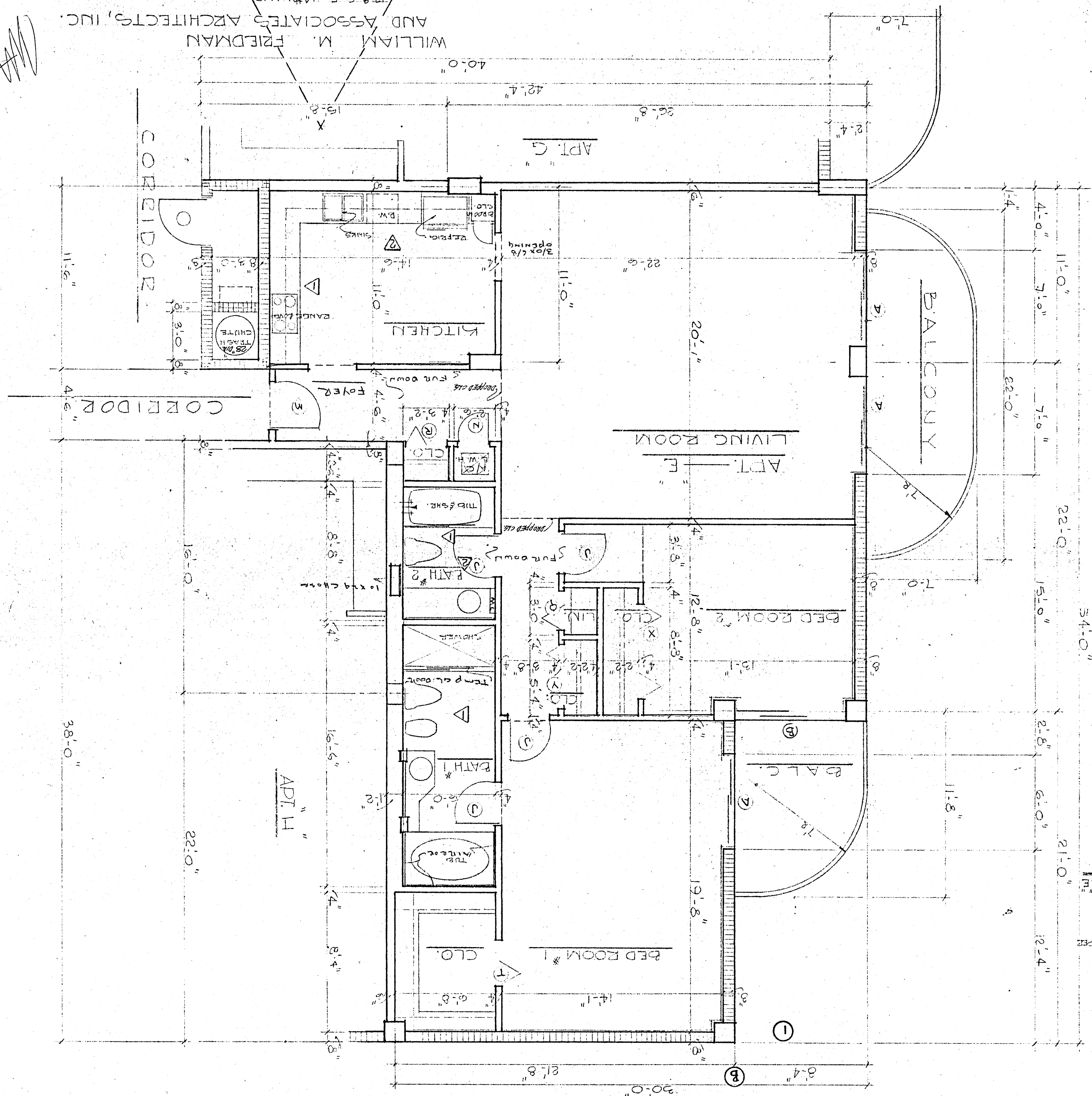
COMM. No. DATE: SHEET
REV. 21 OF

CHAMPLAIN TOWERS SOUTH
 877 COLLINS AVE.
 355044

WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC.
 138 S.E. 14th LANE
 355044

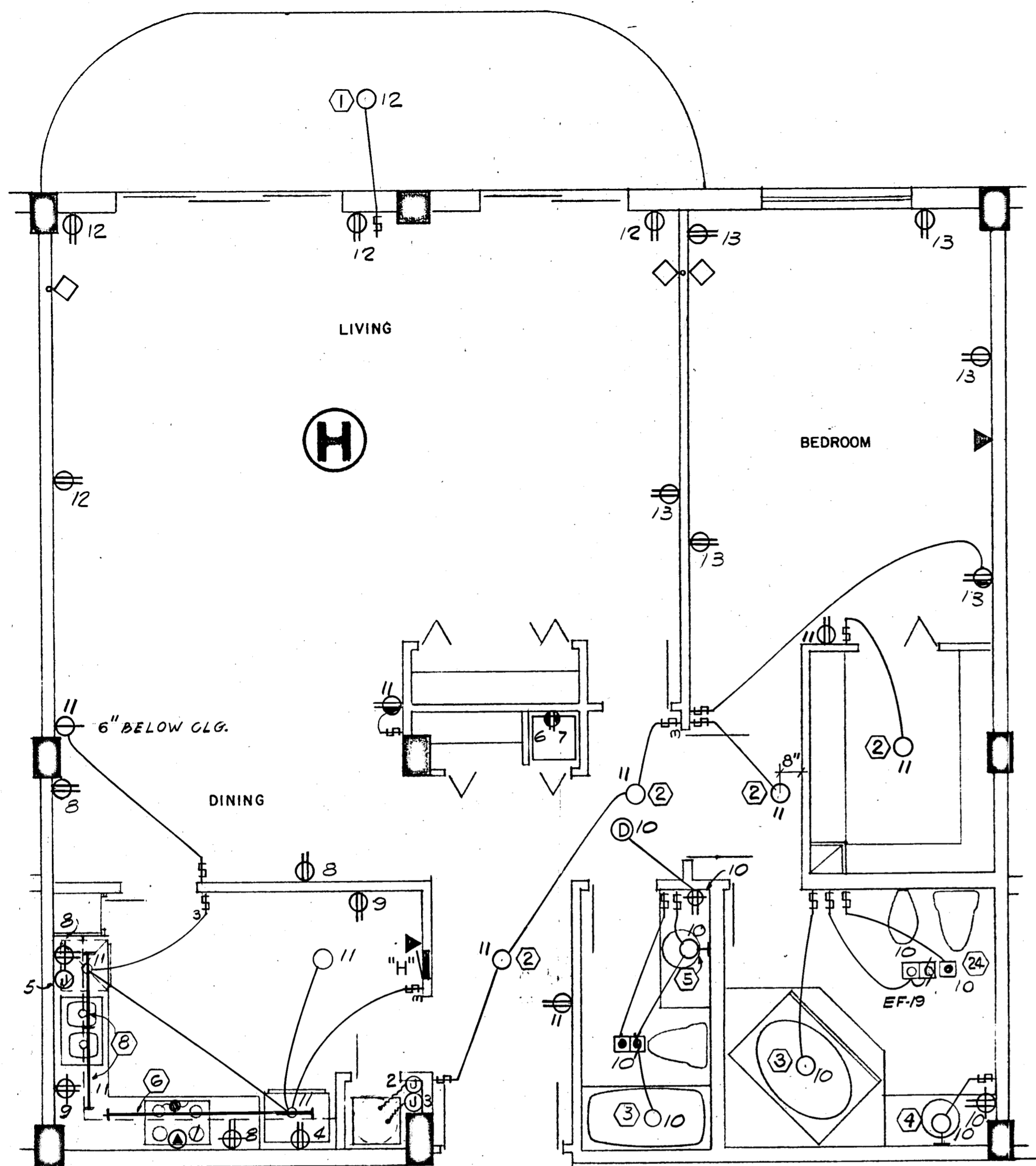
TYPICAL FLOOR PLAN APT. E @ 1/4"=1'-0"

TYPICAL FLOOR PLAN APT. D @ 1/4"=1'-0"



D O O R S c h e d u l e

R.M. No.	DIMENSIONS			quant	DOOR TYPE																										material														JAMB TYPE					THRESHOLD					FINISH					SPC1	REMARKS & NOTES																						
	W	H	T		this floor																										DOOR							JAMB																																													
					abc	def	ghi	jkl	mno	pqr	rst	uvw	xyz	ROLLUP CORE SOLID CORE FLUSH FULL LOUNDED HALF LOUNDED PANELED POCKET BY-PASS BI-FOLD FOLDING SCREENED OVERHEAD SLIDING SWING STOREFRONT	WOOD ALUMINUM GLASS TEMPERED GLASS STEEL C-LABEL - 3/4 HR BY-LABEL - 1/2 HR HOLLOW MET. - 20 GA BY-LABEL - 1/2 HR STEEL - 1/8 GA. STEEL - 1/8 GA. WOOD ALUMINUM	STEEL ON CONC STEEL ON M/S STEEL ON STUD WOOD ON CONC WOOD ON M/S ALUM. ON CONC ALUM. ON M/S	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	ALUM. VINYL ALUM. BUMPER ALUM. NEOPRENE FLAT ALUM - 4" CARPET STRIP MARBLE - 3" STEEL ANGLE WOOD ALUM. TRACK PAINTED STAINED VARNISHED LAME PLASTIC ANODIZED	ALUM. VINYL ALUM. BUMPER ALUM. NEOPRENE FLAT ALUM - 4" CARPET STRIP MARBLE - 3" STEEL ANGLE WOOD ALUM. TRACK PAINTED STAINED VARNISHED LAME PLASTIC ANODIZED																																																		
BASEMENT GARAGE																																																																																			
B 001	2'-8"	6'-8"	1 3/4"	2																																																																															
B 002	3'-4"	6'-8"	1 3/4"	1																																																																										SEE STORE FRONT DETAILS ON SHEET A 25 OF 30					
B 003	SEE REMARKS																																																																																		
B 004	6'-0"	6'-8"	1 3/4"	1																																																																															
B 005	3'-4"	6'-8"	1 3/4"	1																																																																															
B 006	6'-0"	6'-8"	1 3/4"	1																																																																															
B 007	SEE REMARKS																																																																																SPECIAL GRILL ROLL UP DOOR - AUTOMATIC WITH 9/4 CANNISTER SEE V.I.P. 5/23/55		
FIRST FLOOR LOBBY																																																																																			
L 001	SEE REMARKS																																																																																SEE STORE FRONT DETAILS ON SHEET A 25 OF 30		
L 002	3'-4"	6'-8"	1 3/4"	1																																																																															
L 003	3'-0"	6'-8"	1 3/4"	1																																																																															
L 004	SEE REMARKS																																																																																		
L 005	2'-6"	6'-8"	1 3/8"	1																																																																															
L 006	SEE REMARKS																																																																																		
L 007	2'-8"	6'-8"	1 3/8"	1																																																																															
L 008	---																																																																																		
L 009	5'-0"	6'-8"	1 3/4"	1																																																																															
L 010	4'-0"	6'-8"	1 3/4"	1																																																																															
L 011	8'-0"	6'-8"	1 3/4"	1																																																																															
L 012	6'-0"	6'-8"	1 3/4"	1																																																																															
L 013	4'-0"	6'-8"	---	1																																																																															
L 014	2'-8"	6'-8"	1 3/8"	1																																																																														PUSH PLATE & PULL	
L 015	2'-8"	6'-8"	1 3/8"	1																																																																															
L 016	3'-6"	6'-8"	1 3/8"	2																																																																															
L 016	6'-0"	6'-8"	1 3/8"	2																																																																															
L 016	3'-4"	6'-8"	1 3/4"	2																																																																															
L 017	3'-4"	6'-8"	1 3/4"	1																																																																															
L 018	3'-4"	6'-8"	1 3/4"	1																																																																															
L 019	SEE REMARKS																																																																																		
L 020	3'-4"	6'-8"	1 3/4"	1																																																																															
L-21 APT. "B" LOBBY FLOOR																																																																																			
	3'-0"	6'-8"	1 3/4"	1																																																																													DOOR SCOPE		
	2'-8"	6'-8"	1 3/8"	4																																																																														MARBLE THRESHOLD BATHS ONLY	
	2'-8"	6'-8"	1 3/8"	2																																																																															
	2'-0"	6'-8"	1 3/8"	1																																																																															
	2'-0"	6'-8"	1 3/8"	1																																																																															
	3'-6"	6'-8"	1 3/8"	1																																																																															
	4'-0"	6'-8"	1 3/8"	2																																																																															
	9'-0"	10'-0"	1 3/8"	4																																																																															
	6'-0"	10'-0"	1 3/8"	1																																																																															
L-22 APT. "A" LOBBY FLOOR																																																																																			
	9'-0"	10'-0"	---	4																																																																															
	5'-0"	10'-0"	---	1																																																																															
	2'-8"	6'-8"	1 3/8"	5																																																																														MARBLE THRESHOLD BATHS ONLY	
	5'-0"	6'-8"	1 3/4"	1																																																																														DOOR SCOPE	
	2'-6"	6'-8"	1 3/8"	2																																																																															



1369 SQ. FT x 3 WATTS = 4.1 KW

PANEL "H" 1Ø, 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SQD TYPE QD

CKT. NO.	POLE BKR.	WIRE	SERVING	KW	
				LINE	NEUT.
1	2-50	6	RANGE	12.0	8.4
2	2-40	8	AIR COND.	6.3	---
3	2-30	10	WATER HEATER	4.5	---
4	1-20	12	REFRIGERATOR	0.7	0.7
5			DISH WASHER	1.2	1.2
6			DRYER (COMPACT-FUTURE)	1.8	1.8
7			WASHER (COMPACT-FUTURE)	0.9	0.9
8-9			SMALL APPLIANCES	3.0	3.0
*10-13	1-15	14	LIGHTS & RECEPTACLES	4.1	4.1

* CIR. NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

FIRST 10.0 KW @ 100% ----- 10.0

NEXT 18.2 KW @ 40% ----- 7.2

AIR COND. (HEATING) ----- 4.3

TOTAL KW ----- 21.5

NEUTRAL

FIRST 3.0 KW @ 100% ----- 3.0

NEXT 8.7 KW @ 35% ----- 3.0

RANGE 12.0 KW @ 70% ----- 8.4

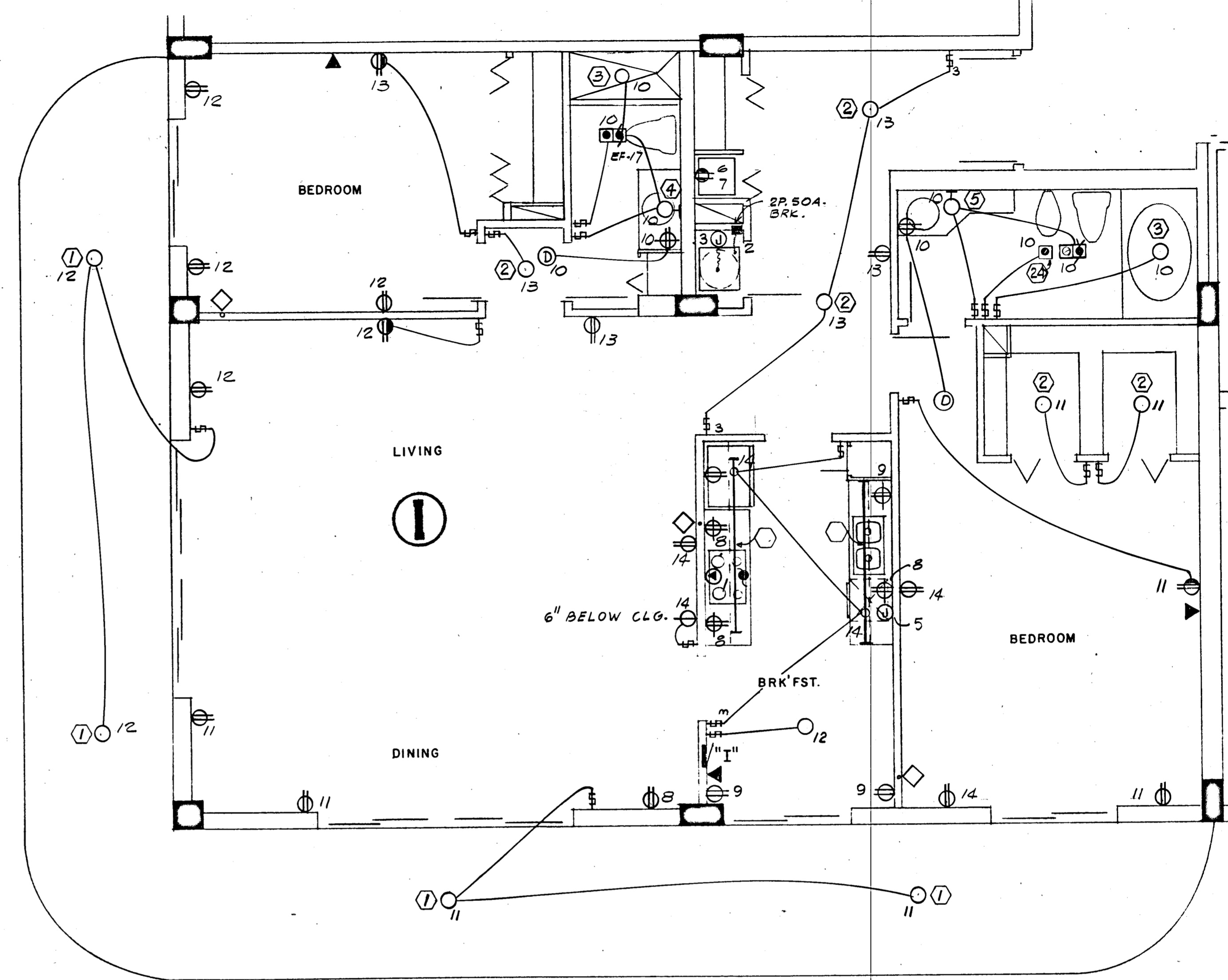
TOTAL KW ----- 14.4

WATTS TO AMPS (LINE) 21,500 ÷ 208V = 103 AMPS

WATTS TO AMPS (NEUT.) 14,400 ÷ 208V = 69 AMPS

FEEDER: 2# 2 & 1# 4 THW CU - 1½"

• 5.6 KW x 65% = 3.6 KW + 0.7 KW A.H.U. = 4.3 KW



1539 SQ. FT x 3 WATTS = 4.7 KW

PANEL "I" 1Ø, 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SQD TYPE QD

CKT. NO.	POLE BKR.	WIRE	SERVING	KW	
				LINE	NEUT.
1	2-50	6	RANGE	12.0	8.4
2	2-50	6	AIR COND.	8.2	---
3	2-30	10	WATER HEATER	4.5	---
4	1-20	12	REFRIGERATOR	0.7	0.7
5			DISH WASHER	1.2	1.2
6			DRYER (COMPACT-FUTURE)	1.8	1.8
7			WASHER (COMPACT-FUTURE)	0.9	0.9
8-9			SMALL APPLIANCES	3.0	3.0
*10-14	1-15	14	LIGHTS & RECEPTACLES	4.7	4.7

* CIR. NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

FIRST 10.0 KW @ 100% ----- 10.0

NEXT 18.8 KW @ 40% ----- 7.5

AIR COND. (HEATING) ----- 5.5

TOTAL KW ----- 23.0

NEUTRAL

FIRST 3.0 KW @ 100% ----- 3.0

NEXT 9.3 KW @ 35% ----- 3.2

RANGE 12.0 KW @ 70% ----- 8.4

TOTAL KW ----- 14.6

WATTS TO AMPS (LINE) 23,000 ÷ 208V = 110 AMPS

WATTS TO AMPS (NEUT.) 14,600 ÷ 208V = 70 AMPS

FEEDER: 2# 2 & 1# 4 THW CU - 1½"

• 7.5 KW x 65% = 4.8 KW + 0.7 KW A.H.U. = 5.5 KW

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

128 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS SOUTH

A-125 UNIT CONDOMINIUM

COMM. No. DATE: 8-13-79 SHEET No. 19 of 11

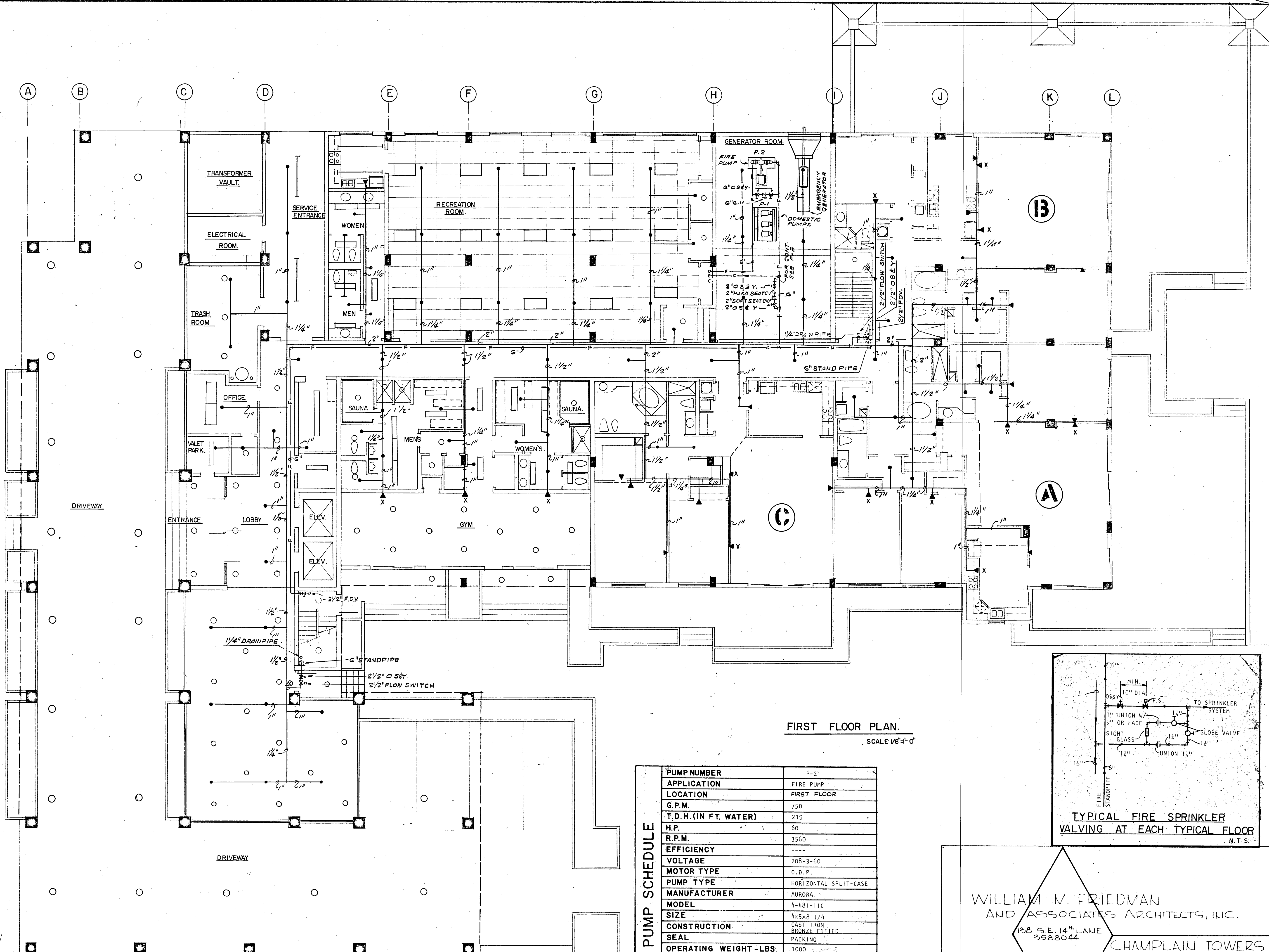
REV. 945-4743

FLORIDA ENGINEERING SERVICES
352 NE 167 STREET
N. MIAMI BCH, FLA 33162 945-4743

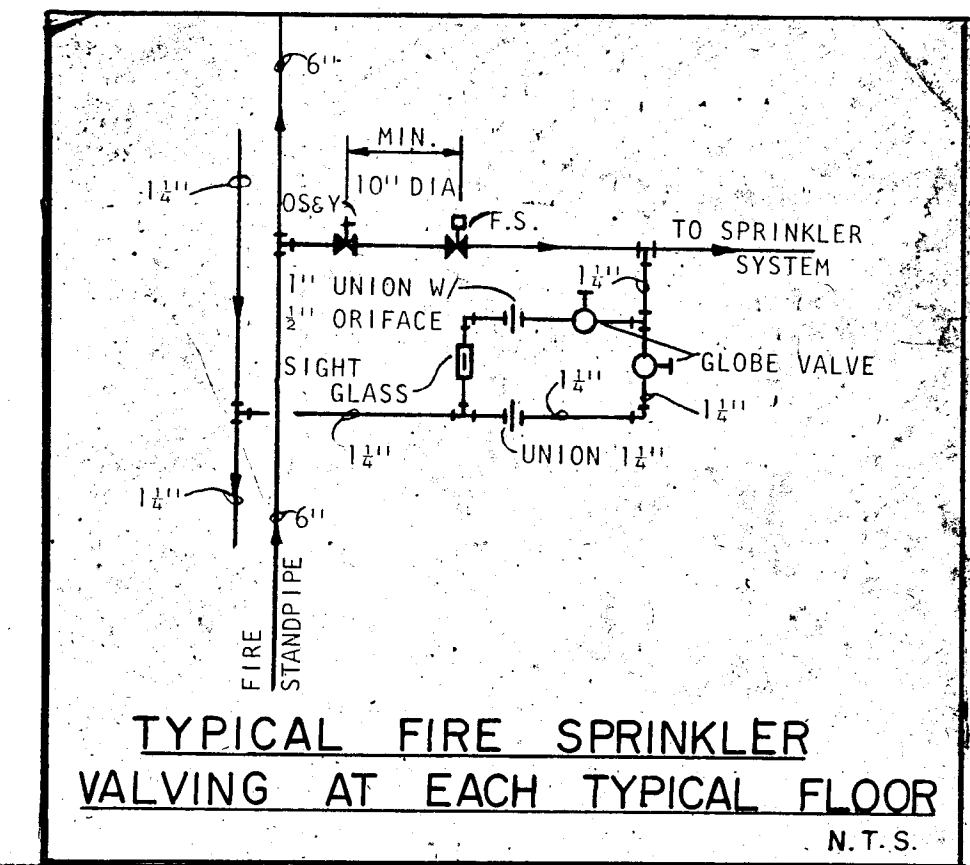
Salomon Miller 8/13/79

FIRE SPRINKLER NOTES.

1. ALL FIRE SPRINKLER WORK SHALL BE DONE ACCORDING TO LATEST N.F.P.A. STATE AND LOCAL CODES AND ORDINANCES.
2. CONTRACTOR SHALL PAY ALL FEES, INSPECTIONS AND CONNECTION CHARGES REQUIRED.
3. SPRINKLER CONTRACTOR SHALL VERIFY ALL SPACE CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO FABRICATION AND INSTALLATION OF MATERIALS AND EQUIPMENT.
4. COORDINATE WORK WITH OTHER TRADES.
5. SUBMIT SHOP DRAWINGS TO ENGINEER FOR APPROVAL OF ALL EQUIPMENT, MATERIALS, LAYOUTS, AND CALCULATIONS, PRIOR TO INSTALLATION.
6. SPRINKLER CONTRACTOR SHALL GUARANTEE ALL WORK FREE OF DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE.
7. SPRINKLER LEGEND:
 - PENDANT OR UPRIGHT SPRINKLER HEAD
 - ▲ SIDE WALL SPRINKLER HEAD
 - ▲ X SIDE WALL EXTENDED COVERAGE SPRINKLER HEAD
 - ⊗ FLOW SWITCH
 - ⊗ CHECK VALVE
 - ⊗ O S & Y VALVE
 - FIRE LINE
 - COLD WATER LINE
 - PRESSURE GAGE
 - F.H.C. FIRE HOSE CABINET
 - F.D.V. FIRE DEPARTMENT VALVE
 - SPK. SPRINKLER
 - F.D.C. FIRE DEPARTMENT CONNECTION
 - ⊗ CONCENTRIC REDUCER
 - ⊗ ECCENTRIC REDUCER
8. FIRE LINES (INCLUDING FIRE SPRINKLER LINES)
 1. UNDERGROUND: ALL PIPING SHALL BE CEMENT MORTAR LINED DUCTILE IRON PIPE CLASS 150, WITH HOT COAL TAR DIPPED EXTERIOR.
 2. ABOVE GROUND: ALL PIPING SHALL BE SCHEDULE 40 BLACK STEEL PIPE AND FITTINGS. PIPES 3" AND LARGER SHALL BE WELDED OR VICTAULIC PIPE FITTINGS. PIPES 2 1/2" AND SMALLER SHALL BE SCREWED PIPE AND FITTINGS.
9. VALVES
 - GATE VALVES: UNDERGROUND - STOCKHAM: G636 OR JENKINS 836 FOR ABOVE SLAB 4" AND LARGER IN SIZE USE: STOCKHAM: G634, CRANE: 467, JENKINS: 825A FOR ABOVE SLAB 3" AND SMALLER IN SIZE USE: STOCKHAM: G608, CRANE: 460, JENKINS: 325 FIRE LINE CHECK VALVES 4" AND LARGER IN SIZE USE: STOCKHAM: G933 OR JENKINS: 728. FIRE DEPARTMENT VALVE: ON 6" RISERS USE 2 1/2" HOSE VALVE WITH CAP AND CHAIN. ALLENCO MODEL 170. SIAMESE CONNECTION: 2 1/2" x 2 1/2" x 6" EXPOSED WALL SIAMESE CONNECTION. CAST BRASS, INDEPENDENT DROP CLAPPERS, PLUGS AND CHAINS, AND ESCUTCHEON LETTERED "COMBINATION STANDPIPE AND AUTO SPKR" ALLENCO MODEL 270. ROOF MANIFOLD: 2 1/2" x 2 1/2" x 6" CAST BRASS ROOF MANIFOLD, TWO OUTLETS WITH APPROVED ANGLE VALVE, BRASS CAPS AND CHAINS, ALLENCO MODEL 439.
10. SPRINKLER HEADS:
 1. PENDANT SPRINKLERS IN PUBLIC AREAS - GEM BULLETIN NO. 304 CEILING HEAD WITH ALL CHROME CONSTRUCTION INCLUDING CEILING FLANGE.
 2. PENDANT SPRINKLERS IN AREAS WITH NO CEILING - GEM BULLETIN NO. 309 STAINLESS STEEL
 3. SIDE WALL IN APT. & PUBLIC AREAS - GEM BULL. NO. 303 ALL CHROME PLATED WITH WALL PLATE.
 4. SIDE WALL IN STORAGE, BOILER ROOM, ETC., - GEM BULLETIN NO. 303.
 5. EXTENDED COVERAGE HEADS - CENTRAL SPRINKLER CORP. MODEL HF-17/32, POLISHED CHROME WITH WALL PLATE.
11. TESTS:
 - WATER PIPING: TEST TO 150 PSIG.



FIRST FLOOR PLAN.
SCALE 1/8" = 1'-0"



PUMP SCHEDULE

PUMP NUMBER	P-2
APPLICATION	FIRE PUMP
LOCATION	FIRST FLOOR
G.P.M.	750
T.D.H. (IN FT. WATER)	219
H.P.	60
R.P.M.	3560
EFFICIENCY	----
VOLTAGE	208-3-60
MOTOR TYPE	O.D.P.
PUMP TYPE	HORIZONTAL SPLIT-CASE
MANUFACTURER	AURORA
MODEL	4-481-11C
SIZE	4x5x8 1/4
CONSTRUCTION	CAST IRON BRONZE FITTED
SEAL	PACKING
OPERATING WEIGHT - LBS.	1000
INERTIA BLOCK SIZE	2000
ACCESSORIES	A & B

FLORIDA ENGINEERING SERVICES
201 N. 1ST STREET
SUITE 202
MIAMI, FL 33132
305-475-4143

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
138 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS SOUTH

A. 135 UNIT CONDOMINIUM

COMM. NO. DATE: 8-13-79 SHEET NO. 3
REV. 8/13/79

NOTE: HYDRAULICALLY CALCULATED FIRE SPRINKLER SYSTEM SIZED FOR LIGHT HAZARD OCCUPANCY

Slater
8/13/79

DEMAND CALCULATIONS

METER CENTER TYPE I

15 APTS (2A+2B+3C+1D+1E+1F+2G+2H+1I) (2ND FL.)

RANGES	180	126
AIR CONDITIONING (HEATING)	98	---
WATER HEATERS	67	---
REFRIGERATORS	10	10
DISH WASHERS	18	18
DRYERS (COMPACT-FUTURE)	27	27
WASHERS (COMPACT-FUTURE)	13	13
SMALL APPLIANCES	45	45
LIGHTS & RECEPTACLES	70	70
TOTAL W/O DEMAND	528	309

$528 \times 40\% \times 1000 = 586$ AMPS (LINE)
 $208 \times \sqrt{3}$
 $309 \times 40\% \times 1000 = 343$ AMPS (NEUT.)
 $208 \times \sqrt{3}$

METER CENTER TYPE II

24 APTS (2A+2B+4C+2D+2E+2F+4G+4H+2I) (3RD, 5TH, 7TH, 9TH, 11TH FL.)

RANGES	288	201
AIR CONDITIONING (HEATING)	146	---
WATER HEATERS	108	---
REFRIGERATORS	16	16
DISH WASHERS	28	28
DRYERS (COMPACT-FUTURE)	43	43
WASHERS (COMPACT-FUTURE)	21	21
SMALL APPLIANCES	72	72
LIGHTS & RECEPTACLES	102	102
TOTAL W/O DEMAND	824	481

$824 \times 35\% \times 1000 = 798$ AMPS (LINE)
 $208 \times \sqrt{3}$
 $481 \times 35\% \times 1000 = 467$ AMPS (NEUT.)
 $208 \times \sqrt{3}$

SERVICE ENTRANCE CALCULATIONS

(1) METER CENTER I	528	309
(5) METER CENTER II	4120	2405
TOTAL W/O DEMAND	4628	2714

$4628 \times 23\% \times 1000 = 2956$ AMPS (LINE)
 $208 \times \sqrt{3}$
 $2714 \times 23\% \times 1000 = 1733$ AMPS (NEUT.)
 $208 \times \sqrt{3}$

PANELBOARD "HDP" 30, 4W, 120/208V, 1200A, M.L.O. SURF. MTD. SQD. TYPE QMB

CKT.	POLE	RATING	FUSE	SERVING	AMPS			
					L1	L2	L3	NEUT.
1	3	200	200	PANEL "HA"	156	156	156	100
2		200	200	PANEL "HB"	143	143	143	107
3		200	200	PANEL "HC"	145	145	145	145
4		200	175	PANEL "HD"	137	137	137	137
5		200	200	PANEL "HE"	180	180	180	180
6		200	125	36 KW WATER HTR.	100	100	100	---
7		100	70	REC. RM A/C	55	55	55	---

TOTAL AMPS: 916 L1, 916 L2, 916 L3, 669 NEUT.

FEEDER 3 SETS OF 3 # 400 MCM & 1 # 4/0 THW - 3" EA.

PANEL "XA" 30, 4W, 120/208V, 100A, M.L.O. SURF. MTD. SQD. NOQ. 24 CKTS.

CKT. NO.	POLE BKR.	WIRE	SERVING	WATTS
1	1-20		TRAFFIC BARRIER	600
2			PARKING GARAGE LGTS.	1200
3			PARKING GARAGE LGTS.	1200
4			ELEV. SUMP PUMP	720
5	2-20		DRIVEWAY LGTS.	800
6	1-20		CANOPY LGTS.	1050
7			LOBBY LGTS.	1050
8			OFFICE, SECURITY, LOBBY LGTS.	1000
9			REST RM. & BYM LGTS.	1000
10			ELECT. RM. REC. RM. LGTS.	1200
11			GEN. RM. LGTS.	720
12			SECURITY RM. RECEPT.	720
13	2-20		FIRE ALARM PANEL	720
14	1-20		GENERATOR RM.	720
15			GENERATOR RM.	720
16			TELEENTRY COMPUTER	720
17			SPACE	720
18			SPACE	720

TOTAL: 15,580 WATTS TO AMPS PER PHASE 15,580 / 360 = 43 AMPS
FEEDER 4 # 6 THW - 1"

ELECTRICAL EQUIPMENT SCHEDULE

- #1 800A, 30, 4W, 120/208V, CIRCUIT BREAKER SQD E2M32800N
- #2 600A, 30, 4W, 120/208V, CIRCUIT BREAKER SQD E2M32600N
- #3 METER CENTER SQD E2M410-125 W/125A BRANCH BREAKERS 22,000 A.I.C.
- #4 METER CENTER SQD E2M44-125 W/125A BRANCH BREAKERS. 22,000 A.I.C. FOR APTS. TYPE "HA"
- #5 METER CENTER SQD E2M45-125 W/125A BRANCH BREAKERS. 22,000 A.I.C.
- #6 30, 4W, 120/208V, 3,000A BOLTED PRESSURE SWITCH U.L. LISTED 100,000 A.I.C. SQD BOLT-LOC WITH 3,000A CLASS "K" KRPC FUSES.
- #7 30, 4W, 120/208V, 3,000A, SERVICE ENTRANCE BUSS-STUB
- #8 4W, 120/208V, 3,000A ALUM. BUSS DUCT WITH INTERNAL GROUND WITH TWO EDGEWISE ELBOWS SQD AF5306LBN0 AND TWO FLATWISE ELBOWS SQD AF5306LFM17
- #9 METERING, BUSS WAY, TAP
- #10 BUSS CORNER SECTION SQD E2M 41200 BC5
- #11 LIGHTING CONTRACTOR SQD CLASS 8903 TYPE LG60 FOR CIRCUITS HA1, 2, 3 & 4
- #12 SPST TIME SWITCH FOR CONTRACTOR COIL.
- #13 LIGHTING CONTRACTOR SQD CLASS 8903 TYPE LG40 FOR CIRCUITS HA8 & 9
- #14 SPST TIME SWITCH FOR CONTRACTOR COIL.
- #15 3PST TIME SWITCH FOR CIRCUITS HB1, 2, 3
- #16 3PST TIME SWITCH FOR CIRCUITS XAS, 6.
- #17 SPST TIME SWITCH FOR CIRCUITS XBI
- #18 400A, 3P, 208V, DISC. SWITCH SQD H325 W/3 LPN 400A FUSES
- #19 400A, 3P, 208V, DISC. SWITCH SQD H325 W/3 LPN 350A FUSES
- #20 1,000A, 3P, 208V, 65,000 A.I.C. CIRCUIT BREAKER SQD NHL
- #21 400A, TRANSFER SWITCH TSI ONAN #0TUCK-400 2/1202 WITH ALL TIME DELAYS
- #22 225A TRANSFER SWITCH TS2 ONAN # OTUCK 225
- #23 SQD MAG-GARD CIRCUIT BREAKER 3P, 208V, CAT # KAL36225-25M-SET TRIP AT 1,000 AMPS.
- #24 100A, 3P, 208V, DISC SWITCH SQD H323 W/3 100A LPN FUSES
- #25 60A, 3P, 208V, RAIN TIGHT DISC SWITCH SQD H322RB W/30A FUSES.
- #26 400A, 3P, 208V, RAIN TIGHT DISC SWITCH SQD H35RB W/400A FUSES
- #27 200A, 3P, 208V, N.F. DISC SWITCH SQD DU324
- # COMPLETE METER CENTER SHALL HAVE U.L. LISTED INTEGRATED RATING OF 42,000 A.I.C.

PANELBOARD "EDP" 30, 4W, 120/208V, 400A, M.L.O. SURF. MTD. SQD. QMB.

CKT.	POLE	RATING	FUSE	SERVING	AMPS			
					L1	L2	L3	NEUT.
1	3	100	100	DOMESTIC WATER PUMPS	72	72	72	---
2		60	60	PANEL "XA"	43	43	43	43
3		60	60	PANEL "XB"	48	48	48	48
4		200	175	ELEVATORS	136	136	136	---

TOTAL AMPS: 299 L1, 299 L2, 299 L3, 91 NEUT.

FEEDER 3 # 400 MCM & 1 # 1/0 THW - 3"

ONLY ONE ELEVATOR ON EMERGENCY SYSTEM. INTERLOCK FIRE PUMP AND DOMESTIC PUMP STARTERS WHEN FIRE PUMP IS ON DOMESTIC PUMP IS OFF AND VICE VERSA.

PANEL "HA" 30, 4W, 120/208V, 225A, M.L.O. SURF. MTD. SQD NQO TWO SECTIONS OF 24 CKTS EA

CKT. NO.	POLE BKR.	WIRE	SERVING	WATTS
2	1-20		PLANTER LGTS	1000
3			REFLECTING POOL LGTS.	1000
4			PLANTER LGTS.	1000
5			PARKING GARAGE LGTS.	1700
6			PARKING GARAGE LGTS.	1700
7			GARAGE STORAGE RM LGTS.	900
8	2-20		DRIVEWAY LGTS.	2000
9	2-20		LOBBY LGTS	2000
10	1-20		LOBBY RECEPTACLES	1500
11			RECREATION RM. RECEPT.	720
12			RECREATION RM. LGTS.	1600
13			RECREATION RM. LGTS.	1200
14			REST & TRASH RM. LGTS.	1200
15			REFRIGERATOR	720
16			RECEPT.	720
17			RECEPT.	720
18	2-50	8	RANGE	8000
19	1-40	8	LOBBY A/C UNIT	8600
20	1-20		RECEPT	720
21	3-30	10	TRASH COMPACTOR	4000
22	2-20	12	WATER HTR.	2000
23	1-20	12	TELEPHONE RECEPT.	720
24	3-20	12	GARAGE EXH. FAN	3600
25	3-20	12	GARAGE EXH. FAN	3600
26	1-20	12	GARAGE EXH. FAN	1200
27			FOUNT. J.B.	720
28			WTR. HTR RECIRC. PUMP	720
29			SPACE	720

TOTAL: 56,280 WATTS TO AMPS PER PHASE 56,280 / 360 = 156 AMPS
FEEDER 4 # 3/0 THW - 2"
* THRU TIME SWITCH

PANEL "HB" 30, 4W, 120/208V, 225A, M.L.O. SURF. MTD. SQD NQO 42 CKTS

CKT. NO.	POLE BKR.	WIRE	SERVING	WATTS
2			POOL LGTS	1000
3			PLANTER & STEP LGTS.	1000
4			POOL EQUIPMENT RM	1200
5			POOL EQUIPMENT RM	1200
6	3-30	8	POOL PUMP	3600
7	2-50	6	SAUNA	8000
8	2-50	6	SAUNA	8000
9	2-30	10	WATER HTR.	4500
10	3-40	8	AIR COND.	8500
11	1-20	12	REST RM. LGTS.	1000
12			CYM LGTS.	720
13			RECEPT.	720
14			DRINKING FOUNT.	720
15	3-20	10	GARAGE EXH. FAN	3600
16	3-20	10	GARAGE EXH. FAN	3600
17			SPACE	720
18			SPACE	720
19			SPACE	720
20			SPACE	720
21			SPACE	720
22			SPACE	720
23			SPACE	720
24			SPACE	720
25			SPACE	720
26			SPACE	720
27			SPACE	720
28			SPACE	720
29			SPACE	720

TOTAL: 51,520 WATTS TO AMPS PER PHASE 51,520 / 360 = 143 AMPS
FEEDER 3 # 3/0 & 1 # 1/0 THW - 2"
* THRU TIME SWITCH

PANEL "HE" 30, 4W, 120/208V, 225A, M.L.O. SURF. MTD. SQD. NOQ. 42 CKTS.

CKT. NO.	POLE BKR.	WIRE	SERVING	WATTS
2			DRYER (9TH FL)	5000
3			DRYER (10TH FL)	5000
4			DRYER (10TH FL)	5000
5			DRYER (11TH FL)	5000
6			DRYER (11TH FL)	5000
7			DRYER (12TH FL)	5000
8			DRYER (12TH FL)	5000
9	1-20	12	WASHER (9TH FL)	1200
10			WASHER (9TH FL)	1200
11			WASHER (10TH FL)	1200
12			WASHER (10TH FL)	1200
13			WASHER (11TH FL)	1200
14			WASHER (11TH FL)	1200
15			WASHER (12TH FL)	1200
16			WASHER (12TH FL)	1200
17			ROOF EXH. FAN	1400
18			SPACE	1400
19			SPACE	1400
20			SPACE	1400
21			SPACE	1400
22			SPACE	1400
23			SPACE	1400
24			SPACE	1400
25			SPACE	1400
26			SPACE	1400
27			T.V. AMPLIFIER	1400
28			SPACE	720
29			SPACE	720
30			SPACE	720

TOTAL: 65,760 WATTS TO AMPS PER PHASE 65,760 / 360 = 180 AMPS
FEEDER 4 # 3/0 THW - 2"
* THRU TIME SWITCH

PANEL "XB" 30, 4W, 120/208V, 100A, M.L.O. SURF. MTD. SQD. NOQ. 24 CKTS.

CKT. NO.	POLE BKR.	WIRE	SERVING	WATTS
2			SPACE	900
3			SPACE	900
4			SPACE	900
5			SPACE	900
6			CORRIDOR LGTS.	900
7			SPACE	900
8			SPACE	900
9			SPACE	900
10			SPACE	900
11			SPACE	900
12			SPACE	900
13			EXIT SIGN	300
14			SPACE	300
15			SPACE	300
16			ELEV. CAB LGTS.	300
17			ELEV. CAB LGTS.	300
18			AIR CRACKET WARMING LGTS.	300
19			FLEV. MACH. RM LGTS.	300
20			SPACE	720
21			SPACE	720
22			SPACE	720
23			SPACE	720
24			SPACE	720

TOTAL: 17,400 WATTS TO AMPS PER PHASE 17,400 / 360 = 48 AMPS
FEEDER 4 # 4 THW - 1"
* THRU TIME SWITCH

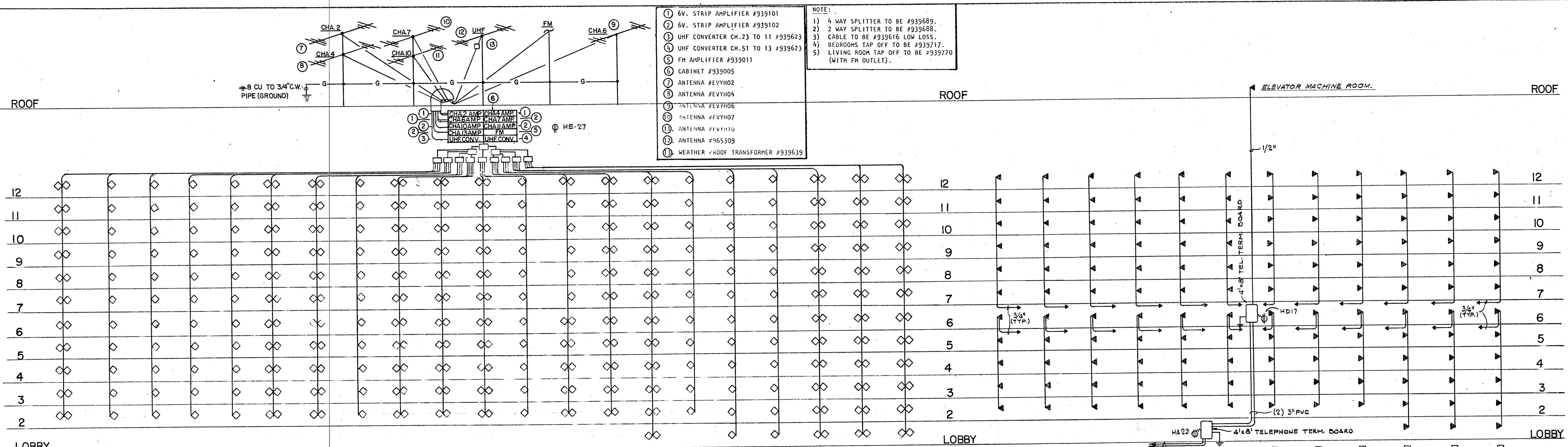
PANEL "HC" 30, 4W, 120/208V, 225A, M.L.O. SURF. MTD. SQD. NOQ. 42 CKTS.

CKT. NO.	POLE BKR.	WIRE	SERVING	WATTS
2			DRYER (2ND FL.)	5000
3			DRYER (3RD FL.)	5000
4			DRYER (3RD FL.)	5000
5			DRYER (4TH FL.)	5000
6			DRYER (4TH FL.)	5000
7	1-20	12	WASHER (2ND FL.)	1200
8			WASHER (2ND FL.)	1200
9			WASHER (3RD FL.)	1200
10			WASHER (3RD FL.)	1200
11			WASHER (4TH FL.)	1200
12			WASHER (4TH FL.)	1200
13			WASHER (5TH FL.)	1200
14			CORRIDOR LGTS.	1200
15			CORRIDOR LGTS.	1200
16			CORRIDOR LGTS.	1200
17			CORRIDOR LGTS.	1200
18			CORRIDOR LGTS.	1200
19			TRASH RM. LGTS.	900
20			LAUNDRY RM. LGTS.	900
21			ELECT. RM. LGTS.	900
22			CORRIDOR RECEPT. (1ST-6TH FL)	720
23			CORRIDOR RECEPT. (7TH-12TH FL)	720
24			CORRIDOR RECEPT. (1ST-6TH FL)	720
25			CORRIDOR RECEPT. (7TH-12TH FL)	720
26			CORRIDOR RECEPT. (1ST-6TH FL)	720
27			CORRIDOR RECEPT. (7TH-12TH FL)	720
28			SPACE	720
29			SPACE	720
30			SPACE	720

TOTAL: 52,380 WATTS TO AMPS PER PHASE 52,380 / 360 = 145 AMPS
FEEDER 4 # 3/0 THW - 2"
* THRU TIME SWITCH

PANEL "HD" 30, 4W, 120/208V, 225A, M.L.O. SURF. MTD. SQD NQO. 30 CKTS.

CKT. NO.	POLE BKR.	WIRE	SERVING	WATTS
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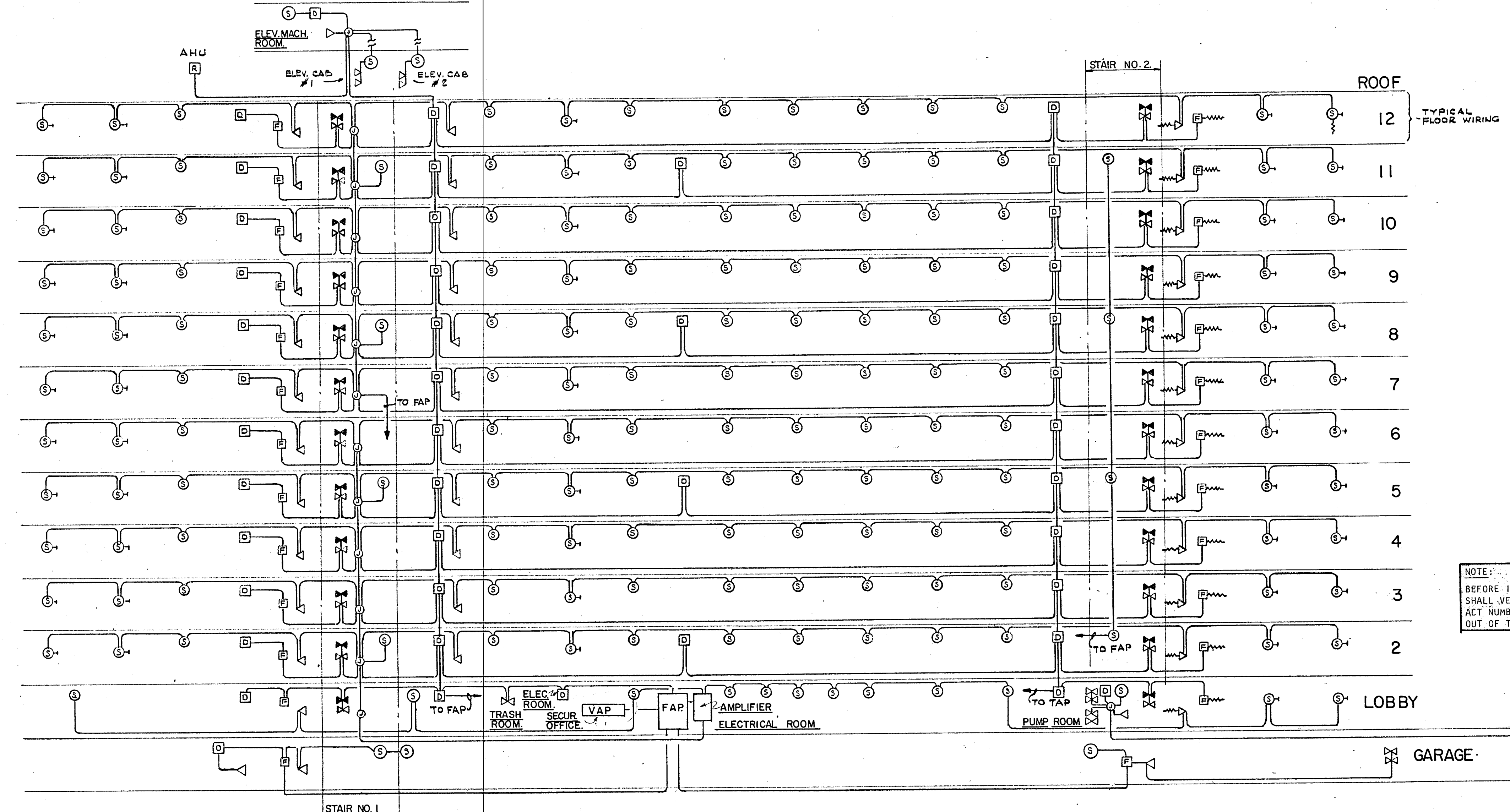


- 1 6V. STRIP AMPLIFIER #939101
- 2 6V. STRIP AMPLIFIER #939102
- 3 UHF CONVERTER CH. 23 TO 11 #939623
- 4 UHF CONVERTER CH. 51 TO 13 #939623
- 5 FM AMPLIFIER #939011
- 6 CABINET #939005
- 7 ANTENNA #EVYH02
- 8 ANTENNA #EVYH04
- 9 ANTENNA #EVYH06
- 10 ANTENNA #EVYH07
- 11 ANTENNA #EVYH10
- 12 ANTENNA #965309
- 13 WEATHER PROOF TRANSFORMER #939639

NOTE:
 1) 4 WAY SPLITTER TO BE #939689.
 2) 2 WAY SPLITTER TO BE #939688.
 3) CABLE TO BE #939616 LOW LOSS.
 4) BEDROOMS TAP OFF TO BE #939717.
 5) LIVING ROOM TAP OFF TO BE #939720 (WITH FM OUTLET).

TELEVISION RISER DIAGRAM. N.T.S.

TELEPHONE RISER DIAGRAM. N.T.S.



FIRE ALARM RISER DIAGRAM N.T.S.

BUILDING FIRE ALARM SYSTEM SHALL MEET THE REQUIREMENTS OF SECTION #5100 OF THE SOUTH FLORIDA BUILDING CODE. THE SYSTEM WILL CONTAIN A FIRE ALARM PANEL, AMPLIFIER RACK, VOICE ALARM CONSOLE WITH ANNUNCIATOR TO FUNCTION AS FOLLOWS.
 ACTIVATION OF A MANUAL STATION, SMOKE DETECTOR, OR FLOW SWITCH WILL TRANSMIT A TONE ALARM TO THE ACTIVATED FLOOR ONLY. AFTER A TIME DELAY OF 0-10 MINUTES, IF THE SYSTEM IS NOT RESET, THE SYSTEM WILL GO INTO A GENERAL ALARM. TAMPER SWITCHES WILL ANNUNCIATE BUT WILL NOT ACTIVATE FIRE ALARM.
 FLOW SWITCH AND VALVE POSITION SWITCH WILL ANNUNCIATE PER DEVICE. REST OF DEVICES ANNUNCIATE BY FLOOR OR ZONE.
 ELEVATORS WILL RETURN TO THE FIRST FLOOR UPON ALARM. THE VOICE CONSOLE WILL CONTAIN A MICROPHONE FOR FIRE MARSHALL PAGING. A SELECTOR PANEL WILL ALLOW PAGING PER FLOOR AND ALL CALL. A TELEPHONE HANDSET WILL BE PROVIDED FOR COMMUNICATION BETWEEN THE FIRE MARSHALL AND FIREMAN. A SELECTOR PANEL WILL ALLOW CALL ANNUNCIATION PER FLOOR FOR PHONE JACKS. ALL ENCLOSED STAIR CASES WILL HAVE ONE SPEAKER ZONE WITH SPEAKERS EVERY THIRD FLOOR. EACH ELEVATOR WILL HAVE ONE SPEAKER AND 2 JACKS. ALL OF THE ABOVE CIRCUITS WILL BE SUPERVISED PER FLOOR, EXCEPT TAMPER SWITCHES AND ANNUNCIATE LIGHTS FOR FLOW SWITCHES, TAMPER SWITCHES, STATIONS, SMOKE AND HEAT DETECTORS.
 CONSOLE TO CONTAIN SWITCHES TO START THE EMERGENCY GENERATOR. SYSTEM TROUBLE LIGHTS WILL BE PROVIDED FOR AMPLIFIERS, TONE GENERATORS AND ALL LINE EQUIPMENT.

FIRE ALARM LEGEND (ALL EQUIPMENT BY FARADAY)	
F	FIRE ALARM PANEL #19006 - R, 3L, 2XK, 22D, XEA, XG AND AMPLIFIER RACK #QSE-002 WITH AMPLIFIERS AND TROUBLE SUPPRESSION.
V	FIRE ALARM VOICE CONSOLE. MIRTONE SERIES QSB-032 INCLUDING QSP-031 ENCLOSURE.
A	1-QST-202 MICROPHONE CONTROL
	1-QST-211 TELEPHONE CONTROL
	1-QSP-217 TROUBLE PANEL
	4-QSP-212 SPEAKER ZONE PANEL
	4-QSP-205 TELEPHONE ZONE PANEL
	6-QST-203 PORTABLE TELEPHONES
	1 ANNUNCIATION SECTION AS REQUIRED
W	FLOW SWITCH - #163401
X	TAMPER SWITCH - #163400-SP-2 POLE
D	ELEVATOR SMOKE AND HEAT DETECTOR #9352
R	A.H.U. DUCT DETECTOR #462/9331 OR RELAY
O	120V APTS. SMOKE AND HEAT DETECTORS #3052
S	SPEAKER (FLUSH) SOUNDELIER #L31
G	GARAGE HORN SPEAKER MIRTONE #QS H5T
P	PULL STATION #10123-4
J	TELEPHONE JACK MIRTONE #QST-032

NOTE:
 BEFORE INSTALLATION THE ELECTRICAL CONTRACTOR SHALL VERIFY WITH THE EQUIPMENT VENDOR THE EXACT NUMBER OF WIRES REQUIRED AND THE EXACT LAYOUT OF THE RACEWAY SYSTEM.

WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC.
 138 S.E. 14TH LANE
 3588044

CHAMPLAIN TOWERS SOUTH

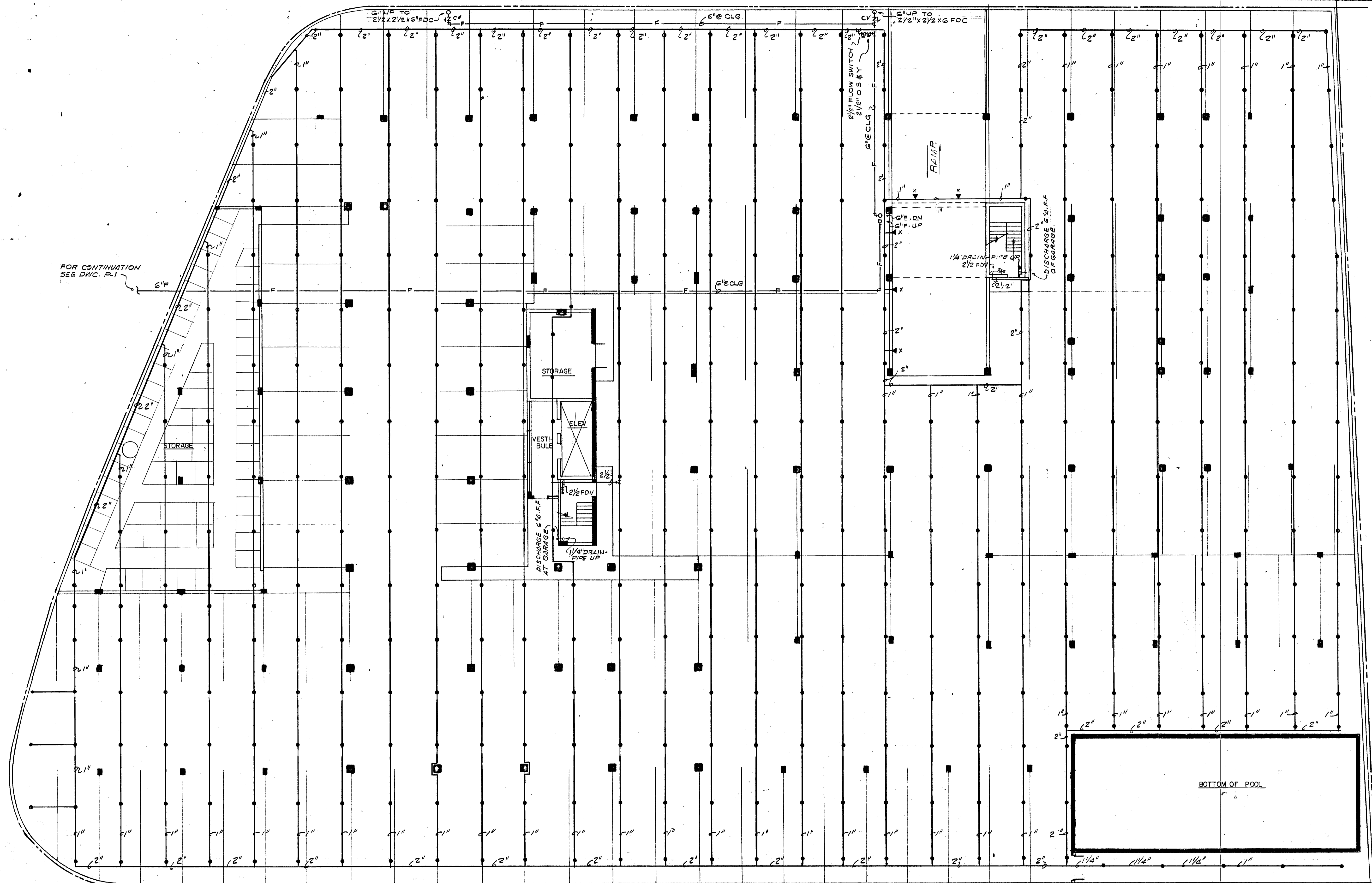
A- 135 UNIT CONDOMINIUM

COMM. No. DATE: 8-13-79 SHEET No. 11 OF 11

FLORIDA ENGINEERING SERVICES
 252 NE 167 STREET
 MIAMI, FLA 33132
 945-4743

SHEETS

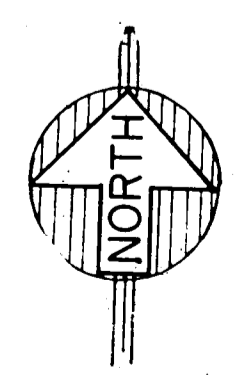
Salvatore Rubin
 8/13/79



FOR CONTINUATION
SEE DWG. P-1

NOTE: HYDRAULICALLY CALCULATED FIRE SPRINKLER
SYSTEM SIZED FOR ORDINARY HAZARD OCCUPANCY

GARAGE LEVEL-FLOOR PLAN
SCALE: 1/32"=1'-0"



NOTE: TAMPER SWITCHES & FLOW SWITCHES
TO BE FURNISHED BY FIRE SPRINKLER
CONTRACTOR & INSTALLED BY ELECT. CONTRACTOR.

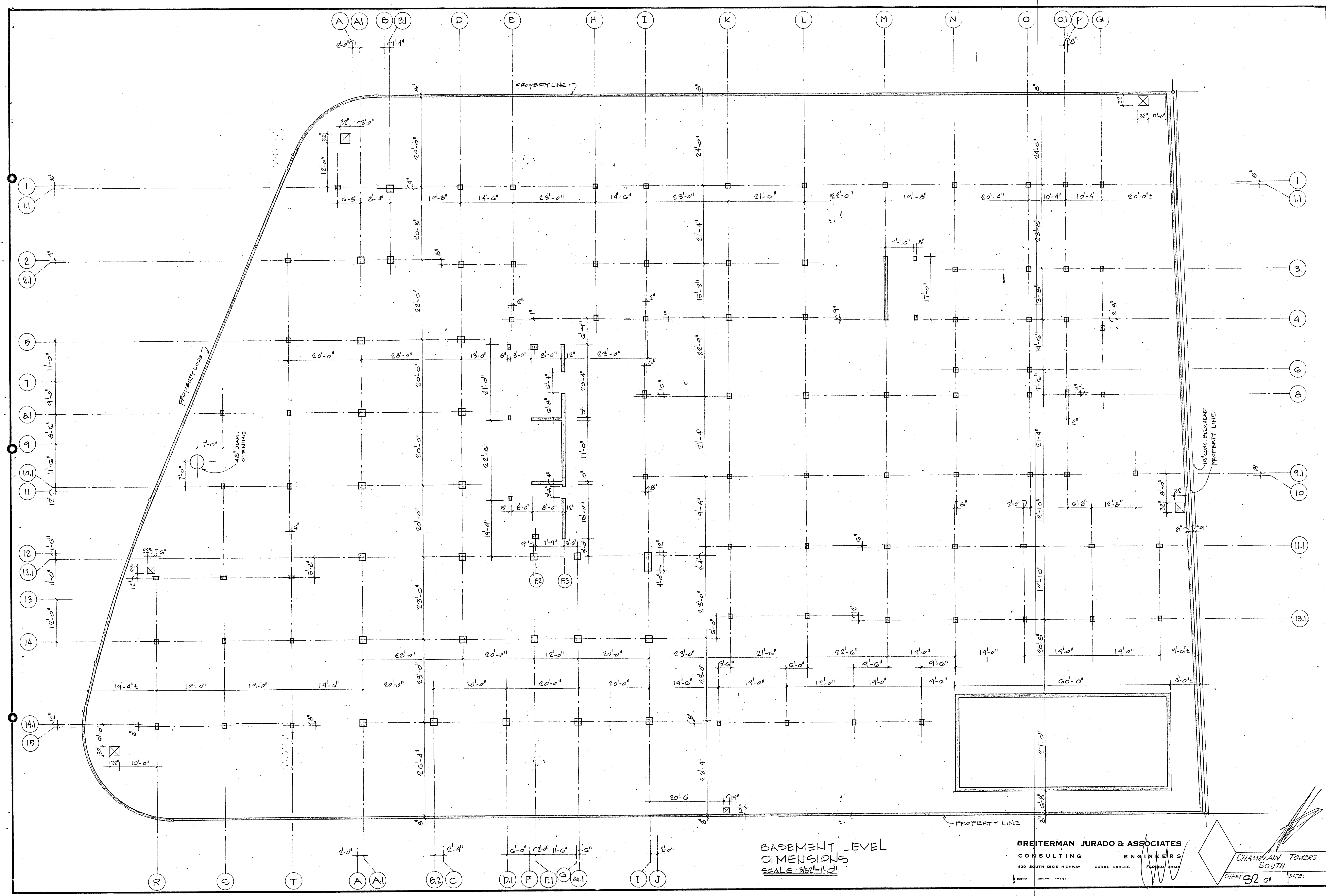
WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
138 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS SOUTH
A- 135 UNIT CONDOMINIUM

FLORIDA
REGISTERED
ENGINEERING
SERVICES
CORPORATION

COMM. No.	DATE:	SHEET No.
	8-13-79	SP-1
REV.		OF 3
		SHEETS

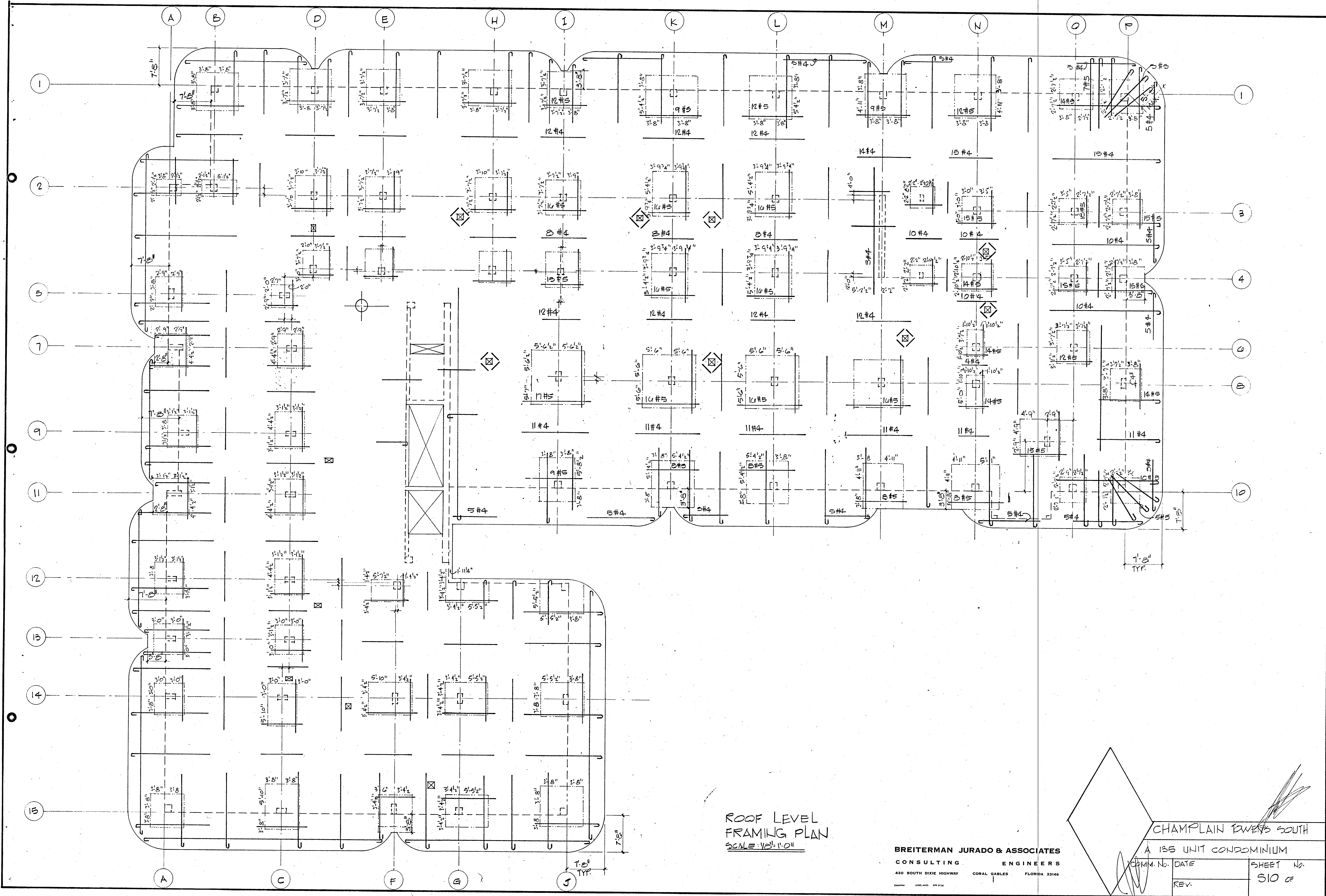
8/13/79



BASEMENT LEVEL
DIMENSIONS
SCALE: 3/32" = 1'-0"

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES, FLORIDA 33146

CHAMPLAIN TOWERS
SOUTH
SHEET 32 OF DATE:

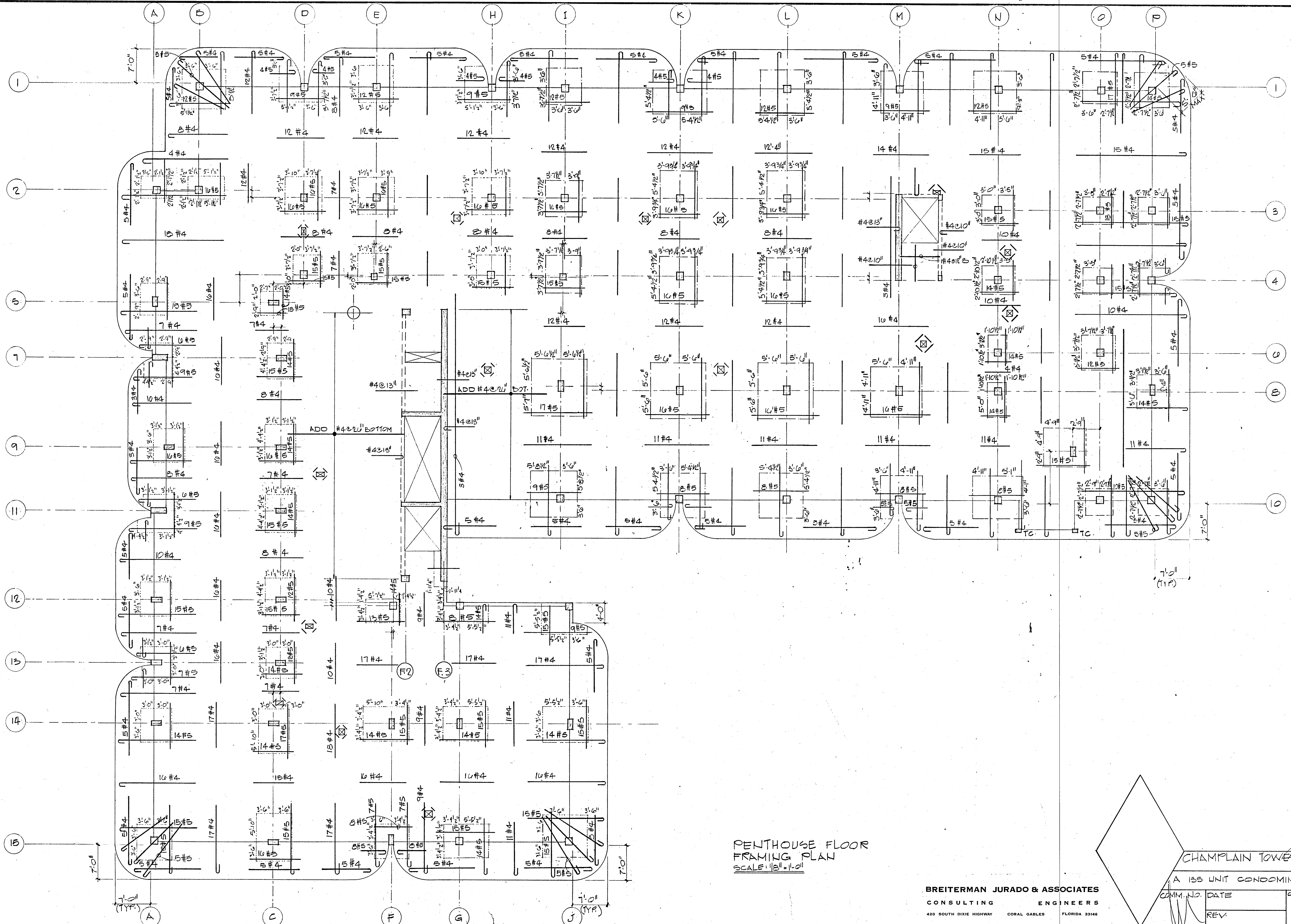


ROOF LEVEL
FRAMING PLAN
SCALE = 1/8" = 1'-0"

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

CHAMPLAIN TOWERS SOUTH
A 135 UNIT CONDOMINIUM

DATE	SHEET NO.
REV.	510 OF



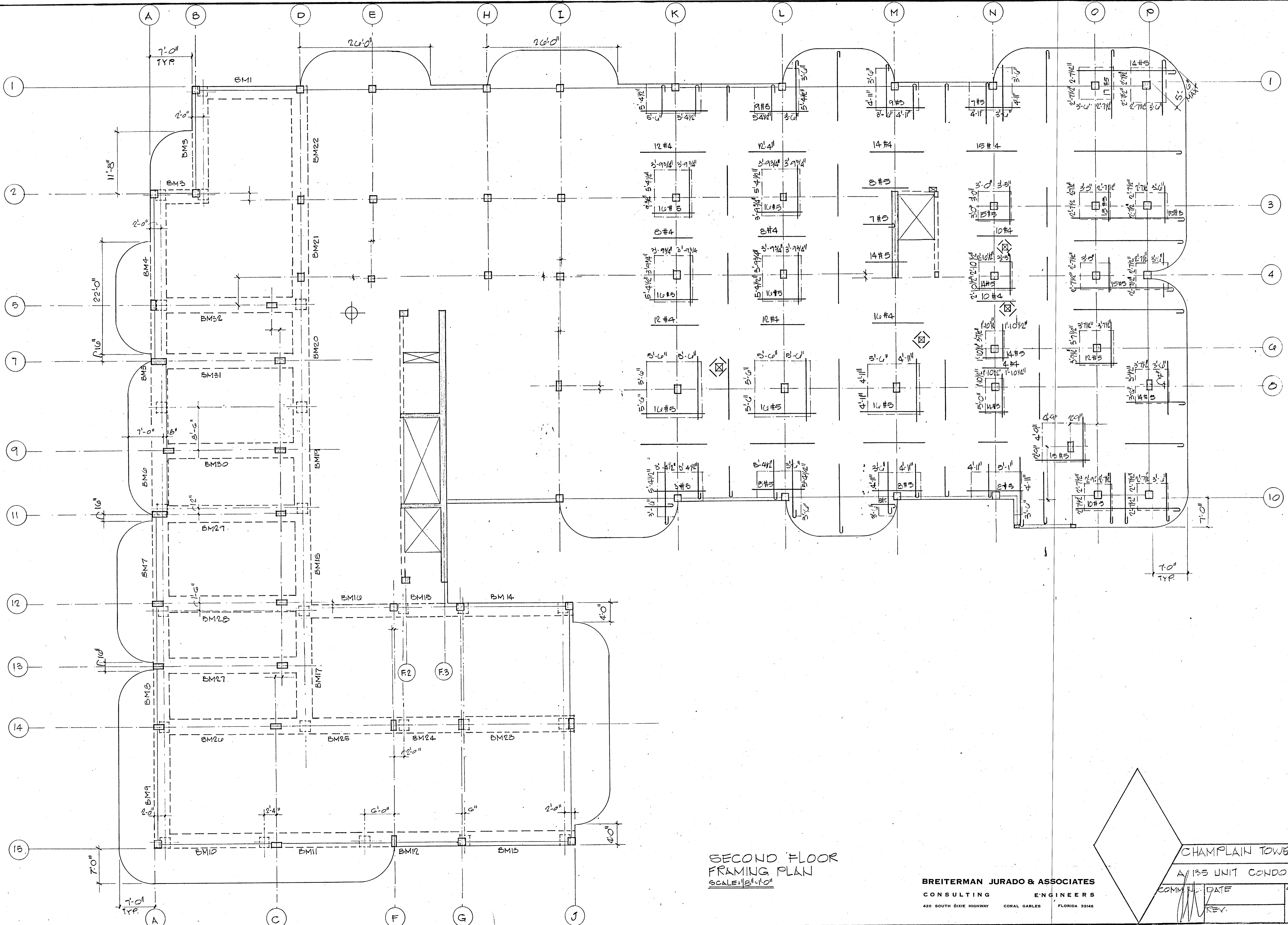
PENTHOUSE FLOOR
FRAMING PLAN
SCALE: 1/8" = 1'-0"

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

CHAMPLAIN TOWERS SOUTH

A 135 UNIT CONDOMINIUM

COMM. NO.	DATE	SHEET No.
REV		59 OF



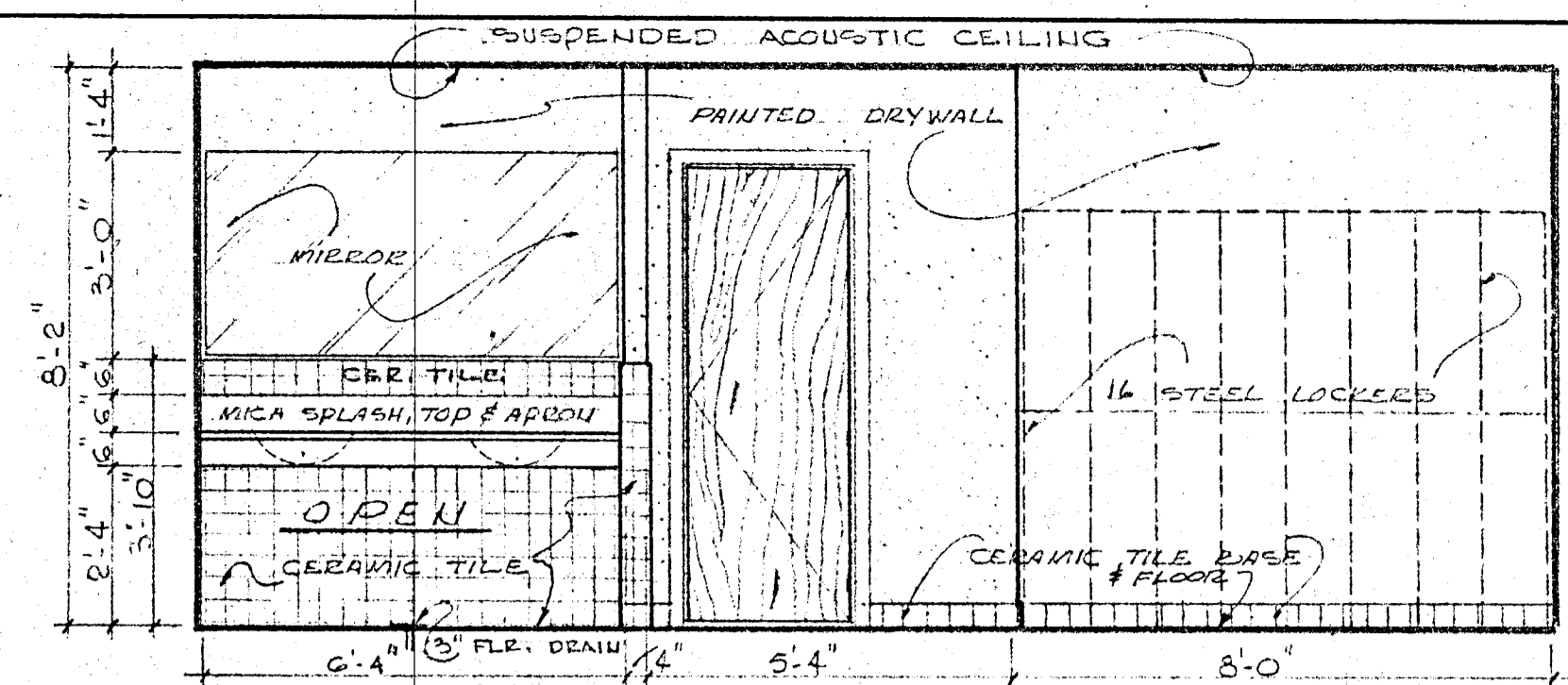
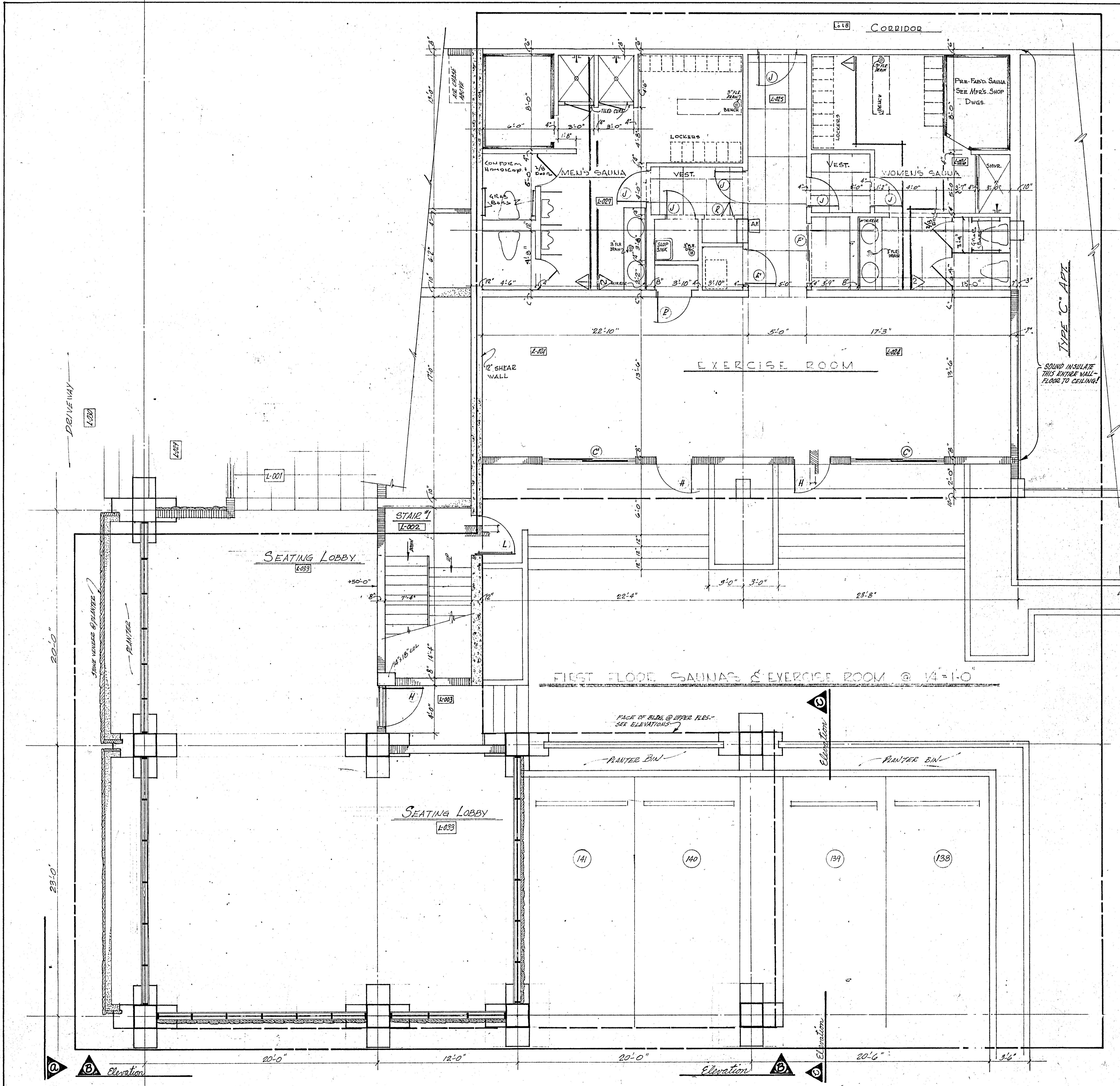
SECOND FLOOR
FRAMING PLAN
SCALE: 1/8" = 1'-0"

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

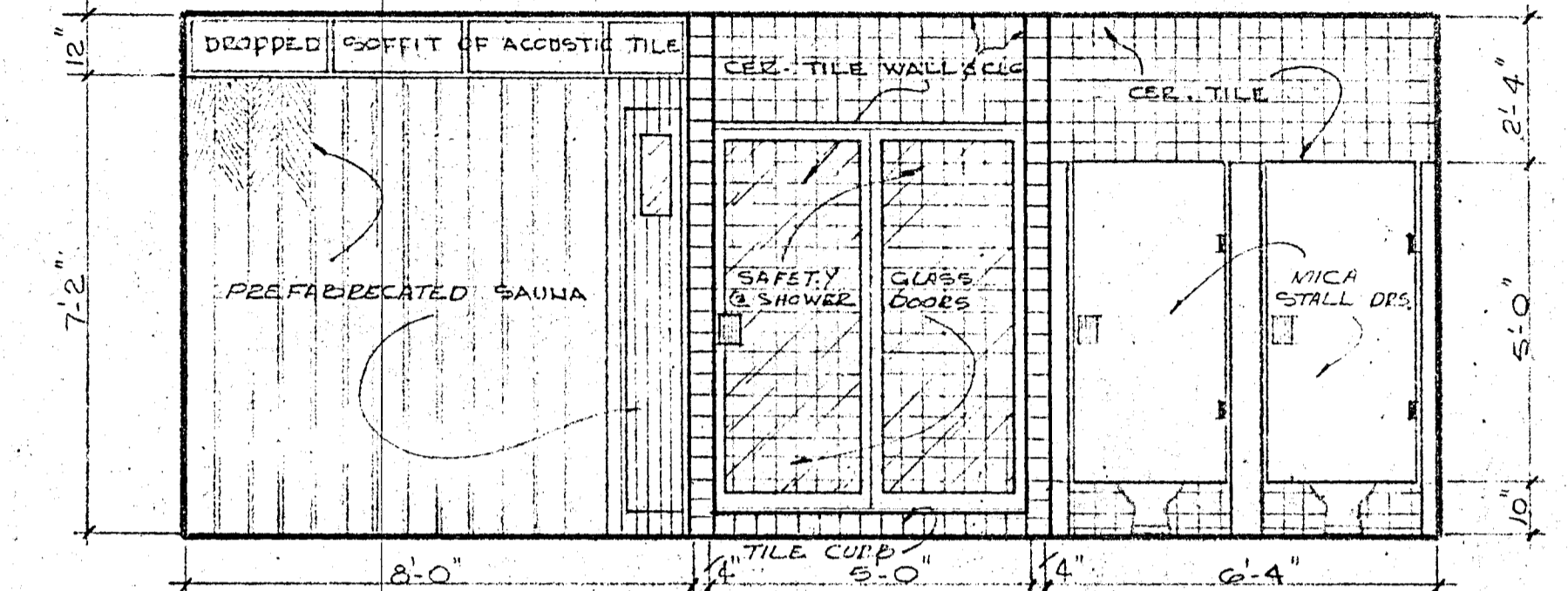
CHAMPLAIN TOWERS SOUTH

A 135 UNIT CONDOMINIUM

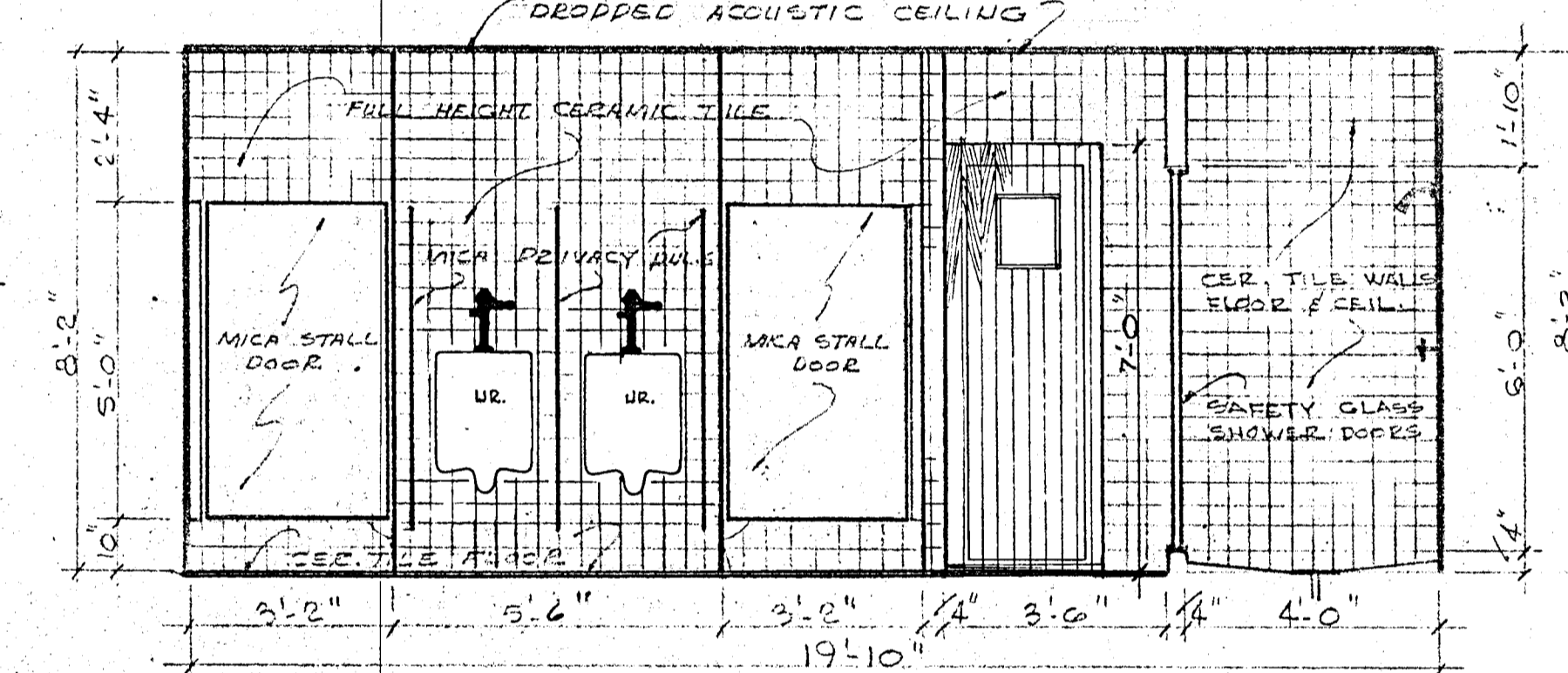
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REV.	56 OF



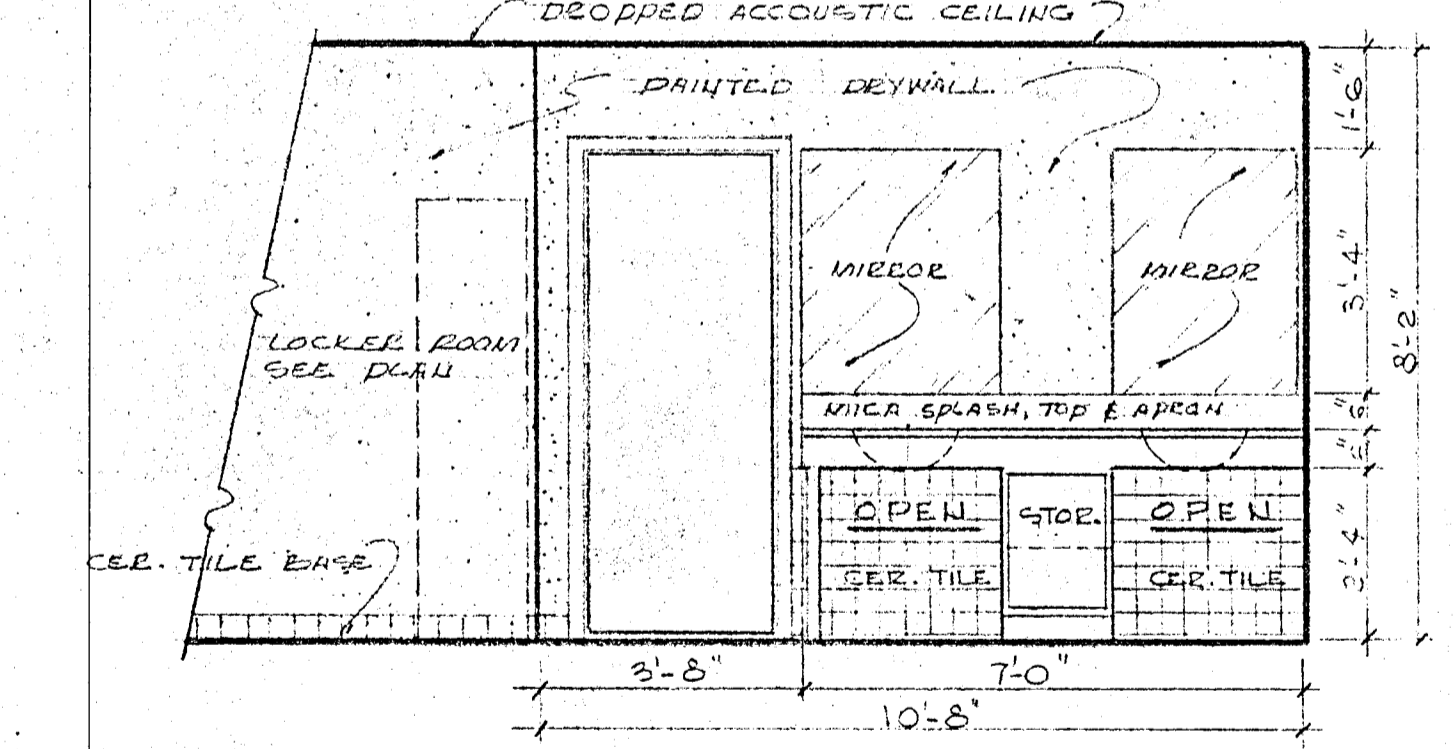
WOMEN'S SAUNA L-026
 DETAIL ELEVATION No.-A @ 3/8"=1'-0"



WOMEN'S SAUNA L-026
 DETAIL ELEVATION No.-B @ 3/8"=1'-0"



MEN'S SAUNA L-027
 DETAIL ELEVATION No.-A @ 3/8"=1'-0"



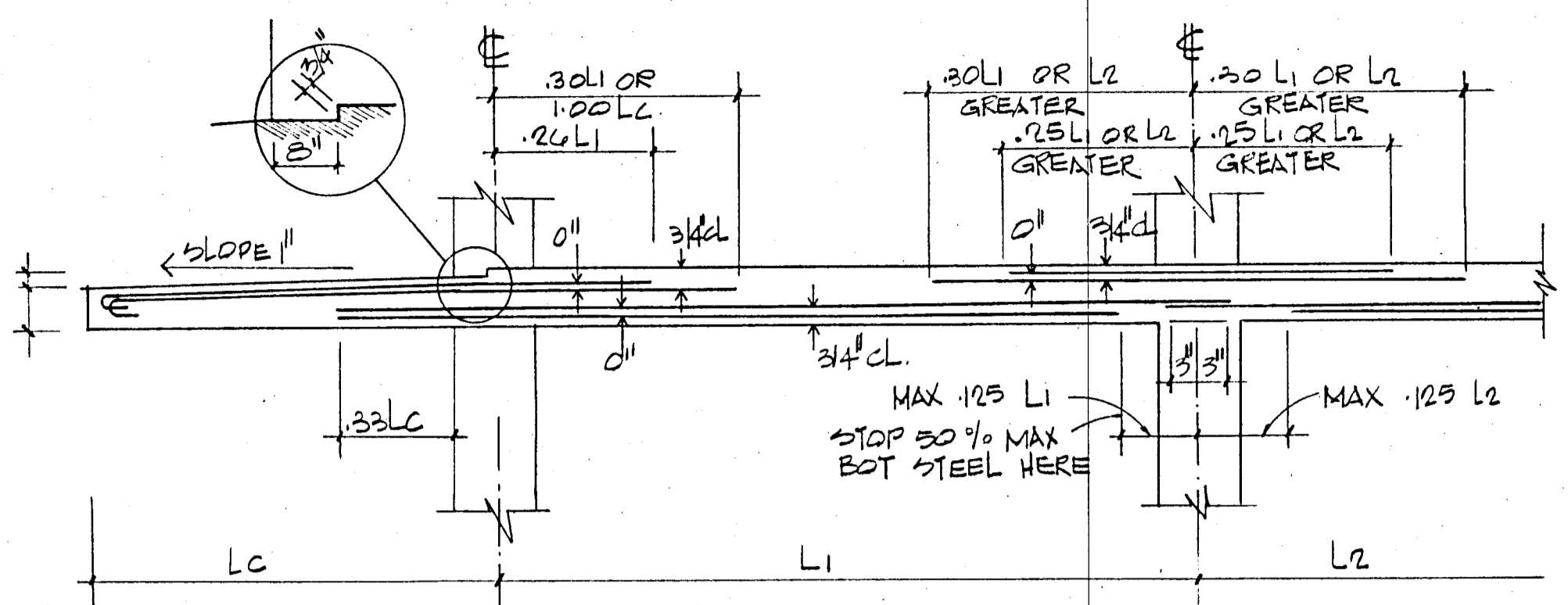
MEN'S SAUNA L-027
 DETAIL ELEVATION No.-B @ 3/8"=1'-0"

WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC.

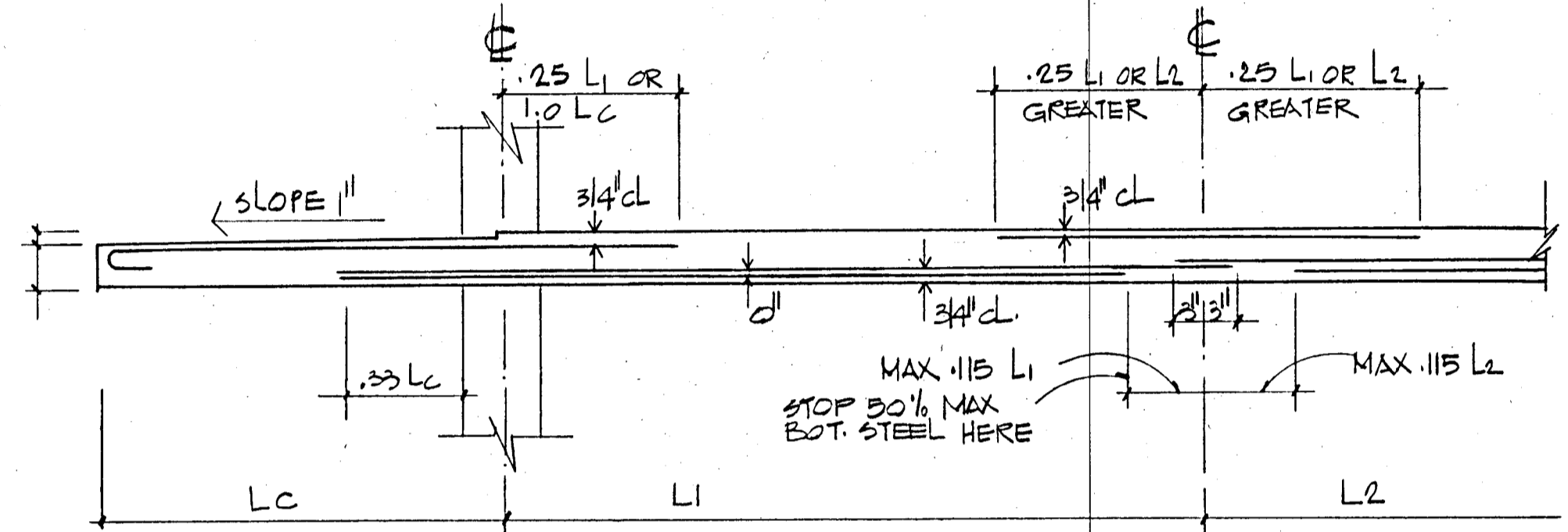
138 S.E. 14th LAKE
 3588044

CHAMPLAIN TOWERS SOUTH
 8777 COLLIS AVE.
 A 135 UNIT CONDOMINIUM

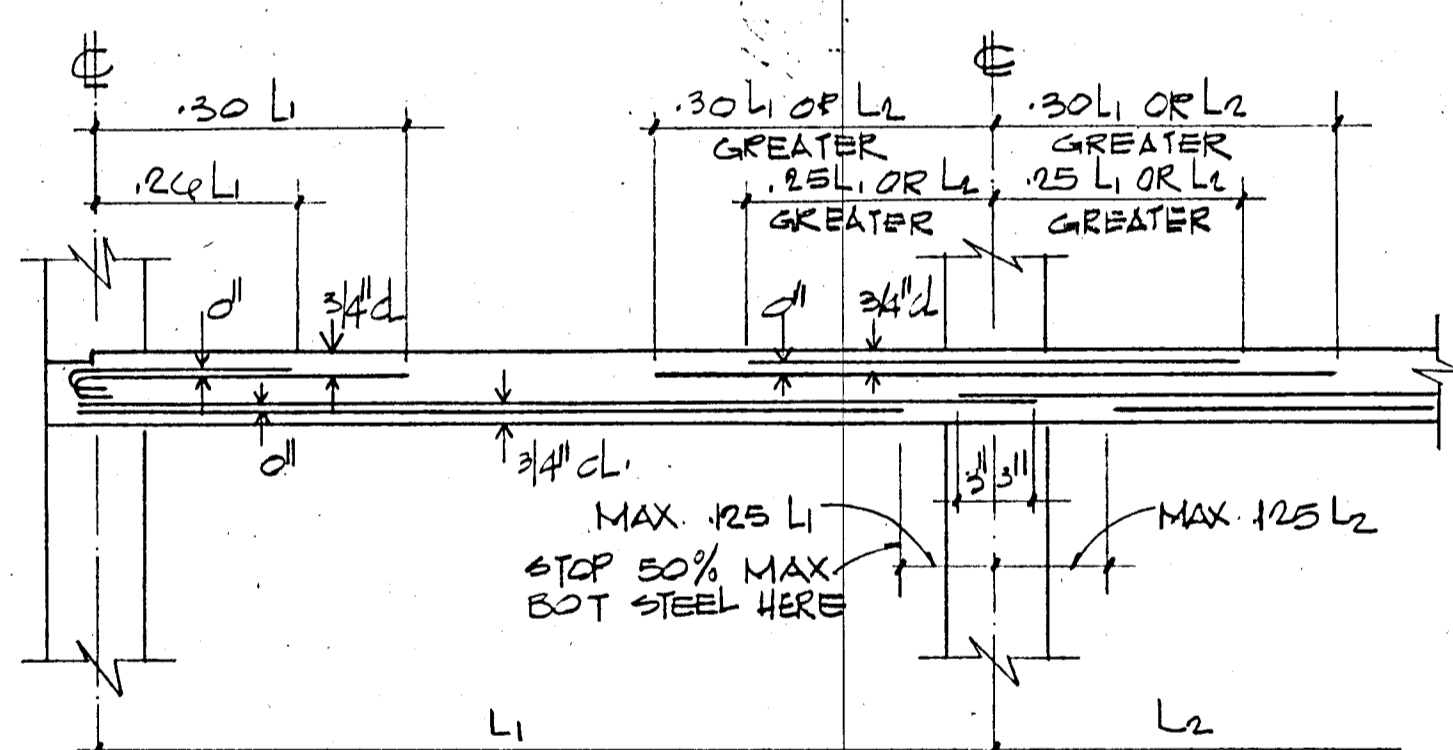
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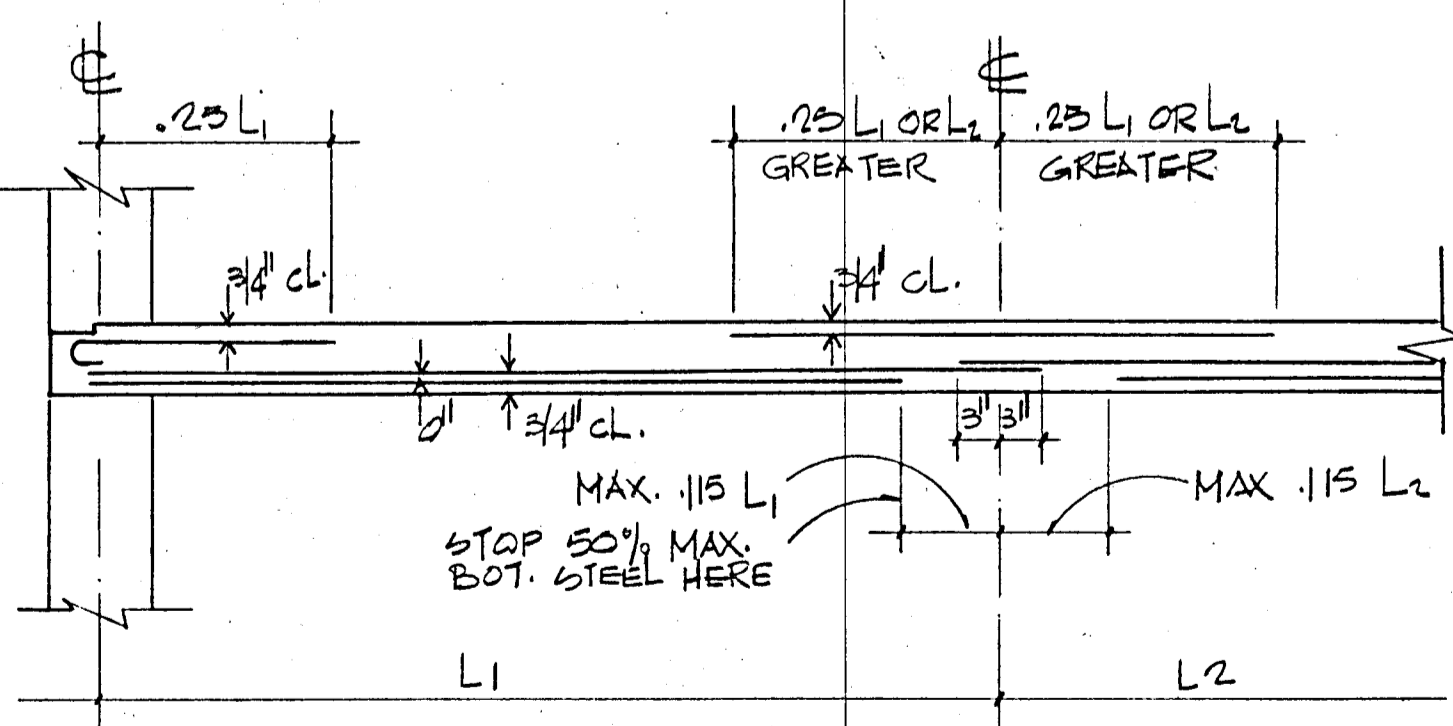
TYP. COLUMN STRIP WITH CANTILEVER
NTS



TYP. MIDDLE STRIP WITH CANTILEVER
NTS

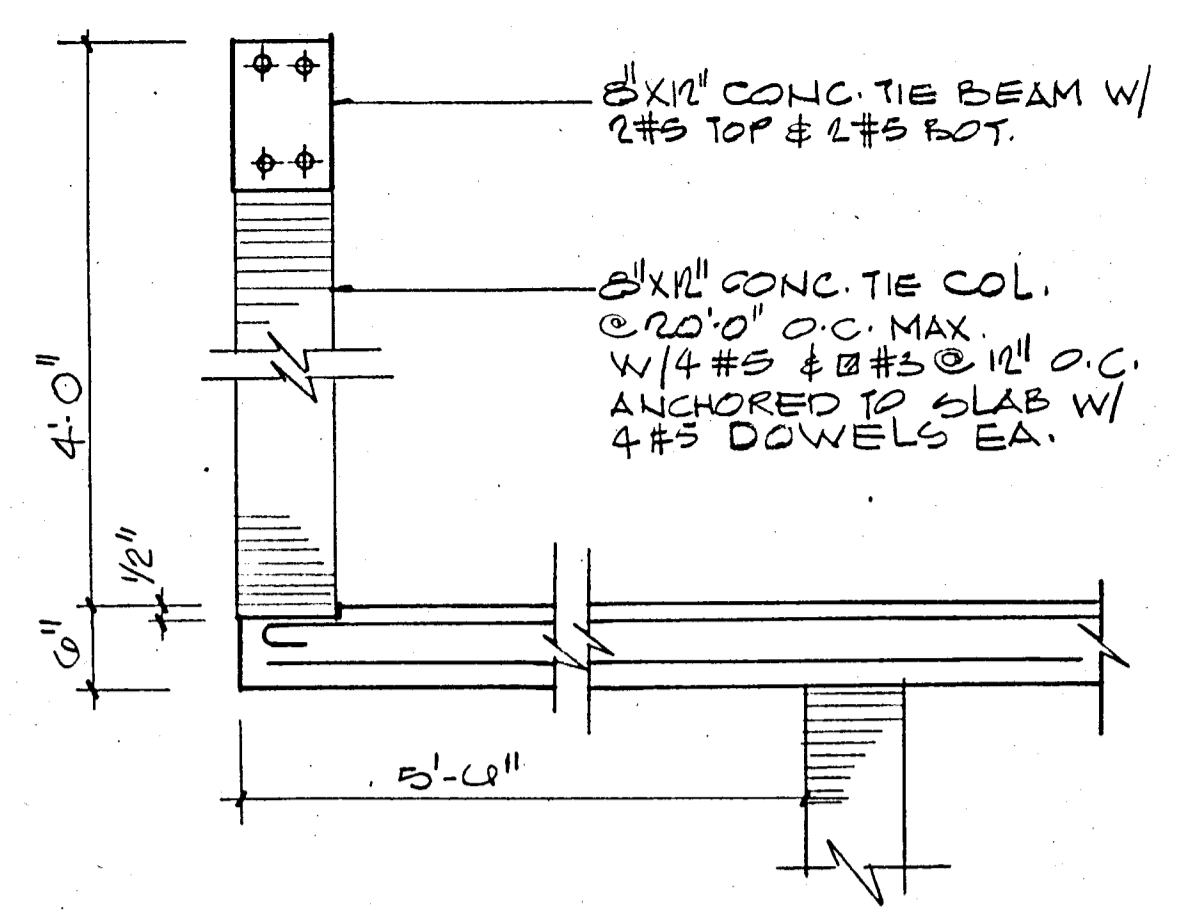


TYP. COLUMN STRIP
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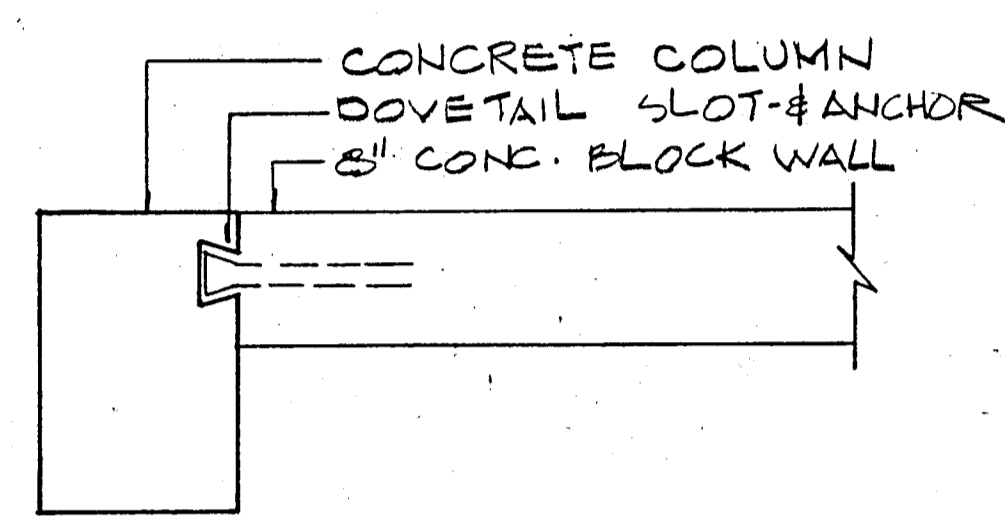


TYP. MIDDLE STRIP
NTS

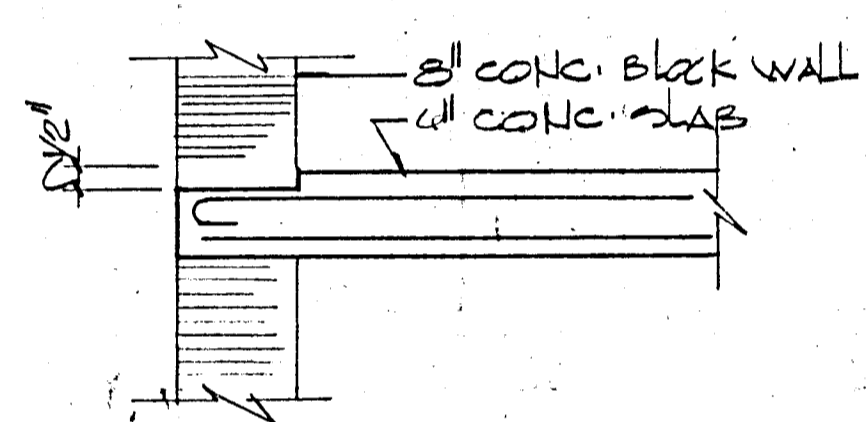
TYPICAL BAR DIAGRAM-FLAT SLABS
(UNLESS OTHERWISE NOTED)



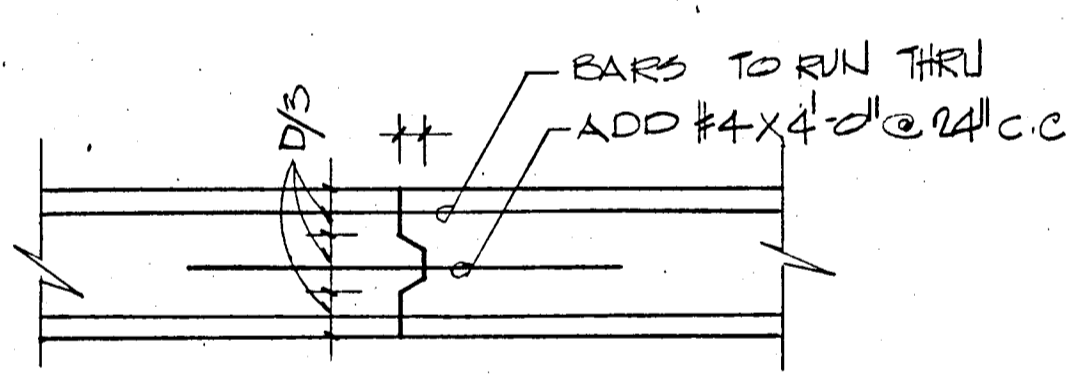
PARAPET DETAIL (TYPICAL)



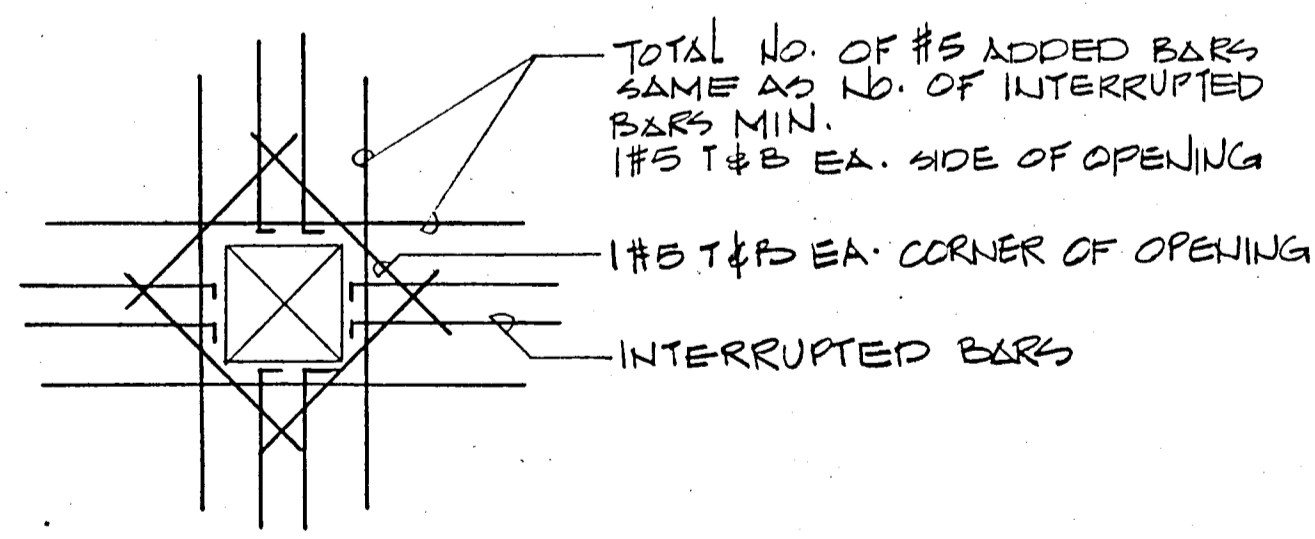
MASONRY ANCHORAGE DETAIL
NTS



SLAB DEPRESSION
AT EXTERIOR WALLS

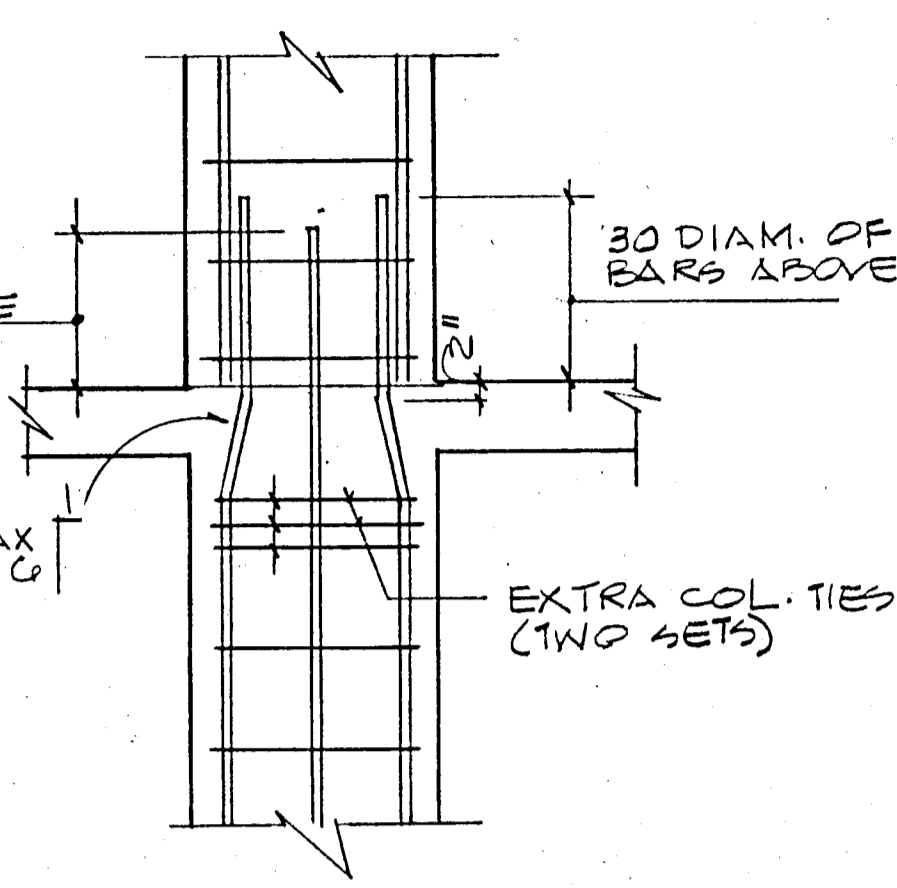
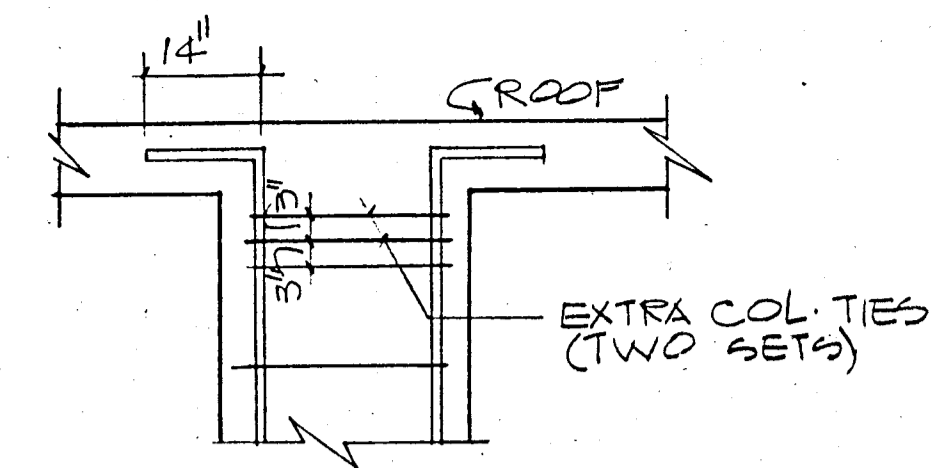


CONSTRUCTION JOINT DETAIL
NTS

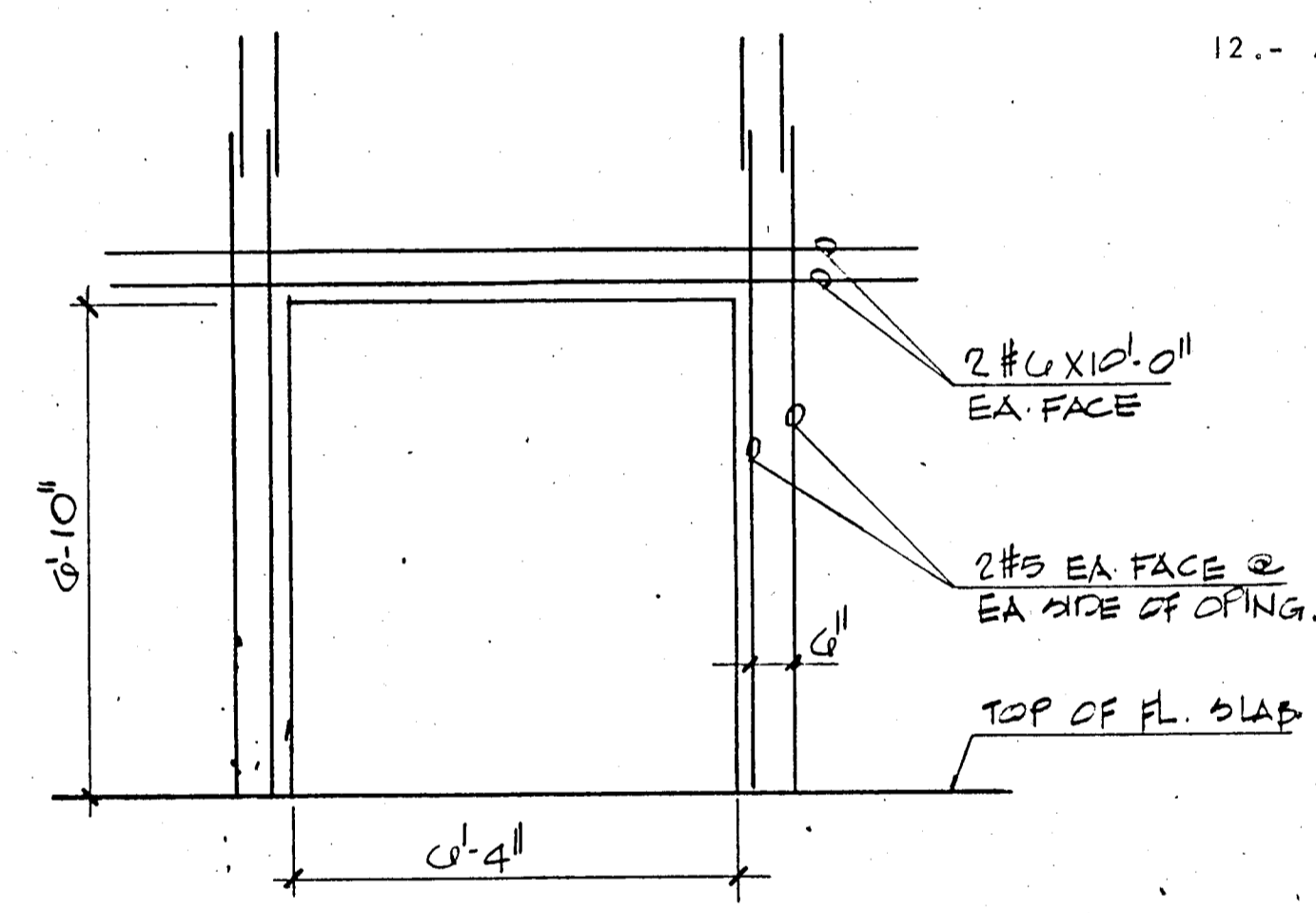


SLAB OPENING DET

FLAT PLATE SECTIONS
AND DETAILS
NTS



TYPICAL COLUMN
SPLICE DETAILS
NTS



SECTION THRU DOOR OPENING
AT SHEAR WALL

- GENERAL STRUCTURAL NOTES:-
- 1.- CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301-72 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" EXCEPT AS MODIFIED BY THE SUPPLEMENTAL REQUIREMENTS BELOW.
 - 2.- CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH WORK.
 - 3.- ALL PILES TO BE 14" x 14" PRECAST CONCRETE DRIVEN TO 50 TONS.
 - 4.- CONTRACTOR SHALL COORDINATE WITH ALL MECHANICAL & ELECTRICAL TRADES ALL SLAB OPENINGS & ELEVATOR DIMENSIONS. LOCATION OF OPENINGS IN SLAB IN EXCESS OF 8" SHOULD BE SUBMITTED TO A/E FOR APPROVAL.
 - 5.- REINFORCING BARS TO MEET ASTM A-615 GRADE 60, DETAILED AND PLACED IN ACCORDANCE WITH ACI-318-77. AND SFBC 1976 EDITION. REINFORCING TO BE HELD SECURELY IN POSITION WITH STANDARD ACCESSORIES DURING PLACING OF CONCRETE. WELDED WIRE FABRIC TO COMPLY WITH ASTM A-185.
 - 6.- ALL CONCRETE STRENGTH TO BE AS SHOWN ON PLANS. IF NOT OTHERWISE SPECIFIED F'C = 3,000 PSI.
 - 7.- VERTICAL CONSTRUCTION JOINTS, USING APPROVED BULKHEADS, CAN BE MADE AT CENTER OF BEAM OR SLAB IF REQUIRED. NO HORIZONTAL CONSTRUCTION JOINTS SHALL BE MADE IN BEAMS OR SLABS.
 - 8.- SEE ARCHITECTURAL DRAWINGS FOR ELEVATIONS.
 - 9.- TIE BEAMS (MARKED T.B.) REFER TO 8 X 12 INCHES TIE BEAMS REINFORCED WITH 2 #5 TOP AND 2 #5 BOTT. TIE COLUMNS (MARKED T.C.) ARE 8 X 12 INCHES TIE COLUMNS REINFORCED WITH 4 #5 BARS AND #2 TIES SPACED AT 12 INCHES O.C.
 - 10.- REINFORCING BAR SPLICED, WHERE REQUIRED SHALL BE DETAILED AND MADE IN ACCORDANCE WITH AC-318-77.
 - 11.- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL ORDINANCES.
 - 12.- ALL PRECAST PRESTRESSED UNITS TO BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH APPLICABLE ACI STANDARDS.

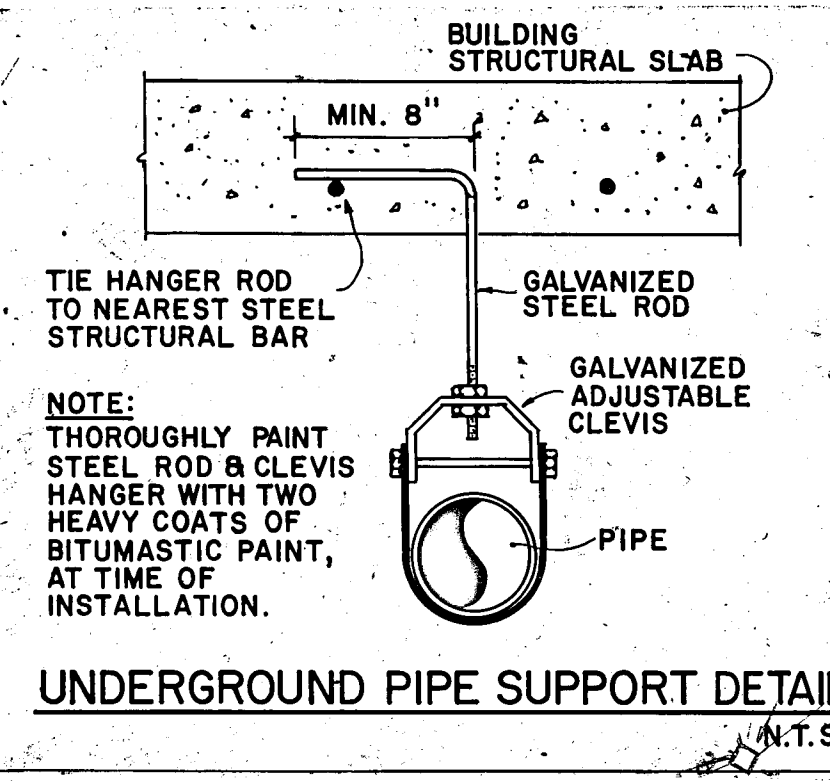
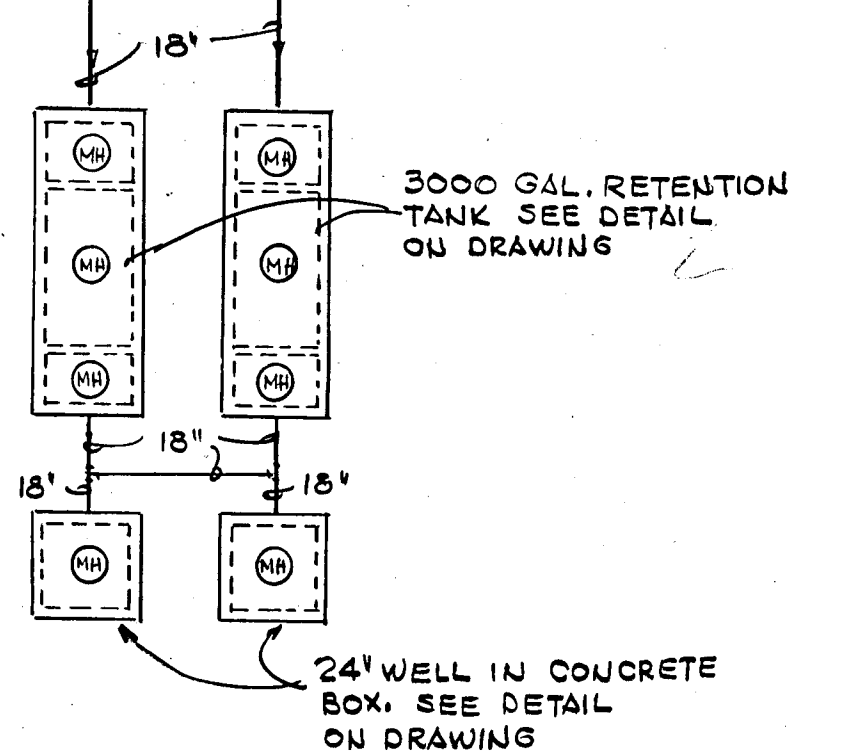
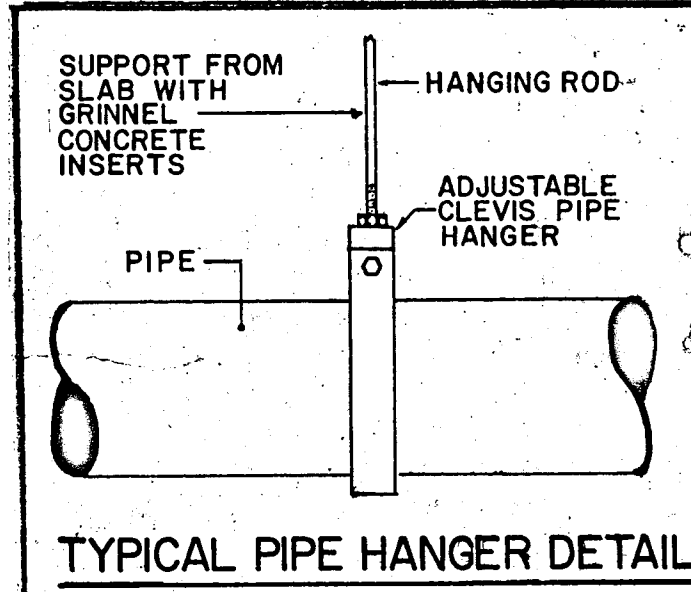
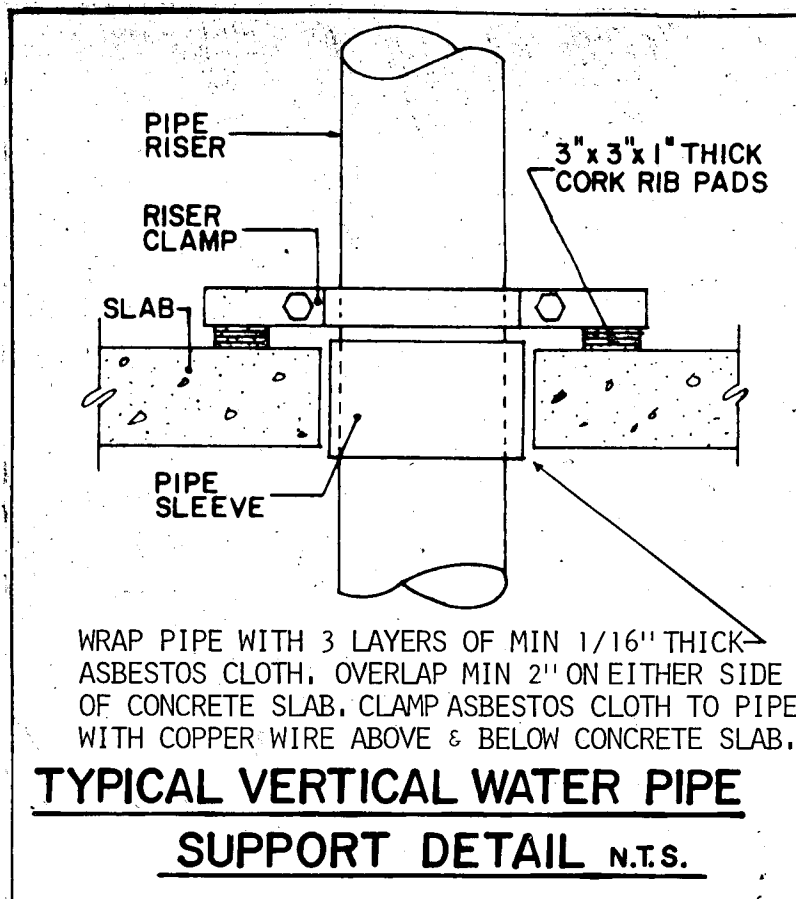
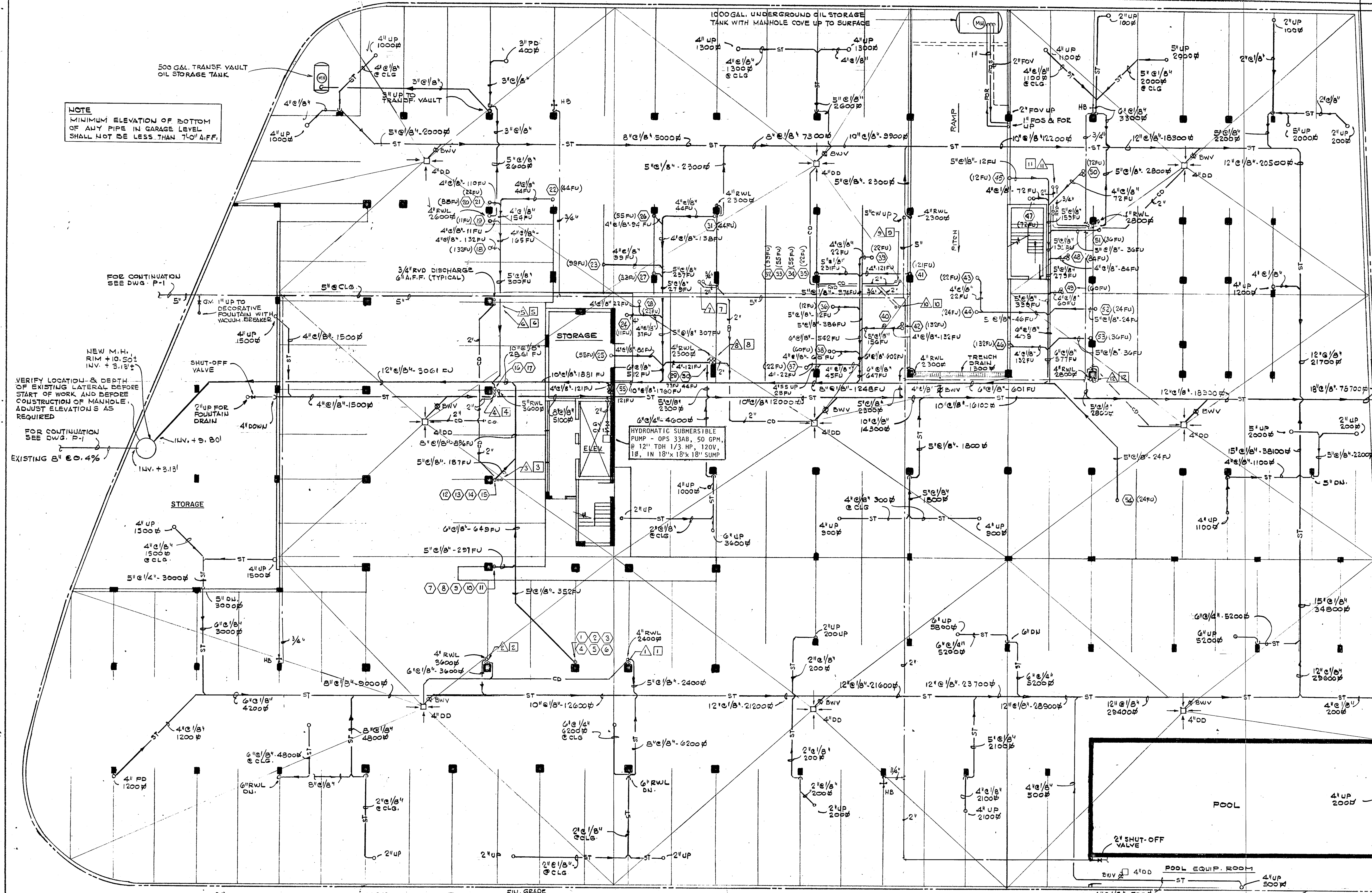
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CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

CHAMPLAIN TOWERS SOUTH

A 135 UNIT CONDOMINIUM

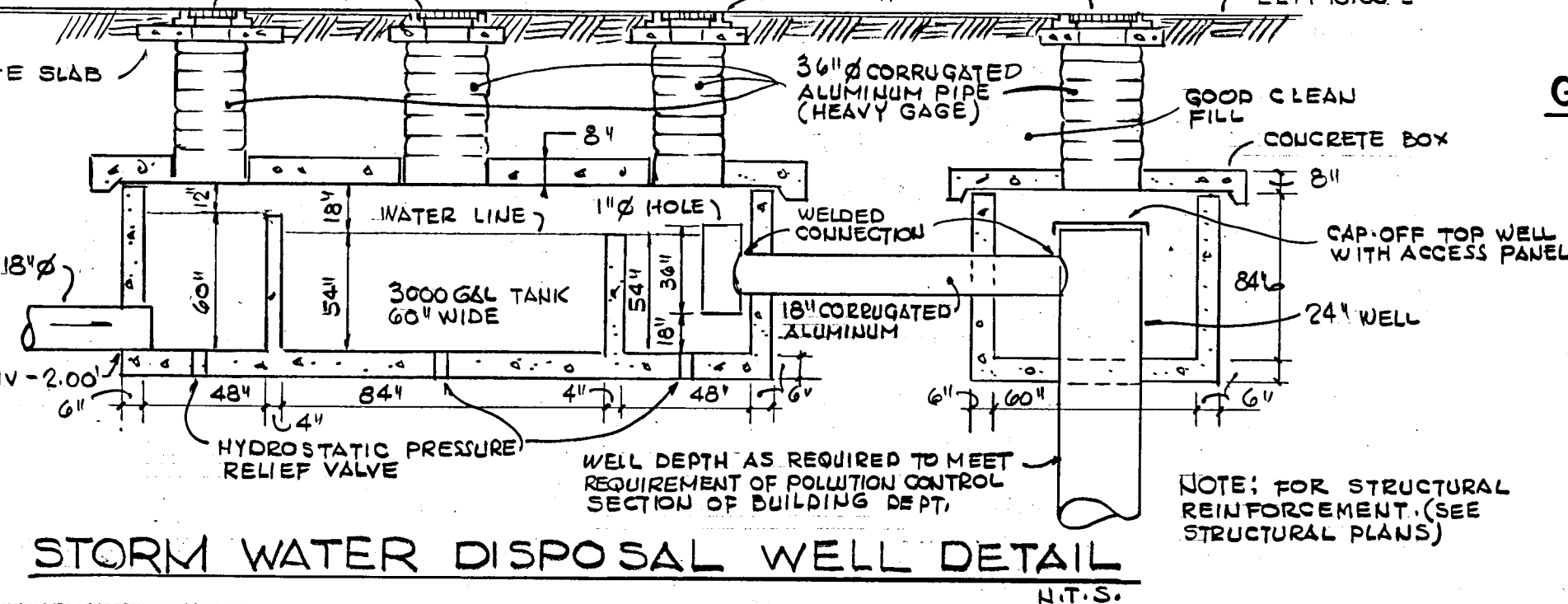
COMM. NO.	DATE	SHEET NO.
REV.		511 OF

NOTE
MINIMUM ELEVATION OF BOTTOM
OF ANY PIPE IN GARAGE LEVEL
SHALL NOT BE LESS THAN 7'-0" A.F.F.

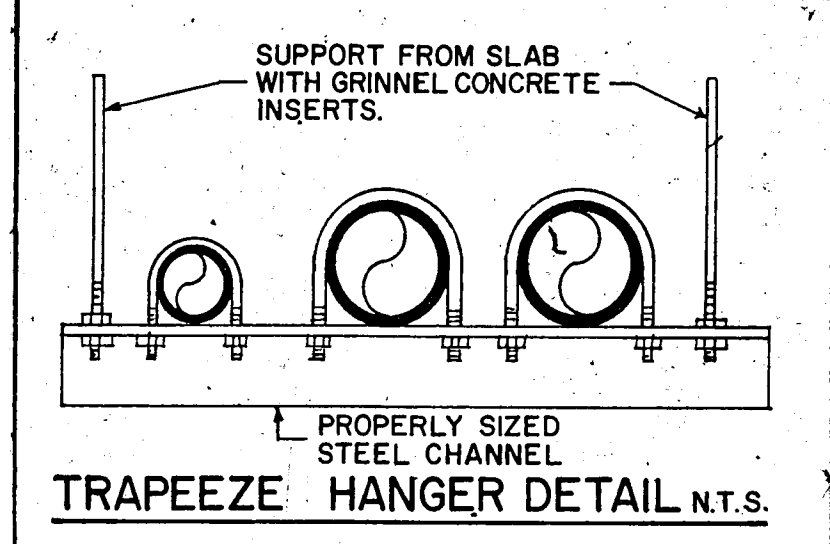
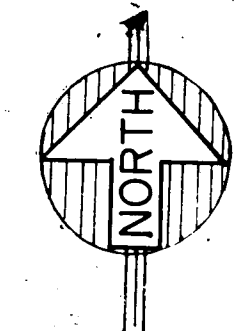


NOTE:
ALL PLUMBING LINES EXPOSED TO VEHICULAR TRAFFIC
SHALL BE PROTECTED WITH STEEL ANGLES AS REQUIRED
TO A HEIGHT OF 4 FT. A.F.F.

VERIFY LOCATION & DEPTH OF EXISTING LATERAL BEFORE START OF WORK AND BEFORE CONSTRUCTION OF MANHOLE. ADJUST ELEVATIONS AS REQUIRED



GARAGE LEVEL-FLOOR PLAN
SCALE: 1/32" = 1'-0"

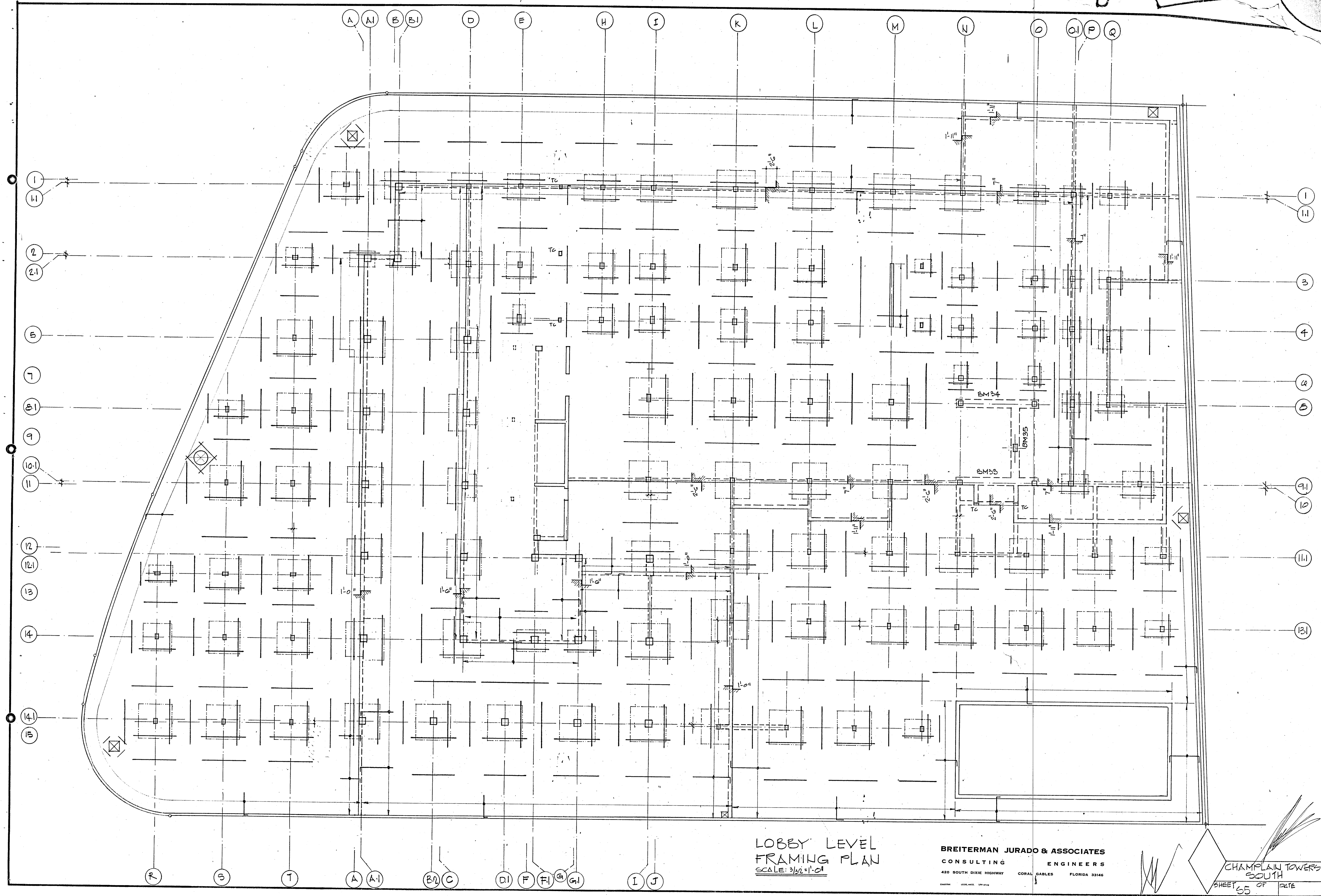


WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
138 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS SOUTH
A-135 UNIT CONDOMINIUM

FLORIDA ENGINEERING SERVICES
22 NE 1ST STREET
MIAMI, FLA. 33132

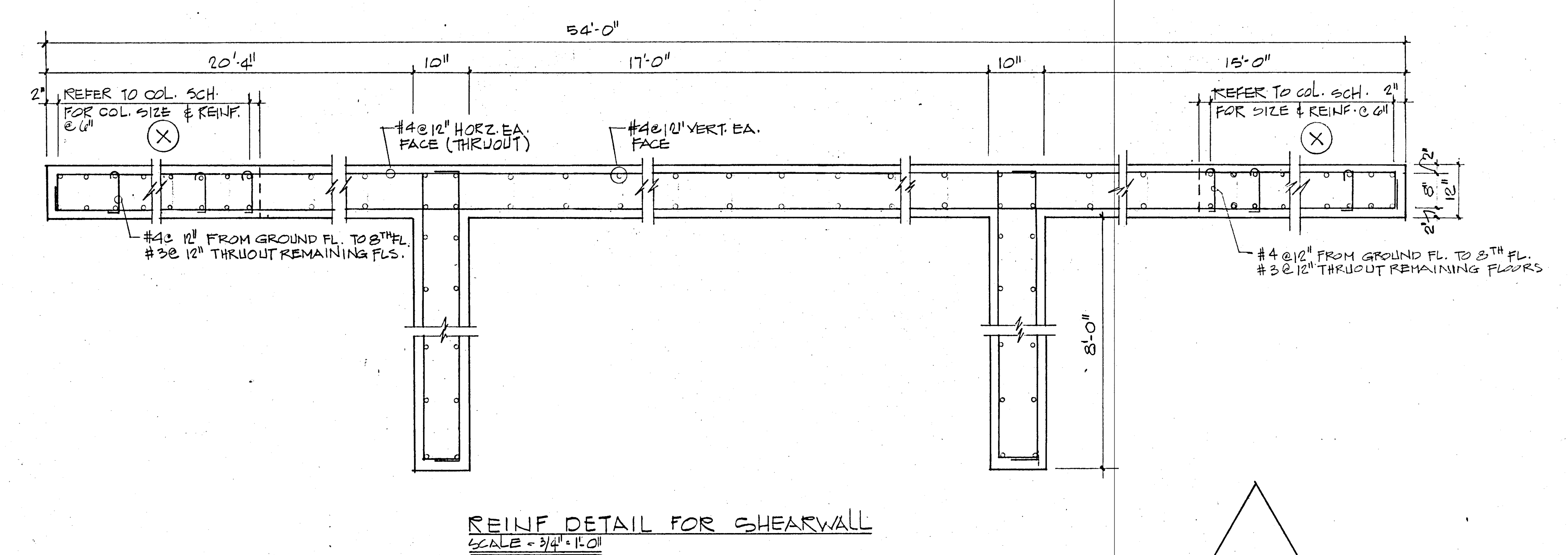
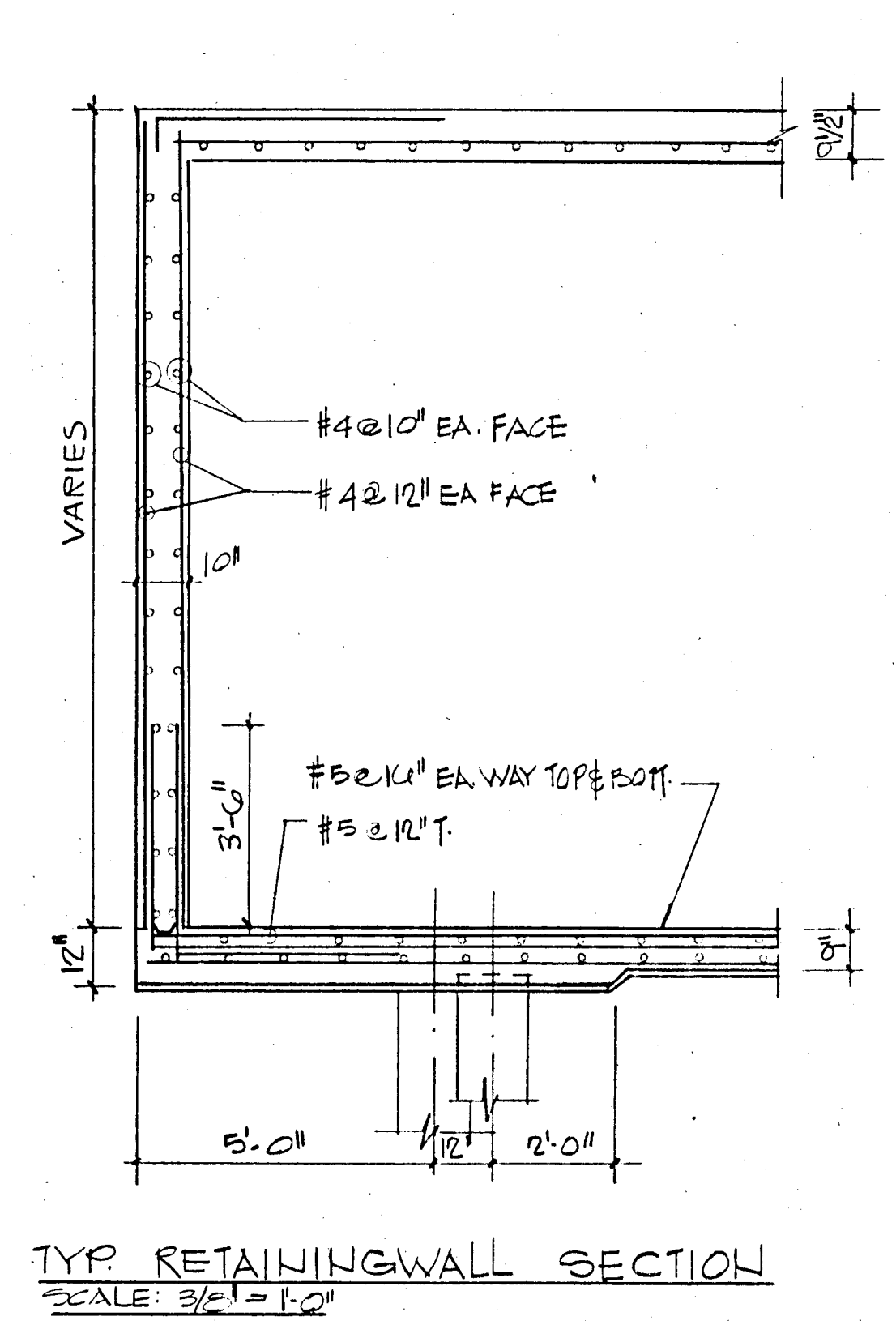
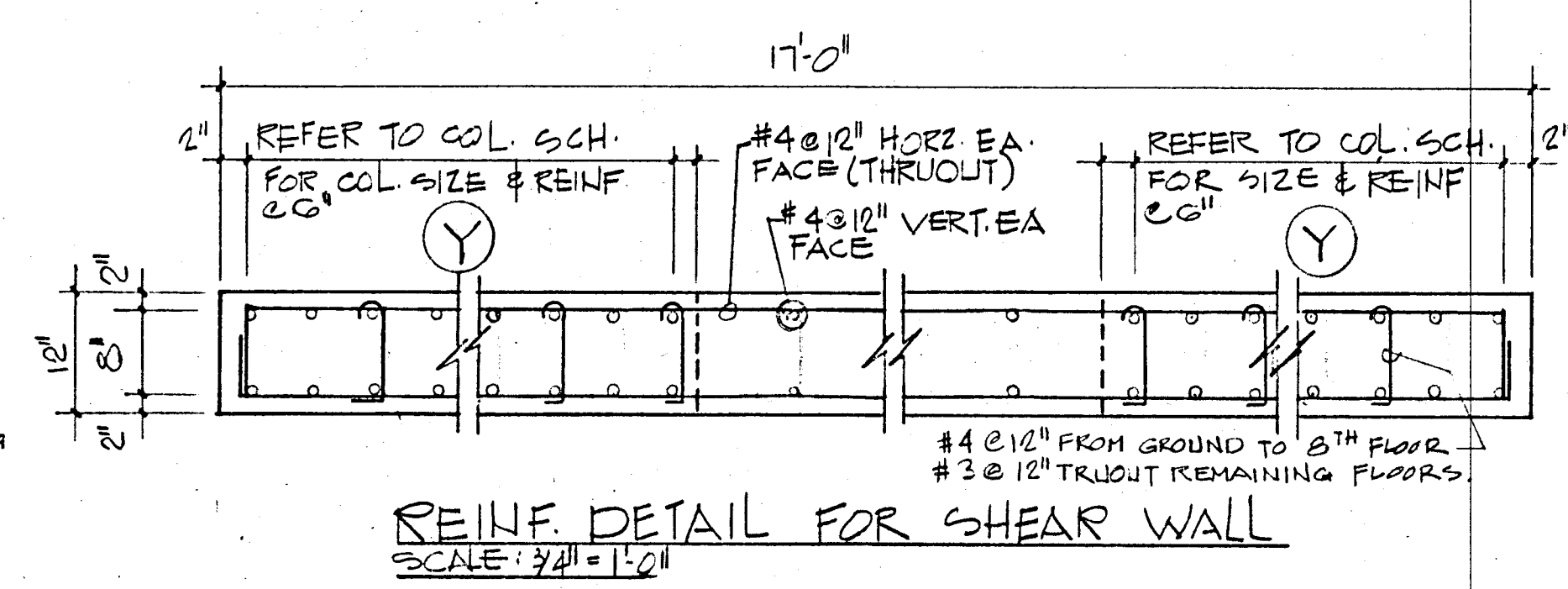
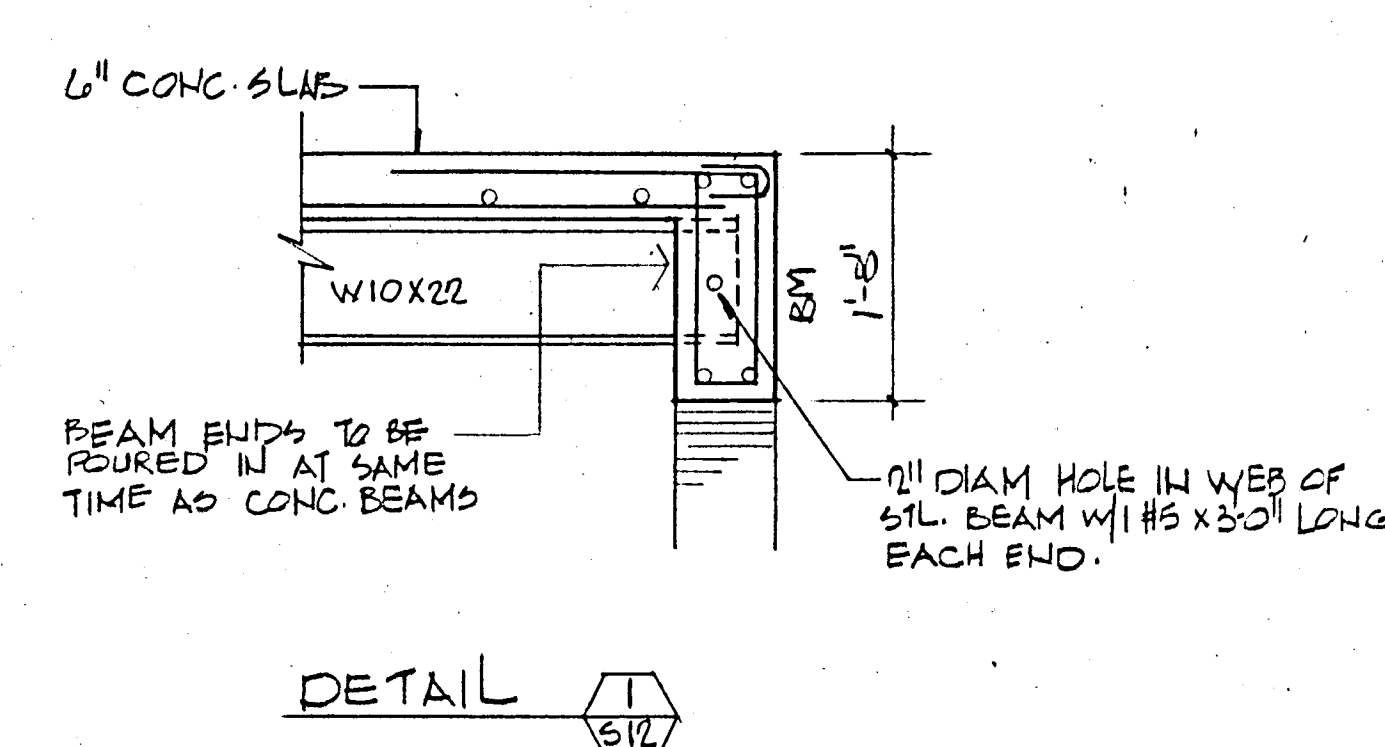
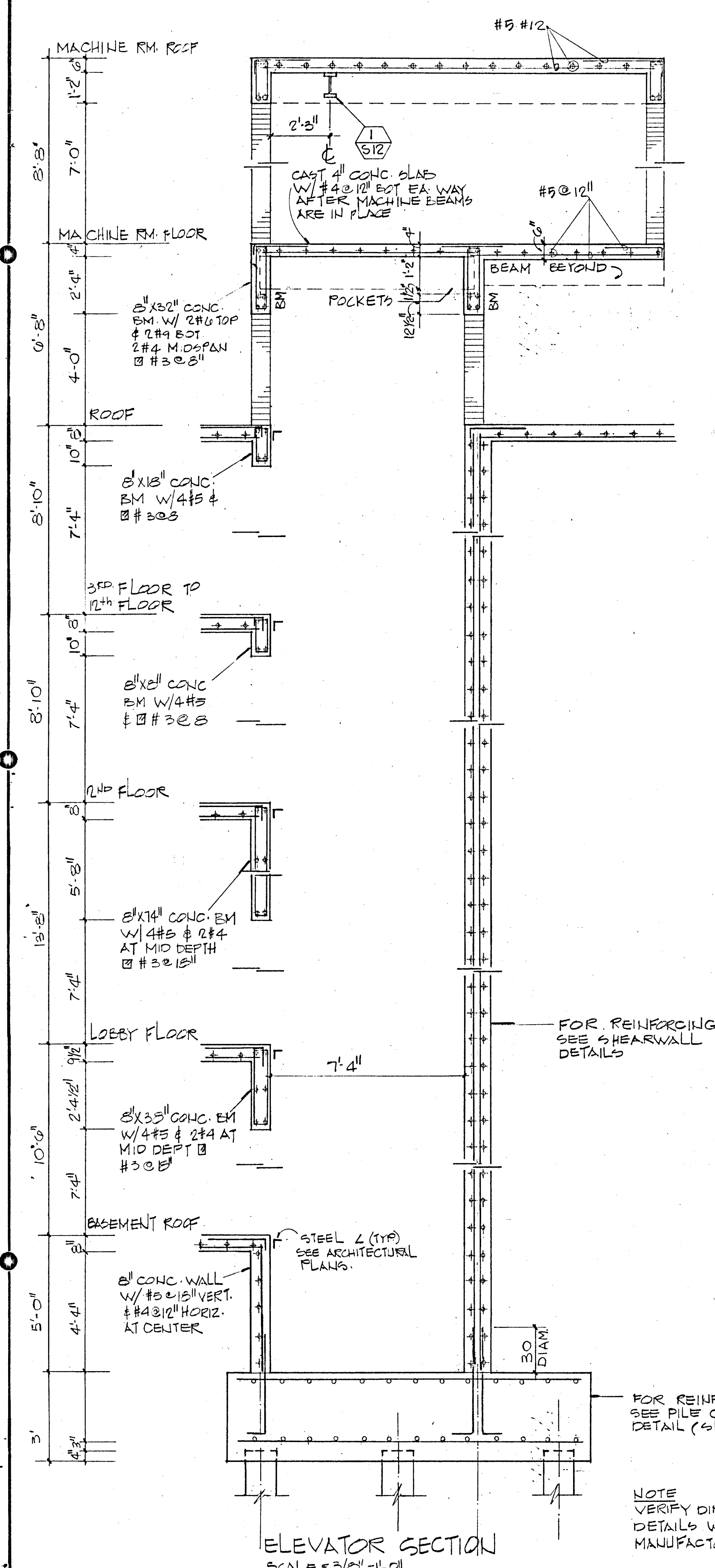
COMM. No. DATE: 8-13-79 SHEET No. 12 of 11
REV. SHEETS



LOBBY LEVEL
FRAMING PLAN
SCALE: 3/32" = 1'-0"

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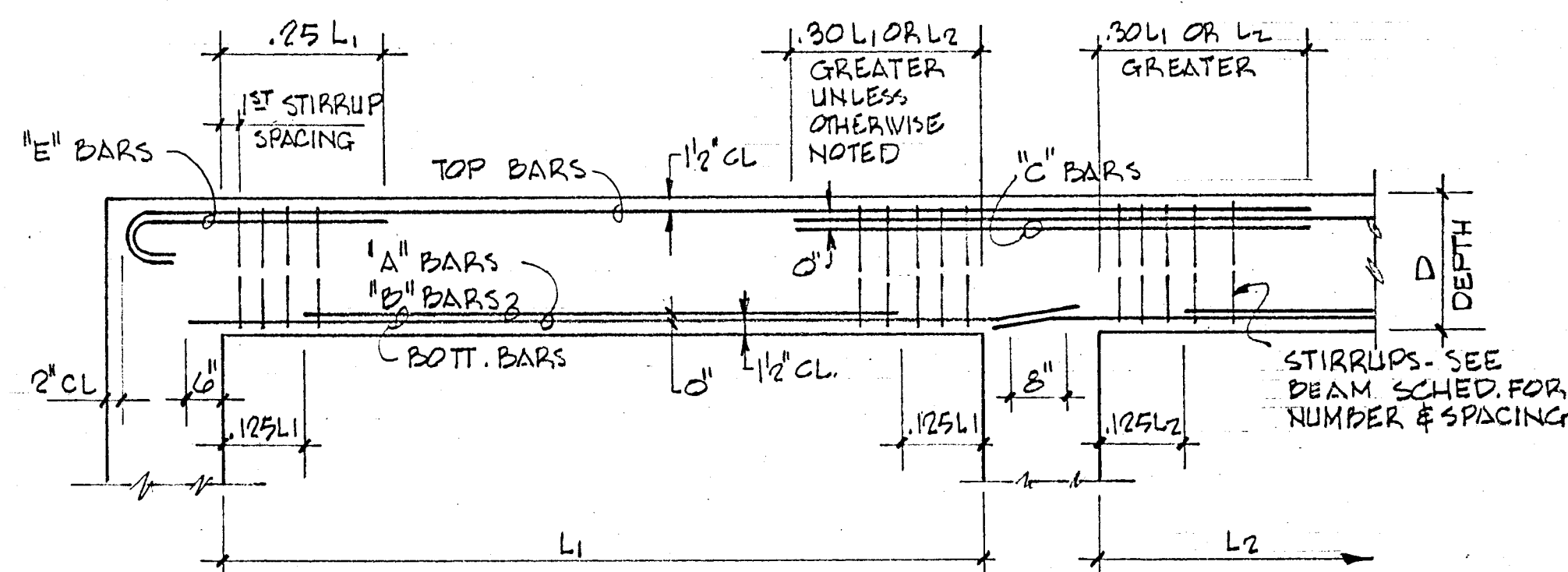
CHAMPLAIN TOWERS
SOUTH
SHEET 55 OF 142



PARTIAL SECTIONS PLAN
SCALE = 3/4" = 1'-0"

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CHAMPLAIN TOWERS SOUTH		
A 35 UNIT CONDOMINIUM		
ADMIN. NO.	DATE	SHEET NO.
REV.		512 OF



TYPICAL BAR PLACING BEAM DIAGRAM

BEAM SCHEDULE

MARK	EL. BOT. CONCRETE	SIZE D x D	LONGITUDINAL		"E" COL#	"C" COL#	STIRRUPS	REMARKS
			BOTT	TOP				
BM 1	+23'-6"	30" x 42"	6 # 8	4 # 8	2 # 8 EE		# 5 @ 18"	
BM 2		36" x 42"	6 # 8	4 # 8	2 # 8 EE		# 5 @ 18"	
BM 3			6 # 8	6 # 8	-		# 5 @ 18"	
BM 4			8 # 9	6 # 9	2 # 9		# 5 @ 18"	
BM 5			14 # 11	6 # 11		4 # 11	□ # 5 @ 6" THROUGH	
BM 6			* 12 # 11	6 # 11			□ # 5 @ 6"	* 2 LAYERS - 10 BARS IN OUTER LAYER
BM 7			8 # 9	6 # 11			□ # 5 - 4 @ 6" @ 6" REMAINDER @ 18"	
BM 8			* 16 # 11	6 # 11			□ # 5 @ 6" T.O.	* 2 LAYERS - 10 BARS IN OUTER LAYER
BM 9			8 # 9	6 # 9	2 # 9		# 5 @ 18"	
BM 10		30" x 42"	8 # 9	6 # 9	2 # 9	4 # 10	# 5 @ 18"	
BM 11			10 # 10	6 # 10		4 # 10	□ # 5 - 8 @ 6" WEST END REMAINDER @ 18"	
BM 12			10 # 11	6 # 10			□ # 5 - 10 @ 6" EE REM. @ 18"	
BM 13			8 # 9	6 # 10	2 # 10		# 5 @ 16"	
BM 14			8 # 9	* 6 # 9	4 # 10		# 5 @ 16"	* CONTINUOUS TOP STEEL
BM 15			8 # 9	* 6 # 9	4 # 9		# 5 @ 16"	* CONTINUOUS TOP STEEL
BM 16			10 # 10	6 # 10	2 # 10		□ # 5 - 6 @ 6" EAST END REMAINDER @ 18"	
BM 17		36" x 42"	* 16 # 11	6 # 11	2 # 11		□ # 5 @ 6"	* 2 LAYERS - 10 BARS IN OUTER LAYER
BM 18			8 # 10	6 # 11			# 5 @ 18"	
BM 19			* 12 # 11	6 # 11		4 # 11	□ # 5 @ 6"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 20			* 12 # 11	6 # 11		2 # 11	□ # 5 @ 6"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 21			* 14 # 11	6 # 11			□ # 5 - 8 @ 6" SOUTH END REMAINDER @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 22			8 # 10	6 # 8	2 # 8		# 5 @ 18"	
BM 23			8 # 10	* 4 # 11		6 # 11	# 5 @ 18"	* CONTINUOUS TOP STEEL
BM 24			8 # 10	* 4 # 11		4 # 8	# 5 @ 18"	* CONTINUOUS TOP STEEL
BM 25			* 12 # 11	6 # 11		2 # 11	□ # 5 - 6 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 26			* 16 # 11	6 # 11		2 # 11	□ # 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 27			* 14 # 11	6 # 11	2 # 10 EE		□ # 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 28			* 14 # 11	6 # 11	2 # 10 EE		□ # 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 29			* 14 # 11	6 # 11	2 # 10 EE		□ # 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 30			* 14 # 11	6 # 11	2 # 10 EE		□ # 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 31			* 14 # 11	6 # 10	2 # 10 EE		□ # 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 32	+23'-6"		* 14 # 11	6 # 10	2 # 10		□ # 5 - 10 @ 6" EAST END REM. @ 18"	* 2 LAYERS - 10 BARS OUTER LAYER
BM 33	+9'-10"	24" x 42"						
BM 34								
BM 35	+9'-10"							

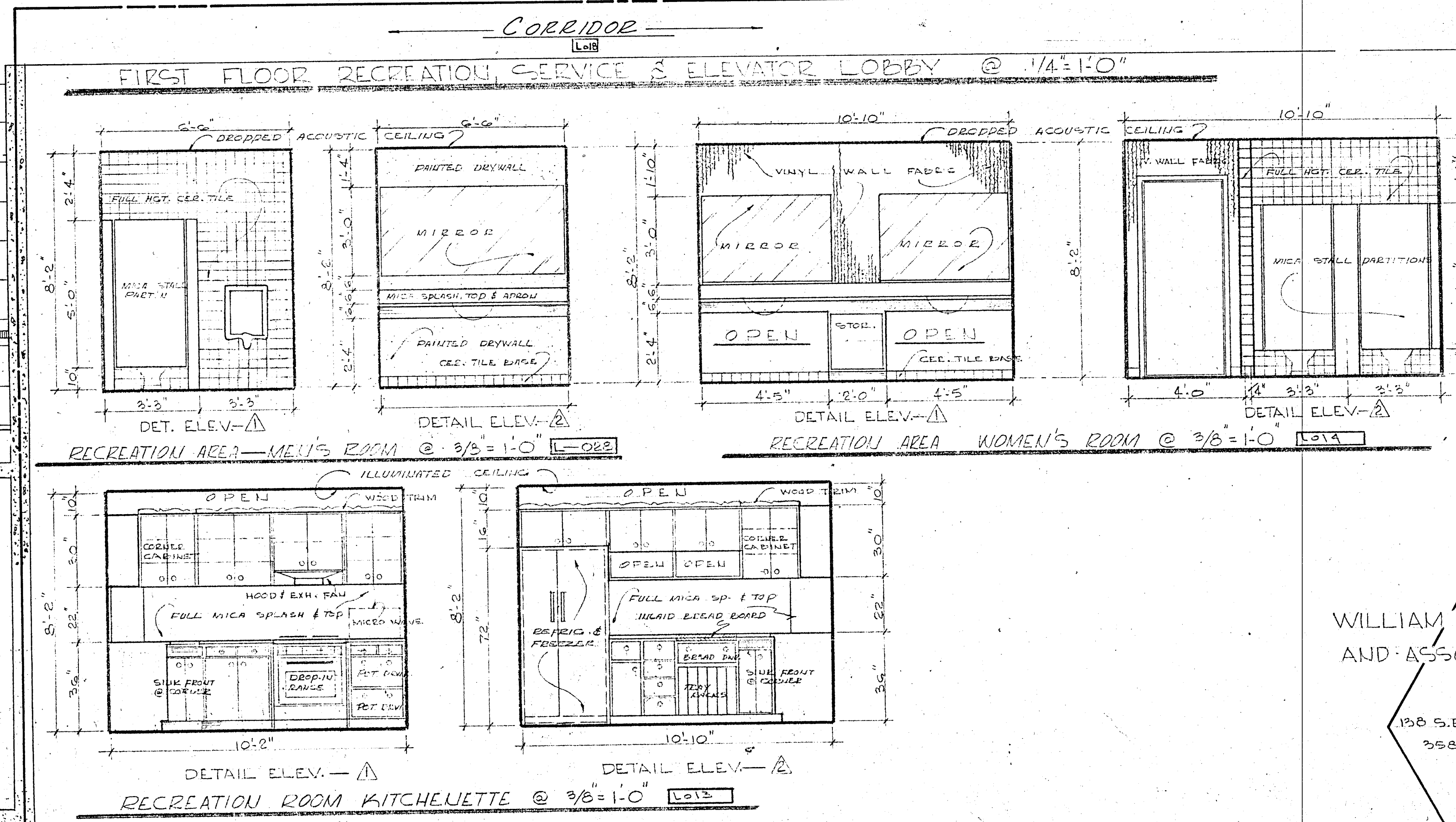
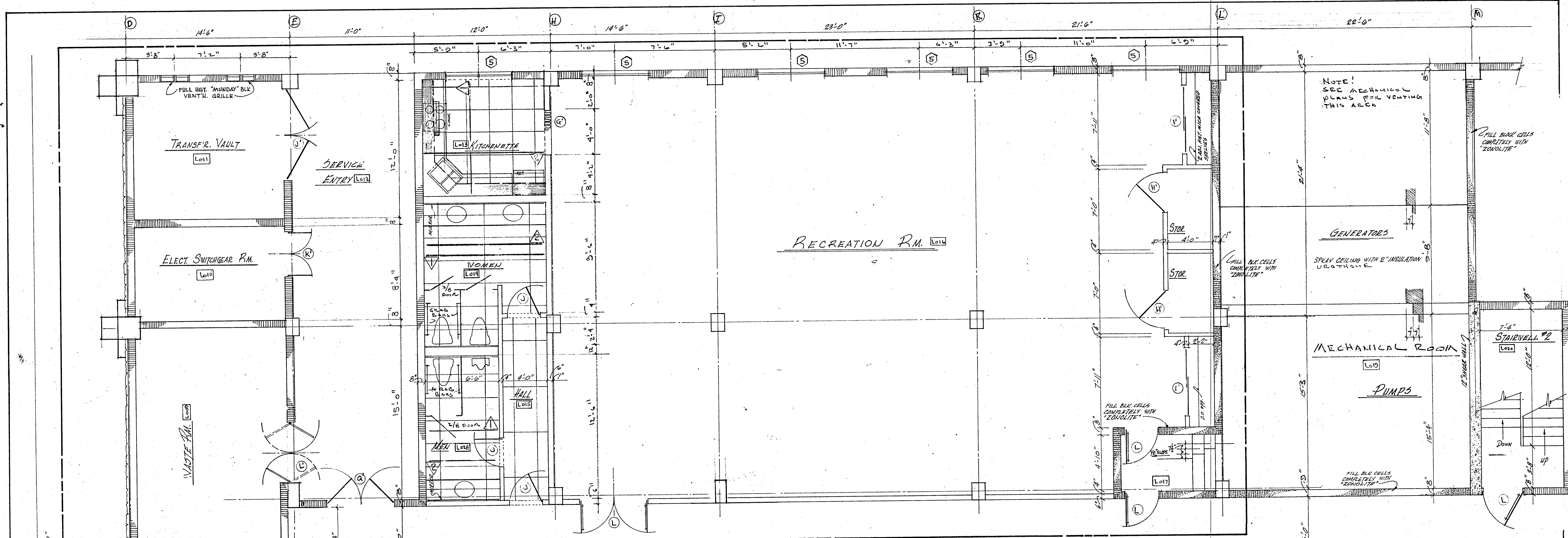
BEAM SCHEDULE

BREITERMAN JURADO & ASSOCIATES
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420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

CHAMPLAIN TOWERS SOUTH

A 135 UNIT CONDOMINIUM

COMM. No.	DATE	SHEET No.
REV.		513 OF



WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14 th LAKE 3588044		CHAMPLAIN TOWERS SOUTH 8777 COLLINS AVE.
A - 135 UNIT CONDOMINIUM		
COMM. No.	DATE:	SHEET
REV.		27 OF 30

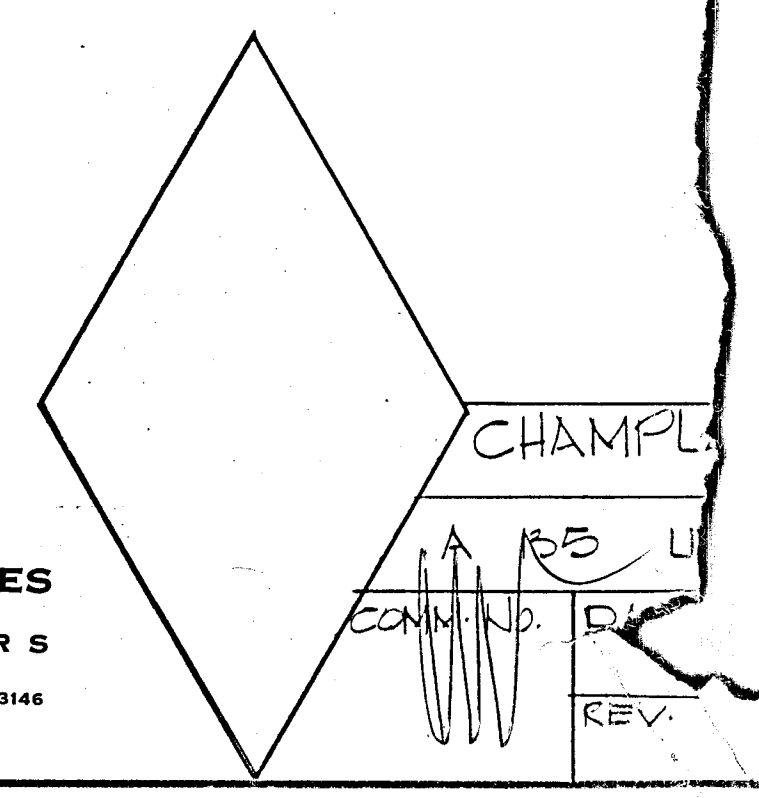
COLUMN SCHEDULE

TYPE	(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)	(I)	(J)	(K)	(L)	(M)	(N)	(P)			(X)	(Y)
SIZE	24" x 24"	24" x 24" 24" x 24" 24" x 24" 24" x 24" 24" x 24" 24" x 24"	16" x 16"	16" x 16"	16" x 16"	16" x 16"	14" x 18"	14" x 18"	12" x 24"	12" x 24"	12" x 24"	12" x 24"	12" x 36"	12" x 16"	8" x 12"			LARGE SHEAR WALL	SMALL SHEAR WALL
MACH. RM. ROOF ϕ +139'-6"																			
MACH. RM. FLOOR ϕ +130'-10"																			
ROOF ϕ +124'-2"																			
12th FLOOR (PENTHOUSE) ϕ +115'-4"				4#B	4#B	4#B		4#B	4#B	4#B	4#B	4#B	4#B	6#B		4#G		8#5 12"x18"	8#5 12"x18"
11th FLOOR ϕ +106'-6"																			
10th FLOOR ϕ +97'-8"																			
9th FLOOR ϕ +88'-10"																		8#5 12"x18"	
8th FLOOR ϕ +80'-0"																		10#5 12"x24"	8#5 12"x18"
7th FLOOR ϕ +71'-2"				4#B	4#B		4#B	4#B		4#B	4#B	4#B						10#6 12"x24"	8#7 12"x18"
6th FLOOR ϕ +62'-4"				4#B	6#B	4#9		4#9	4#9	4#B	6#B	6#B	6#B					10#7 12"x24"	8#9 12"x18"
5th FLOOR ϕ +53'-6"																		12#B 12"x30"	10#9 12"x24"
4th FLOOR ϕ +44'-8"																		16#B 12"x42"	10#10 12"x24"
3RD FLOOR ϕ +35'-10"																		16#9 12"x42"	10#10 12"x24"
2ND FLOOR ϕ +27'-0"																		16#11 12"x42"	12#10 12"x30"
LOBBY FL. ϕ +13'-4"	12#10 4 E.F.	12#10 4 E.F.	8#10	8#11	X	X	X	X	X	X	X	X	X	X	4#9			20#11 12"x54"	12#11 12"x30"
BASAMENT FL. ϕ +2'-10"	12#10 4 E.F.	12#10 4 E.F.	8#11 3 E.F.	12#11 4 E.F.	X	X	X	X	X	X	X	X	X	X	4#7	4#9		24#11 12"x66"	14#11 12"x36"
				COL. E-4 UP TO EL. +															

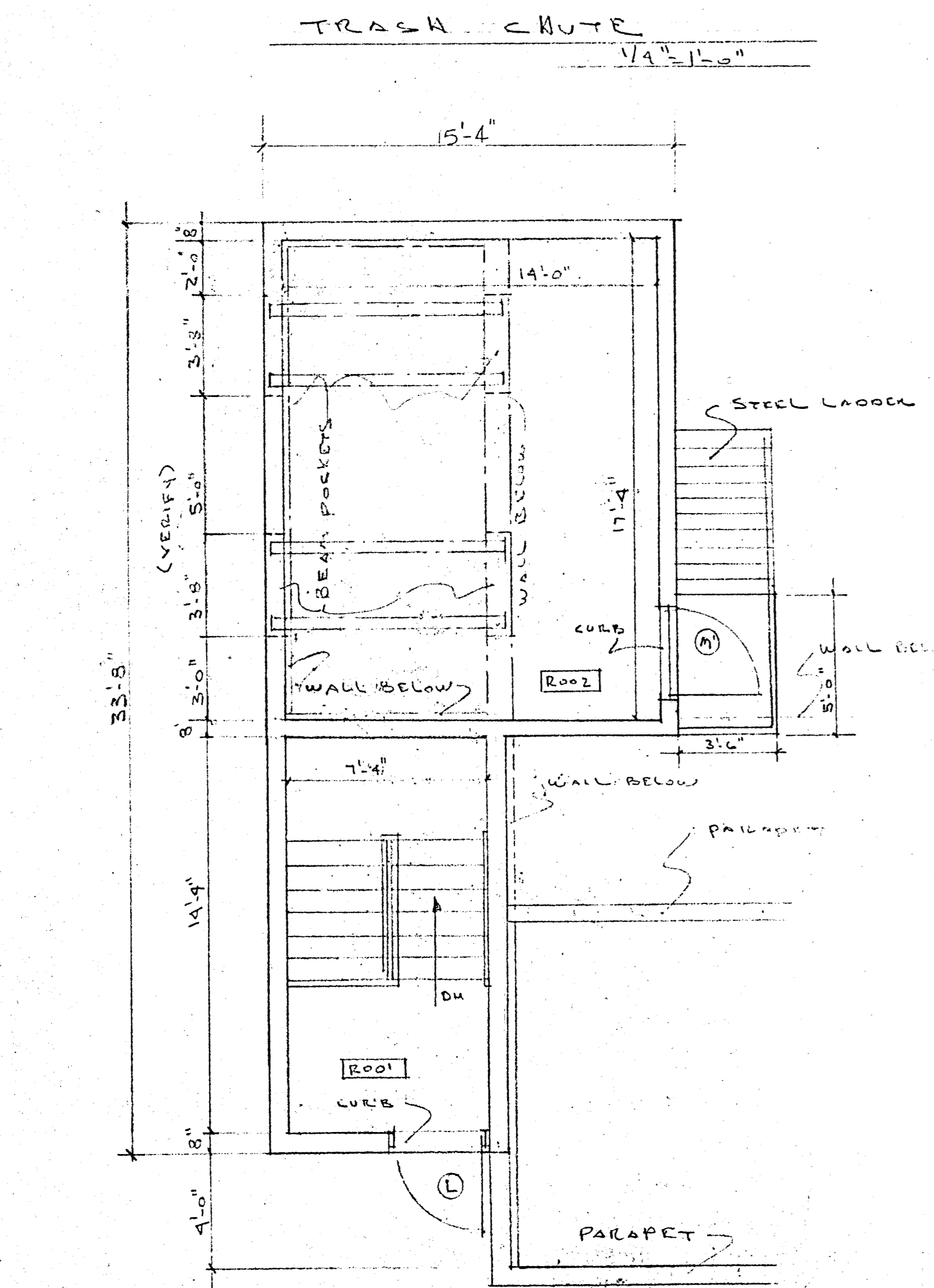
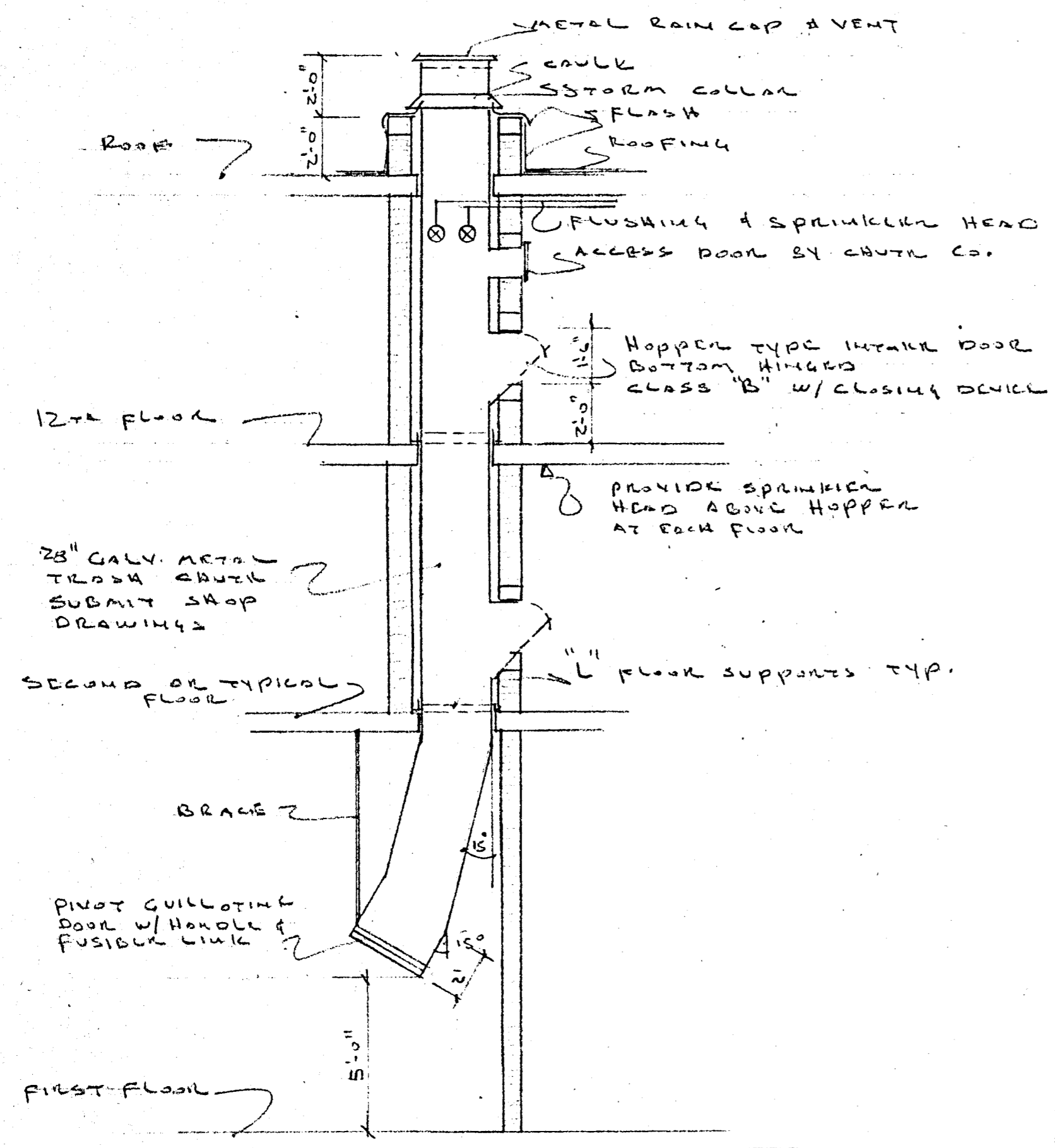
fc = 4,000 PSI
 fc = 5,000 PSI
 fc = 6,000 PSI

NOTES

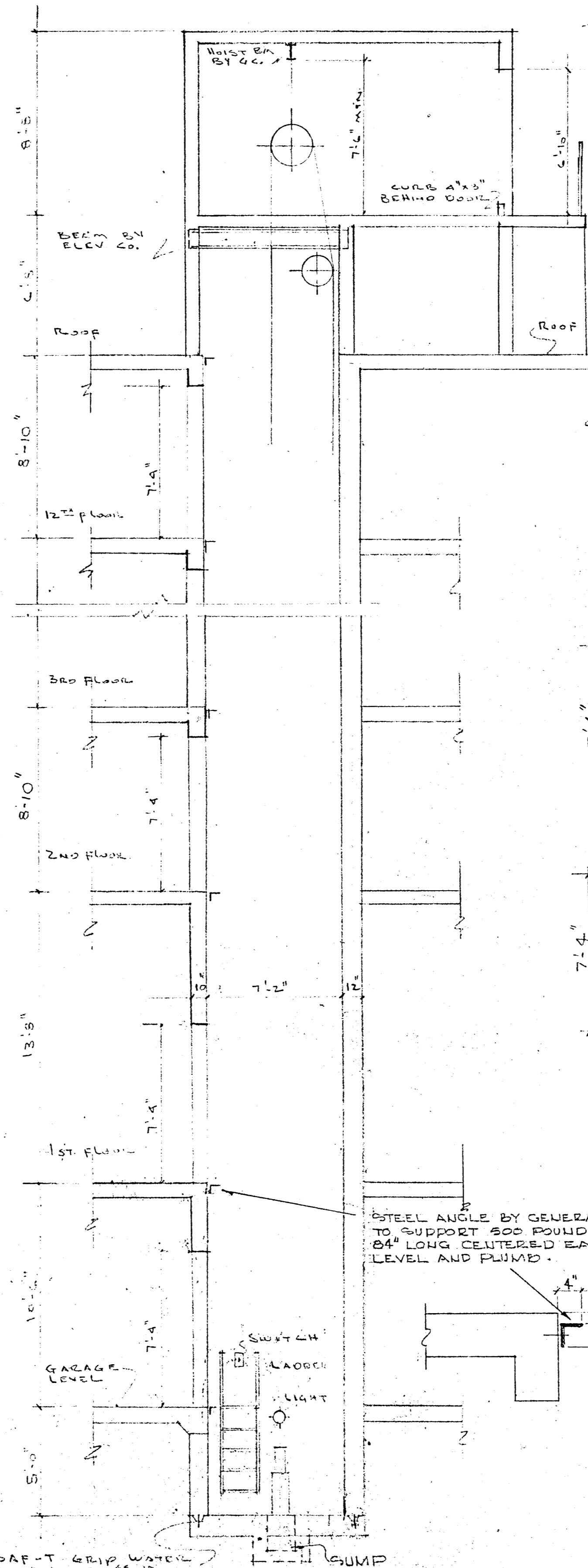
- TIES FOR NO. 11 MAIN BARS USE #4 TIES, ALL OTHERS TO BE #3 DETAILED IN ACCORDANCE WITH ACI-318
- COLUMN DOWELS TO BE SAME NO. AND SIZE AS MAIN REINFORCING



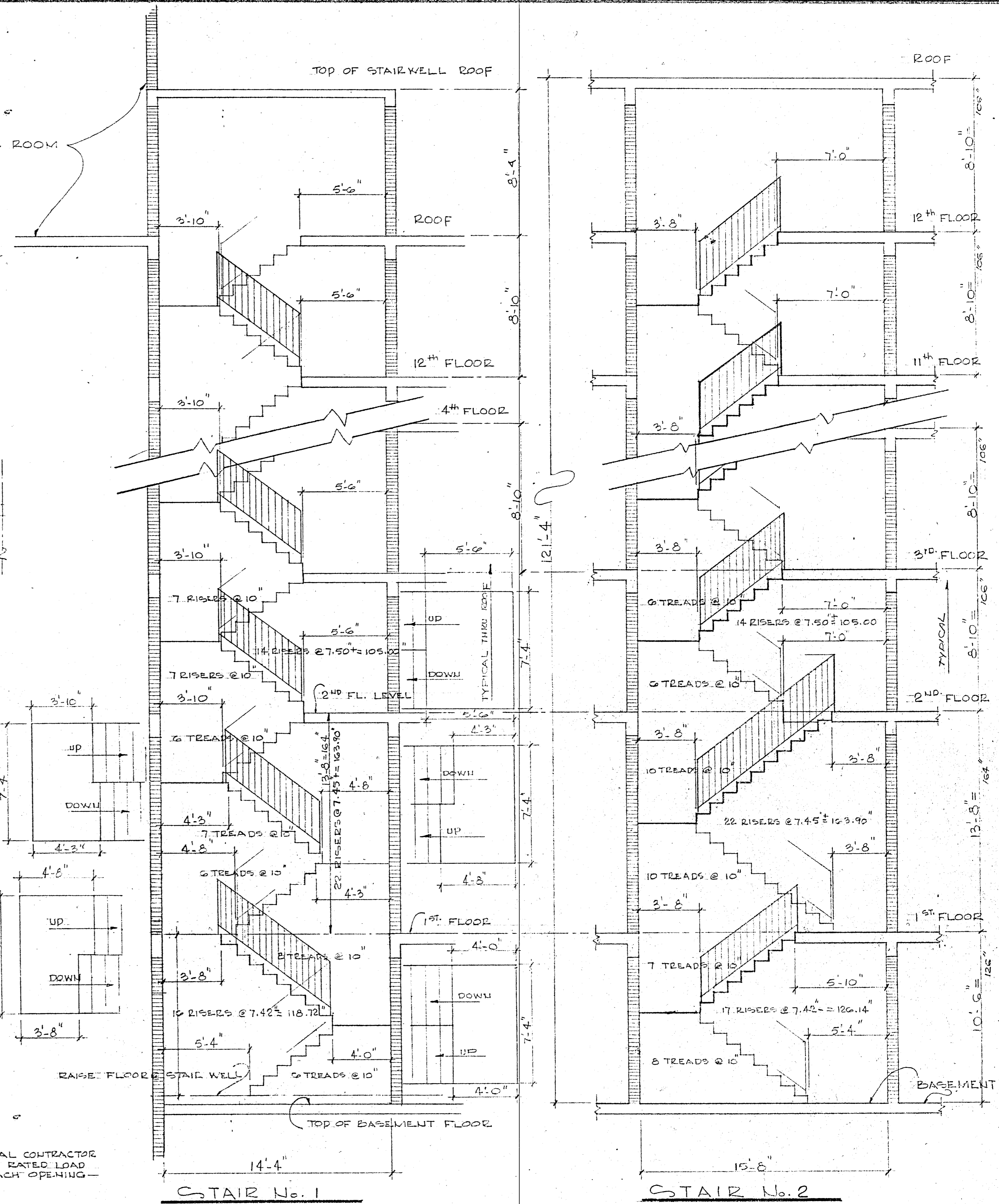
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420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146



FLOOR PLAN OF ELEVATOR MACHINE ROOM & STAIR WELL @ ROOF @ 1/4"=1'-0"



SECTION THRU ELEV. SHAFT @ 1/4"=1'-0"



STAIR SECTIONS @ 1/4"=1'-0"

STAIR NOTE:
 STEEL STAIRS AS MANUFACTURED BY "PICO" WITH 10" JUNIOR CHANNEL G.S.# STRINGERS, 14GA. STAIR PANS (CONC. FILLED) WITH SOLID RISERS, AND ONE COAT RED LEAD PRIMER.
 SUBMIT SHOP DRAWINGS FOR APPROVAL.

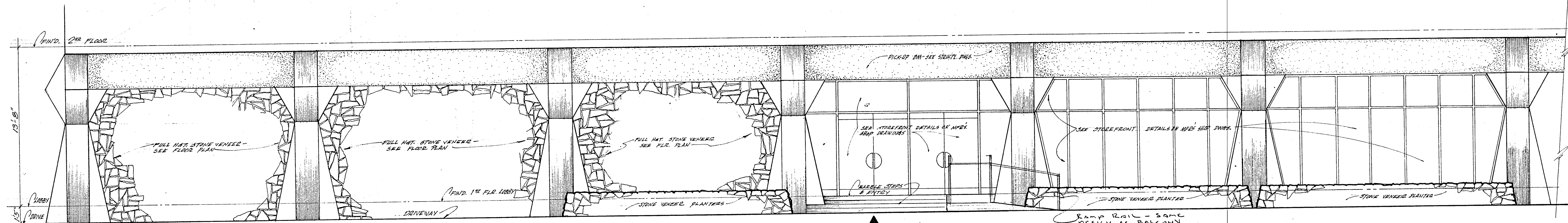
WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14th LANE
 3588044

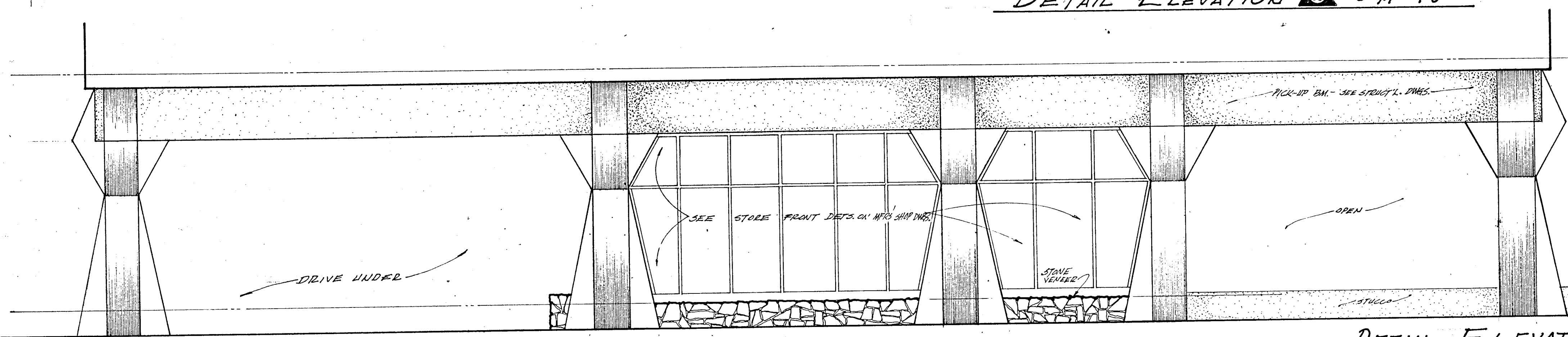
CHAMPLAIN TOWERS SOUTH
 8777 COLLINGS AVE.

A-135 UNIT CONDOMINIUM

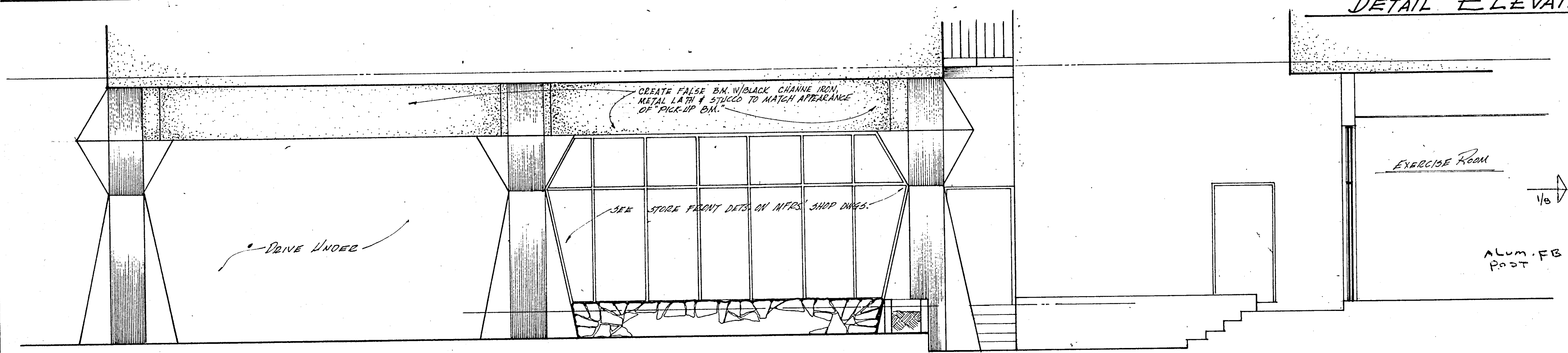
COMM. No.	DATE:	SHEET
REV.		30 OF 30



DETAIL ELEVATION **A** @ 1/4"=1'-0"

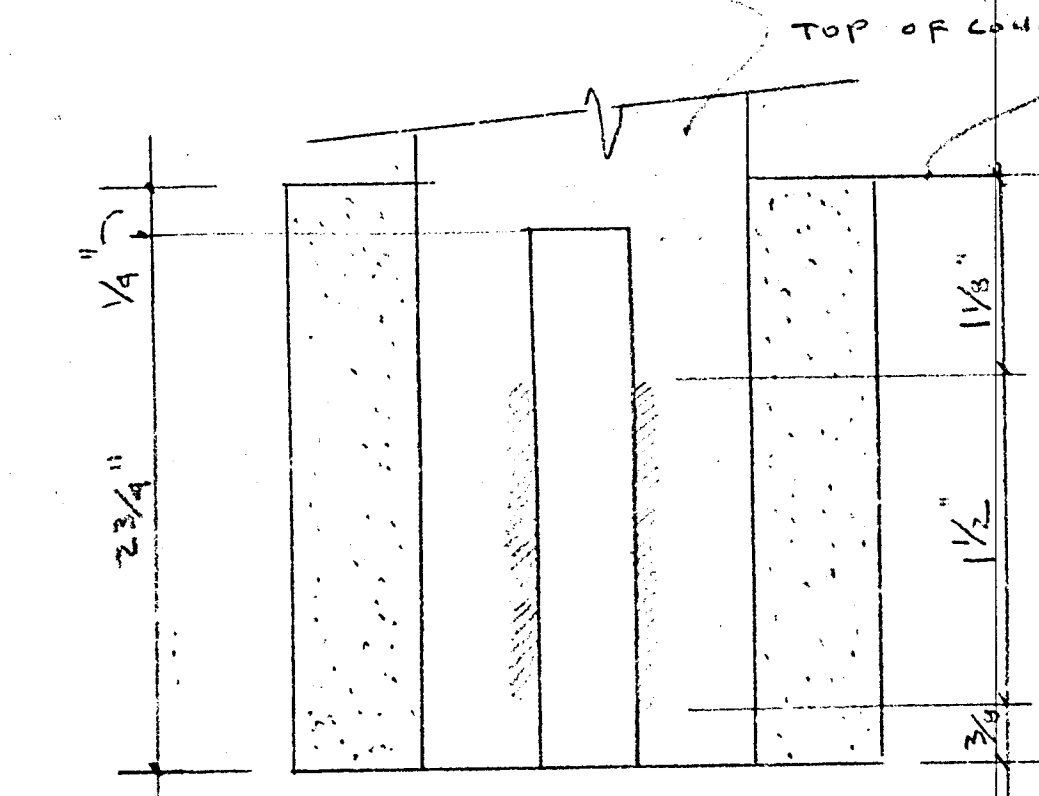
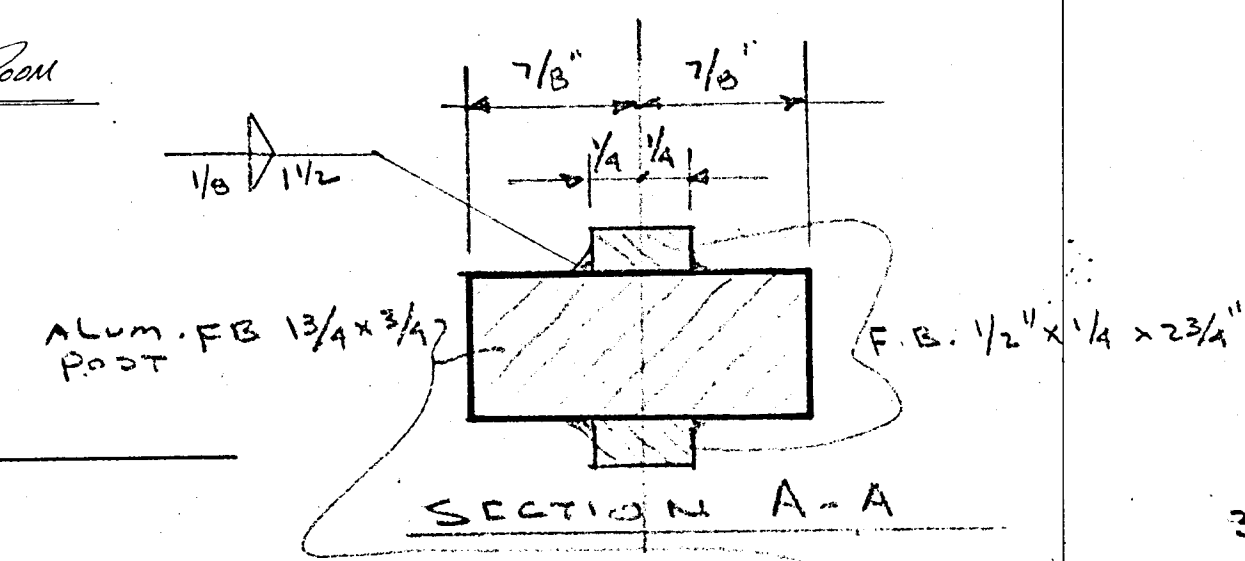


DETAIL ELEVATION **B** @ 1/4"=1'-0"

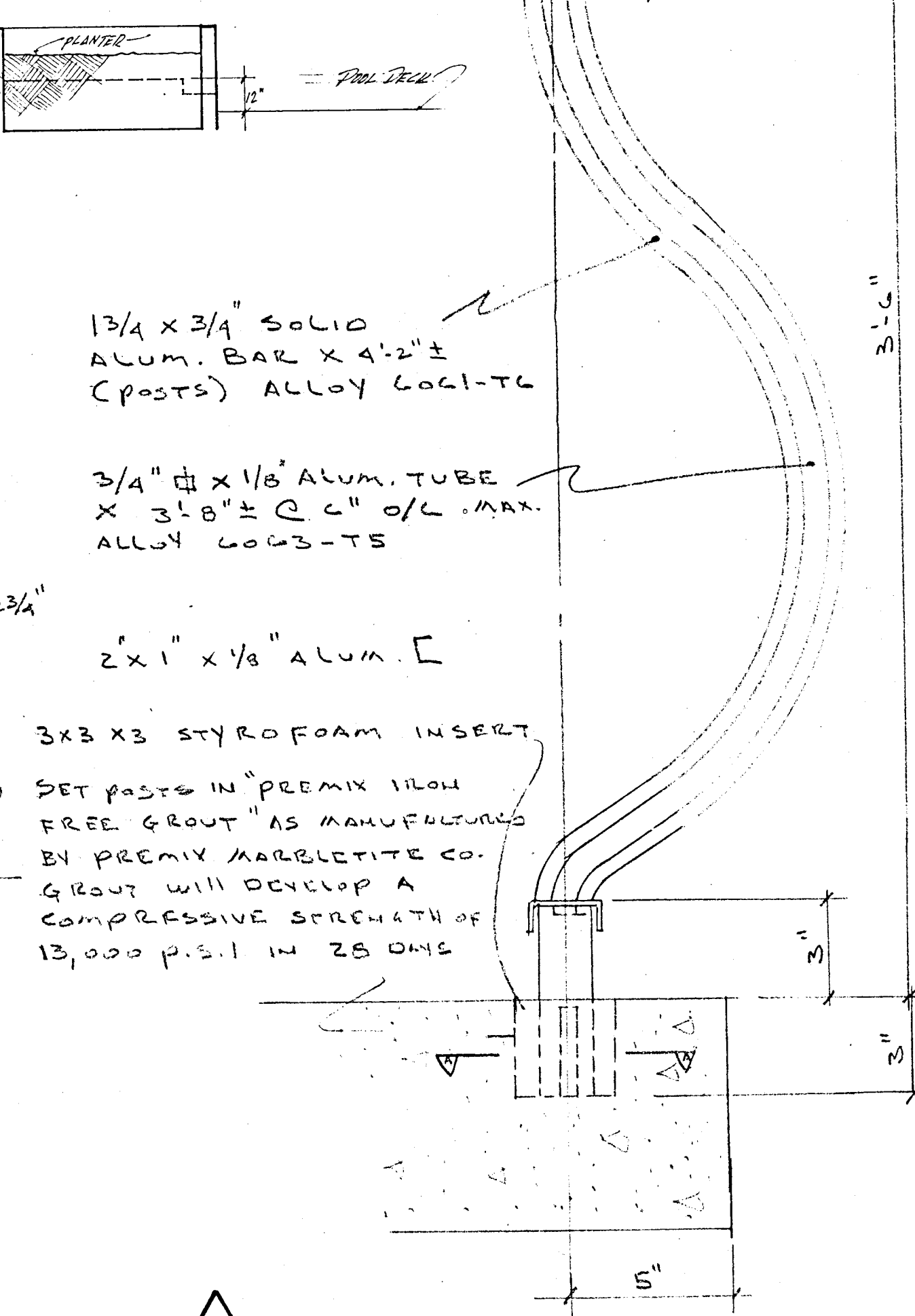


DETAIL ELEVATION **C** @ 1/4"=1'-0"

DIXIE #2 ALUM CAP - OR EQUAL
TYPICAL AT POSTS & PICKETS



RAIL POST FULL SIZE
RAILING DETAILS



TYPICAL SECTION
3"=1'-0"

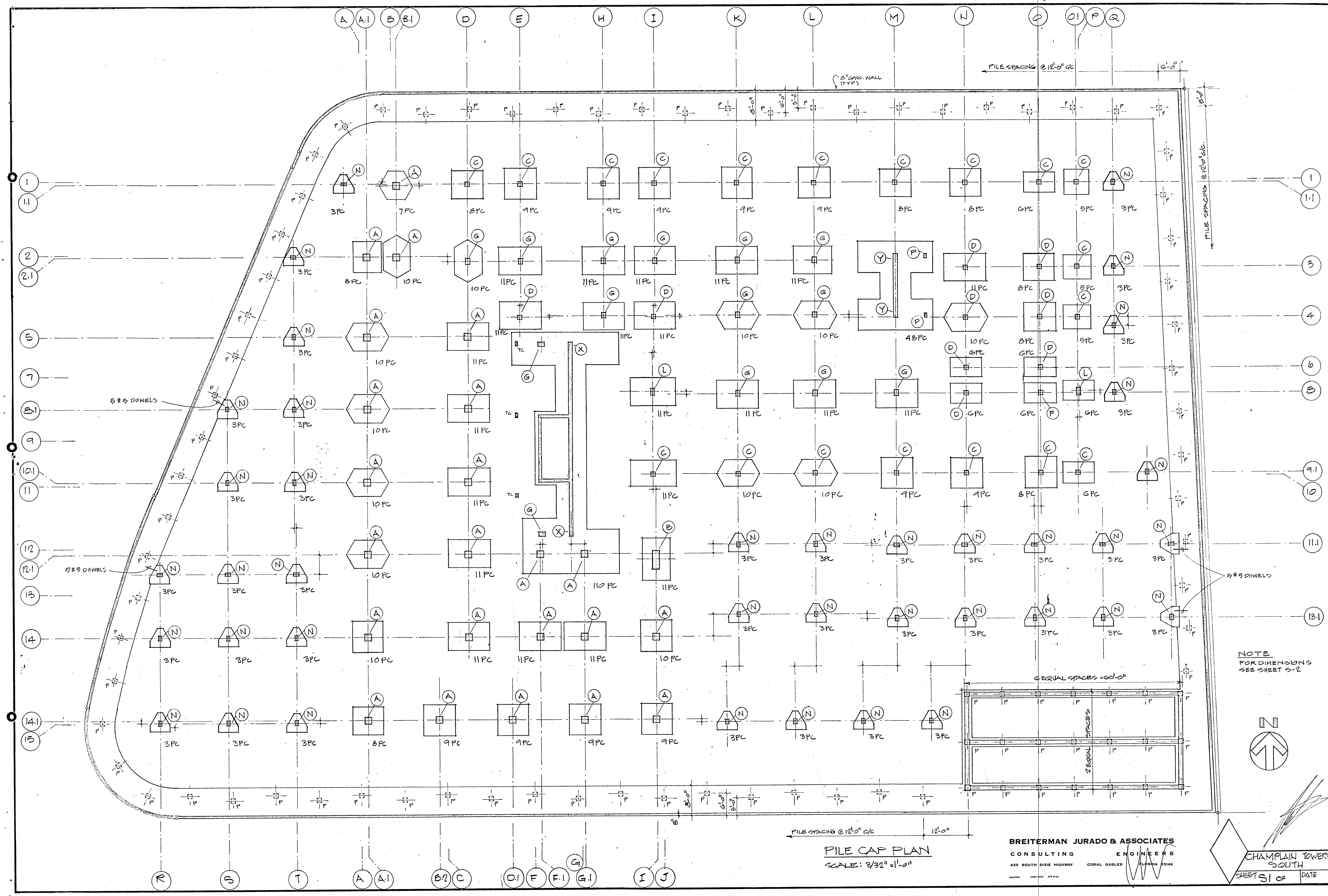
WILLIAM M. FRIEDMAN
& ASSOCIATES ARCHITECTS, INC.

138 S.E. 14TH LANE
2588044

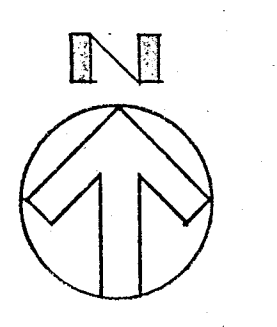
CHAMPLAIN TOWERS SOUTH
877 COLLINS AVE.

A-175 UNIT CONDOMINIUM

COMM. NO.	DATE:	SHEET
ESV.		29 OF 30



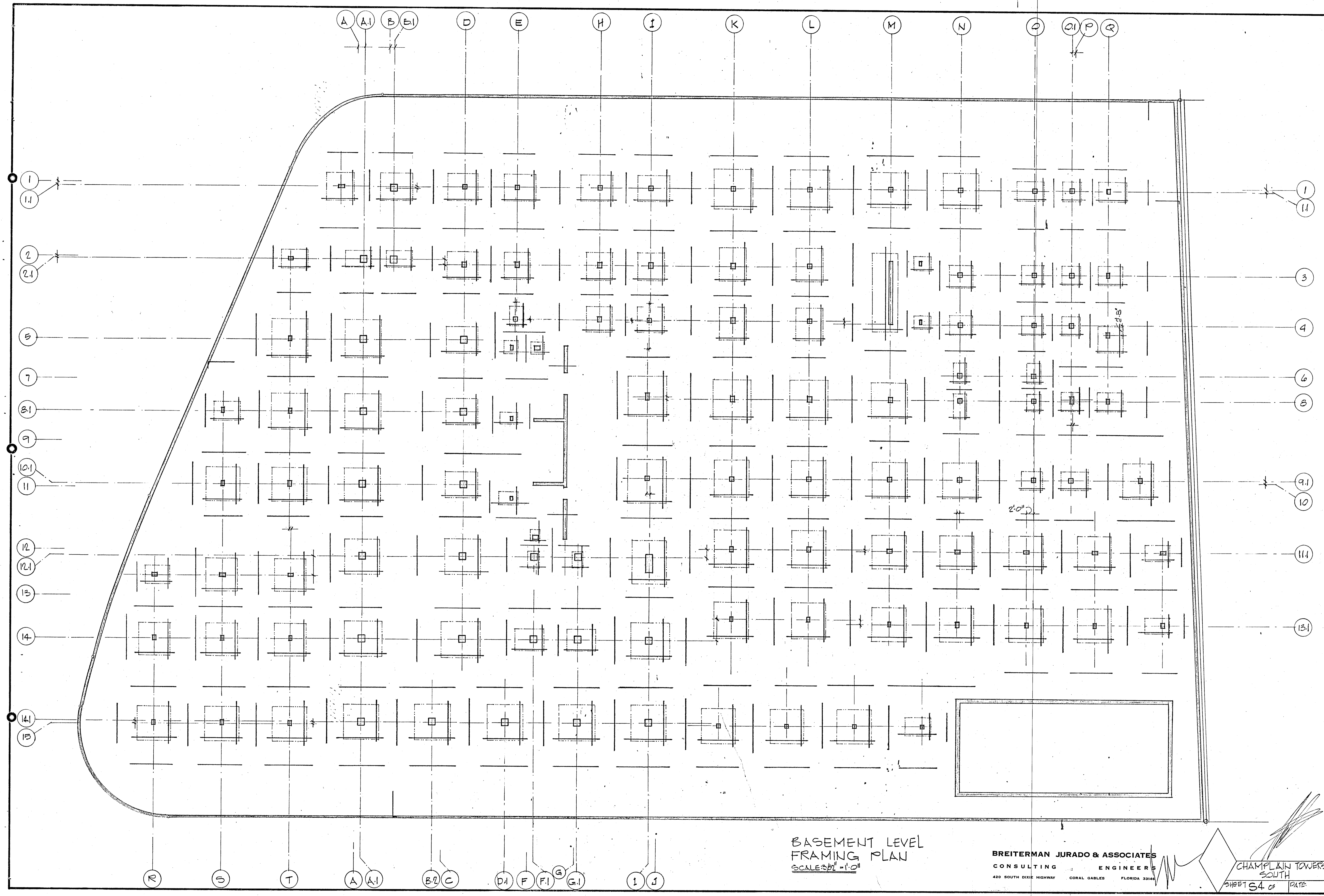
NOTE FOR DIMENSIONS SEE SHEET S-2



PILE CAP PLAN
SCALE: 3/32" = 1'-0"

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY
CORAL GABLES, FLORIDA 33146

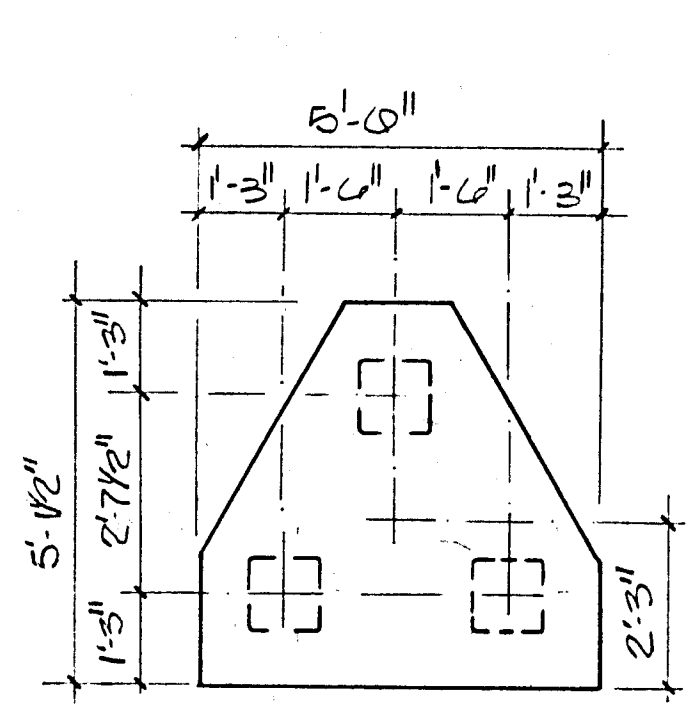
CHAMPLAIN TOWERS SOUTH
SHEET S1 OF DATE



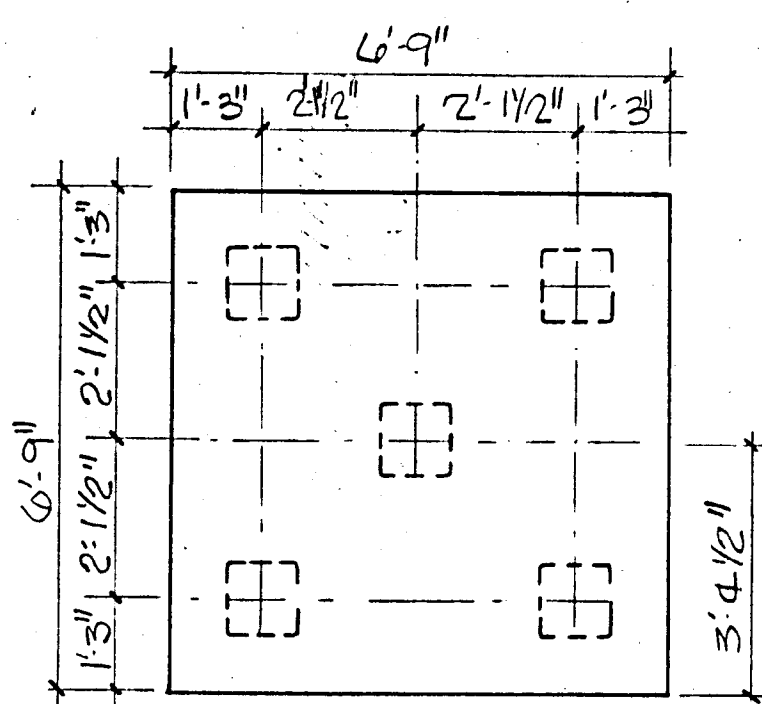
BASEMENT LEVEL
FRAMING PLAN
SCALE: 3/8" = 1'-0"

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CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

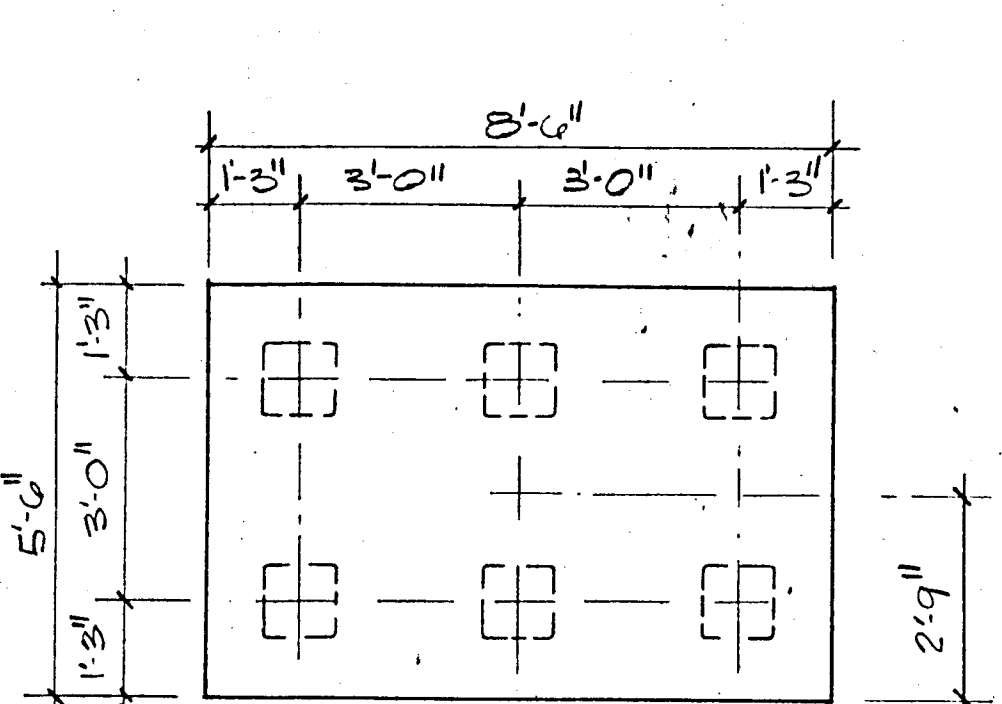
CHAMPLAIN TOWERS
SOUTH
SHEET S4 OF DATE



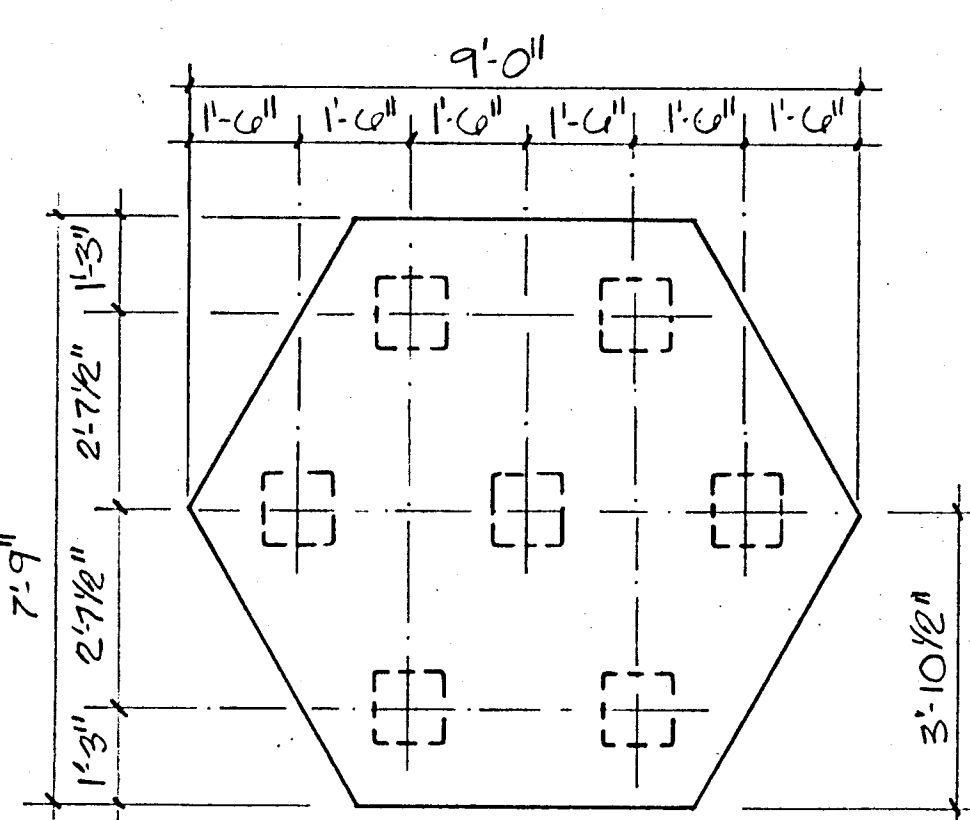
3-PC
DEPTH = 31"
3 #7 3 WAY BOT



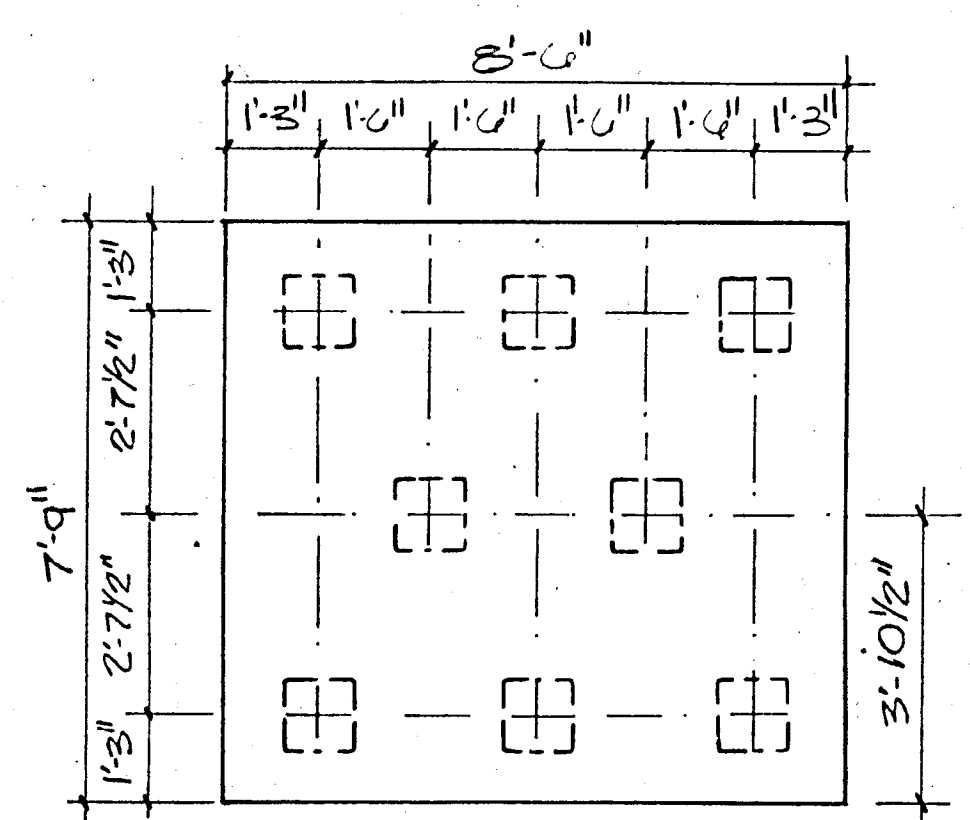
5-PC
DEPTH = 35"
6 #8 EACH WAY



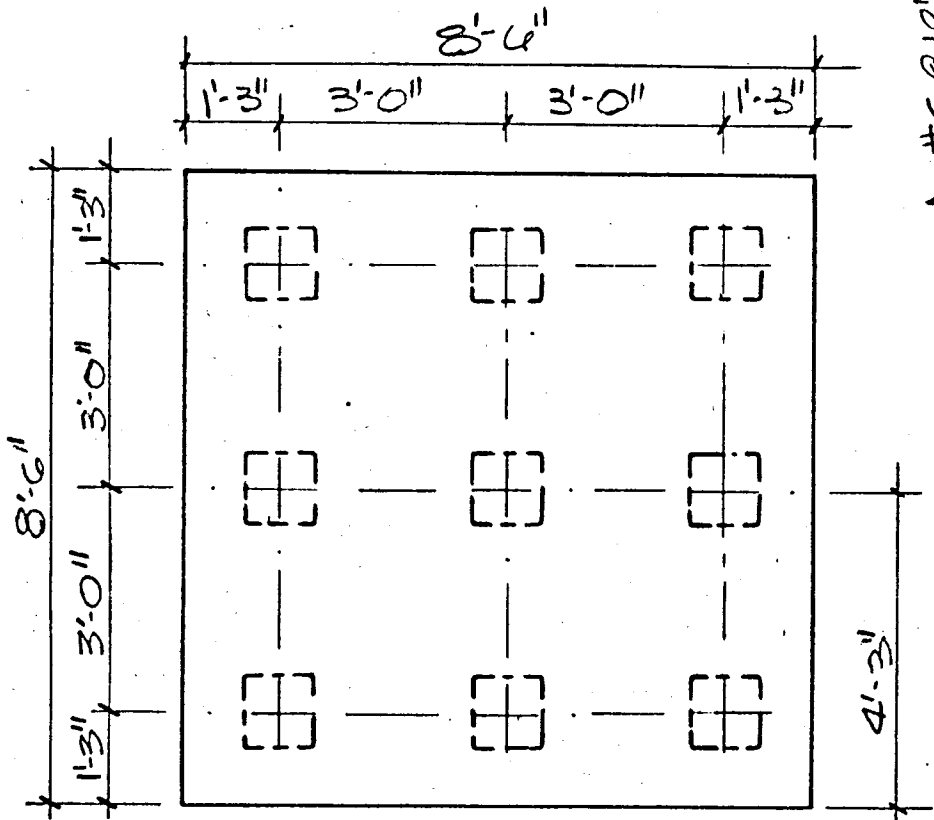
6-PC
DEPTH = 40"
6 #9 LONG WAY
12 #7 SHORT WAY



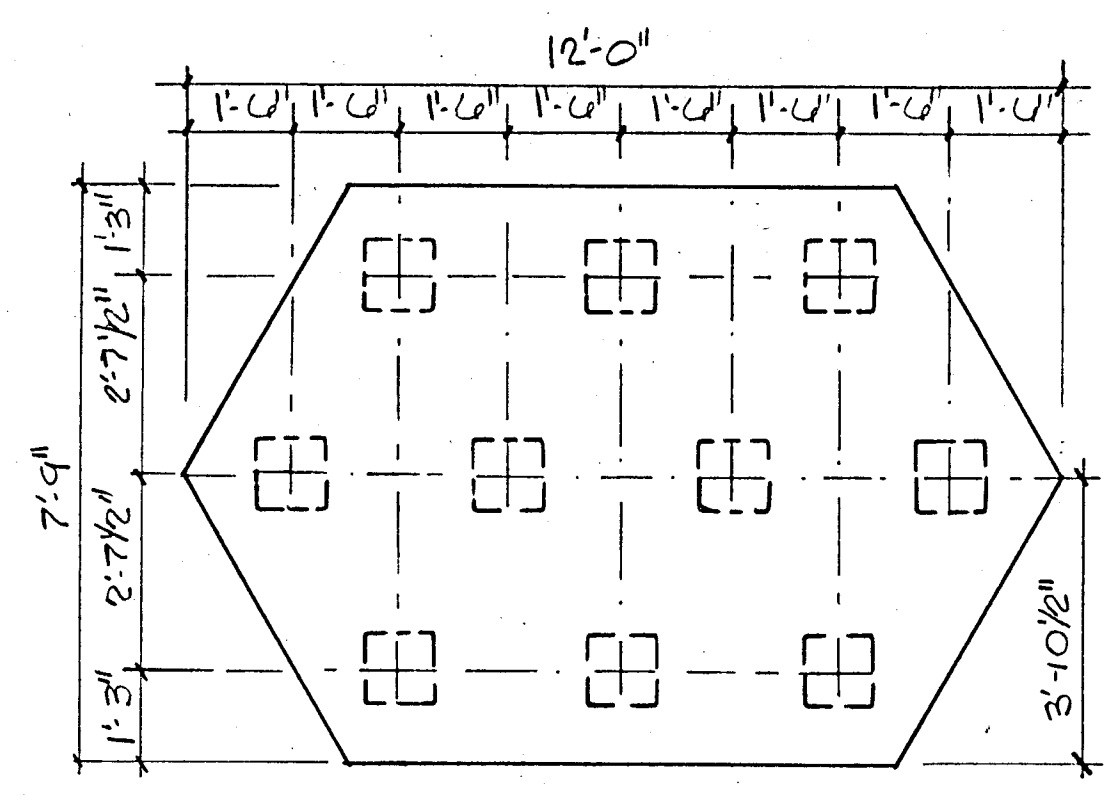
7-PC
DEPTH = 41"
6 #9 LONG WAY
8 #8 SHORT WAY



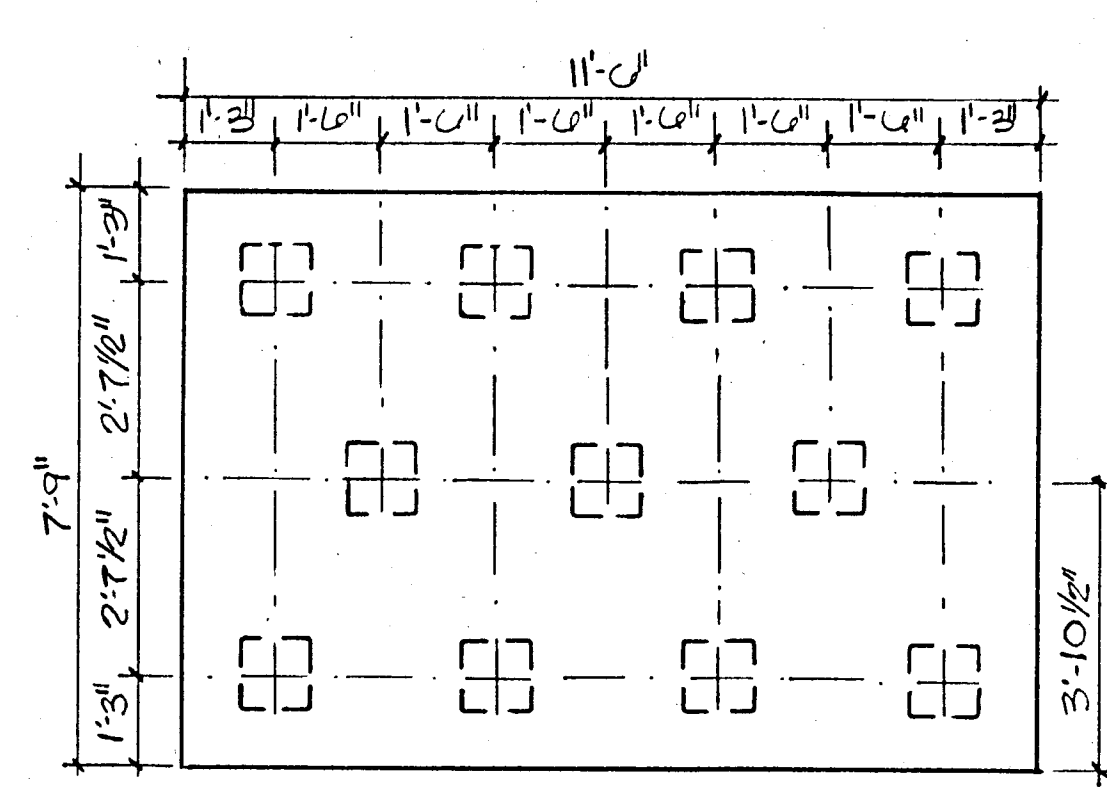
8-PC
DEPTH = 40"
6 #9, LONGWAY
7 #9, SHORTWAY



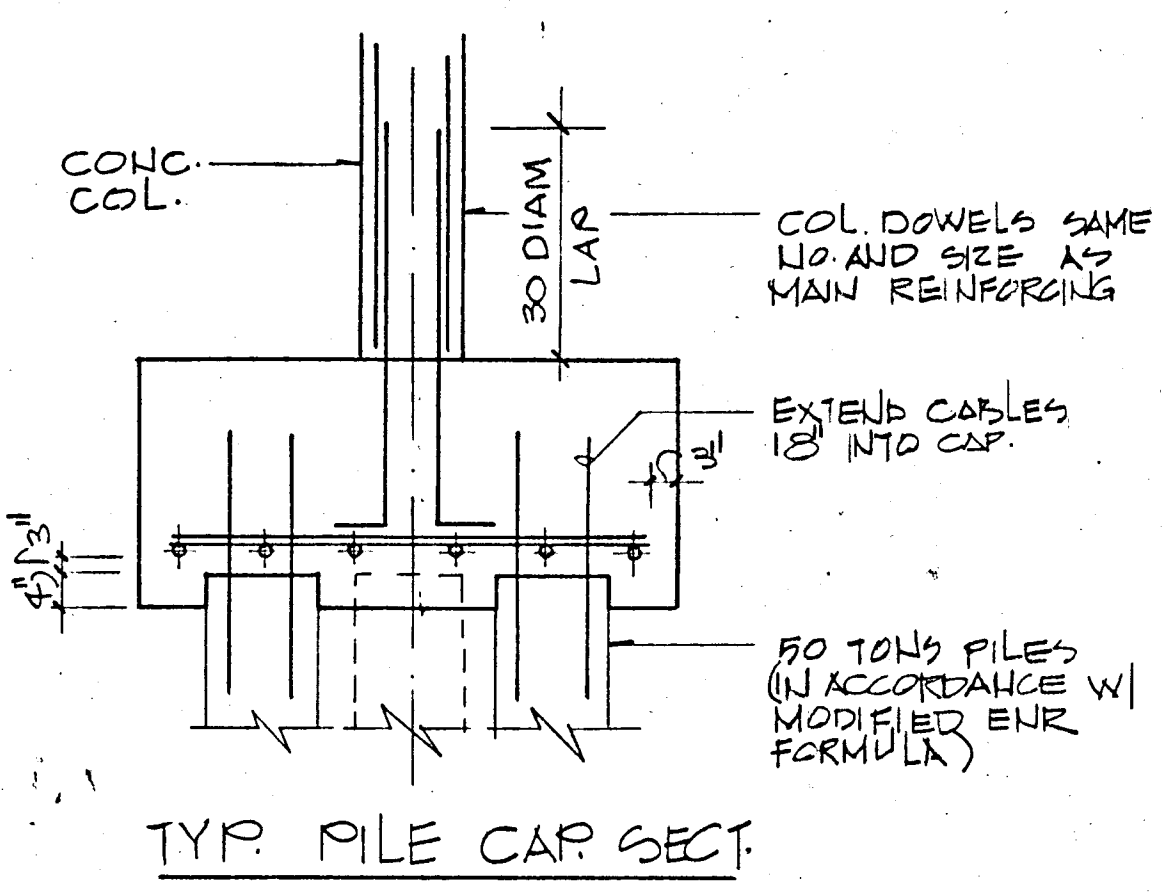
9-PC
DEPT = 45"
7 #9 EACH WAY BOT.



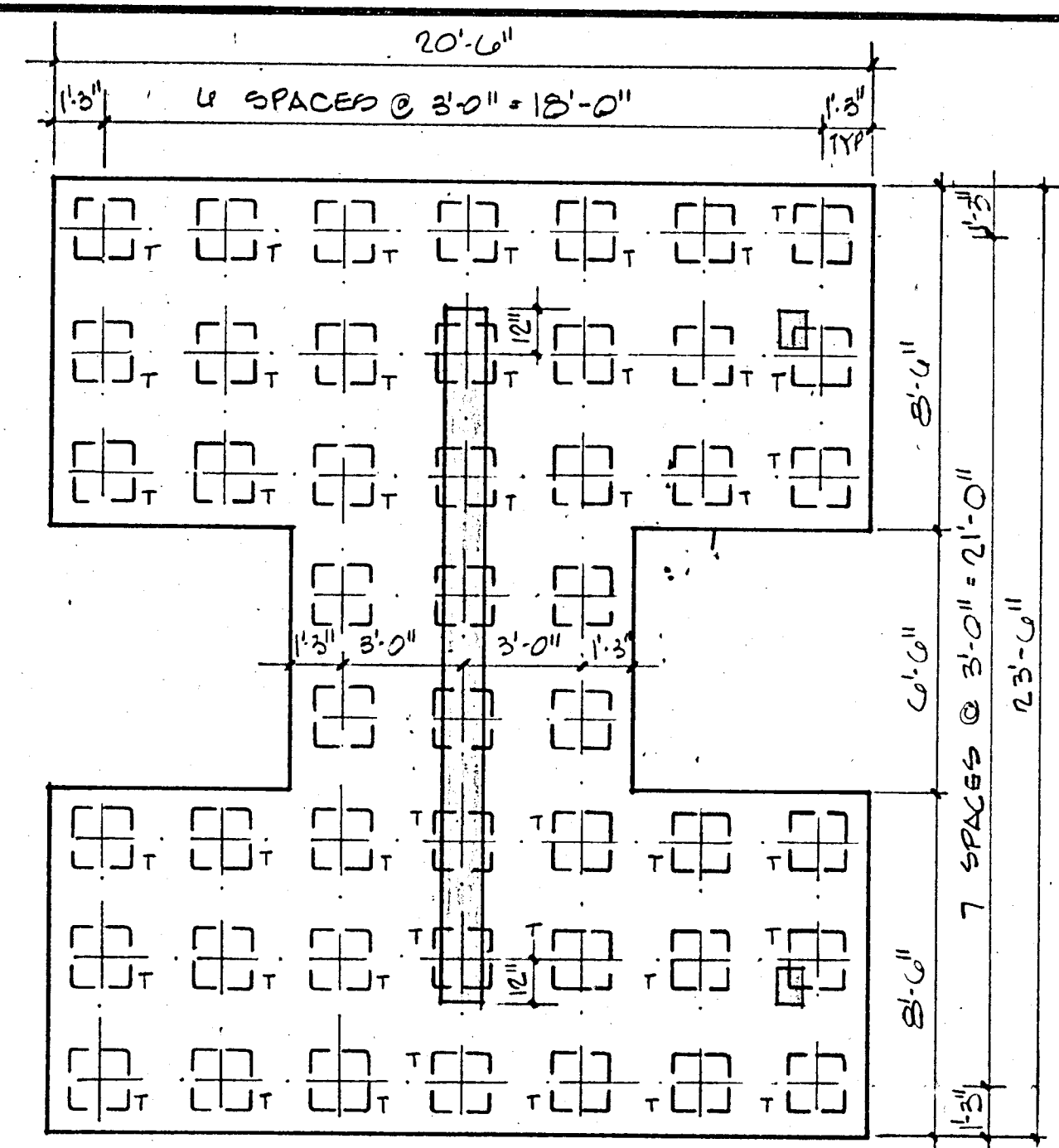
10-PC
DEPTH = 44"
6 #11 LONG WAY
10 #9 SHORT WAY
SCALE: 3/8"=1'-0"



11-PC
DEPTH = 47"
7 #11 LONG WAY
14 #8 SHORT WAY

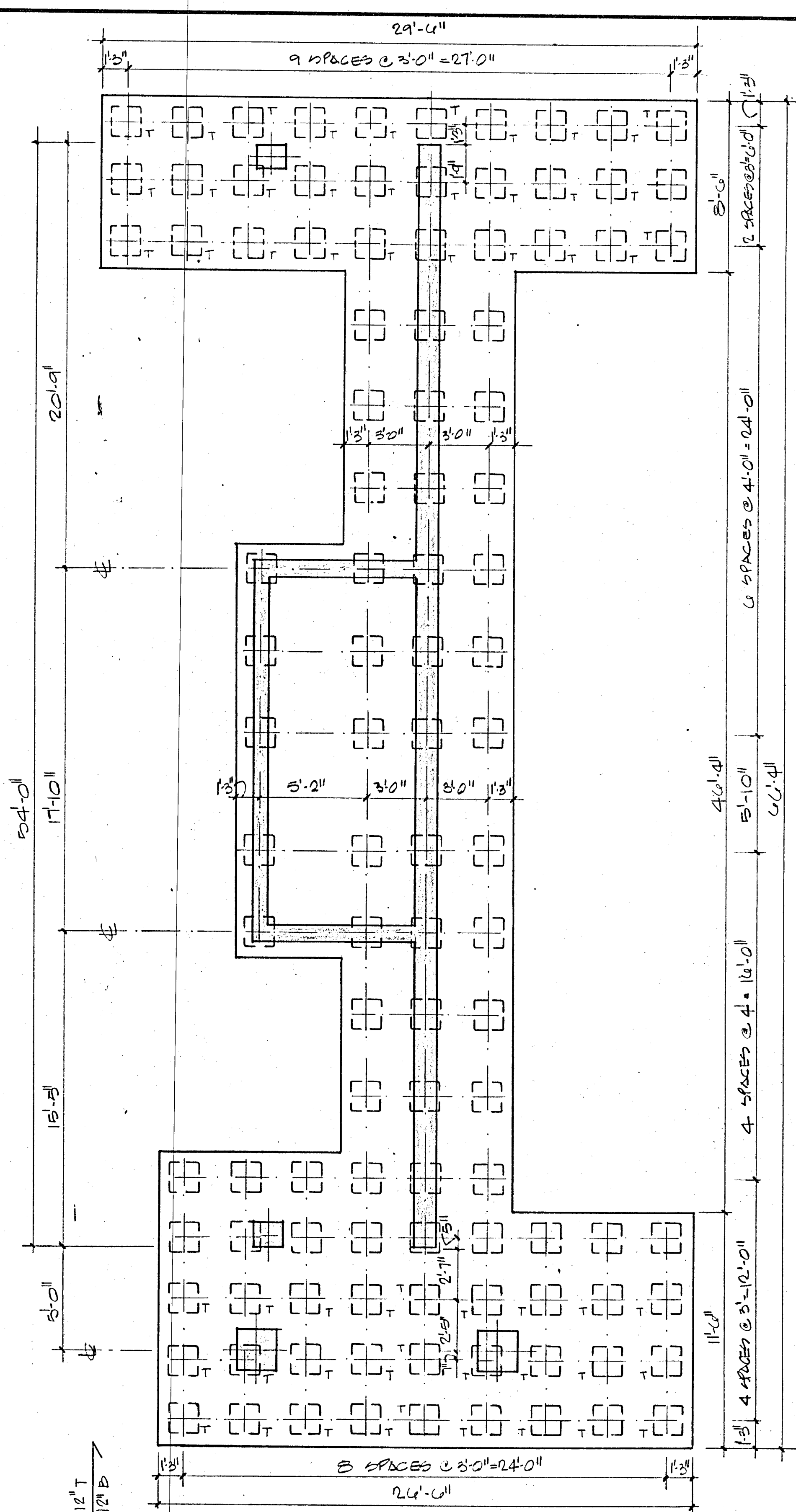


TYP. PILE CAP SECT.



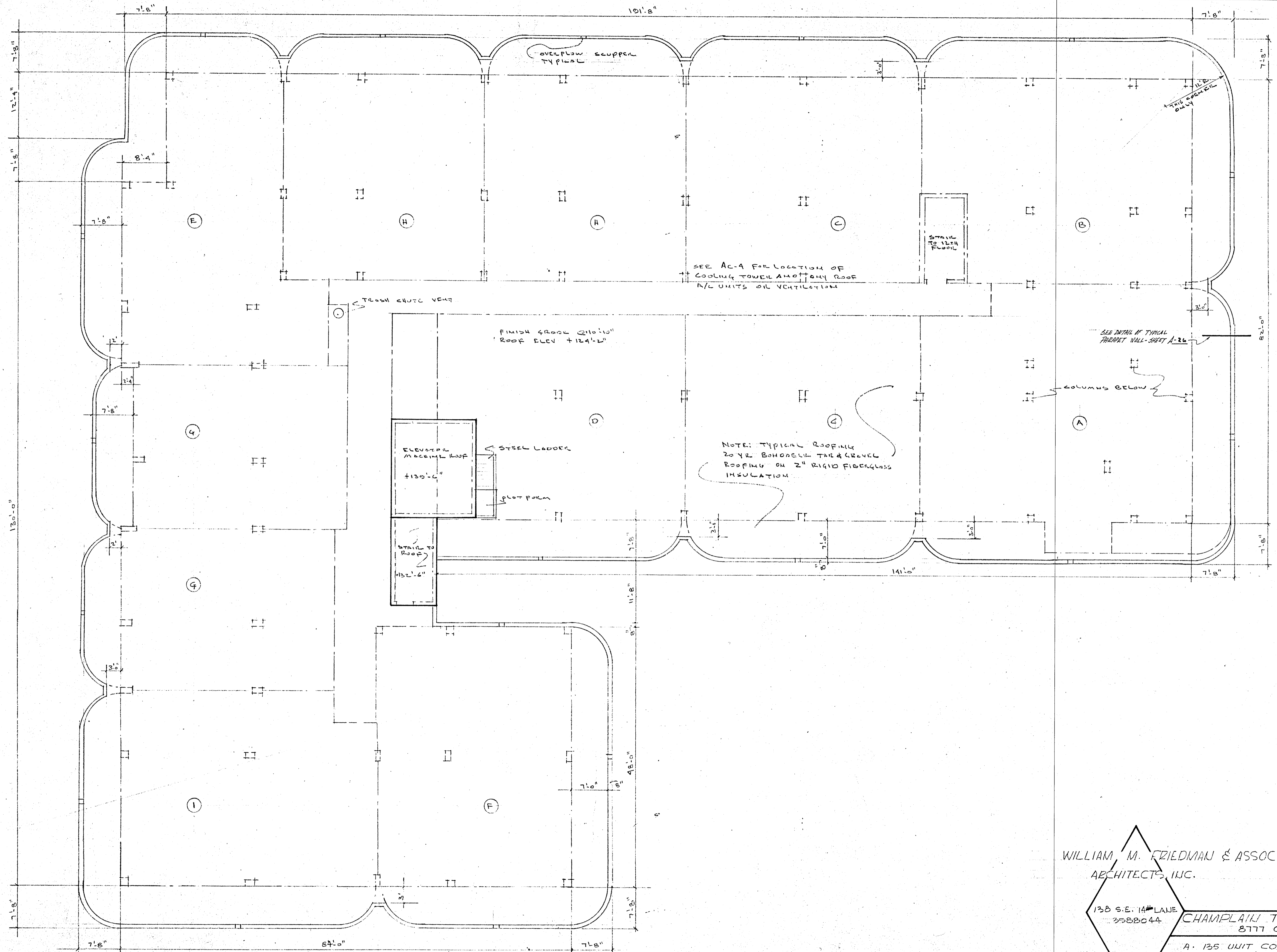
48-PC
DEPTH = 42"
SCALE: 1/4"=1'-0"

NOTE
"T" DENOTES TENSION PILES



110-PC
DEPTH = 42"
SCALE: 1/4"=1'-0"

PILE CAP DETAIL PLAN
SCALE AS SHOWN



ROOF PLAN
1/8" = 1'-0"

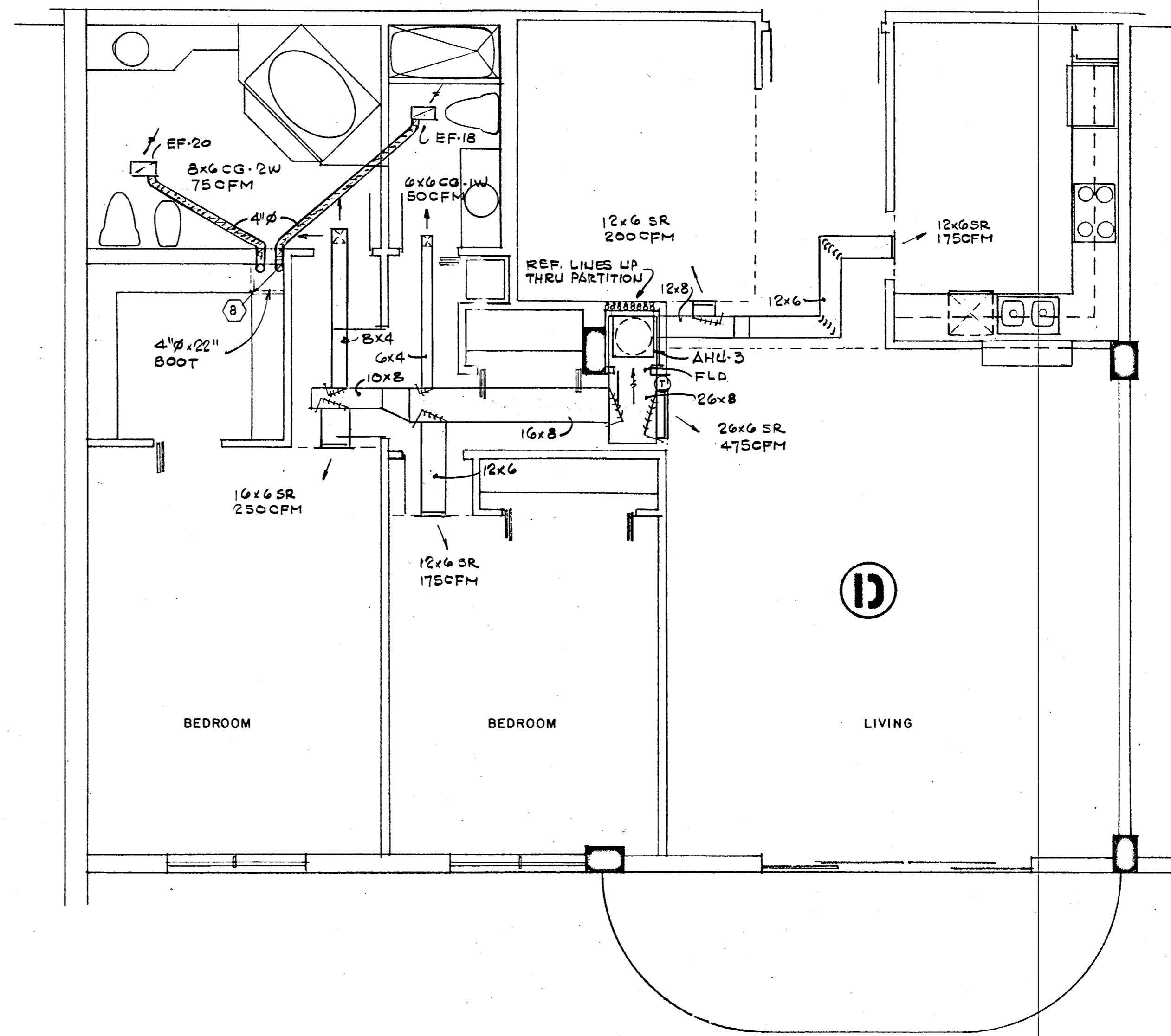
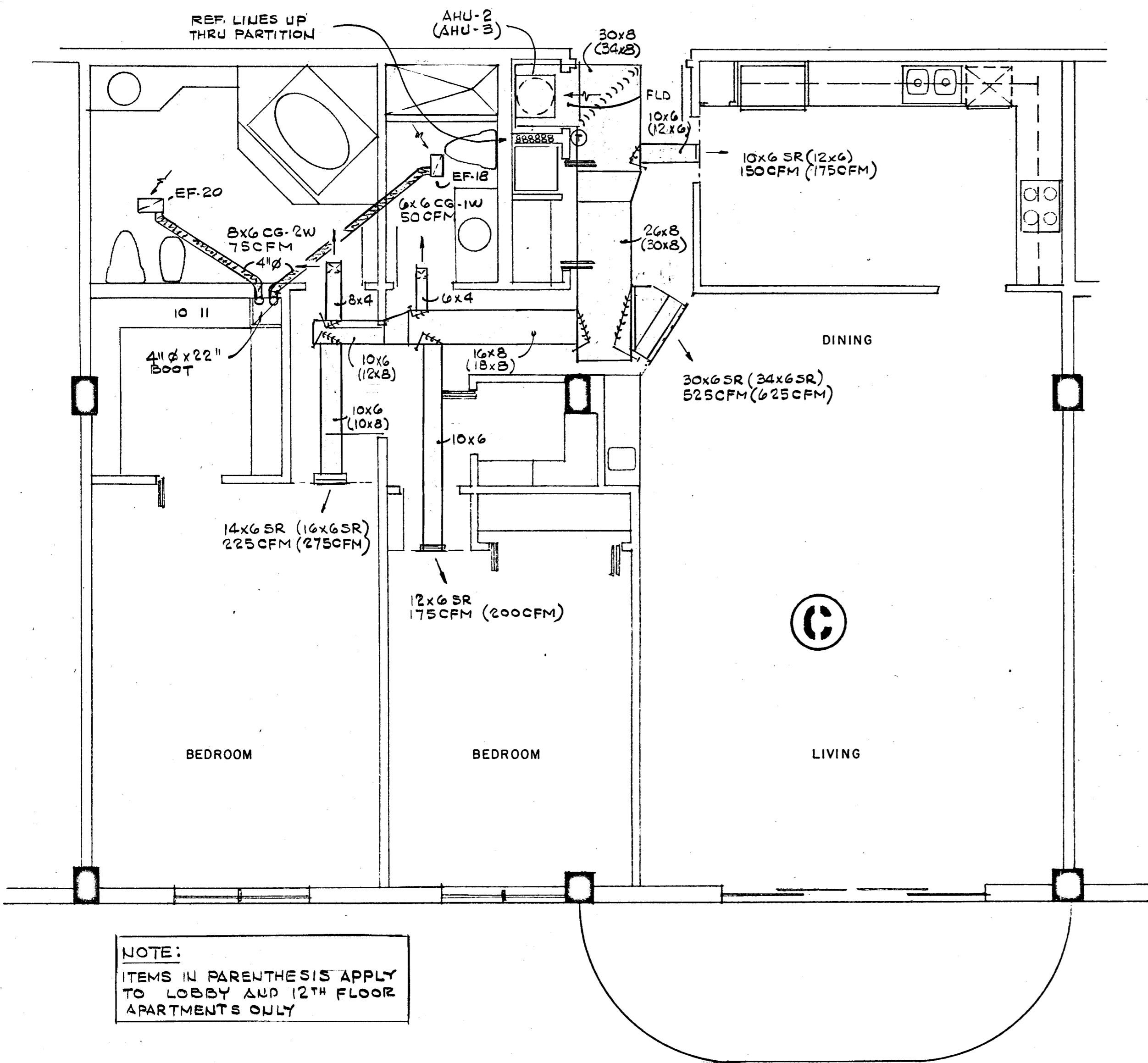
WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

138 S.E. 14TH LAKE
3588044

CHAMPLAIN TOWERS SOUTH
8777 COLLINS AVE.

A - 135 UNIT CONDOMINIUM

COMM. No	DATE:	SHEET
REV.		16 OF 30



NOTE:
ITEMS IN PARENTHESES APPLY TO LOBBY AND 12TH FLOOR APARTMENTS ONLY

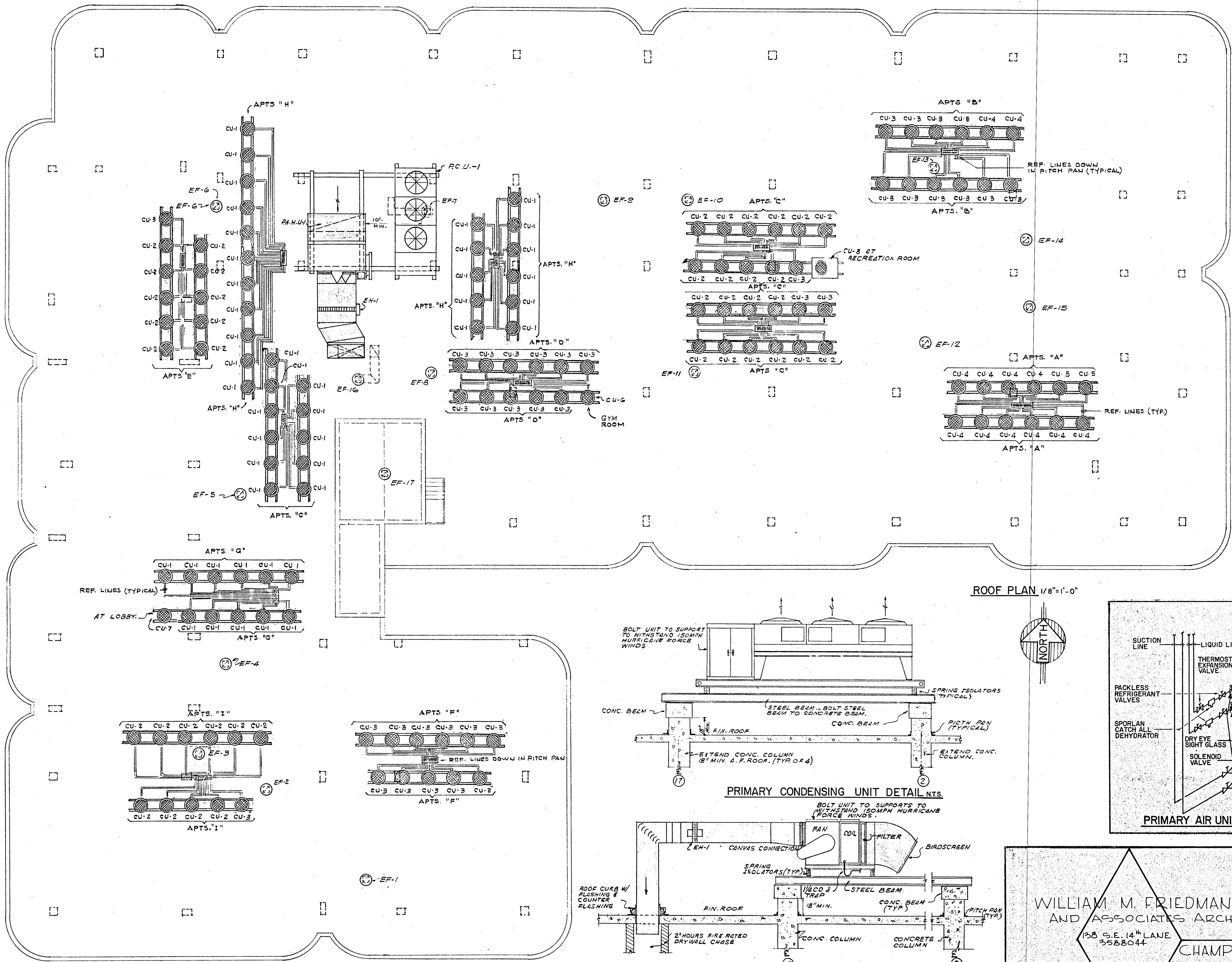
WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
128 S.E. 14th LANE
3588044

CHAMPLAIN TOWERS SOUTH

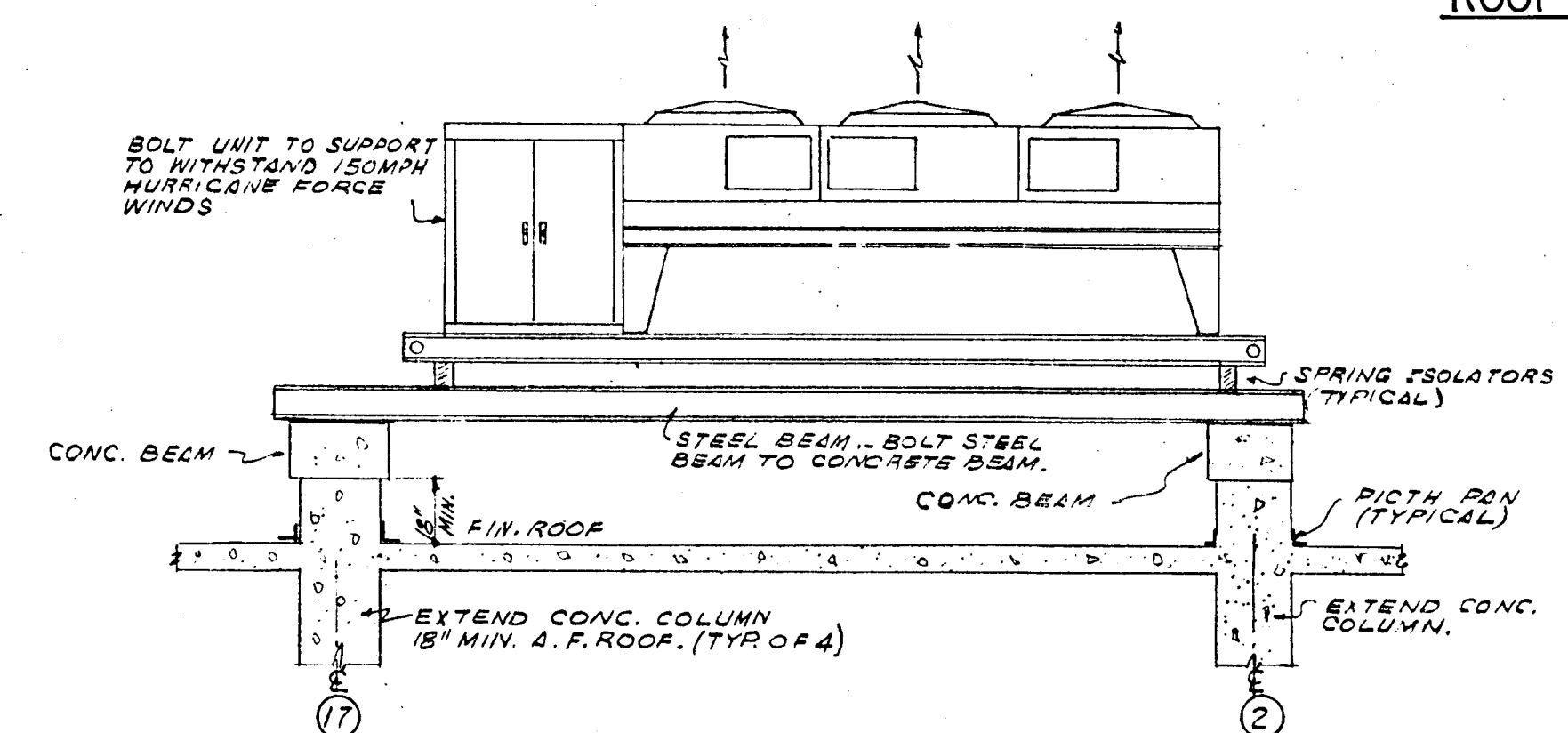
A- 135 UNIT CONDOMINIUM

COMM. No.	DATE: 8-13-79	SHEET No.
REV		ACG
		OF 9 SHEETS

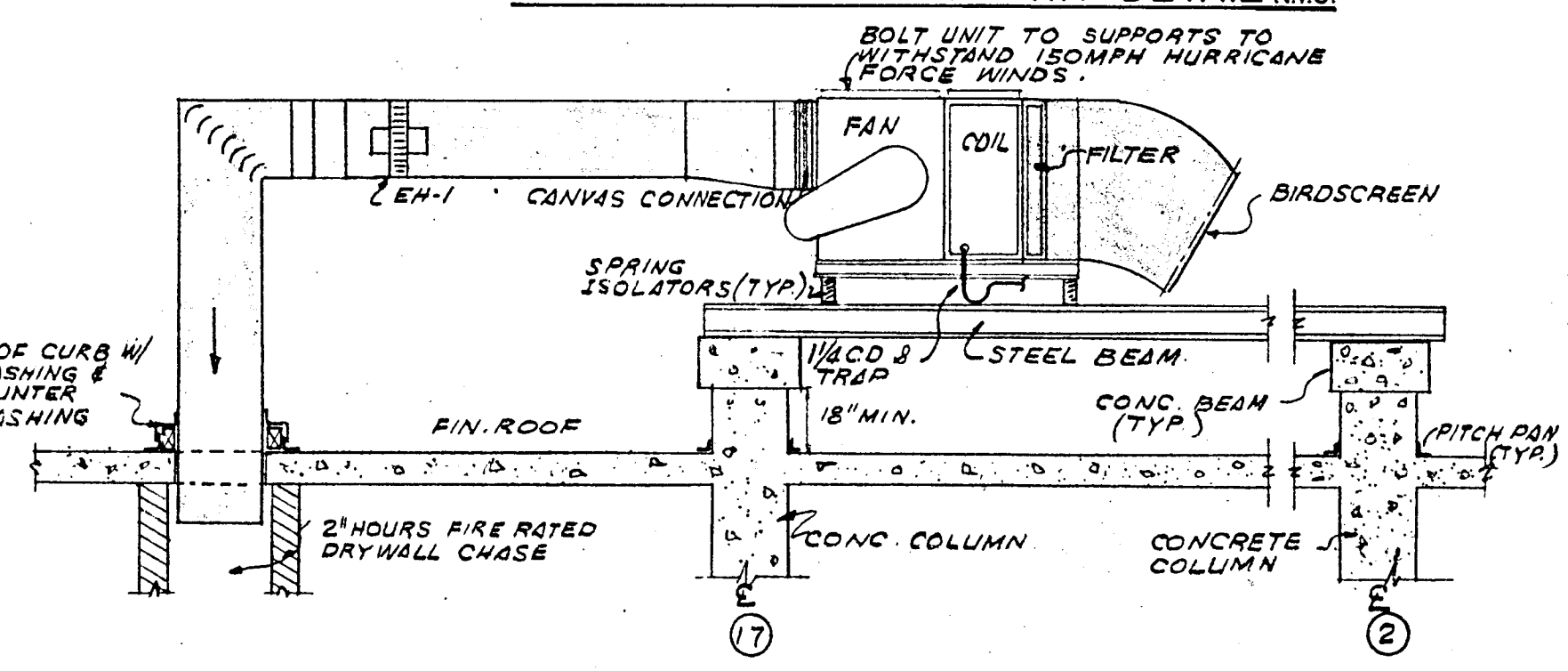
Salomon Miller 8/17/79



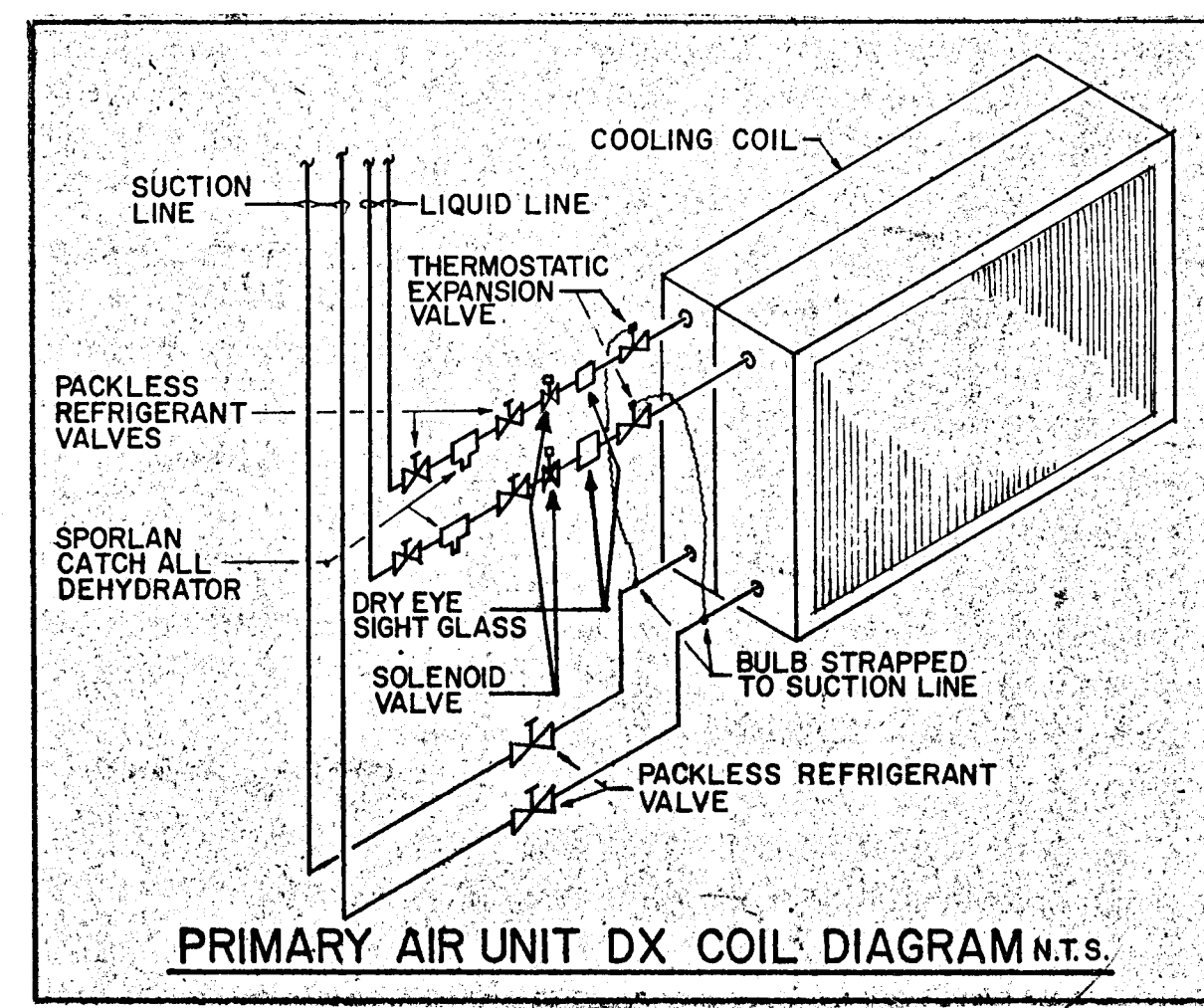
ROOF PLAN 1/8"=1'-0"



PRIMARY CONDENSING UNIT DETAIL N.T.S.



PRIMARY AIR HANDLING UNIT DETAIL N.T.S.



PRIMARY AIR UNIT DX COIL DIAGRAM N.T.S.

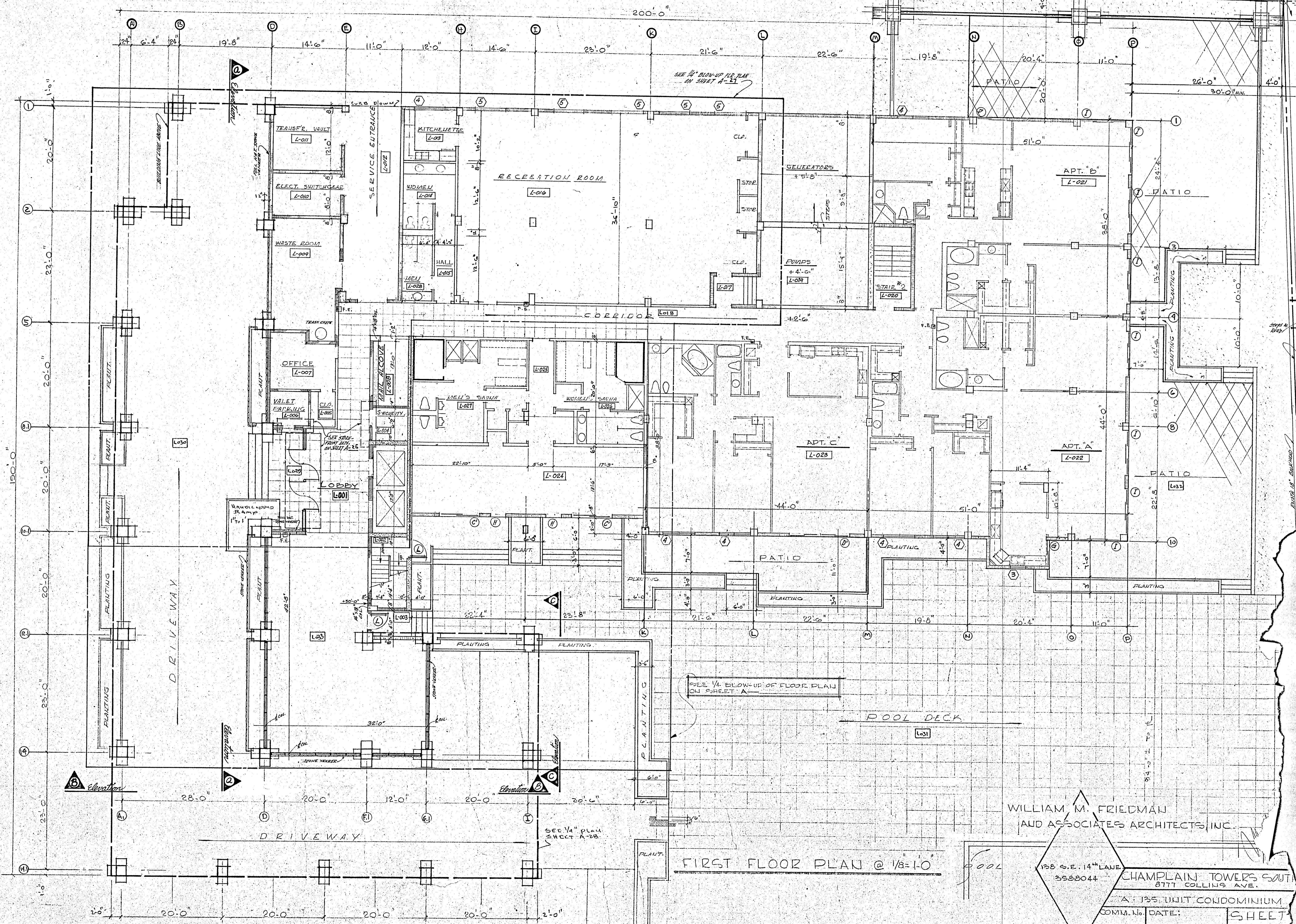
WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
138 S.E. 14TH LANE
3388044

CHAMPLAIN TOWERS SOUTH
A-135 UNIT CONDOMINIUM

COMM. No. DATE: 8-13-79
REV. SHEET No. AC4 OF-9

FLORIDA ENGINEERING SERVICES
252 NE 167 STREET
MIAMI BCH, FLA 33132 945-473

Salvador Muler
8/13/79



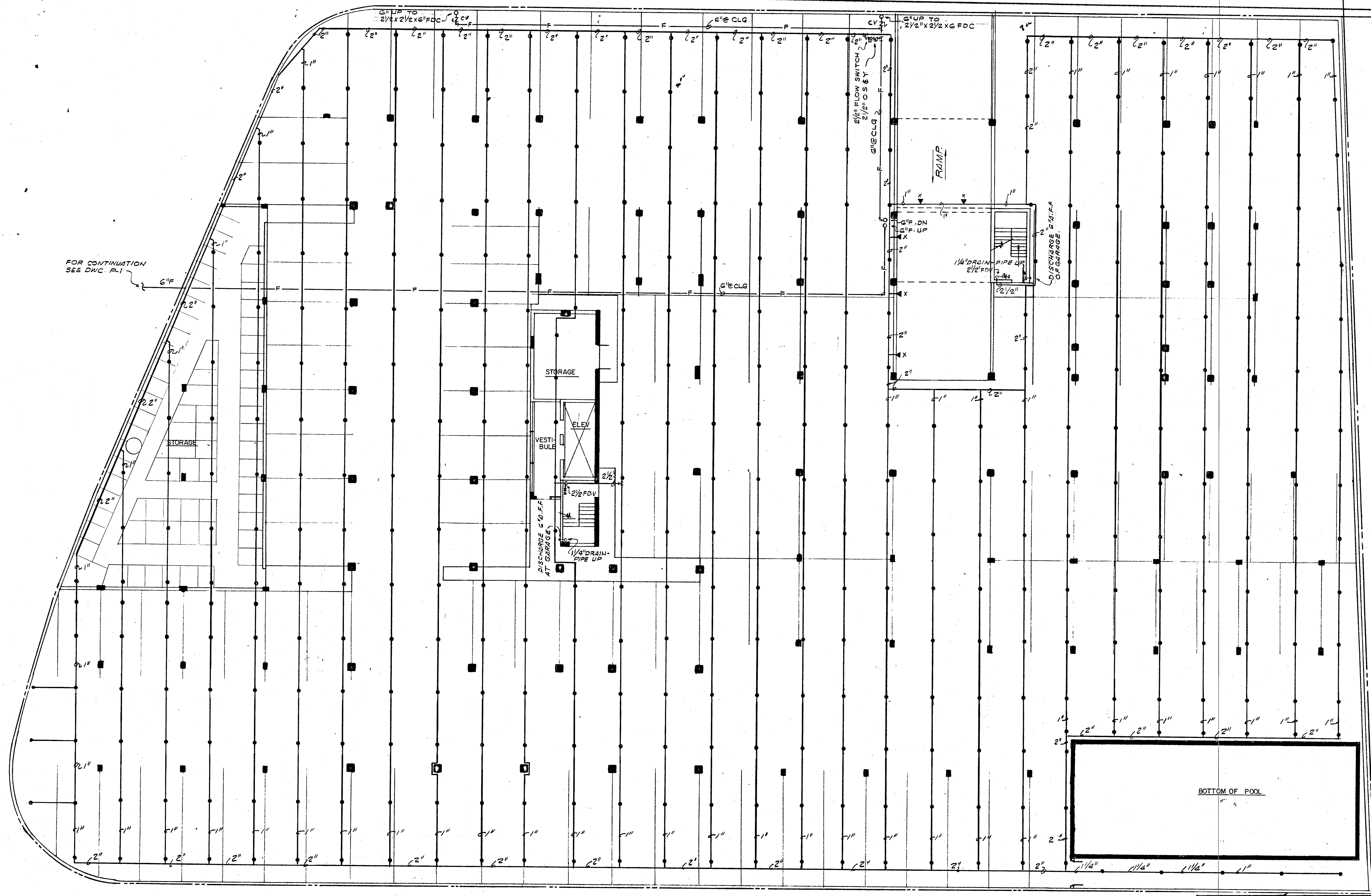
FIRST FLOOR PLAN @ 1/8" = 1'-0"

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS SOUTH
8777 COLLINGS AVE.

A: 135 UNIT CONDOMINIUM
COMM. No. DATE: SHEET
REV: 12



FOR CONTINUATION
SEE DWG. P-1

STORAGE

STORAGE

VESTIBULE

DISCHARGE AT GARAGE

1/4" DRAIN PIPE UP

RAMP

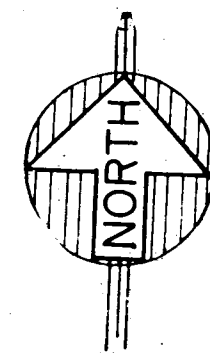
DISCHARGE AT GARAGE

BOTTOM OF POOL

NOTE: HYDRAULICALLY CALCULATED FIRE SPRINKLER SYSTEM SIZED FOR ORDINARY HAZARD OCCUPANCY

GARAGE LEVEL-FLOOR PLAN

SCALE: 3/32"=1'-0"



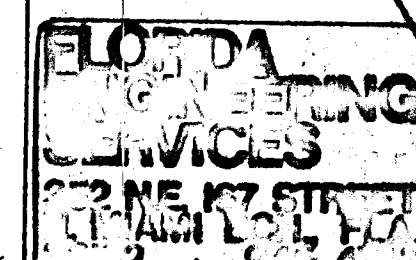
NOTE: TAMPER SWITCHES & FLOW SWITCHES TO BE FURNISHED BY FIRE SPRINKLER CONTRACTOR & INSTALLED BY ELECT. CONTRACTOR.

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, I.I.C.
138 S.E. 14th LANE
3588044

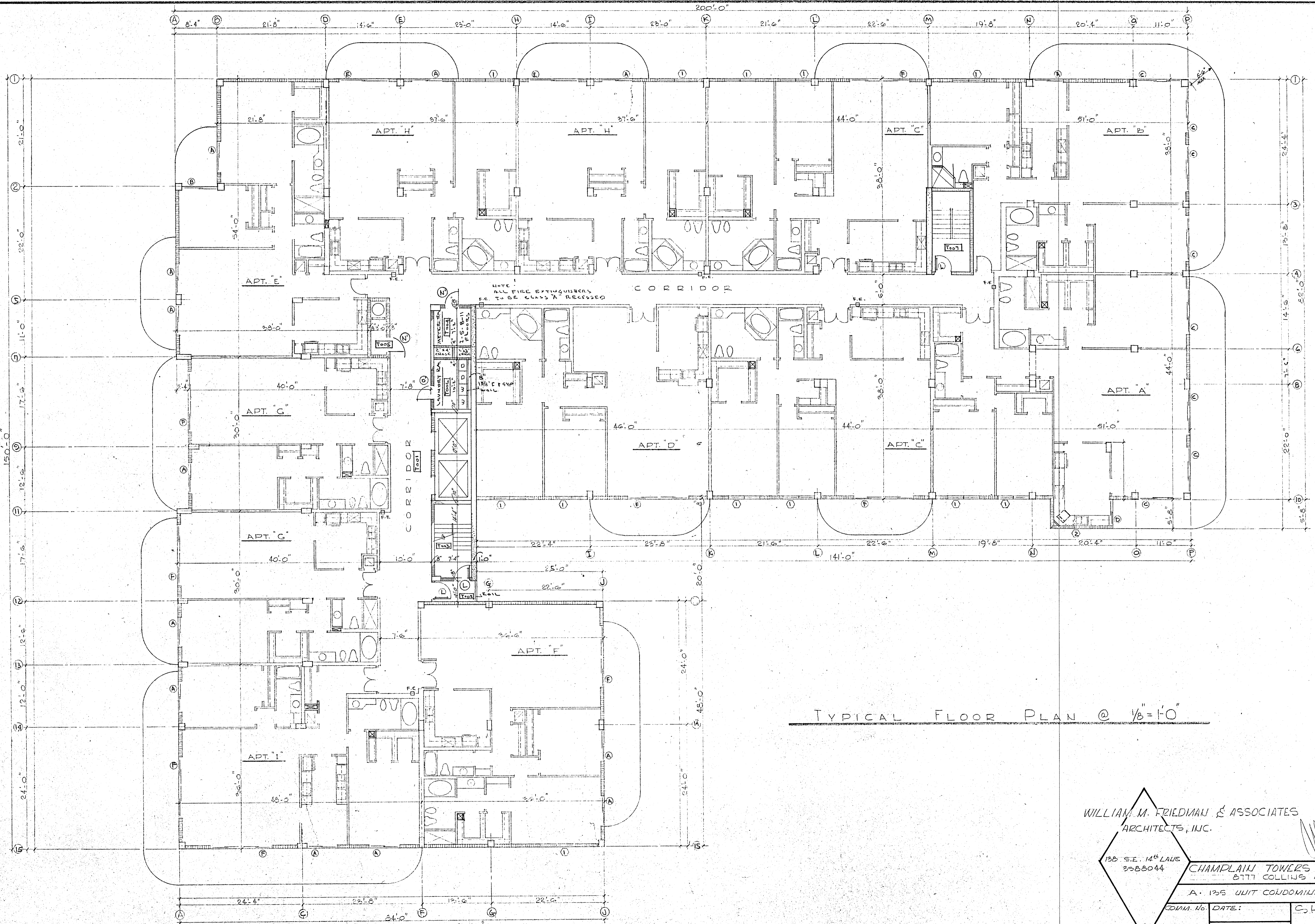
CHAMPLAIN TOWERS SOUTH

A- 135 UNIT CONDOMINIUM

COMM. No. DATE: 8-13-79 SHEET No. SP-1 OF 3



Selwyn Rayner
8/13/79



TYPICAL FLOOR PLAN @ 1/8" = 1'-0"

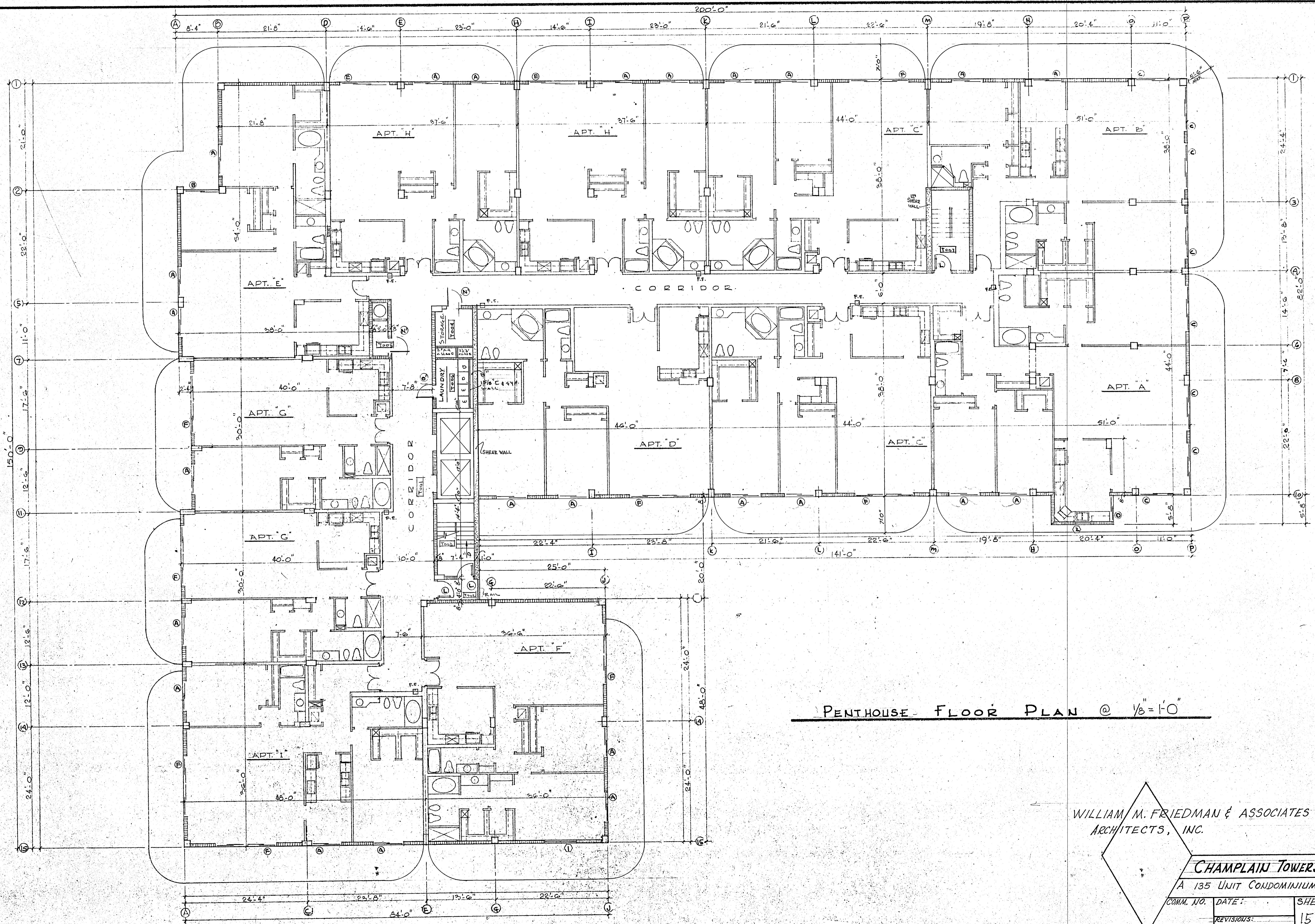
WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

135 S.E. 14th LANE
3358044

CHAMPLAIN TOWERS SOUTH
8777 COLLINS AVE.

A. 135 UNIT CONDOMINIUM

COM. No.	DATE:	SHEET
REV.		14 OF 30



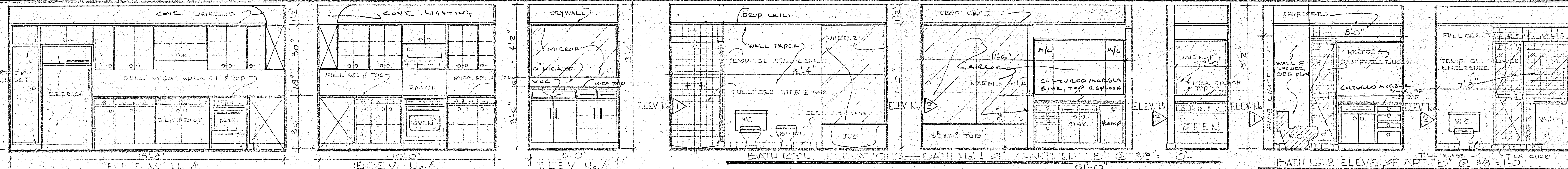
PENTHOUSE FLOOR PLAN @ 1/8" = 1'-0"

WILLIAM M. FRIEDMAN & ASSOCIATES
ARCHITECTS, INC.

CHAMPLAIN TOWERS SOUTH

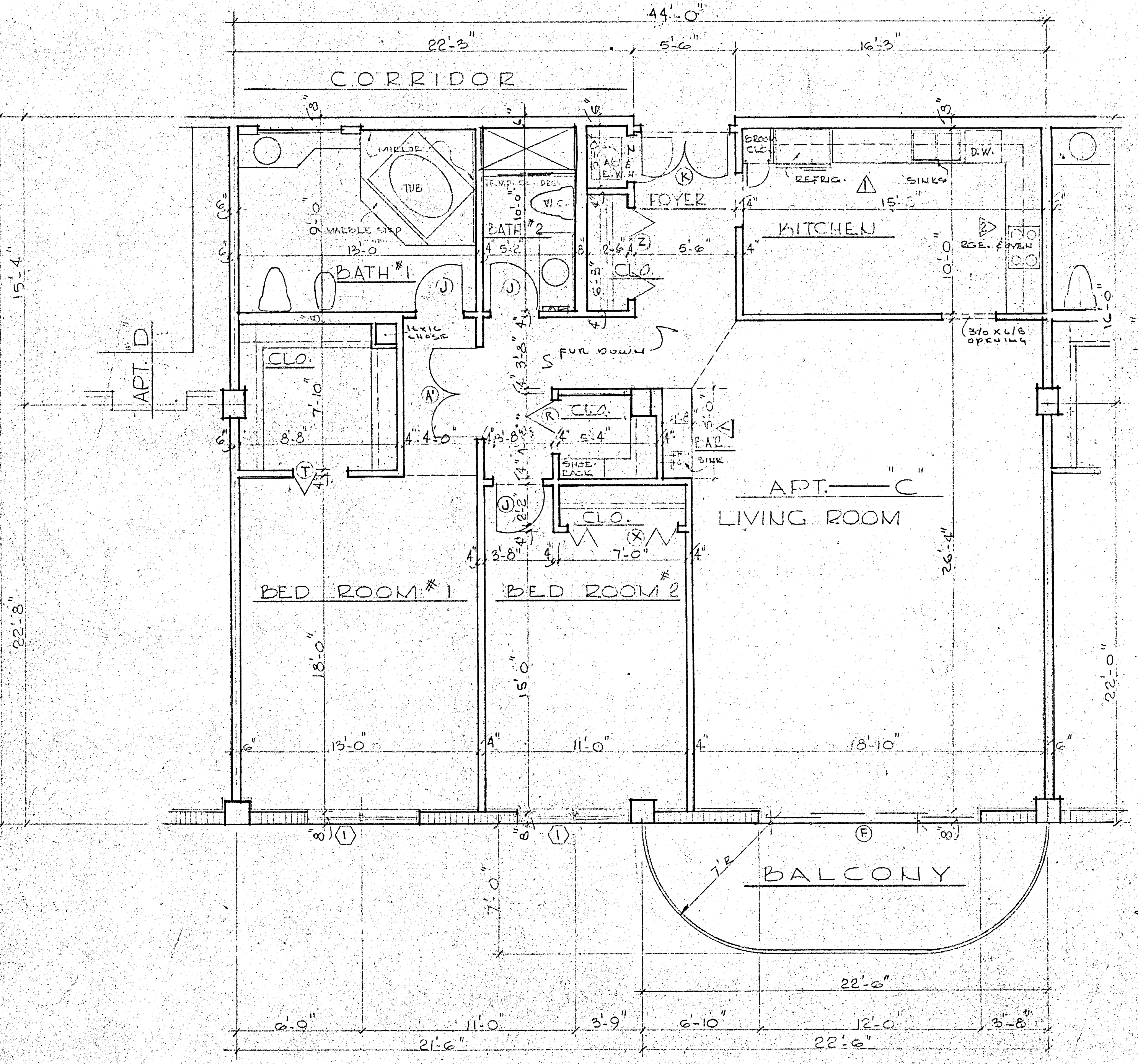
A 135 UNIT CONDOMINIUM

COMM. NO.	DATE:	SHEET NO.
		15 OF 30
REVISIONS:		

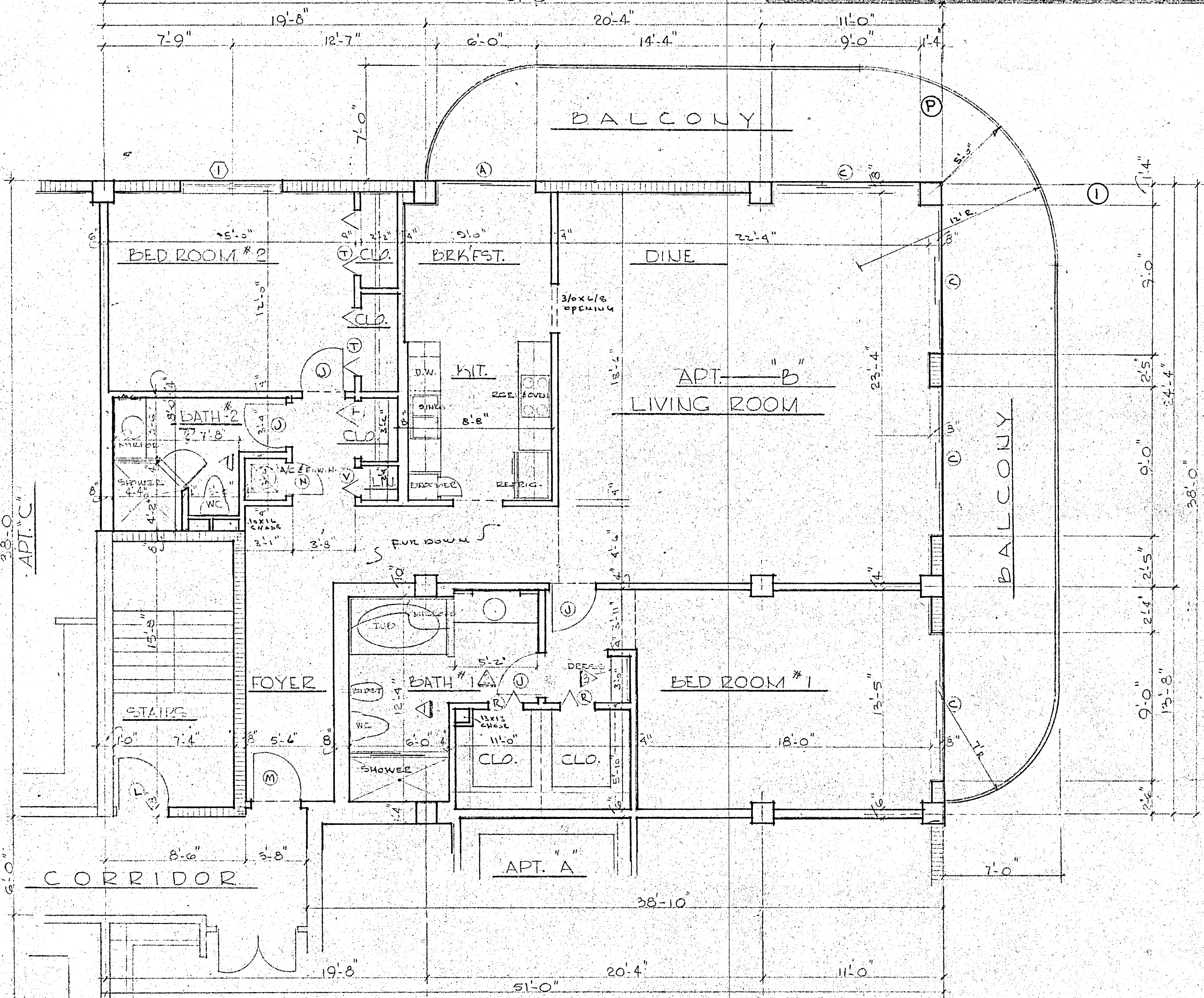


KITCHEN ELEVATIONS OF APARTMENT "C" @ 3/8"=1'-0" BATH ELEV. OF APT. "C"

NOTES:
 BATHS, UTILS No. 2 OF APT. "C" — SIMILAR TO BATHS No. 1 & 2 OF APT. "D" SEE SHT. No. 20 OF 30
 KITCHEN ELEVATIONS OF "C" — SIMILAR TO KITCHEN ELEV. 3 OF APT. "I" SEE SHT. No. 21 OF 30



TYPICAL FLOOR PLAN APT. "C" @ 1/4"=1'-0"

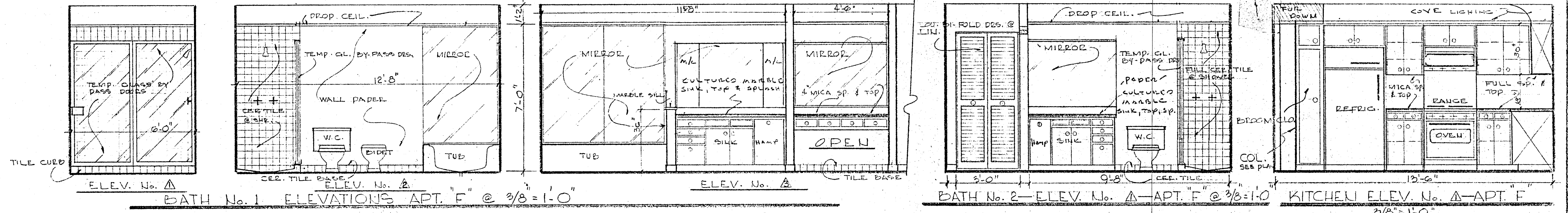


TYPICAL FLOOR PLAN APT. "B" @ 1/4"=1'-0"

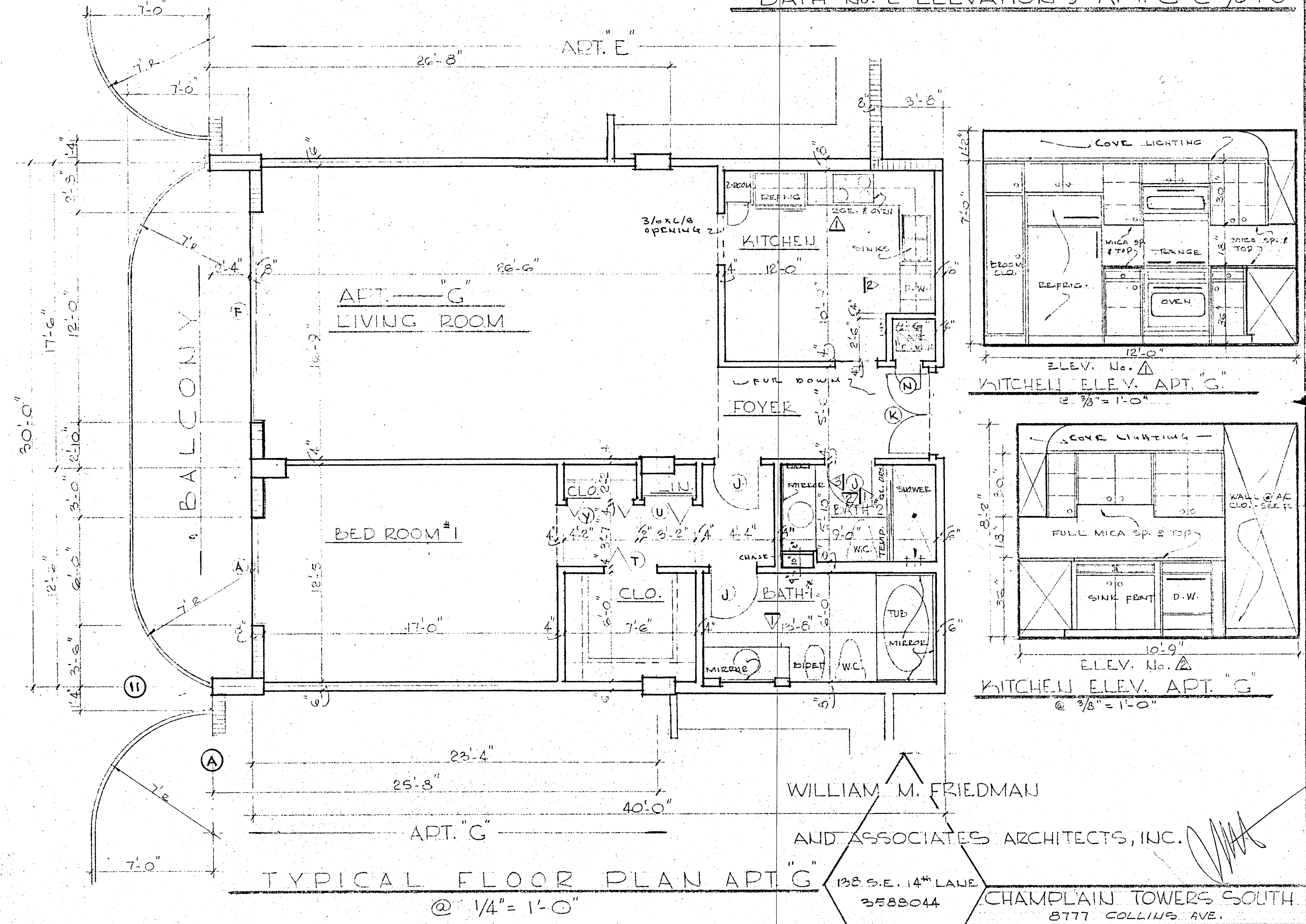
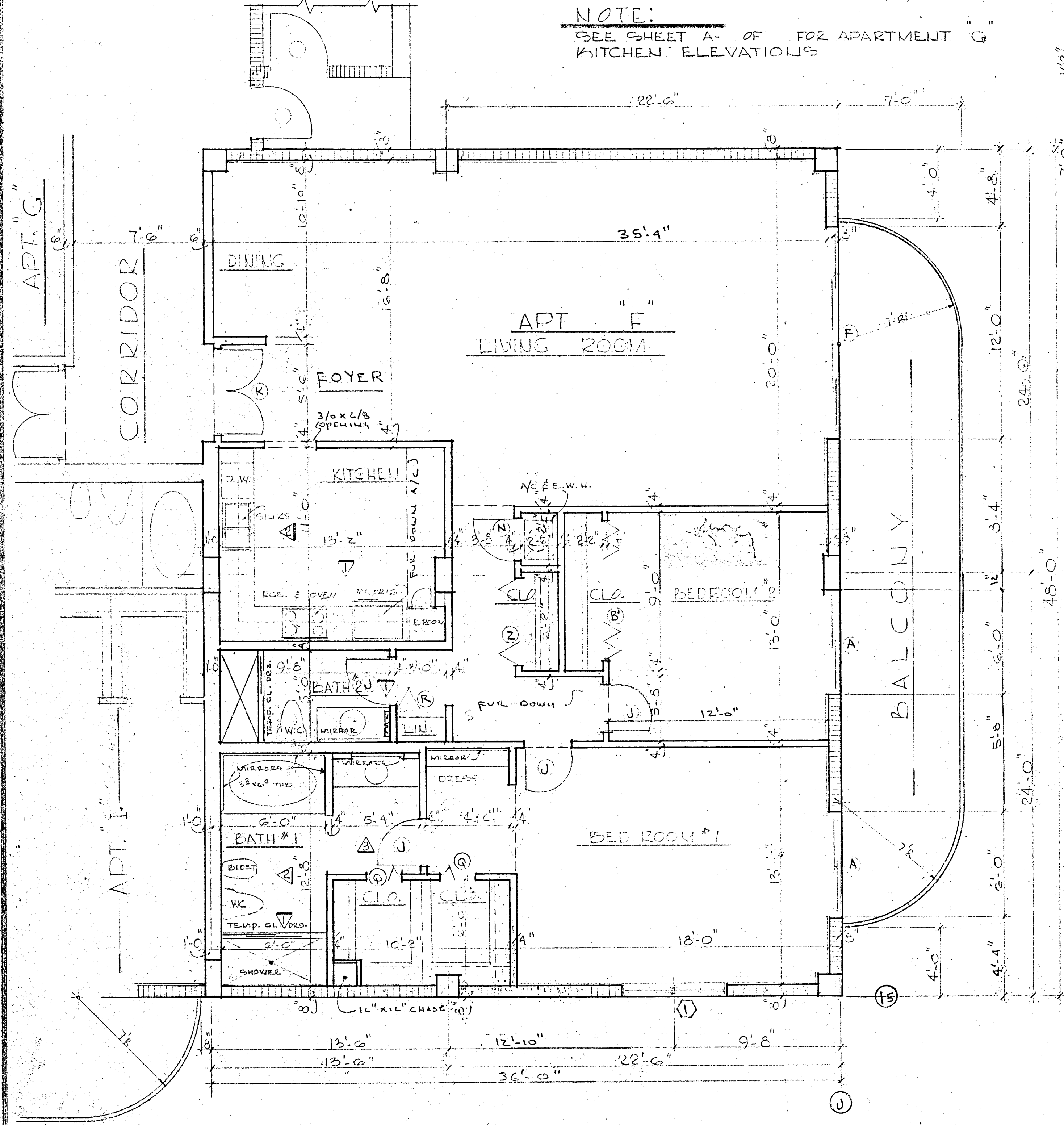
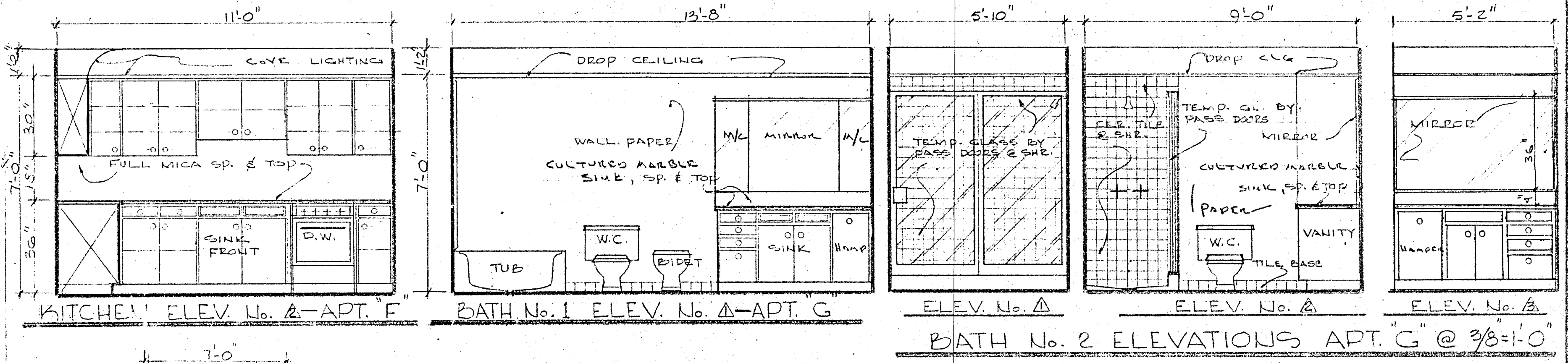
WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC.

135 S.E. 14 th LANE 3588044	CHAMPLAIN TOWERS SOUTH 8777 COLLINS AVE. A. 135 UNIT CONDOMINIUM COMM. UG. DATE: _____	SHEET 17 OF 30
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[Handwritten signature]



NOTE:
SEE SHEET A- OF FOR APARTMENT G
KITCHEN ELEVATIONS



WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

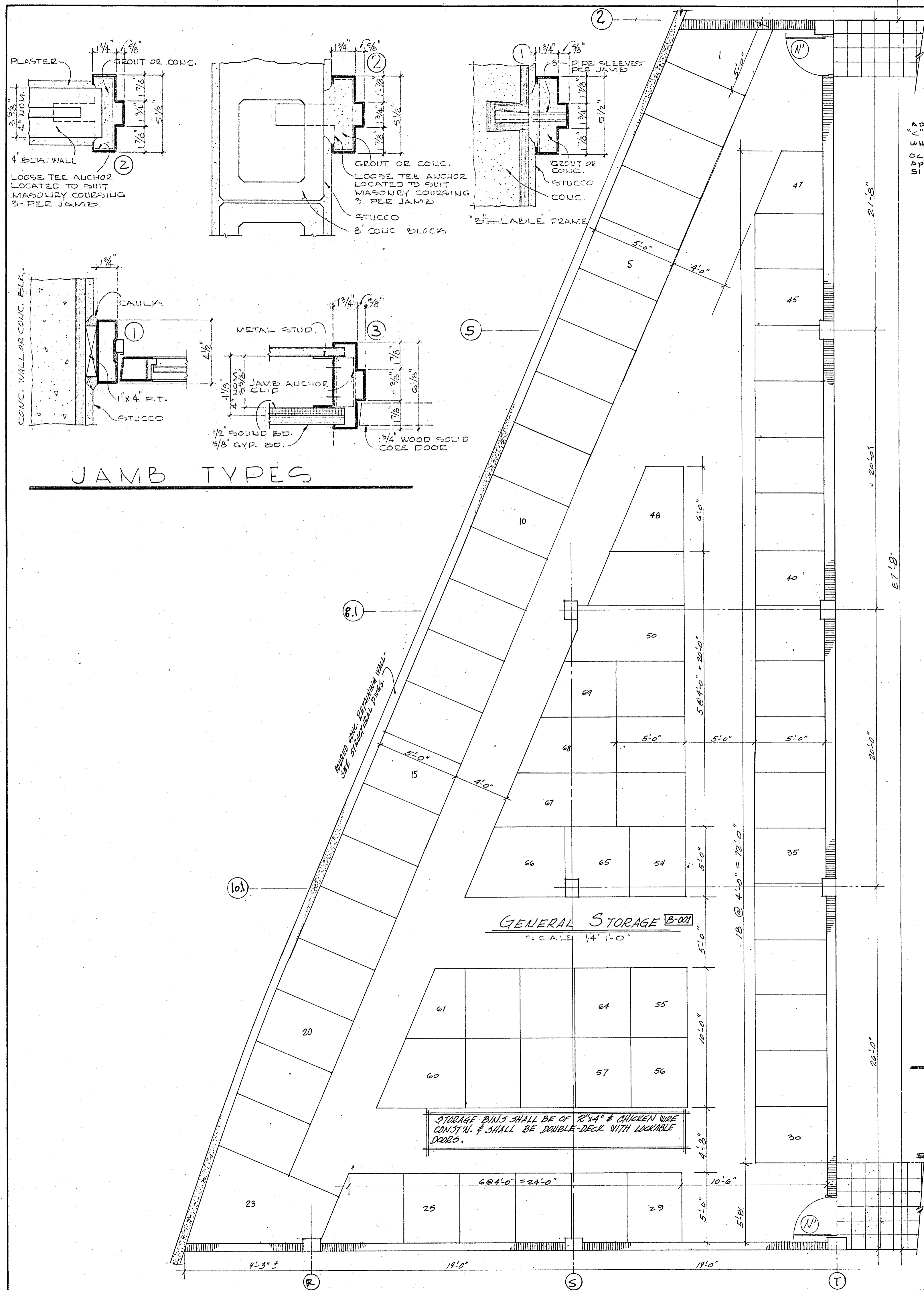
138 S.E. 14th LANE
3588044

CHAMPLAIN TOWERS SOUTH
8777 COLLINS AVE.

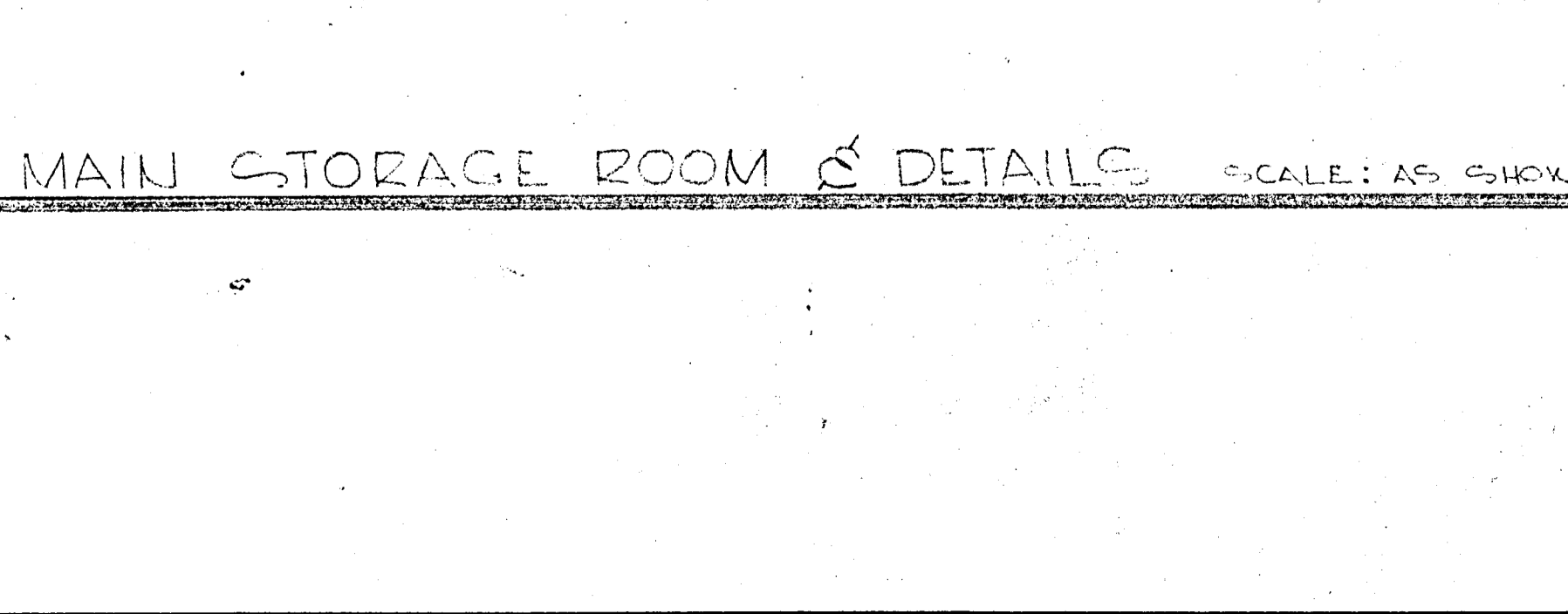
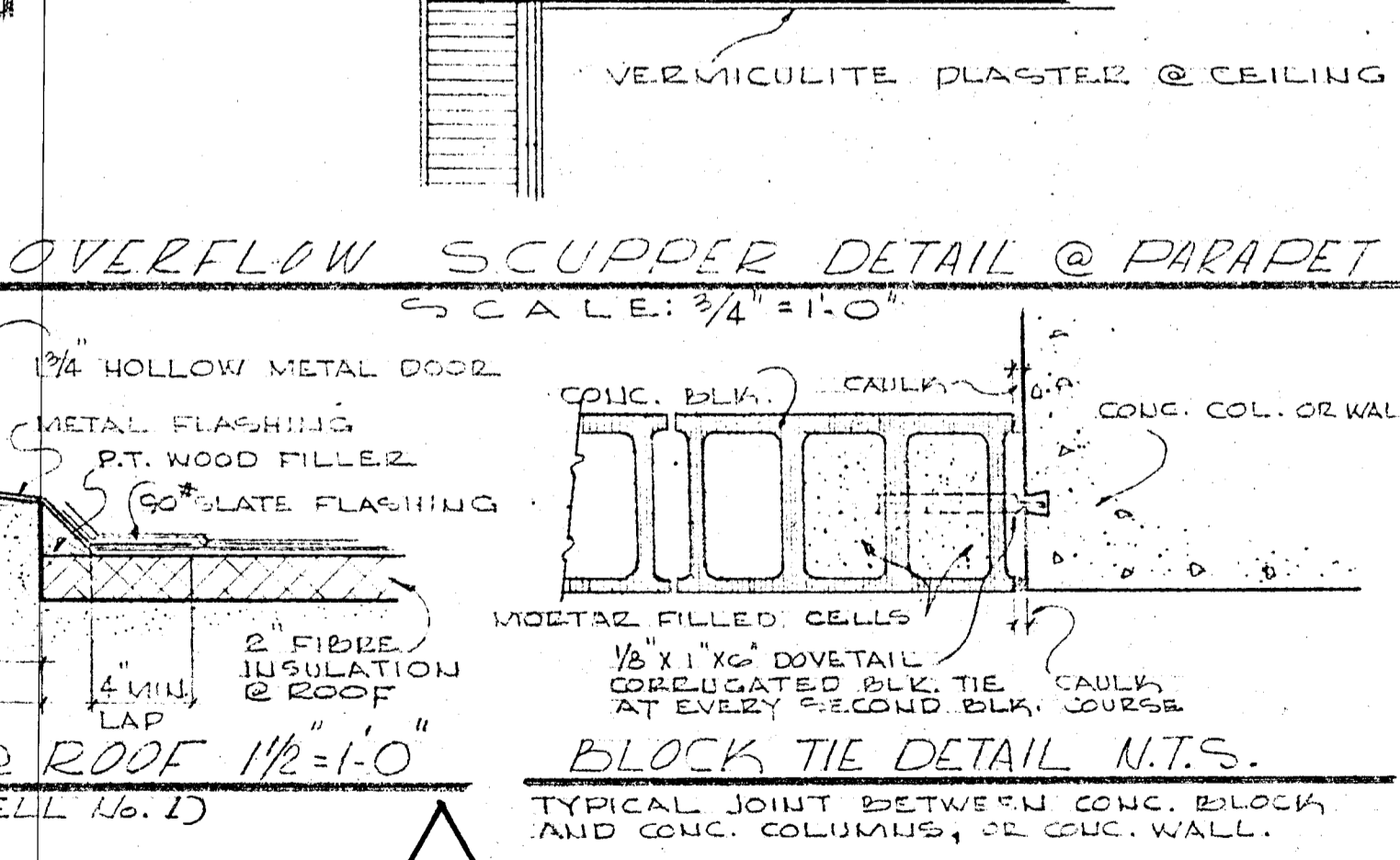
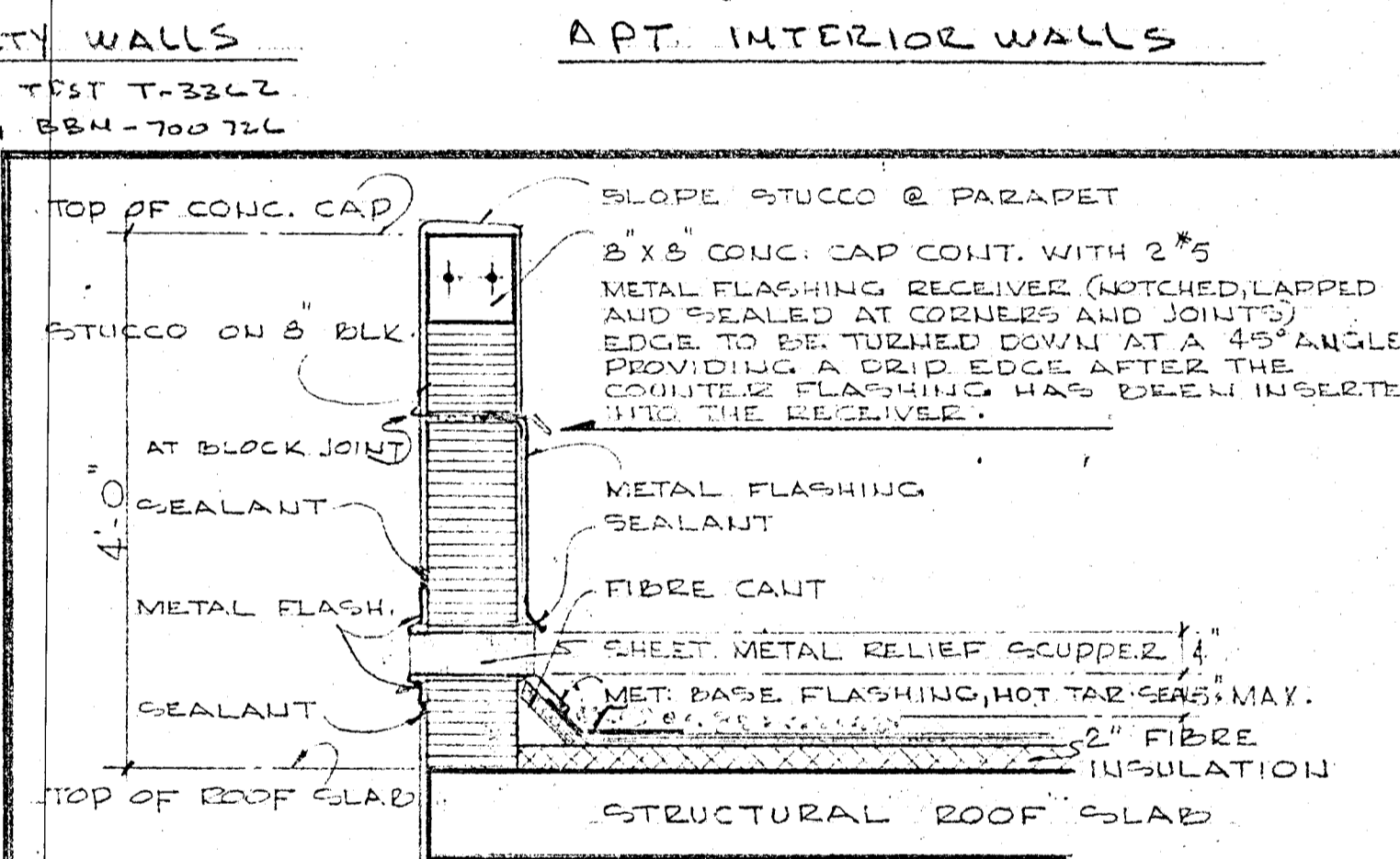
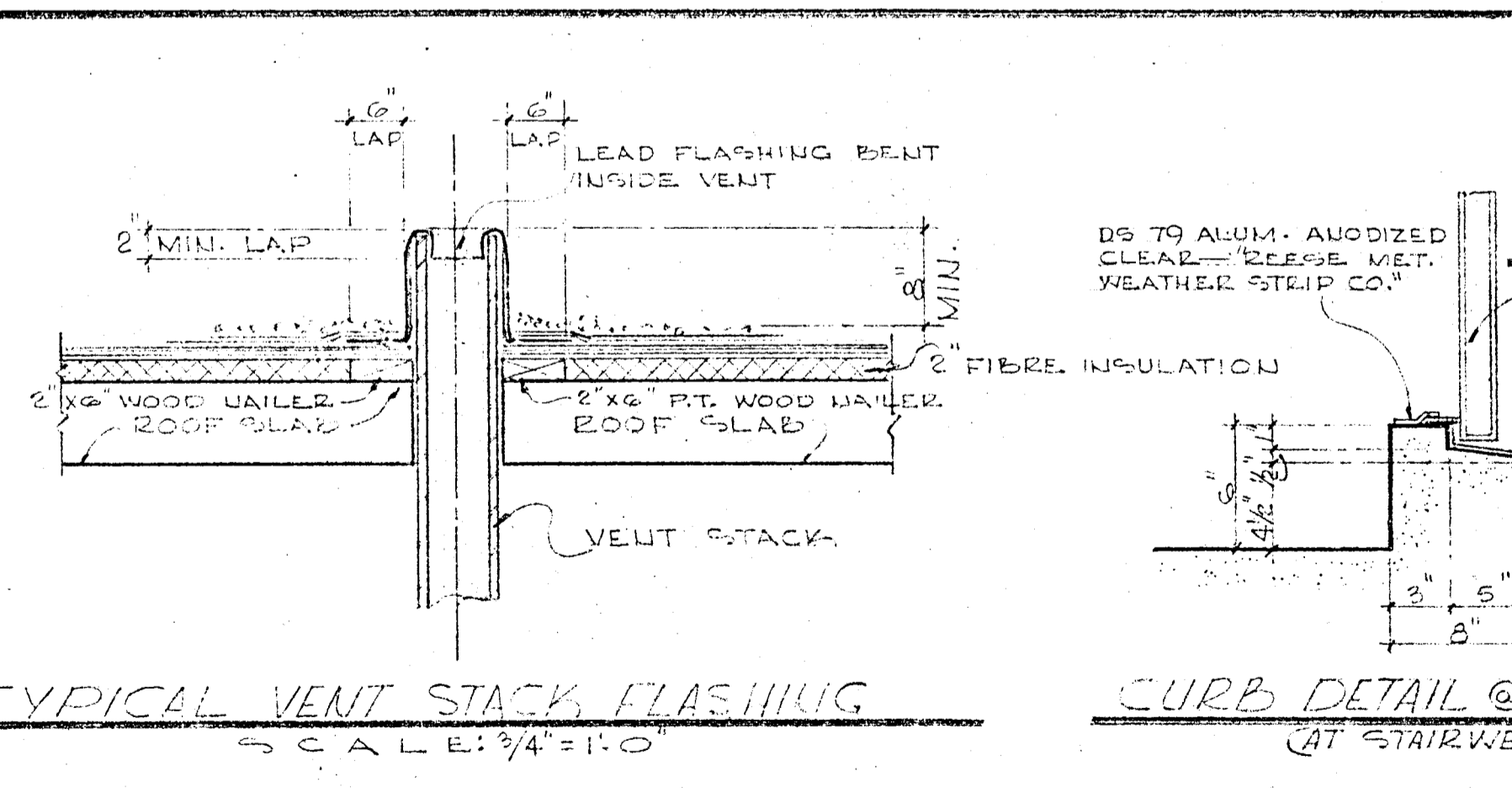
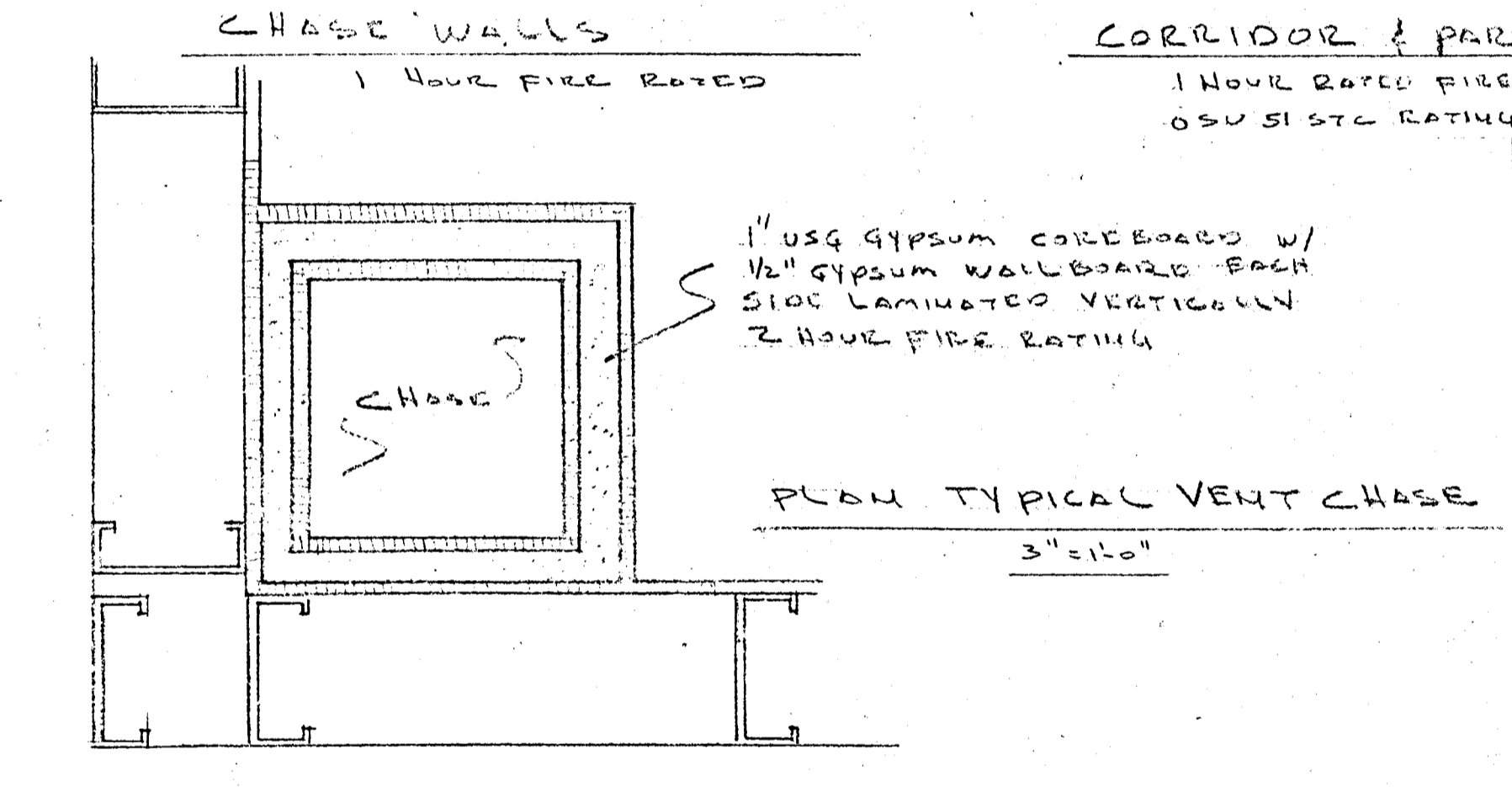
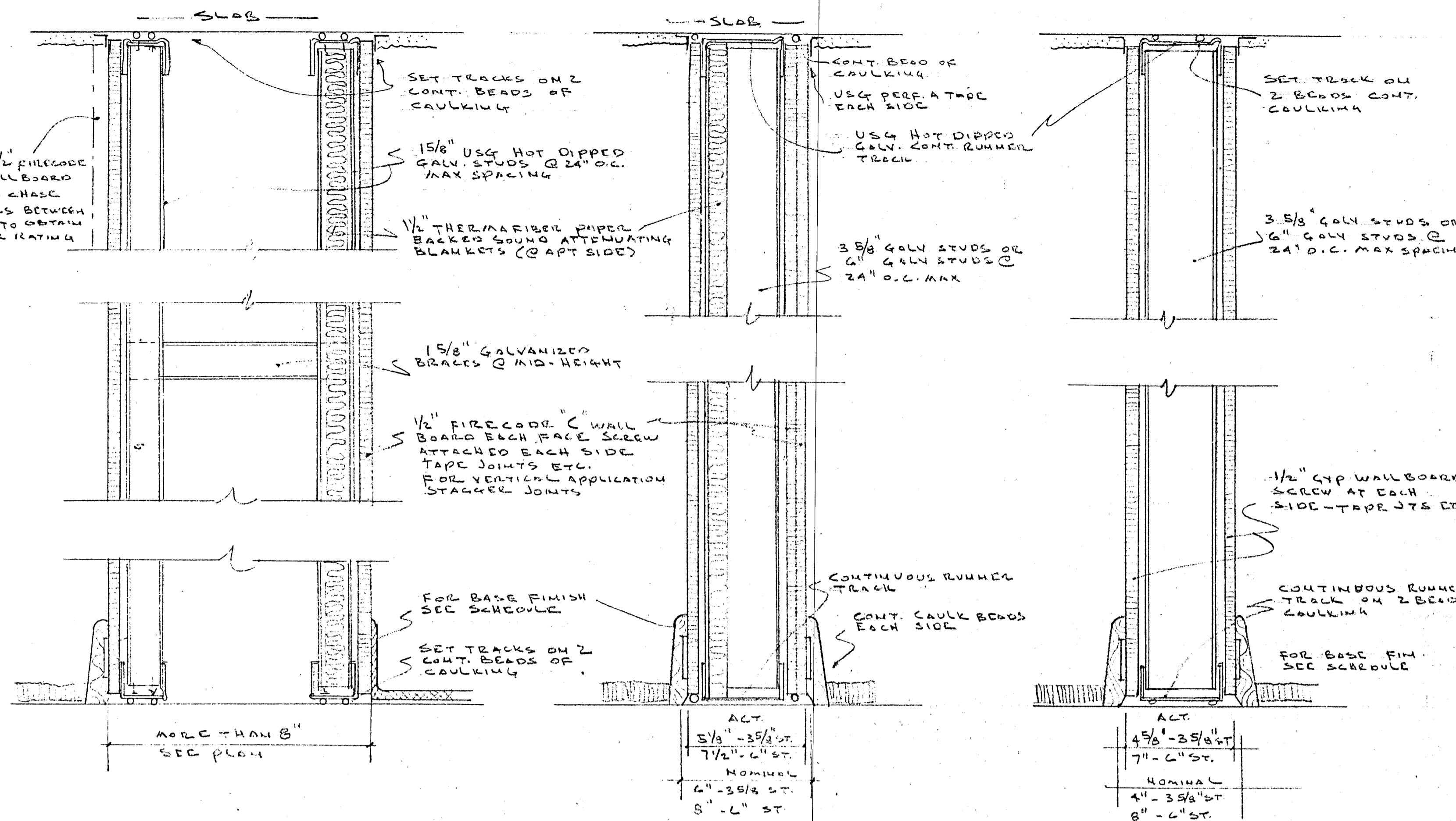
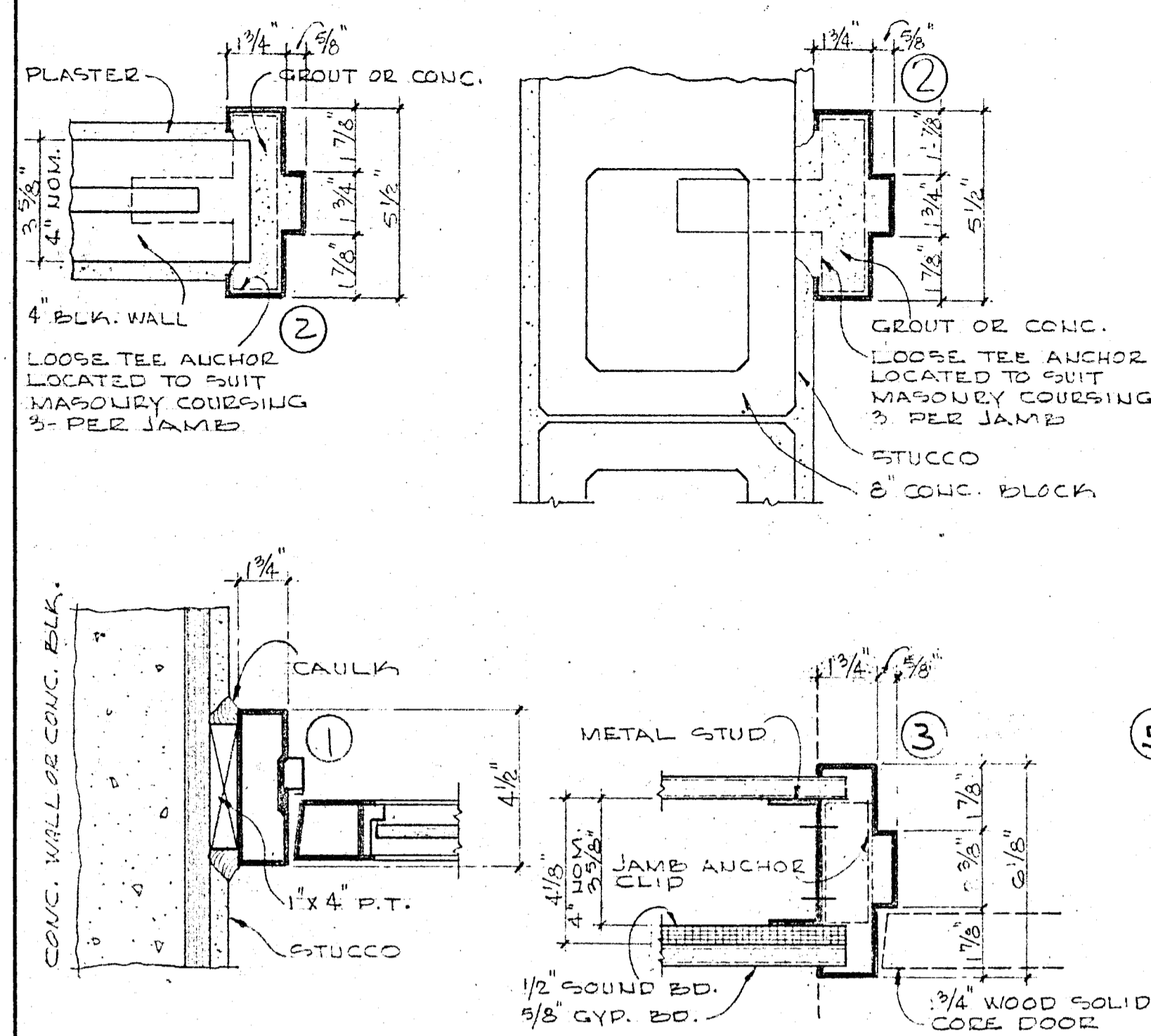
A. 135 UNIT CONDOMINIUM

COMM. No. DATE: SHEET

REV. 19 OF 30



JAMB TYPES



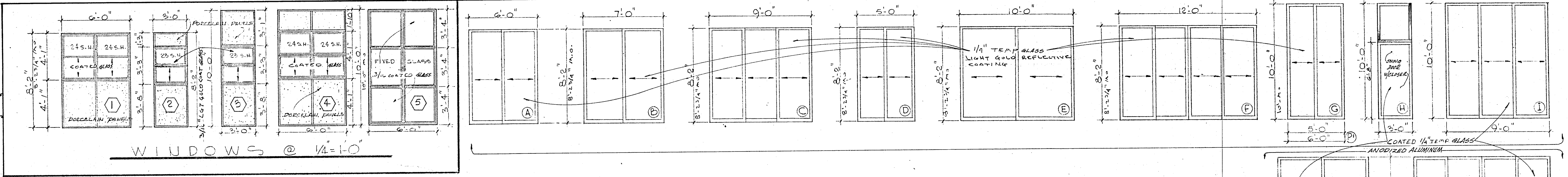
WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14TH LANE
3588044

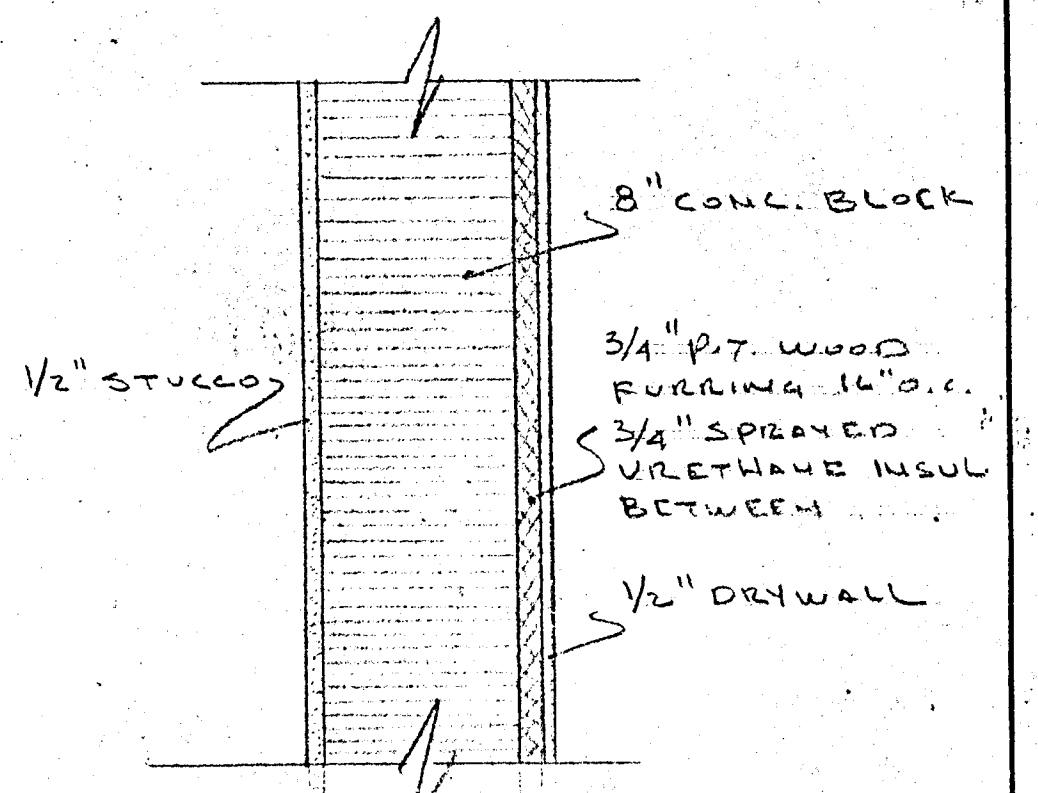
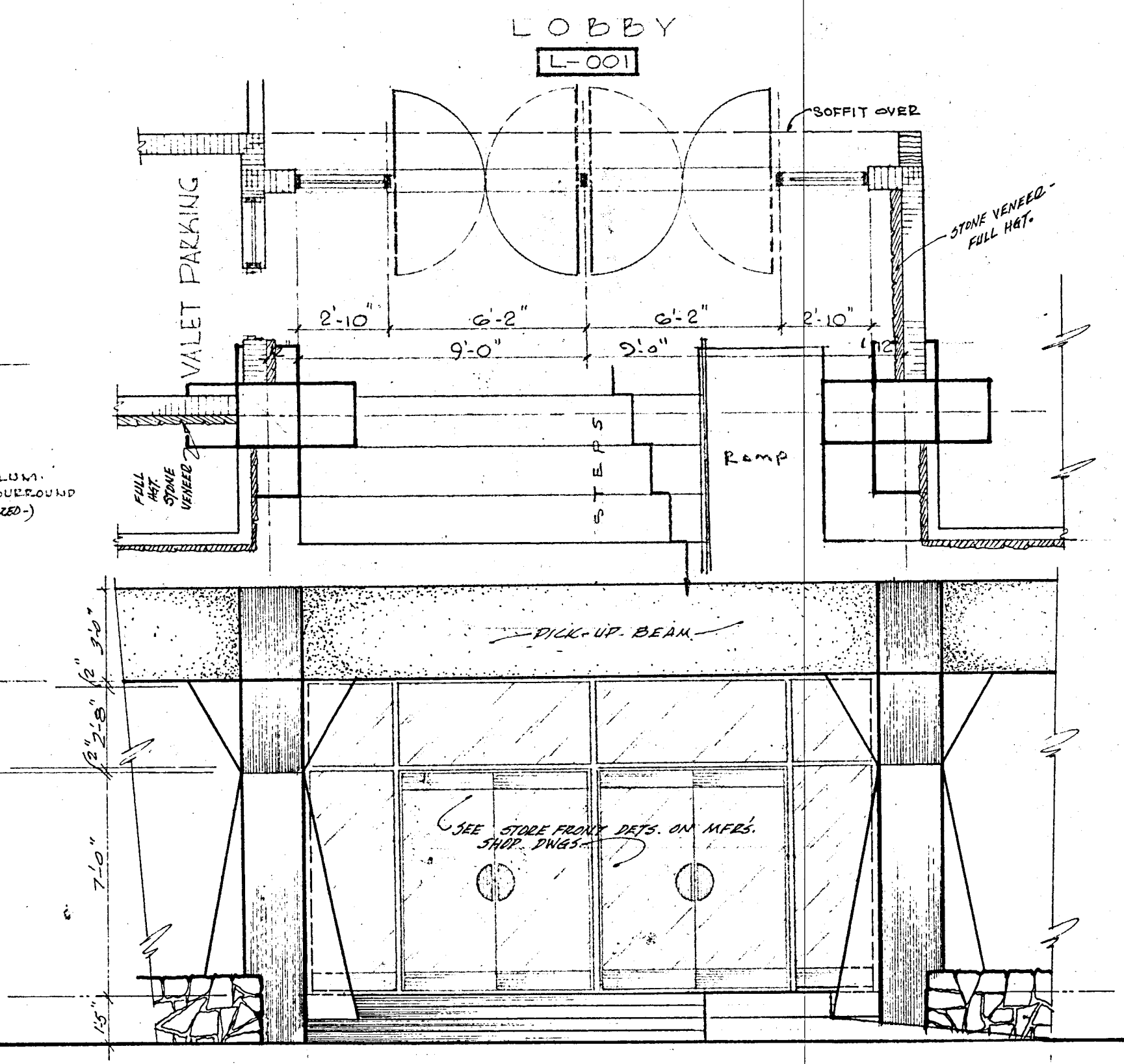
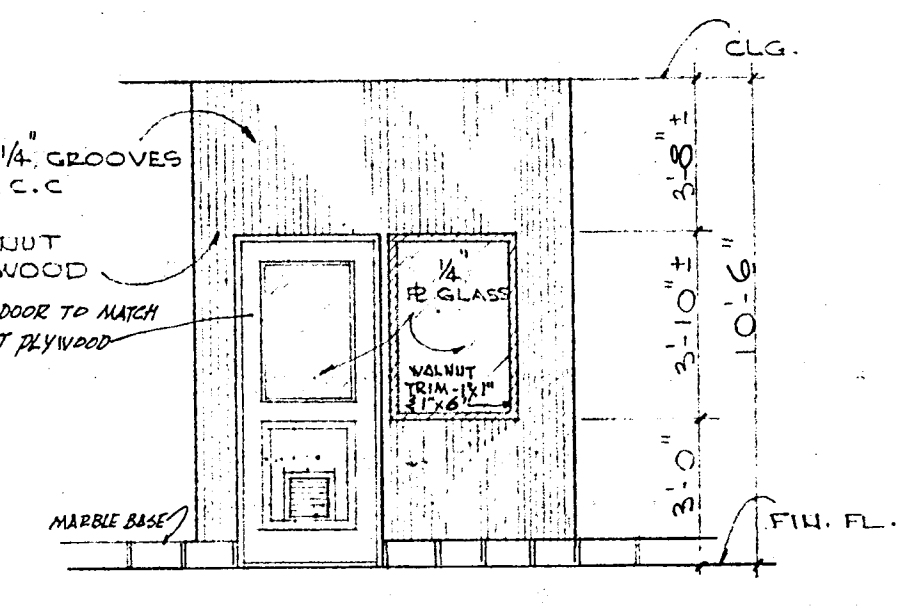
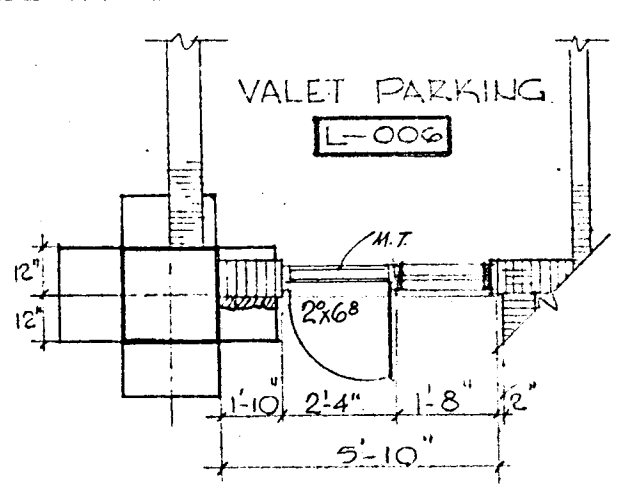
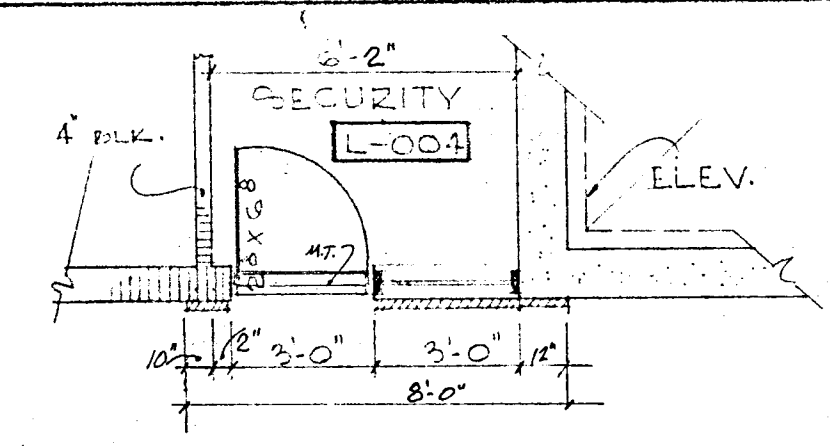
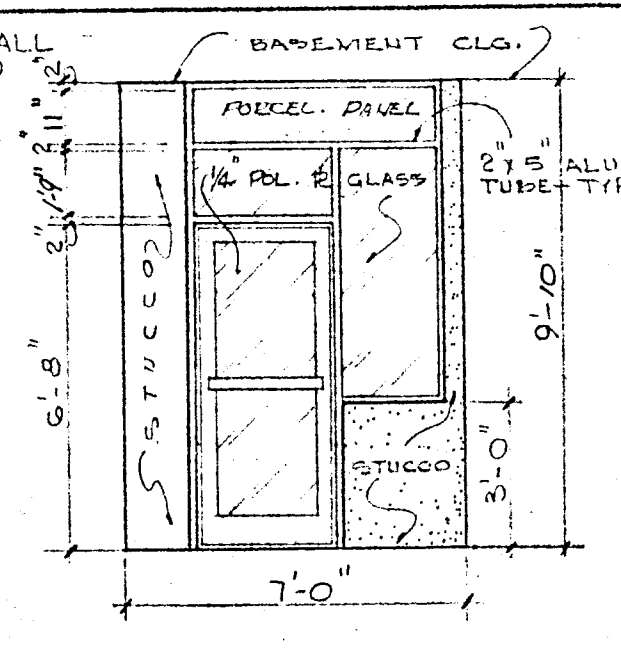
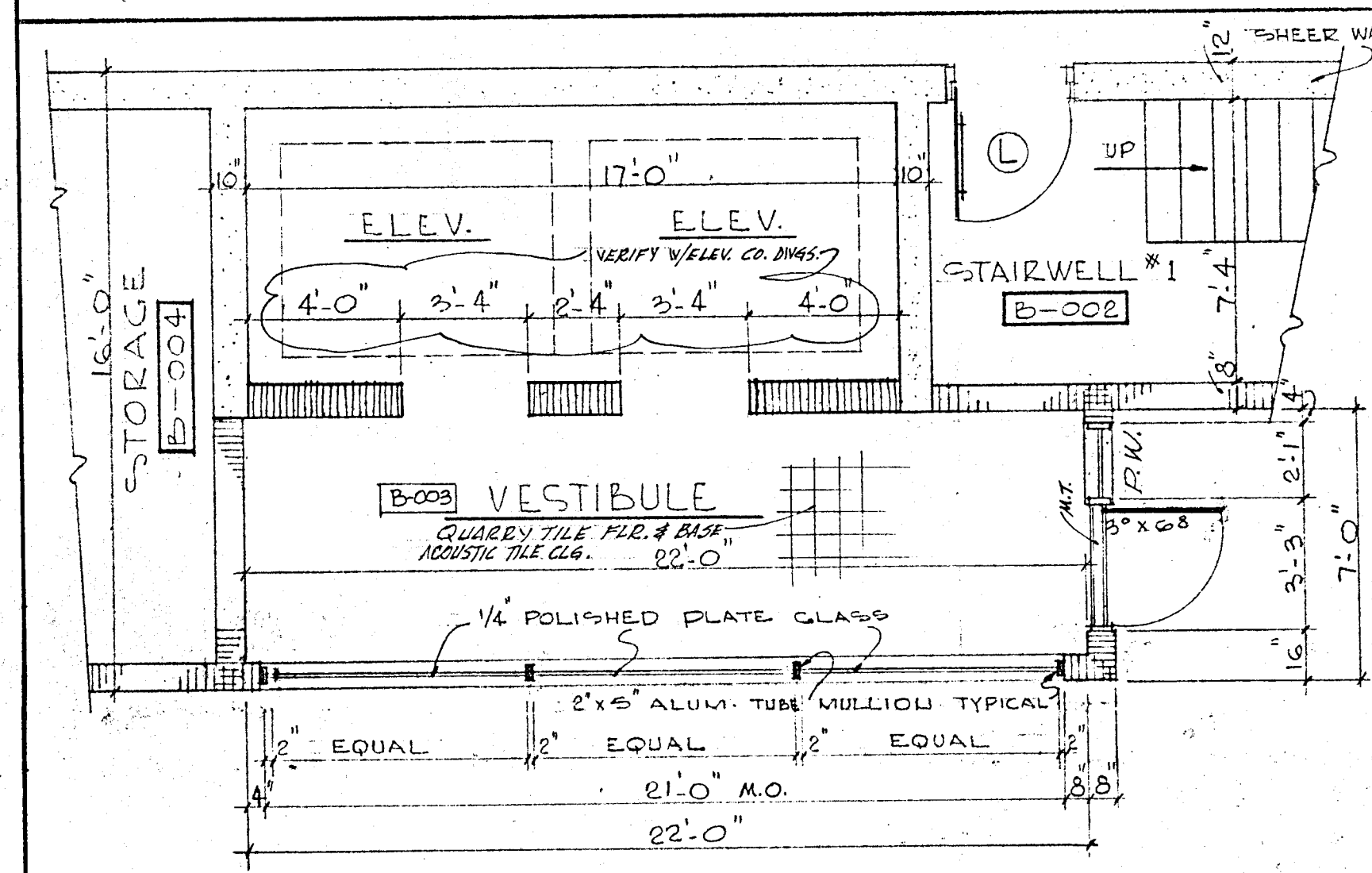
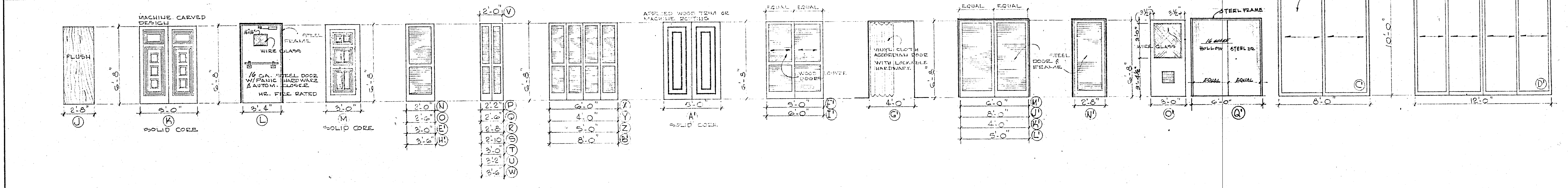
CHAMPLAIN TOWERS SOUTH
8777 COLLINGS AVE.

A. 135 UNIT COUDOMINIUM

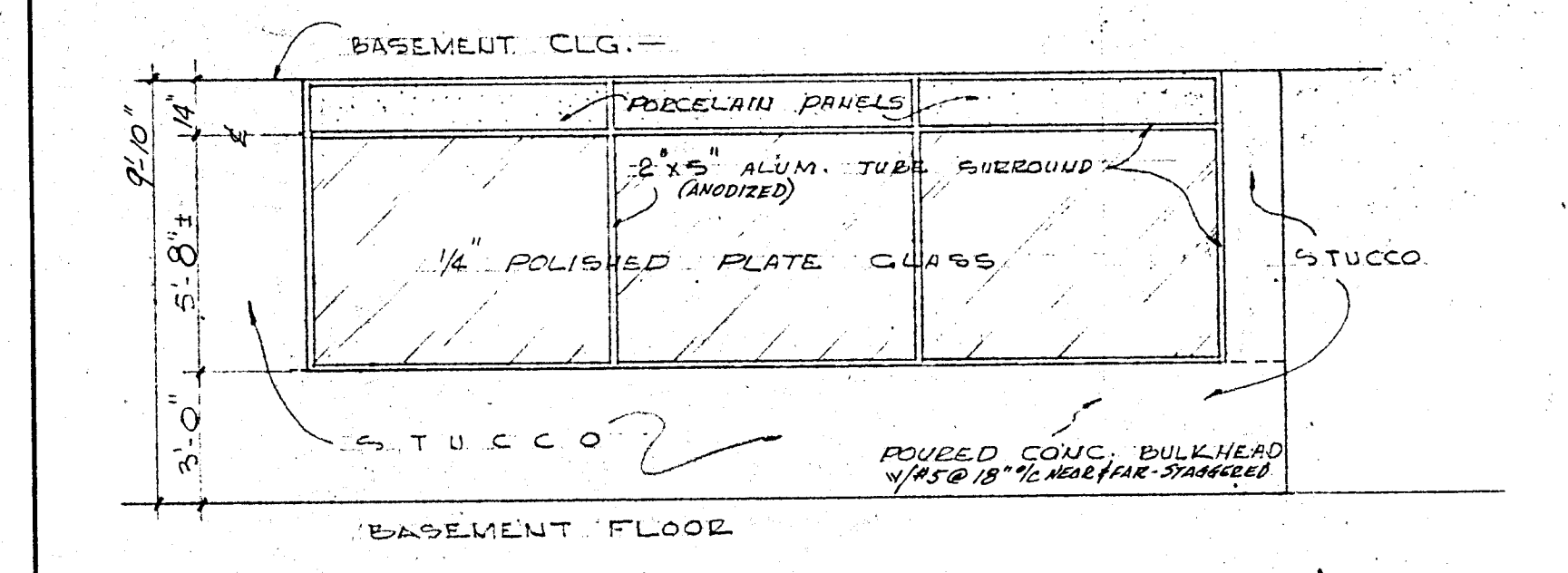
COMM. No. DATE: SHEET
REV. 26 OF 30



WINDOWS @ 1/4"=1'-0"



TYPICAL BLOCK WALL SECTION
1/2"=1'-0"



WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

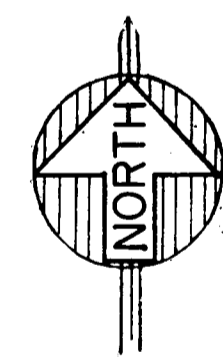
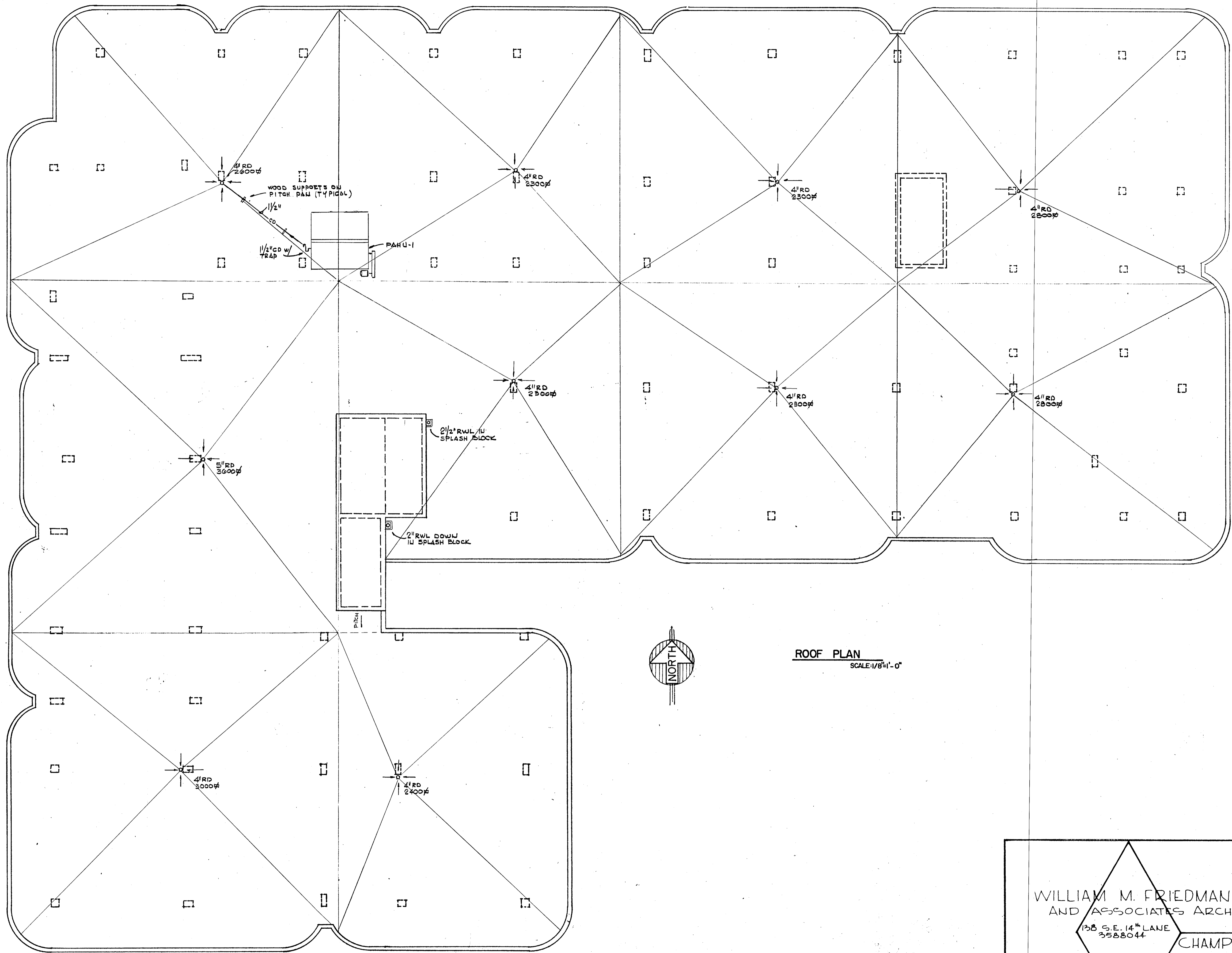
138 S.E. 14TH LAKE
3588044

CHAMPLAIN TOWERS SOUTH
8777 COLLINS AVE.

A 138 UNIT CONDOMINIUM

COMM. No. DATE: SHEET

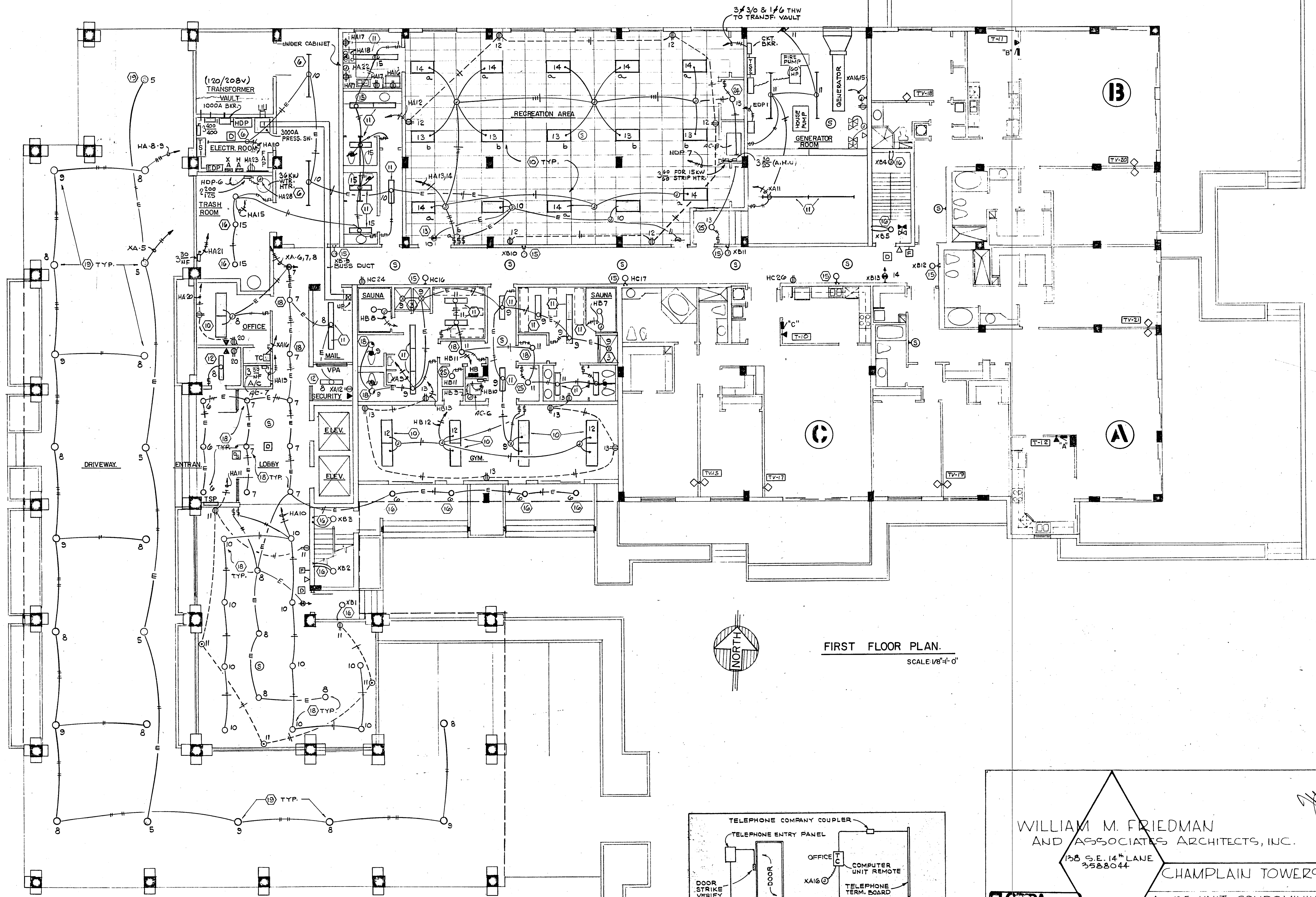
REV. 25 OF 30



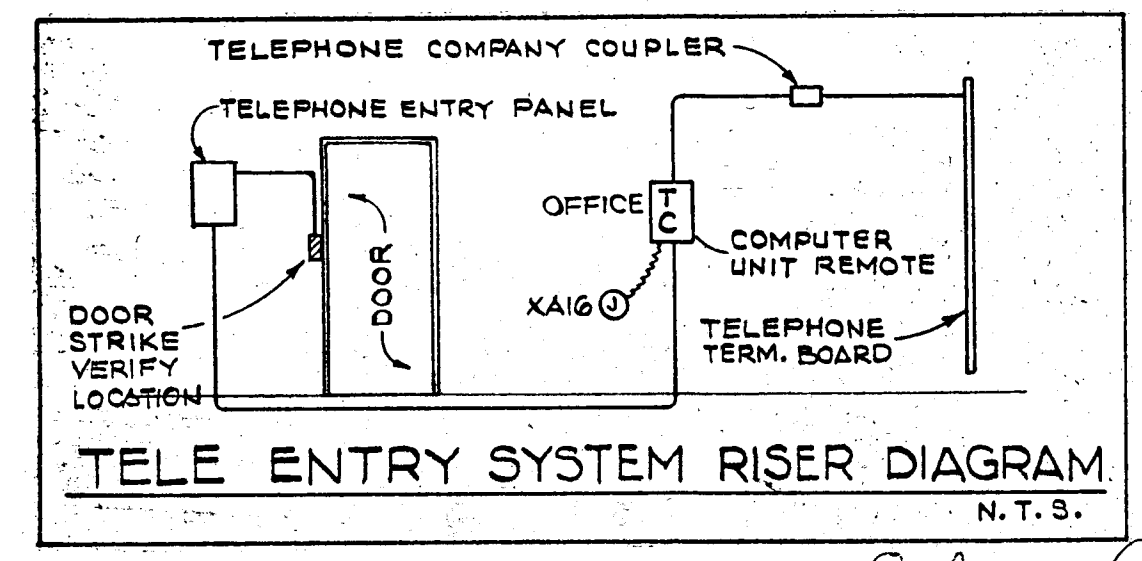
ROOF PLAN
SCALE: 1/8" = 1'-0"

Salvatore M. ...
8/13/79

<p>WILLIAM M. FRIEDMAN AND ASSOCIATES ARCHITECTS, INC. 138 S.E. 14TH LANE 3588044</p>		<p>CHAMPLAIN TOWERS SOUTH</p>	
		<p>A- 135 UNIT CONDOMINIUM</p>	
<p>FLORIDA ENGINEERING SERVICES 252 NE 107 STREET MIAMI, FLA. 33132 945-4743</p>	<p>COMM. No. DATE: 8-13-79</p>	<p>SHEET No. 15 of 11</p>	<p>SHEETS</p>



FIRST FLOOR PLAN.
SCALE 1/8" = 1'-0"

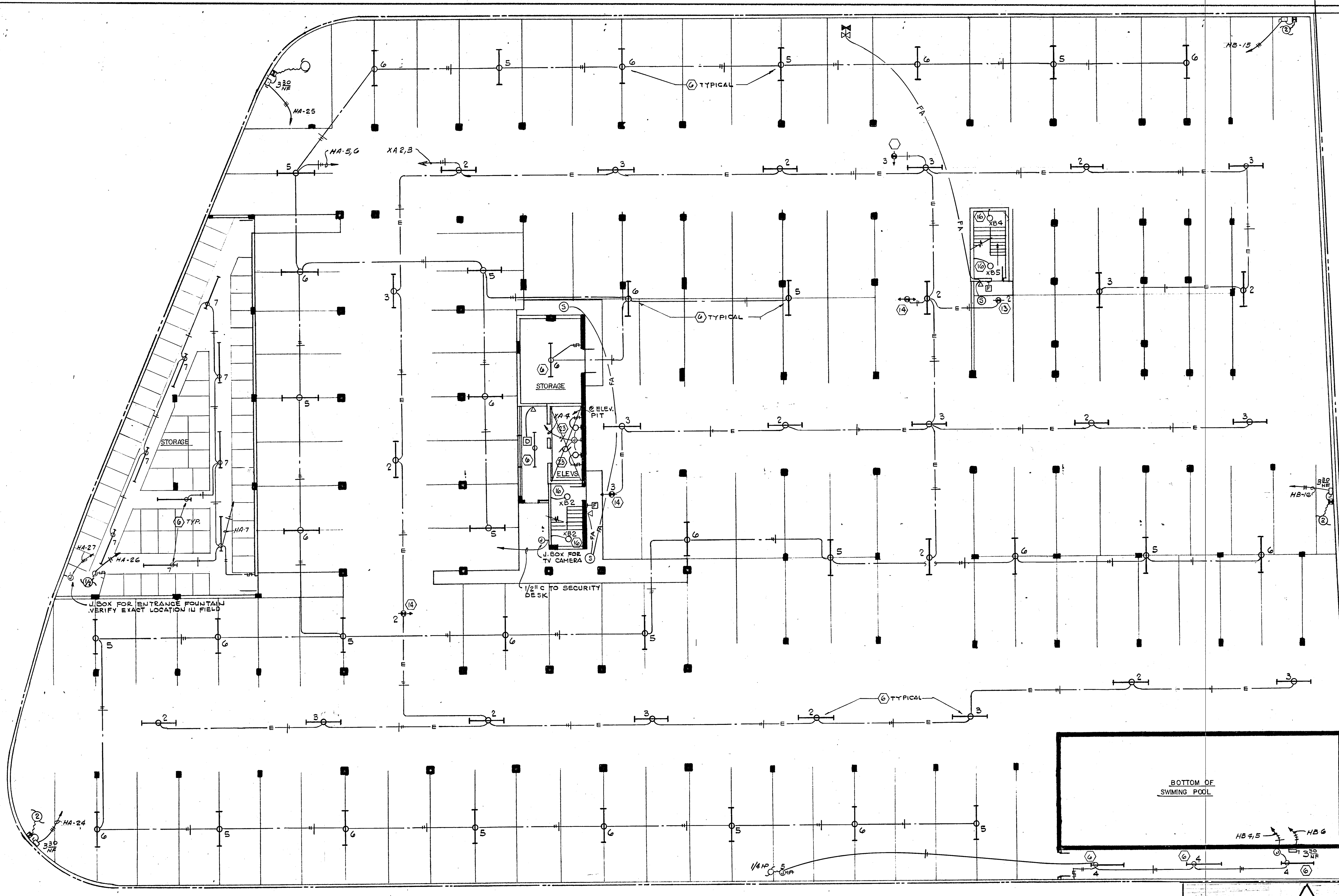


WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
138 S.E. 14TH LANE
3588044

CHAMPLAIN TOWERS SOUTH
A-135 UNIT CONDOMINIUM
COMM. No. DATE: 8-13-79 SHEET No. 15 OF 11
REV. 8-13-79

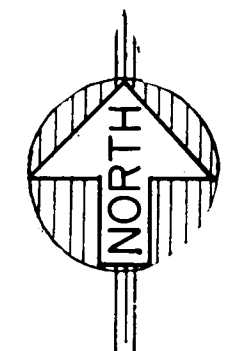
FLORIDA REGISTERED PROFESSIONAL ENGINEER
12 NE 1ST STREET
MIAMI, FLA 33132

Salomon Office
8/13/79



NOTE: BEFORE INSTALLING LIGHTS, THE ELECTRICAL CONTRACTOR SHALL COORDINATE W/SPRINKLER CONTRACTOR. MINIMUM DISTANCE BETWEEN LGTS. & SPRINKLER HEADS SHALL BE 1'-0".

GARAGE LEVEL-FLOOR PLAN
SCALE: 1/32"=1'-0"



WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.

138 S.E. 14TH LANE
3588044

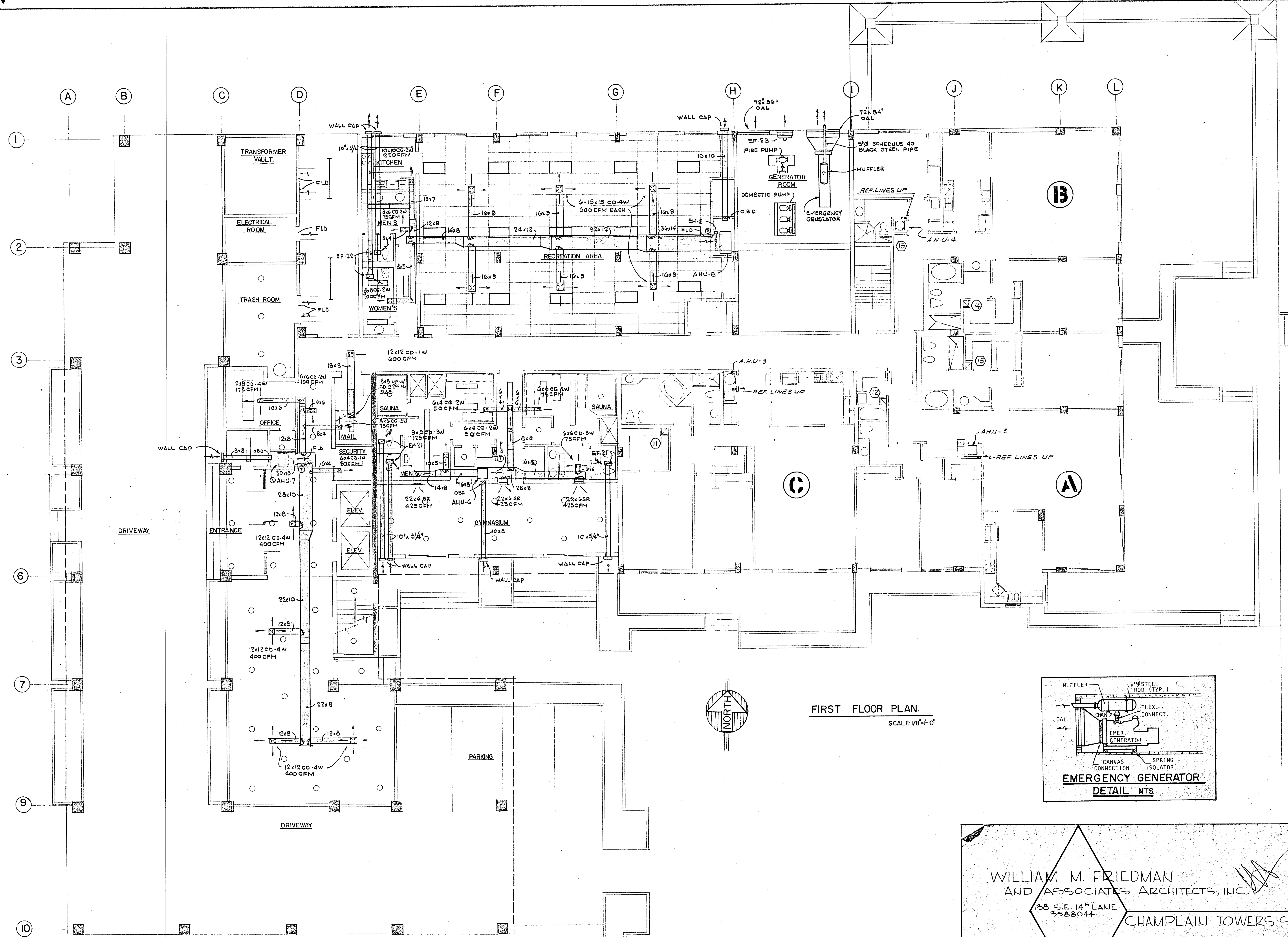
CHAMPLAIN TOWERS SOUTH

A- 135 UNIT CONDOMINIUM

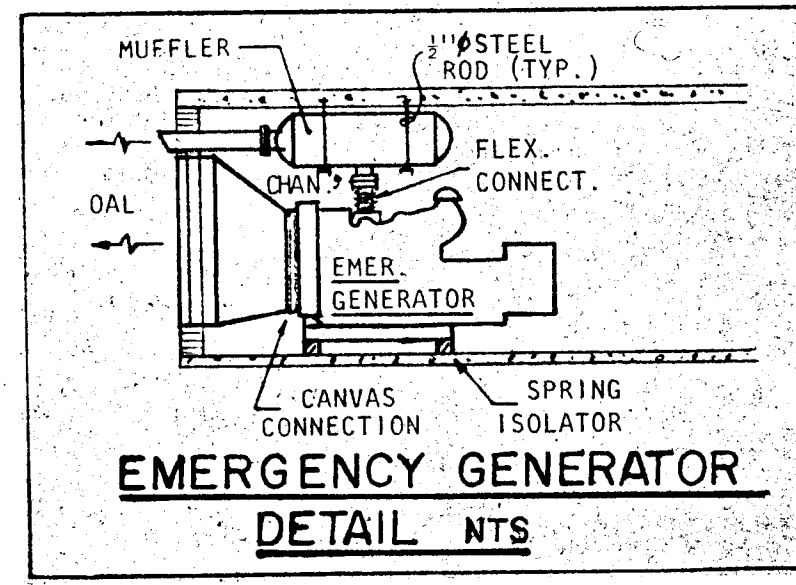
COMM. No.	DATE: 8-13-79	SHEET No. 11
REV.		OF 11 SHEETS

FLORIDA
ENGINEERING
SERVICES
352 NE 167 STREET
MIAMI, FL 33162
305-474-4743

Solomon Miller
8/13/79



FIRST FLOOR PLAN.
SCALE: 1/8" = 1'-0"



WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
138 S.E. 14TH LANE
3588044

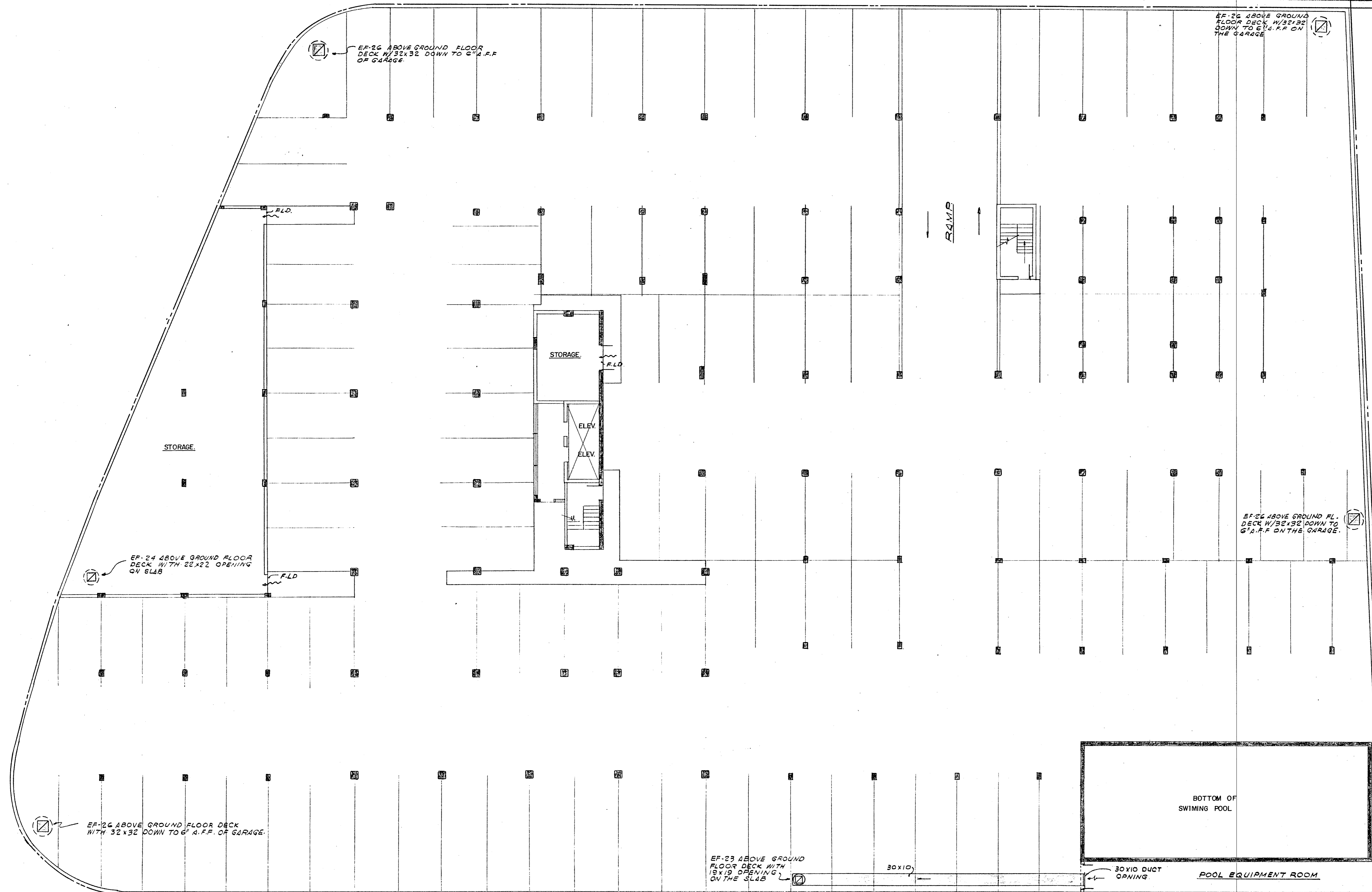
CHAMPLAIN TOWERS SOUTH
A-135 UNIT CONDOMINIUM

FLORIDA ENGINEERING SERVICES
232 NE 167 STREET
MIAMI BEACH, FLA.
33132 943-4743

COMM. No. DATE: 8-13-79. SHEET No. 13 OF 9
REV. 13-79. AC2

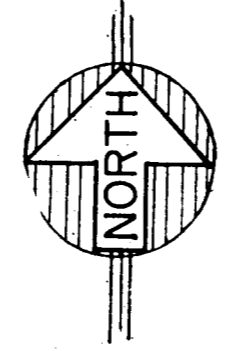
SHEETS

Shawn Miller
8/13/79



NOTE:
ALL DUCTWORK EXPOSED TO VEHICULAR TRAFFIC SHALL BE PROTECTED WITH STEEL ANGLES AS REQUIRED TO BE A HEIGHT OF 4 FT. A.F.F.

GARAGE LEVEL-FLOOR PLAN
SCALE 1/32"=1'-0"



WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
138 S.E. 14TH LANE
3388044

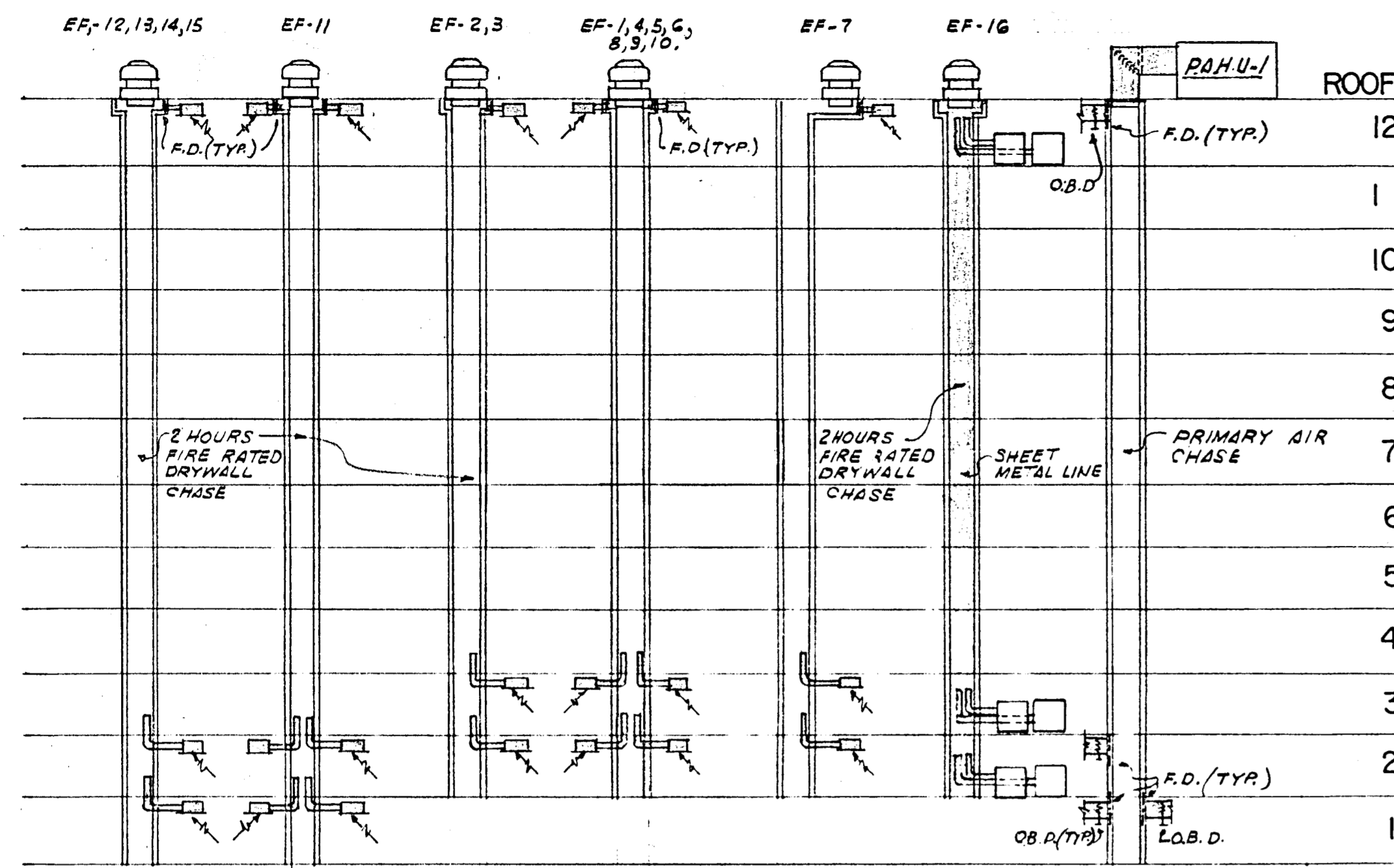
CHAMPLAIN TOWERS SOUTH
A-135 UNIT CONDOMINIUM

FLORIDA ENGINEERING SERVICES
22 NE 1ST STREET
MIAMI, FLA 33132

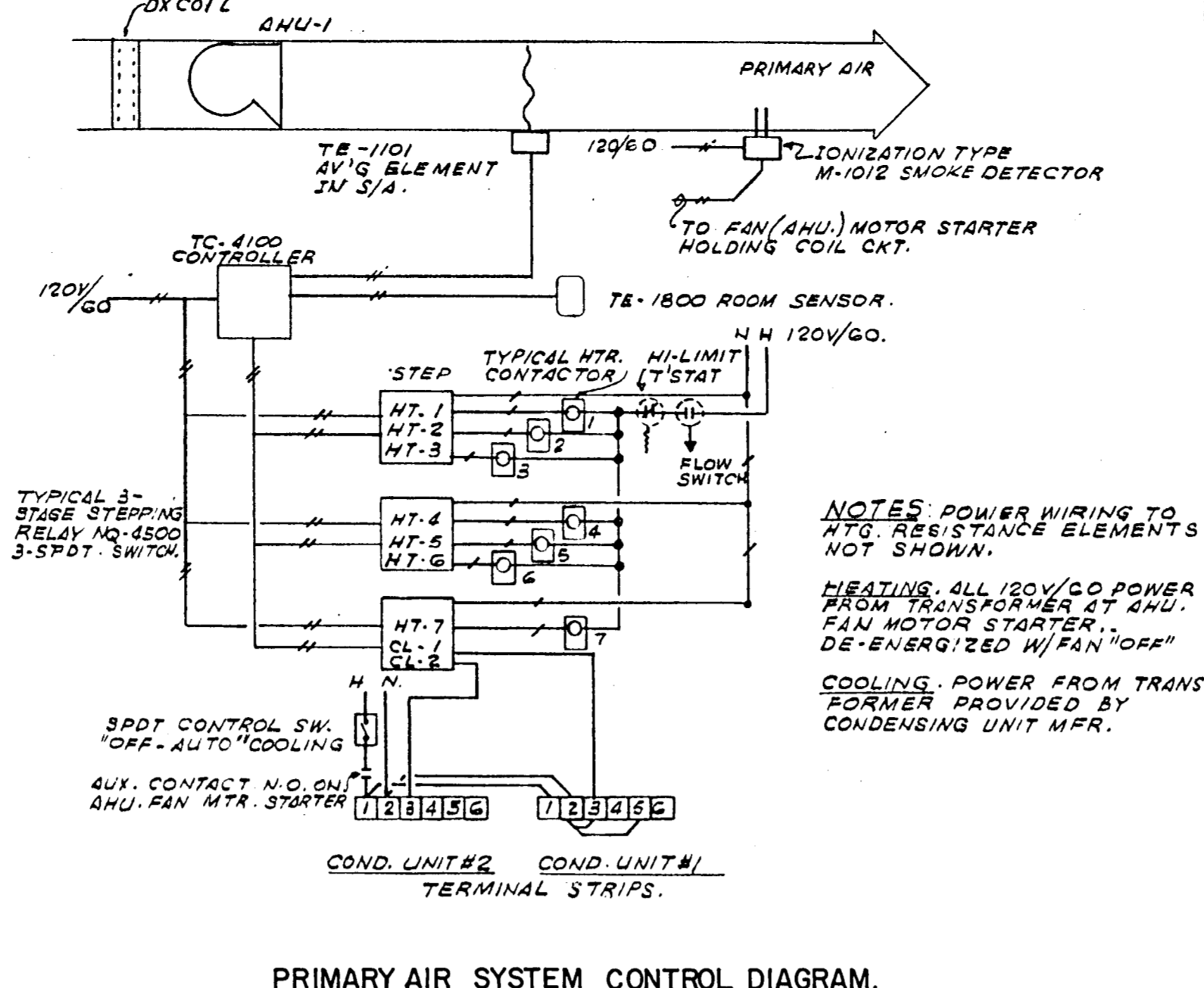
COMM. No. DATE: 8-13-79
REV.

SHEET No. 9 of 9
SHEETS

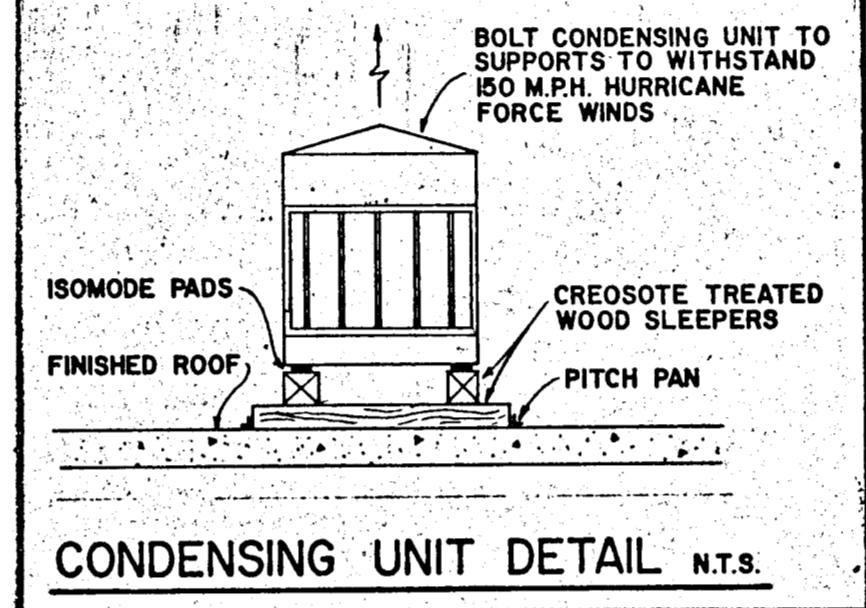
William Friedman
8/13/79



VENTILATION RISER DIAGRAM



PRIMARY AIR SYSTEM CONTROL DIAGRAM

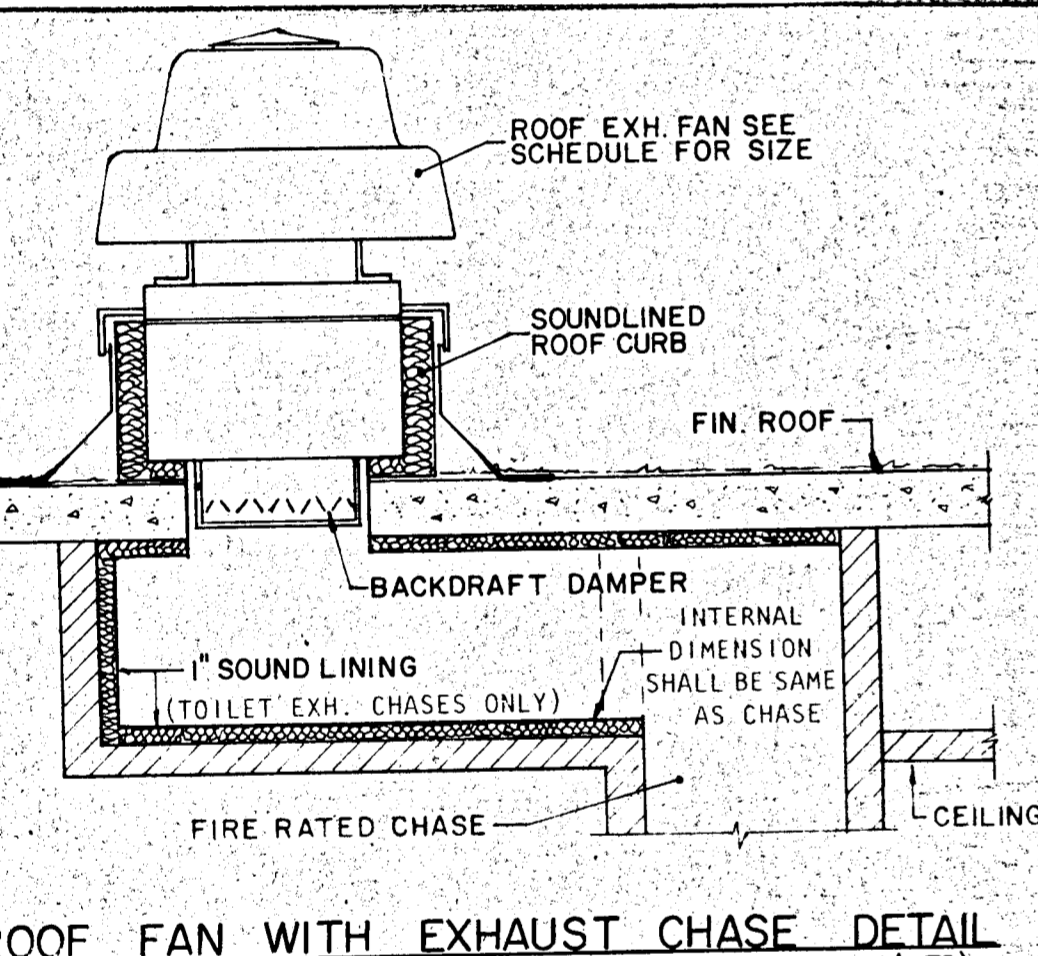


CONDENSING UNIT DETAIL N.T.S.

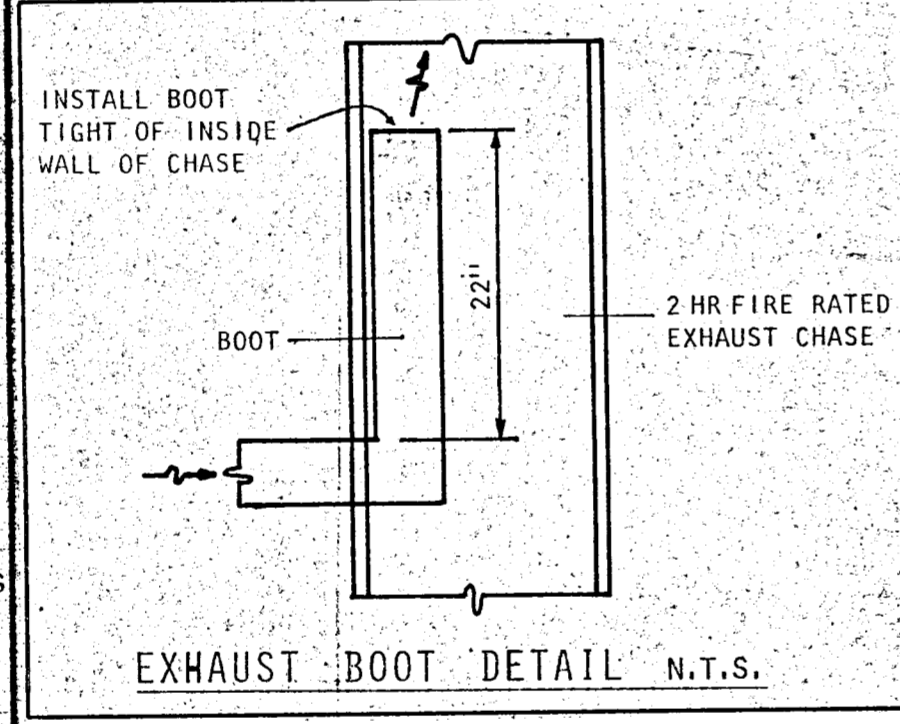
ELECTRIC HEATER SCHEDULE

HEATER NO.	BTU/HR	KW	STAGES	VOLTAGE	DUCT SIZE	C.F.M.	MANUFACTURER	AREA SERVED
EH-1	406,150	119	7	208-3-60	80 x 30	14,000	BRASCH	PRIMARY AIR
EH-2	51,200	15	2	208-3-60	36 x 14	4,000	BRASCH	REC. RM-AHU-8

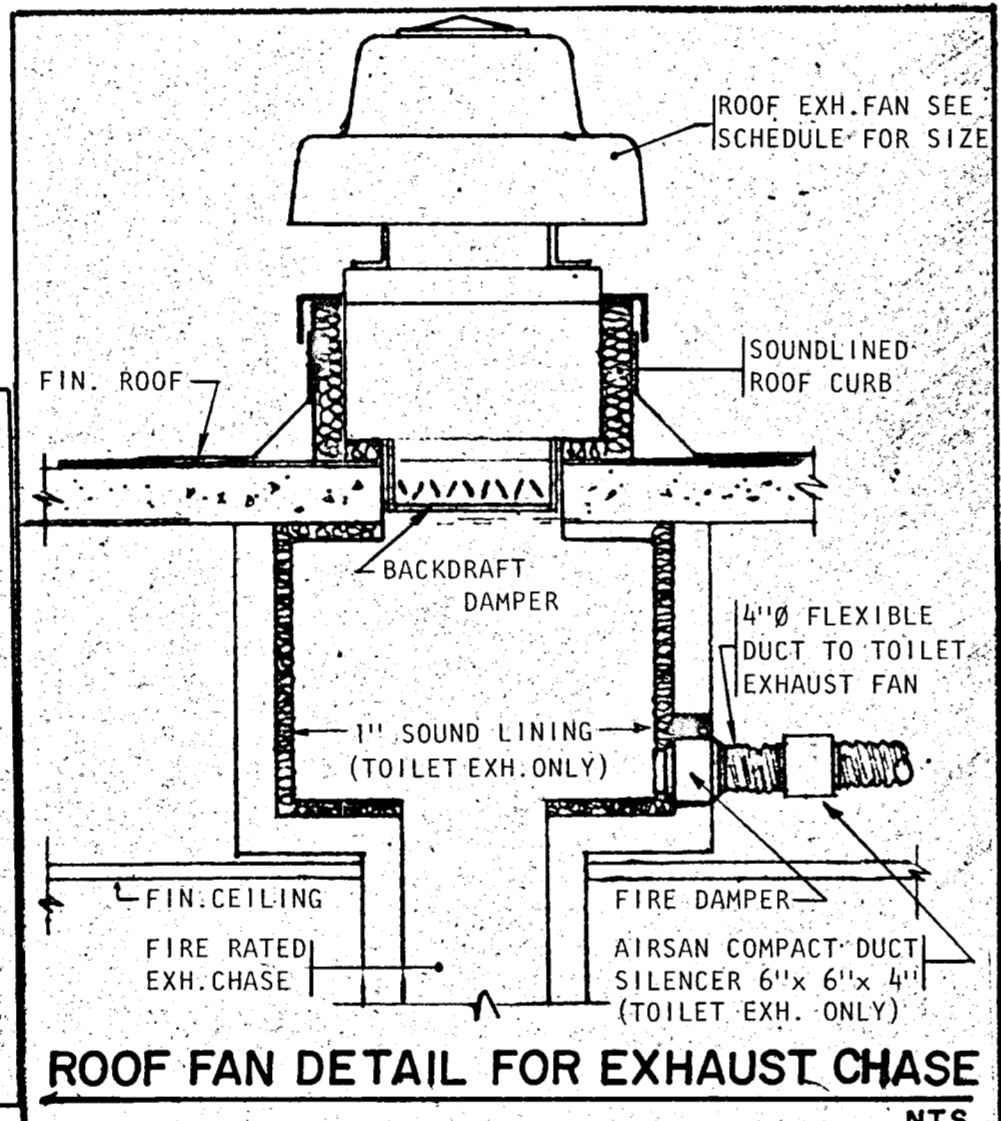
ALL ELECTRIC HEATERS SHALL BE COMPLETE W/CONTACTORS, THERMAL PROTECTOR RELAY, FUSES TRANSFORMER W/PRIMARY FUSE PROTECTION TO SUPPLY CONTROL VOLTAGE, PRESSURE TYPE AIR FLOW SWITCH, FAN INTERLOCK RELAY, ETC. ENTIRE ASSEMBLY SHALL CONFORM TO NATIONAL ELECTRIC CODE REQUIREMENTS AND BE U.L. LABELED.



ROOF FAN WITH EXHAUST CHASE DETAIL (N.T.S.)



EXHAUST BOOT DETAIL N.T.S.



ROOF FAN DETAIL FOR EXHAUST CHASE N.T.S.

AIR HANDLING UNIT SCHEDULE

UNIT NUMBER	PAHU-1
SERVICE	PRIMARY AIR
LOCATION	ROOF
TOTAL CFM	14000
OUTSIDE AIR CFM	14000
INDOOR DESIGN TEMPERATURE-DB/WB-°F	75/63
TOTAL SENSIBLE HEAT-BTUH	647,740
TOTAL LATENT HEAT-BTUH	370,340
GRAND TOTAL HEAT-BTUH	1,018,080
ENTERING AIR DB/WB - °F	91/79
LEAVING AIR DB/WB - °F	60.3/60.0
COIL TYPE	DX
COOLING COIL FACE AREA - FT. SQ.	31.07
COOLING COIL FACE VELOCITY - FPM	450
COOLING COIL ROWS/FINS	8/8
REFRIGERANT TYPE	R-22
REFRIGERANT TEMPERATURE - °F	48.5
EXTERNAL STATIC PRESS.-IN WATER	0.5
FAN MOTOR HP	7.5
FAN R.P.M.	496
VOLTAGE	208-3-60
MANUFACTURER	BOHN
MODEL	231 HCS-LF
UNIT TYPE	HORIZONTAL DRAW-THRU
FILTER, (CLEANABLE)	7-16x20x2 & 7-16x25x2
WEIGHT - LBS.	3060
ACCESSORIES:	
WEATHERPROOF AIR UNIT	
CADMIUM PLATED SPRING ISOLATORS	
TEFC FAN MOTOR	
ROW CONTROL	

CONDENSING UNIT SCHEDULE

UNIT NUMBER	PCU-1
SERVICE	PRIMARY AIR
LOCATION	ROOF
TOTAL COOLING CAPACITY-BTUH	1,018,080
AMBIENT AIR TEMPERATURE - °F	95
MAX. CONDENSING TEMPERATURE - °F	130 MAX.
CAPACITY REDUCTION STEPS	100-72-50-22-0
COMPRESSOR - F.L.A.	2 @ 68.6 & 2 - 84.7
CONDENSER FAN H.P.	3 @ 2 EA.
CONDENSER F.L.A.	3 @ 6.8 EA.
VOLTAGE	208-3-60
MANUFACTURER	BOHN
MODEL	RCB74-T
REFRIGERANT	R-22
No. OF REFRIGERANT CIRCUITS	2
OPERATING WEIGHT - LBS.	6460
REFRIGERANT SUCTION	2 @ 2 1/8 EA.
LINE SIZE	LIQUID 2 @ 7/8 EA.
SUCTION TEMPERATURE - °F	48.5
ACCESSORIES:	
5 MINUTE ANTI-RECYCLING RELAY	
CADMIUM PLATED SPRING ISOLATORS	
REFRIGERANT LINES SHALL BE TYPE "L" SEAMLESS COPPER TUBING INSULATE SUCTION LINE WITH 3/4" ARMAFLEX	

AIR HANDLING UNIT	UNIT NUMBER	AHU-1	AHU-2	AHU-3	AHU-4	AHU-5	AHU-6	AHU-7	AHU-8
	MANUFACTURER	CARRIER	CARRIER	CARRIER	CARRIER	CARRIER	CARRIER	CARRIER	CARRIER
MODEL	40AS03C	40AS036	40FS160	40FS160	40FS200	40FS220	40FS220	40FS220	VC-134
NOMINAL TONS	2 1/2	3	3 1/2	4	5	4	5	10	
C.F.M.	1000	1200	1400	1600	2000	1600	2000	4000	
ENERGY EFFICIENCY RATIO (E.E.R.)	9.0	8.6	8.8	8.7	7.3	7.6	7.3	8.0	
EVAPORATOR FAN - F.L.A.	3.6	3.6	3.5	4.5	5.6	4.5	5.6	2 H.P.	
VOLTAGE	208-1-60	208-1-60	208-1-60	230-1-60 (2)	230-1-60 (2)	208-1-60	208-1-60	208-3-60	
CABINET	VERTICAL	VERTICAL	VERTICAL	VERTICAL	VERTICAL	VERTICAL	VERTICAL	VERTICAL	
WEIGHT - LBS.	100	114	120	127	127	127	127	505	
MATCHING CONDENSING UNIT	CU-1	CU-2	CU-3	CU-4	CU-5	CU-6	CU-7	CU-8	
ELECTRIC HEATER (INSIDE OF UNIT)	KW	5.6	7.5	7.5	10.0	7.5	7.5		DUCT
	BTUH	19200	25600	25600	34100	34100	25600		
	STAGE	1	1	1	2	2	1		HEATER
VOLTAGE	208-1-60	208-1-60	208-1-60	230-1-60 (2)	230-1-60 (2)	208-3-60	208-3-60		

CONDENSING UNIT	UNIT NUMBER	CU-1	CU-2	CU-3	CU-4	CU-5	CU-6	CU-7	CU-8
	MANUFACTURER	CARRIER	CARRIER	CARRIER	CARRIER	CARRIER	CARRIER	CARRIER	CARRIER
MODEL	38VE003	38VE004	38VE005	38VE005	38TE060	38TE048	38TE060	RC-134-3A	
NOMINAL TONS	2 1/2	3	3 1/2	4	5	4	5	10	
COMPRESSOR - F.L.A.	14.0	17.8	17.1	23.9	35.3	18.3	20.0	2 - 20.0 EA.	
CONDENSER FAN F.L.A.	0.9	1.2	1.2	2.3	2.1	2.1	2.1	1-6.2	
VOLTAGE	208-1-60	208-1-60	208-1-60	230-1-60 (2)	230-1-60 (2)	208-3-60	208-3-60	208-3-60	
WEIGHT	205	225	240	250	246	250	830		
REFRIGERANT	R-22	LIQUID	5/16 (3)	5/16 (3)	3/8	3/8	3/8	2 - 1/2"	
LINE SIZE		SUCTION	1 1/8	1 1/8	1 1/8	1 1/8	1 1/8	1 1/8	
AREA SERVED	APT 'G'	APT 'G' TYPICAL FL	APT 'G' TYPICAL FL	APT 'G' TYPICAL FL	APT 'G' TYPICAL FL	APT 'G' TYPICAL FL	APT 'G' TYPICAL FL	APT 'G' TYPICAL FL	APT 'G' TYPICAL FL
QUANTITY	44	40	37	12	2	1	1	1	

FAN SCHEDULE

FAN NO.	QUAN	CFM	SP	HP	RPM	VOLTAGE	DRIVE	MFR.	MODEL	SERVICE	LOCATION	MAX. TONES	ACCESSORIES
EF-1	1	880	1/8	1/4	1280	120	DIRECT	POWERLINE	105DRE8C	EXH. CHASE 1	ROOF	2.8	A, B, C & D
EF-2	1	590	1/8	1/12	940	120	DIRECT	POWERLINE	105DRE7Z	EXH. CHASE 2	ROOF	1.9	A, B, C & D
EF-3	1	330	1/8	1/10	1055	120	DIRECT	POWERLINE	90DRE8X	EXH. CHASE 3	ROOF	1.0	A, B, C & D
EF-4	1	770	1/8	1/4	1180	120	DIRECT	POWERLINE	105DRE8C	EXH. CHASE 4	ROOF	2.1	A, B, C & D
EF-5	1	770	1/8	1/4	1180	120	DIRECT	POWERLINE	105DRE8C	EXH. CHASE 5	ROOF	2.1	A, B, C & D
EF-6	1	770	1/8	1/4	1180	120	DIRECT	POWERLINE	105DRE8C	EXH. CHASE 6	ROOF	2.1	A, B, C & D
EF-7	1	880	1/8	1/4	1280	120	DIRECT	POWERLINE	105DRE8C	EXH. CHASE 7	ROOF	2.8	A, B, C & D
EF-8	1	880	1/8	1/4	1280	120	DIRECT	POWERLINE	105DRE8C	EXH. CHASE 8	ROOF	2.8	A, B, C & D
EF-9	1	880	1/8	1/4	1280	120	DIRECT	POWERLINE	105DRE8C	EXH. CHASE 9	ROOF	2.8	A, B, C & D
EF-10	1	880	1/8	1/4	1280	120	DIRECT	POWERLINE	105DRE8C	EXH. CHASE 10	ROOF	2.8	A, B, C & D
EF-11	1	960	1/8	1/4	1380	120	DIRECT	POWERLINE	105DRE8C	EXH. CHASE 11	ROOF	3.0	A, B, C & D
EF-12	1	360	1/8	1/10	1100	120	DIRECT	POWERLINE	90DRE8X	EXH. CHASE 12	ROOF	1.1	A, B, C & D
EF-13	1	650	1/8	1/12	1000	120	DIRECT	POWERLINE	105DRE7Z	EXH. CHASE 13	ROOF	1.9	A, B, C & D
EF-14	1	650	1/8	1/12	1000	120	DIRECT	POWERLINE	105DRE7Z	EXH. CHASE 14	ROOF	1.9	A, B, C & D
EF-15	1	790	1/8	1/4	1170	120	DIRECT	POWERLINE	105DRE8C	EXH. CHASE 15	ROOF	2.8	A, B, C & D
EF-16	1	2200	1/8	1/4	845	120	BELT	POWERLINE	165BRE8C	EXH. CHASE 16	ROOF	5.3	A, B, D & H
EF-17	1	2200	1/8	1/4	845	120	BELT	POWERLINE	165BRE8C	ELEV. MACH RM EXH.	ROOF	5.3	A, B, D & H
EF-18	123	90	0.1	---	---	120	DIRECT	NUTONE	9415	TOILET EXH.	CEILING	2.5	---
EF-19	68	90	0.1	---	---	120	DIRECT	NUTONE	8662	TOILET EXH.	CEILING	3.5	---
EF-20	79	110	0.1	---	---	120	DIRECT	NUTONE	QT-110	TOILET EXH.	CEILING	2.5	---
EF-21	3	150	1/8	---	1000	120	DIRECT	POWERLINE	B5DCFB02	EXERCISE RM TOILET	CEILING	1.5	C & E
EF-22	2	200	1/8	---	1300	120	DIRECT	POWERLINE	B5DCFB02	LOBBY TOILET EXH.	CEILING	2.2	C & E
EF-23	1	4000	1/4	1/3	822	120	BELT	POWERLINE	24B8D	LOBBY EQUIP. RM	WALL	6.6	F, G & H
EF-24	1	4000	1/4	1/2	625	120	BELT	POWERLINE	245BCV8F	GARAGE STOR. EXH.	GROUND FL.	6.9	A, B, D & H
EF-25	1	1945	1/4	1/4	931	120	BELT	POWERLINE	165BCV8C	POOL EQUIP. EXH.	GROUND FL.	6.9	A, B, D & H
EF-26	4	12000	1/8	2	513	208-3-60	BELT	POWERLINE	365BCV8M	GARAGE EXH.	GROUND FL.	13.5	A, B, D & H

ACCESSORIES:

- A. BACKDRAFT DAMPER
- B. BIRDSCREEN
- C. SOLID STATE SPEED CONTROL
- D. 12" PAC CURB
- E. WALL CAP
- F. AUTOMATIC WALL LOUVER
- G. FAN GUARD
- H. VARIABLE PITCH PULLEY

AIR CONDITIONING NOTES

- AIR CONDITIONING SHALL:
 - VERIFY ALL SPACE CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO FABRICATION OF DUCTWORK AND INSTALLATIONS OF EQUIPMENT.
 - COORDINATE WORK WITH OTHER TRADES.
 - DO WORK IN ACCORDANCE WITH STATE AND LOCAL CODES.
 - DO ALL WORK IN ACCORDANCE WITH LATEST ASHRAE GUIDE AND SMACNA STANDARDS.
 - PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTING.
 - ADJUST AND BALANCE DIFFUSERS IN ACCORDANCE WITH QUANTITIES SHOWN ON PLANS.
- GUARANTEES:

ALL EQUIPMENT AND MATERIALS SHALL BE GUARANTEED FOR ONE YEAR AFTER DATE OF ACCEPTANCE. ALL COMPRESSORS SHALL CARRY STANDARD FACTORY 5-YEAR GUARANTEE.
- AIR CONDITIONING DUCTWORK:
 - INSIDE BUILDING:

SHALL BE CONSTRUCTED OF 1" THICK STANDARD DUTY FIBERGLASS BOARD FLAMEPROOF REINFORCED ALUMINUM FACED COVER IN ACCORDANCE WITH N.F.P.A. NO. 90A AS MANUFACTURED BY OWENS-CORNING. DUCTWORK SHALL BE FABRICATED AND INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS. INSTALL AIR VOLUME EXTRACTORS AT EACH DUCT TAP.
 - PRIMARY AIR:

SHALL BE CONSTRUCTED OF GALVANIZED SHEET METAL AND SHALL BE EXTERNALLY INSULATED WITH 1" THICK, 6 LB. DENSITY FIBERGLASS BOARD ADHERED TO DUCTS WITH WELD PINS AND SPEED WASHERS. INSULATIONS SHALL BE VAPOR SEALED AND COVERED WITH GLASFAB AND MASTIC AND FINISH PAINTED WITH 2 COATS OF ALUMINUM PAINT.
- VENTILATION DUCTWORK:

SHALL BE CONSTRUCTED OF GALVANIZED SHEET METAL.
- SOUNDING:

SOUNDLINE DUCTS AS SHOWN ON PLANS WITH 3/4" THICK 3 LB. DENSITY VINYL COVERED DUCTLINE.
- REFRIGERANT PIPING:

SHALL BE HARD DRAWN TYPE "L" SEAMLESS COPPER TUBING WITH WROUGHT COPPER FITTING AND SILVER SOLDERED JOINTS. SUCTION LINES SHALL BE INSULATED WITH 3/4" THICK NON-SPLIT ARMAFLEX (3/4" THICK FOR PRIMARY AIR UNITS).
- VIBRATION AND NOISE ISOLATION:

VIBRATION AND NOISE ISOLATORS SHALL BE PROVIDED FOR ALL MOTORIZED EQUIPMENT IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. ALL VIBRATION ISOLATORS SHALL BE AS MANUFACTURED BY MASON INDUSTRIES AND SHALL BE PROPERLY SELECTED FOR APPLICATION.
- THERMOSTATS:

(UNLESS OTHERWISE CALLED FOR) SHALL BE LOW VOLTAGE HEAT-COOL WITH FAN AND SELECTOR SWITCHES ON SUB-BASE STAGES AS SHOWN ON PLANS. MOUNT ON WALL WHERE SHOWN ON PLANS 5'-6" ABOVE FINISHED FLOOR.
- CONTROLS:

FURNISH AND INSTALL A COMPLETE SYSTEM OF ELECTRICAL CONTROLS AS SPECIFIED AND OR AS REQUIRED FOR COMPLETE AUTOMATIC SYSTEM OPERATION.

A COMPLETE ELECTRICAL WIRING DIAGRAM SHALL BE SUBMITTED BY AIR CONDITIONING CONTRACTOR TO THE ENGINEER FOR HIS APPROVAL. ALL WIRING SHALL BE FUSED. PROVIDE COLOR CODED WIRING DIAGRAM FRAMED UNDER GLASS AND MOUNTED IN PRIMARY AIR UNIT ROOM.
- PRIMARY AIR CONTROL SEQUENCE:

THE PRIMARY AIR HANDLING UNIT SHALL BE CONTROLLED BY SOLID STATE ELECTRONIC CONTROLS ACCORDING TO THE FOLLOWING SEQUENCE:

WHEN THE UNIT IS STARTED FROM A LOCAL STATION THE CONTROLS SHALL BE ENERGIZED. A TEMPERATURE CONTROLLER SENSING SUPPLY TEMPERATURE AND BEING RESET BY ROOM TEMPERATURE SHALL STAGE ONE STEP OF COOLING AND FIVE STEPS OF HEATING TO MAINTAIN DESIRED TEMPERATURE. THE SPACE HUMIDISTAT SHALL ENERGIZE THE COOLING ONLY TO MAINTAIN SET HUMIDITY. THE ELECTRIC STRIP HEATER SHALL BE LIMITED TO ONE STAGE OF OPERATION WHILE THE CONDENSING UNIT IS ENERGIZED.

A SMOKE DETECTOR, LOCATED IN THE SUPPLY DUCT SHALL STOP THE UNIT, UPON INDICATION OF SMOKE. THE SMOKE DETECTOR SHALL BE MANUAL RESET TYPE.

WHEN THE AIR HANDLING UNIT IS DE-ENERGIZED, THE CONTROLS SHALL BE DE-ENERGIZED.
- ELECTRICAL NOTES:

ALL POWER AND CONTROL WIRING AND DISCONNECTS SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR. AIR CONDITIONER CONTRACTOR SHALL FURNISH TO ELECTRICAL CONTRACTOR FOR HIS INSTALLATION ALL MOTORS, STARTERS, CONTROLS, RELAYS, THERMOSTATS, FIRESTATS, ETC., ALONG WITH APPROVED WIRING DIAGRAM.

STARTERS SHALL BE PROVIDED AS FOLLOWS:

 - 3/4 H.P. MOTORS AND LARGER - ALLEN BRADLEY - BULLETIN NO. 709 WITH OVERLOAD PROTECTION FOR ALL POLES.
 - 1/2 H.P. MOTORS AND SMALLER - ALLEN BRADLEY - BULLETIN NO. 600.
- WORK REQUIRED OR FURNISHED BY OTHERS:
 - ALL ELECTRICAL WIRING AND DISCONNECT FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR.
 - CONDENSATE DRAIN LINES AND MAKE UP FEED LINE ARE FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR.
 - CONCRETE BASES FOR EQUIPMENT BY GENERAL CONTRACTOR.
 - STEEL SUPPORTS FOR PRIMARY AIR CONDENSING UNITS BY GENERAL CONTRACTOR.
 - ROOF FLASHING BY ROOFING CONTRACTOR, PITCH PANS FURNISHED BY AIR CONDITIONER CONTRACTOR AND INSTALLED BY ROOFING CONTRACTOR.
 - ROOF CURBS INSTALLED BY GENERAL CONTRACTOR AND FURNISHED BY AIR CONDITIONING CONTRACTOR.
 - VENTILATION CHASES SHALL BE CONSTRUCTED BY GENERAL CONTRACTOR IN ACCORDANCE WITH GOVERNING CODES.

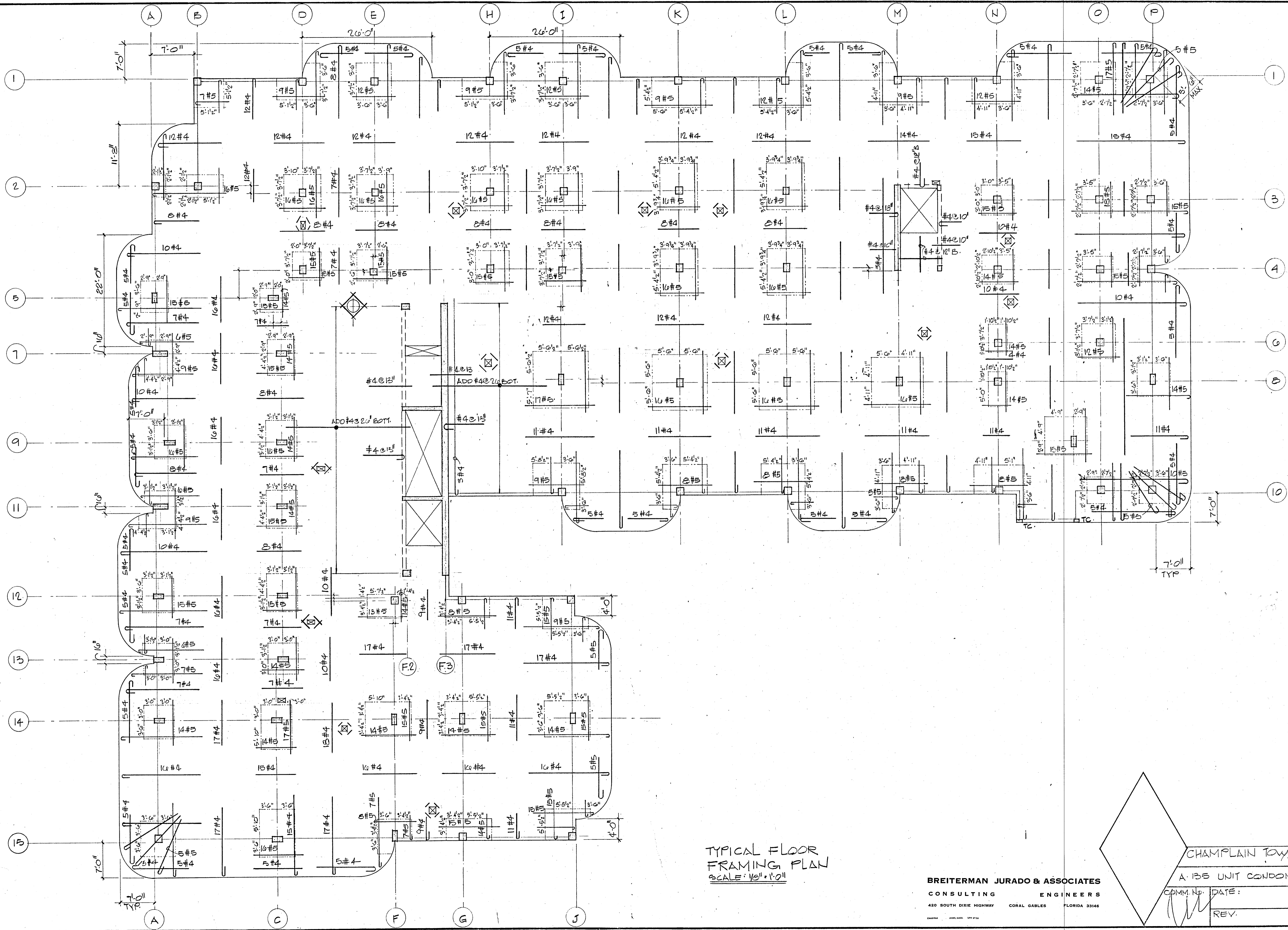
WILLIAM M. FRIEDMAN AND ASSOCIATES ARCHITECTS, INC.
 135 S.E. 14TH LANE
 3588044

CIAMPLAIN TOWERS SOUTH

A-135 UNIT CONDOMINIUM

COMM. NO. DATE: 8-13-79 SHEET No. 9 OF 9

ACS



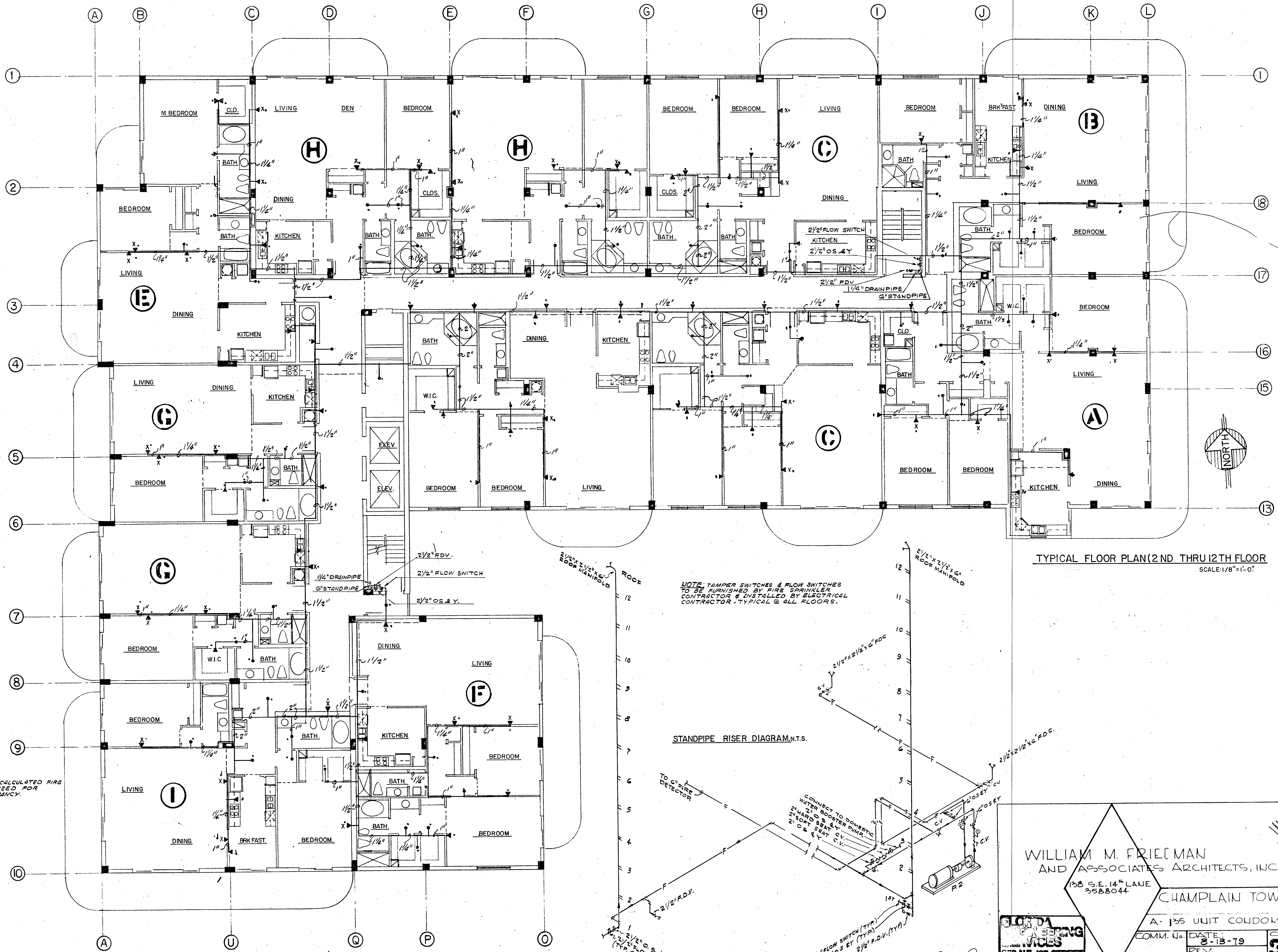
TYPICAL FLOOR
FRAMING PLAN
SCALE: 1/8" = 1'-0"

BREITERMAN JURADO & ASSOCIATES
CONSULTING ENGINEERS
420 SOUTH DIXIE HIGHWAY CORAL GABLES FLORIDA 33146

CHAMPLAIN TOWERS SOUTH

A-135 UNIT CONDOMINIUM

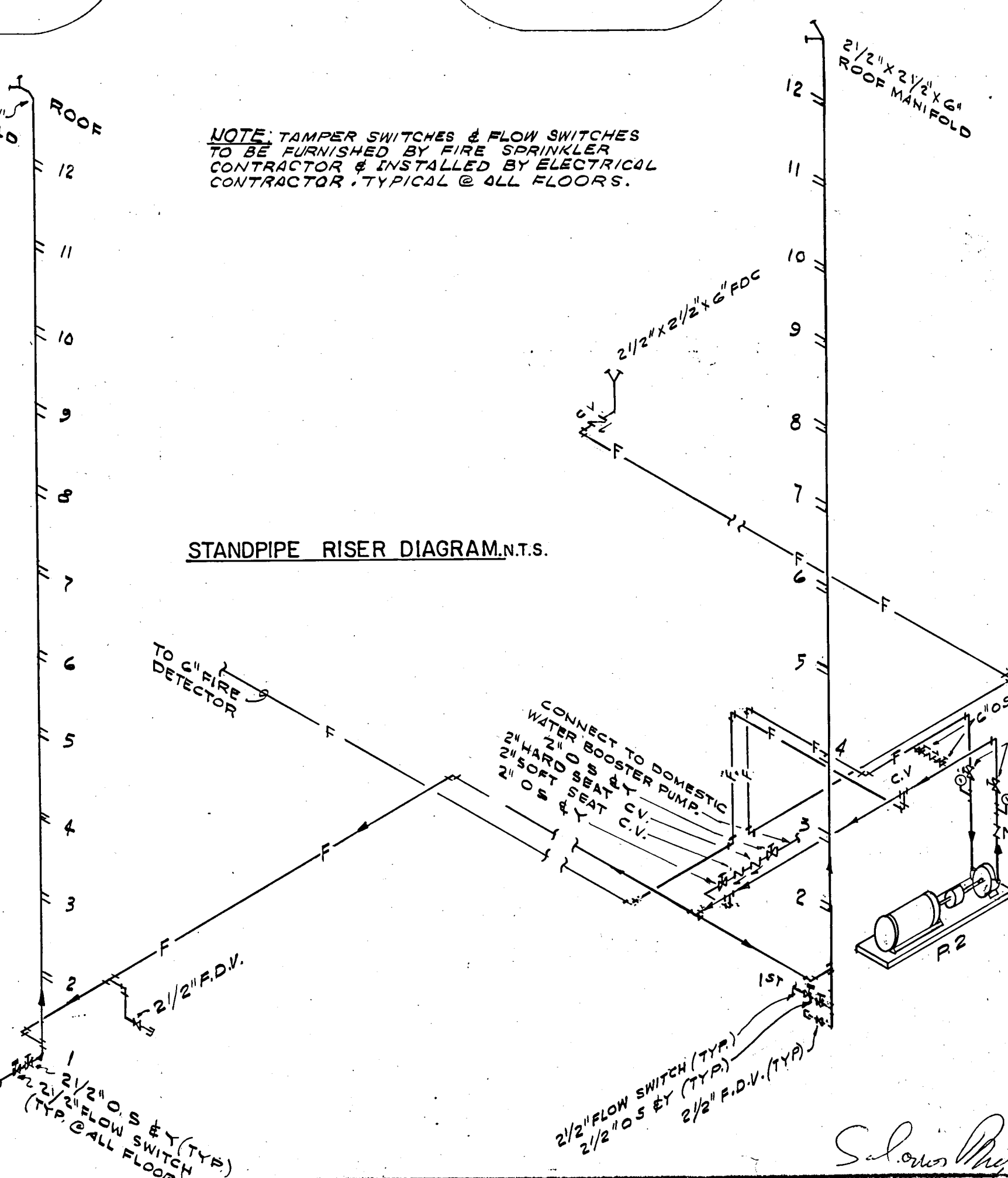
COMM. NO.	DATE:	SHEET NO.
		58 OF
REV.		



TYPICAL FLOOR PLAN (2ND THRU 12TH FLOOR)
SCALE 1/8" = 1'-0"

NOTE: TAMPER SWITCHES & FLOW SWITCHES TO BE FURNISHED BY FIRE SPRINKLER CONTRACTOR & INSTALLED BY ELECTRICAL CONTRACTOR, TYPICAL @ ALL FLOORS.

STANDPIPE RISER DIAGRAM, N.T.S.



NOTE: HYDRAULICALLY CALCULATED FIRE SPRINKLER SYSTEM SIZED FOR LIGHT HAZARD OCCUPANCY.

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
138 S.E. 14TH LANE
3588044

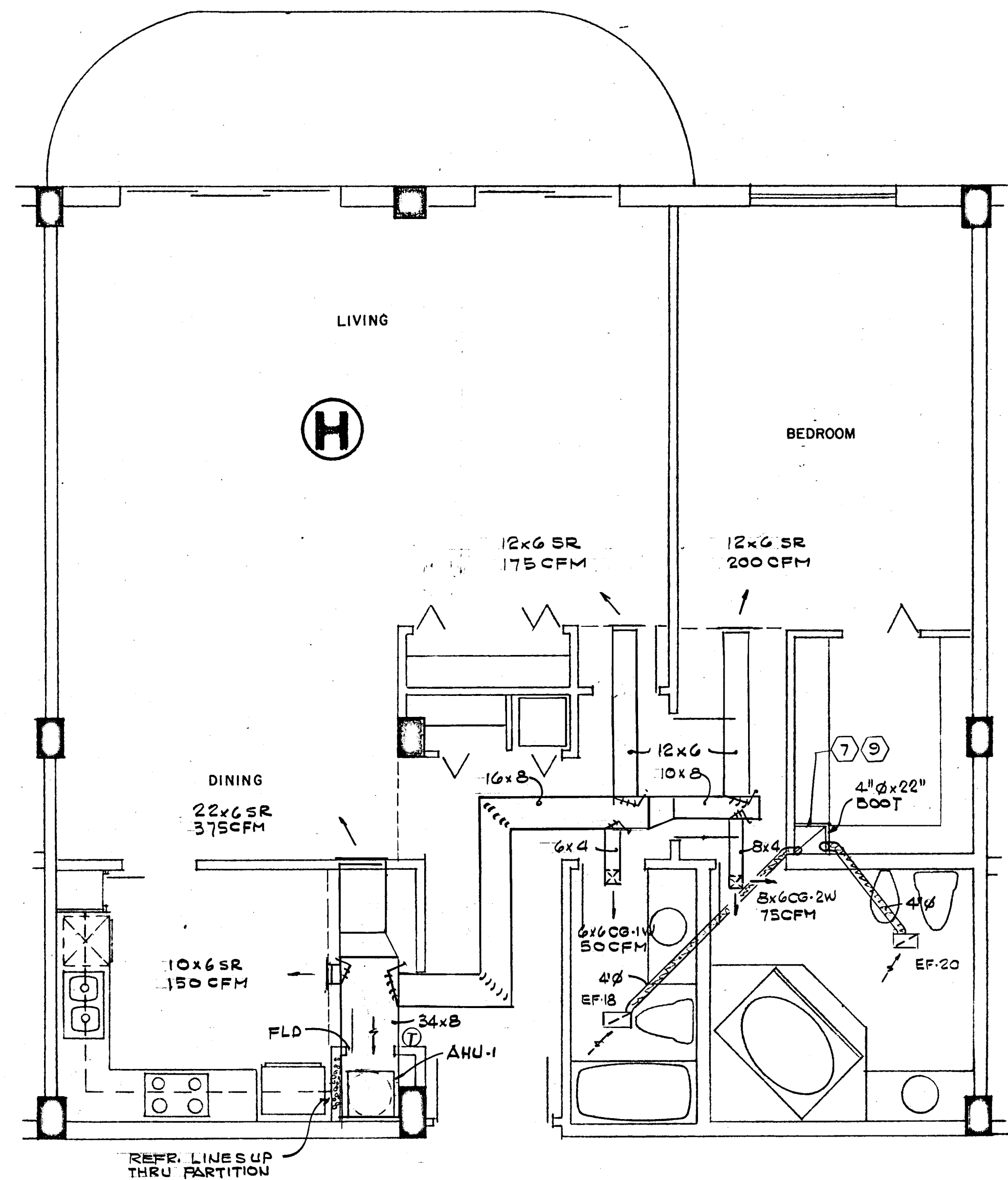
CHAMPLAIN TOWERS SOUTH

A - 135 UNIT CONDOMINIUM

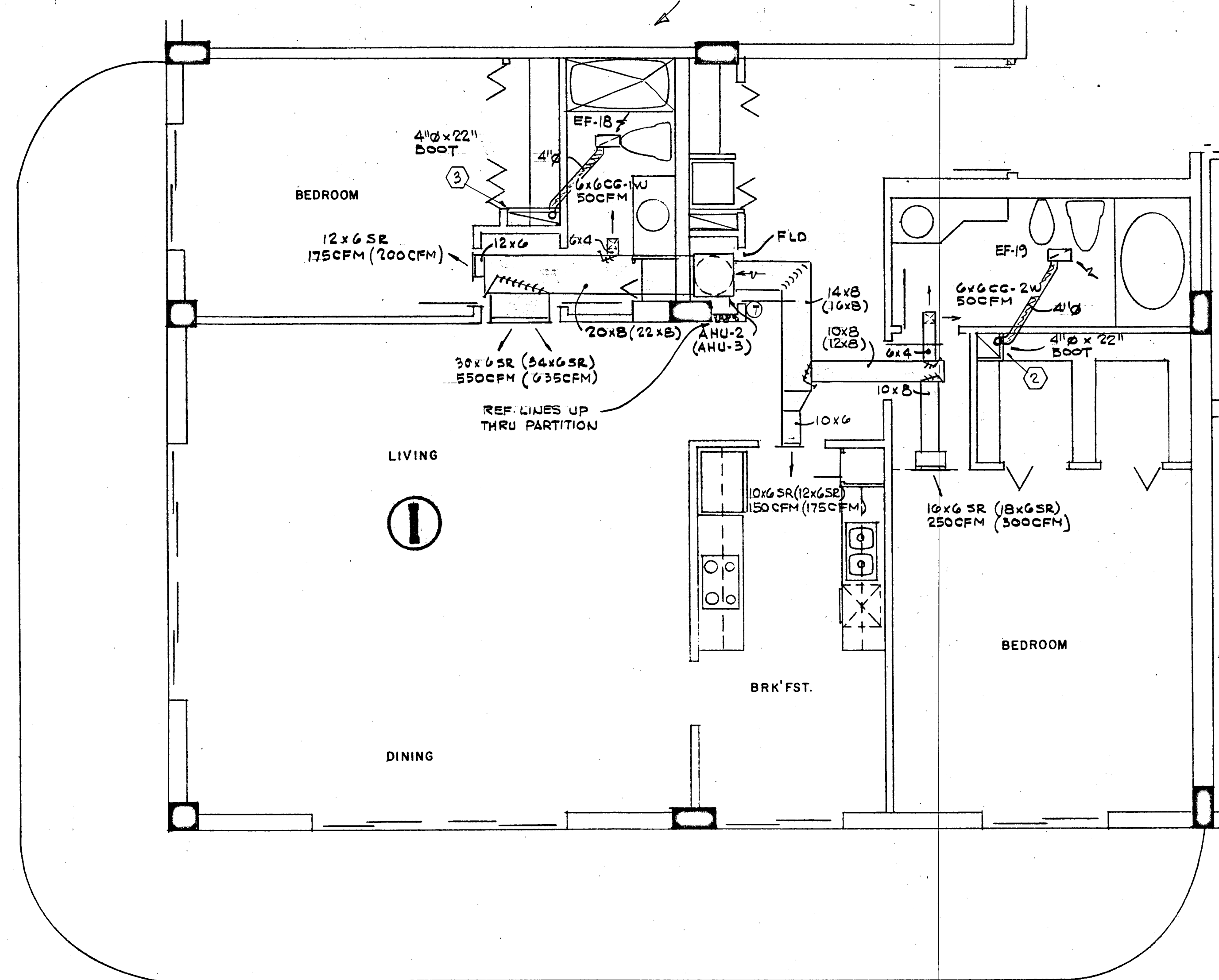
COMM. U.O. DATE: 8-13-79 SHEET No. 513 OF 3 SHEETS

FLOOR PLAN
SERVICES
225 N. 1ST STREET
ST. LOUIS, MO. 63102

Salvatore...
8/17/79



REFR. LINES UP THRU PARTITION

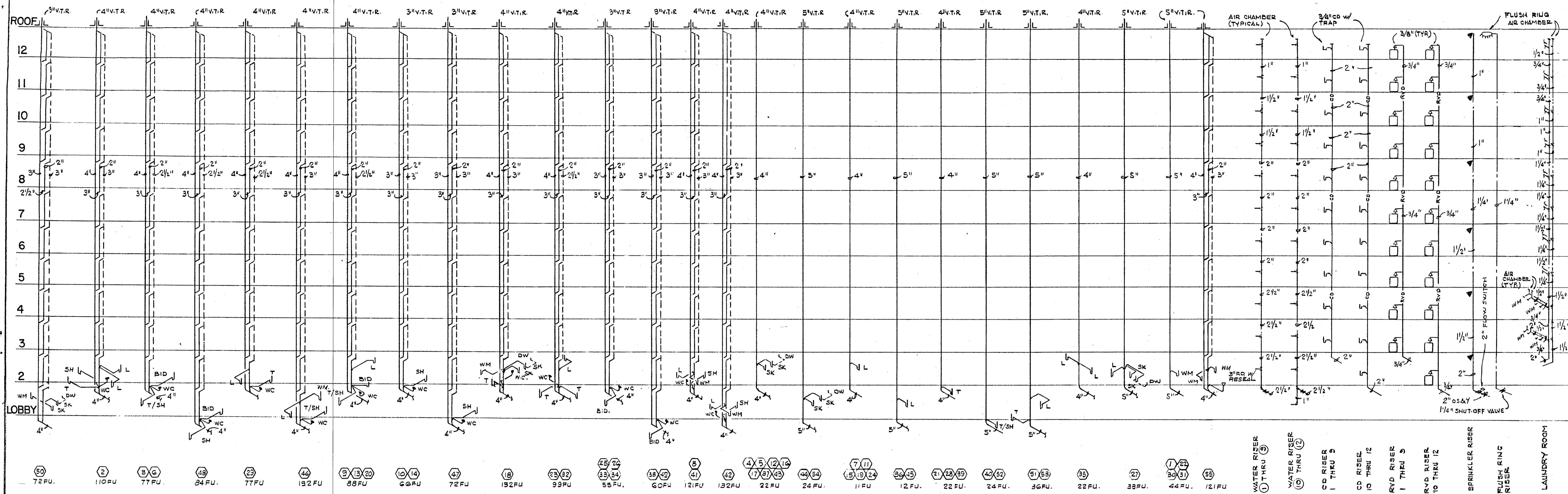


NOTE:
 ITEMS IN PARENTHESIS APPLY
 TO LOBBY AND 12TH FLOOR
 APARTMENTS ONLY

WILLIAM M. FRIEDMAN
 AND ASSOCIATES ARCHITECTS, INC.
 155 S.E. 14TH LANE
 3528044

CHAMPLAIN TOWERS SOUTH
 A-135 UNIT CONDOMINIUM
 COMM. No. DATE: 8-13-79
 REV SHEET No. 10 of 9
 ACB

Solomon Miller
 8/13/79



SANITARY RISER DIAGRAM

APARTMENT PLUMBING FIXTURES AND TRIM
(ALL FIXTURES TO BE WHITE)

- LAVATORY: 0476.028 "AQUALYN" 20" x 17" V.C. - SELF RIMMING 2379.019 "AQUARIAN 11" FAUCET W/AERATOR, POP-UP DRAIN, AND CERAMIC DISC CARTRIDGE. 3" x 12" C.P. SUPPLY PIPES W/STOPS. 1 1/2" C.P. TUBE P-TRAP - 17 GAGE.
- WATER CLOSET: 2109.056 "ELONGATED CADET" - SIPHON-JET 5330.063 "CHURCH" CLOSED FRONT SEAT W/COVER. 3" x 2" C.P. SUPPLY PIPES W/STOPS. (2) BOLT CAPS.
- BATHTUB: 0135.137 (RH) OR 0137.133 (LH) "SALEM" 5'0" ACID RESISTING ENAMELED STEEL RECESSED BATH W/SLIP RESISTANT BOTTOM. 1490.093 AQUARIAN 11 BATH AND SHOWER COMBINATION - DIVERTER SPOUT - CERAMIC DISC CARTRIDGE. 1560.135 MULTI-FLEX DRAIN.
- ROMAN TUB: FOR SPECIFICATIONS SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.
- SHOWER: 1490.036 "AQUARIAN 11" SHOWER FITTING - CERAMIC DISC CARTRIDGE WITH SCREWDRIVER STOPS. 1413.012 SHOWER HEAD. 1444.017 ARM AND ESCUTCHEON PLATE. ZURN: Z-415 SERIES W/TYP E B STRAINER. PROVIDE 4 LB. LED PAN.
- KITCHEN SINK: 7017.015 "CUSTOM-LINE DOUBLE BOWL SINK, 32" x 20.4 HOLE. 4200.077 "AQUARIAN 11" SWING SPOUT FAUCET - SWIVEL AERATOR - CERAMIC DISC CARTRIDGE. 3" SINK SUPPLIES W/STOPS. 1 1/2" C.P. TUBE P-TRAP - 17 GAGE. DISPOSER BY OTHERS.
- LAUNDRY TRAY: MUSTEE MODEL 18F - FLOOR MOUNTED. 20 GAL. CAPACITY MOULDED STONE WITH DRAIN. TRIM-CHICAGO FAUCET CO., NO. 891 WITH AERATOR AND LEVER HANDLES. 1 1/2" SATIN FINISH P-TRAP, 17 GAGE. 3" SINK SUPPLIES W/STOPS.
- BIDGET: 5010.103 "LUXETTE" WITH FITTING - WITH CHROME HANDLE FOR WALL MOUNTING - 3324.092.

ITEM	C.W. CONN	H.W. CONN	TRAP SIZE	F.U. COUNT	REMARKS
LAVATORY	1/2"	1/2"	1 1/2"	1	
BATHTUB	1/2"	1/2"	1 1/2"	2	
SHOWER	1/2"	1/2"	2"	2	
WATER CLOSET (TANK)	1/2"	---	3"	4	
KITCHEN SINK	1/2"	1/2"	1 1/2"	2	
WASHING MACHINE	1/2"	1/2"	1 1/2"	4	
HOSE BIB	3/4"	---	---	---	VACUUM BKR & VALVE IN THE VERTICAL
DISHWASHER	---	1/2"	1 1/2"	2	
FLOOR DRAIN	---	---	3 or 4"	3	PROVIDE TRAP RESEALER
URINAL	3/4"	---	2"	4	WALL MOUNTED
WATER CLOSET (FLUSH VALVE)	1"	---	3"	8	
DRINKING FOUNTAIN	3/8"	---	1 1/2"	1	SEE PLANS FOR LOCATIONS

PUBLIC AREA PLUMBING FIXTURES AND TRIM
(ALL FIXTURES TO BE WHITE)

PLUMBING FIXTURES - ALL FIXTURES TO BE AMERICAN STANDARD.

- WATER CLOSET: (FOR THE HANDICAPPED) 9468.018 "ELONGATED CADET" - SIPHON JET - 1" TOP STUD SEAT: HEAVY DUTY SOLID PLASTIC OPEN FRONT SEAT, LESS COVER, WITH STAINLESS STEEL CHECK HINGE. SLOAN ROYAL 115 FLUSH VALVE 481310-100 BOLT CAPS
- WATER CLOSET: (REGULAR) 2222.016 "MODERN" SIPHON JET 1" TOP STUD SEAT: HEAVY DUTY SOLID PLASTIC OPEN FRONT SEAT, LESS COVER, WITH STAINLESS STEEL CHECK HINGE. SLOAN ROYAL 110 FLUSH VALVE 481310-100 BOLT CAPS
- LAVATORY: 0475.028 "AQUALYN" 20" x 17" VITREOUS CHINA SELF RIMMING LAVATORY. 2379.063 AQUARIAN 11 CENTER SET SINGLE HANDLE VALVE WITH AERATOR AND POP-UP DRAIN. 1 1/2" x 12" C.P. SUPPLY PIPES WITH STOPS 1 1/4" C.P. TUBE P-TRAP - 17 GAGE.
- URINAL: 6560.015 "TRIMBROOK" WALL HUNG SIPHON JET URINAL SLOAN ROYAL 186-11 FLUSH VALVE.
- SHOWER: PUBLIC 1490.036 AQUARIAN 11 SHOWER FITTING - CERAMIC DISC CARTRIDGE WITH SCREWDRIVER STOPS.
- SERVICE SINK: 7692.049 "LAKEWELL" 22" x 18" ARESI SINK WITH 8379.018 RIM GUARD 8340.242 DOUBLE FAUCET WITH HOSE AND SPOUT, PAIL HOOK, AND VACUUM BREAKER. 7798.176 3" TRAP STANDARD.
- ELECTRIC WATER COOLER: PUBLIC HALSEY TAYLOR WC-7A-1 WALL HUNG WATER COOLER.
- FLOOR DRAIN: ZURN MODEL ZN415 - WITH NO HUB FITTING.
- PLANTER DRAIN: ZURN ZB114C WITH SUMP RECEIVER AND PERFORATED OVERFLOW. SEE ARCHITECTURAL PLANS FOR LENGTH OF OVERFLOW REQUIRED.
- ROOF DRAIN: ZURN MODEL Z-113 WITH LEAD FLASHING AROUND DRAIN
- POOL EQUIPMENT ROOM: ZURN ZB-520-Y WITH Z-1099 BWV WITH PRIMING CONNECTION.
- PUMP ROOM DRAIN: ZURN Z-550-Y WITH PRIMING CONNECTION
- TRASH ROOM: ZURN Z-451 WITH Z-1099 BWV WITH PRIMING CONNECTION.
- TRENCH DRAIN: ZURN ZN-666.
- POOL AND LOBBY LEVEL DECK: ZURN ZN-415 WITH 10" TYPE "H" TOP.
- PARKING DECK DRAIN: ZURN Z-150 WITH 14" TOP.

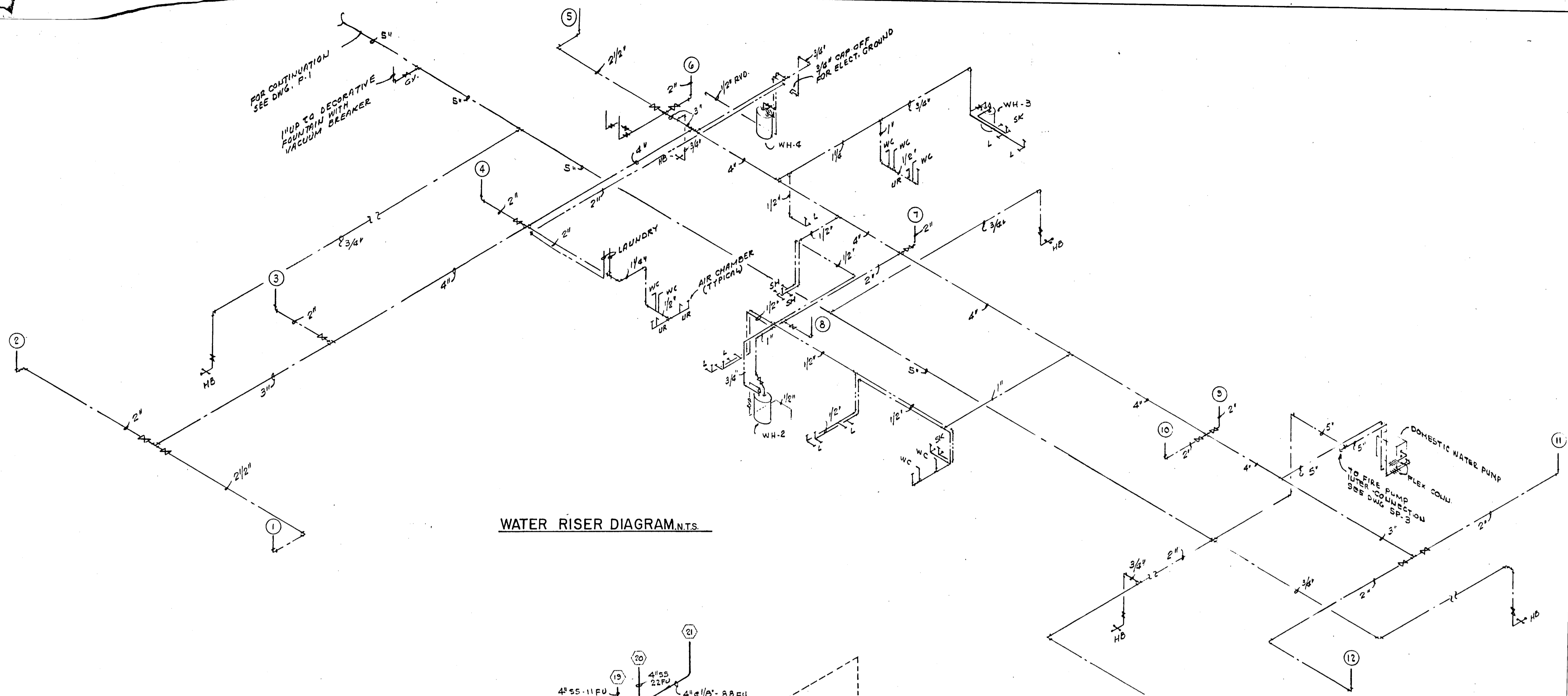
PUMP NUMBER	P-1
APPLICATION	DOMESTIC BOOSTER
LOCATION	LOBBY EQUIP. ROOM
G.P.M.	90+180+180
T.D.H. (IN FT. WATER)	110
H.P.	5+10+10
R.P.M.	1750
EFFICIENCY	59.5 + 71.5 + 71.5
VOLTAGE	208-3-60
MOTOR TYPE	O.D.P.
PUMP TYPE	HORIZONTAL END SUCTION
MANUFACTURER	SYNCO-FLOW
MODEL	450ES48P
SIZE	1-1P; 2-1Q
CONSTRUCTION	CAST IRON BRONZE FITTED
SEAL	MECHANICAL
OPERATING WEIGHT - LBS.	2000
INERTIA BLOCK SIZE	A, B, C, D & E
ACCESSORIES	A. SPRING ISOLATORS B. HIGH & LOW PRESSURE CUT-OFF C. ELECTRICAL ALTERNATION D. COPPER PIPING E. PIPE ISOLATORS

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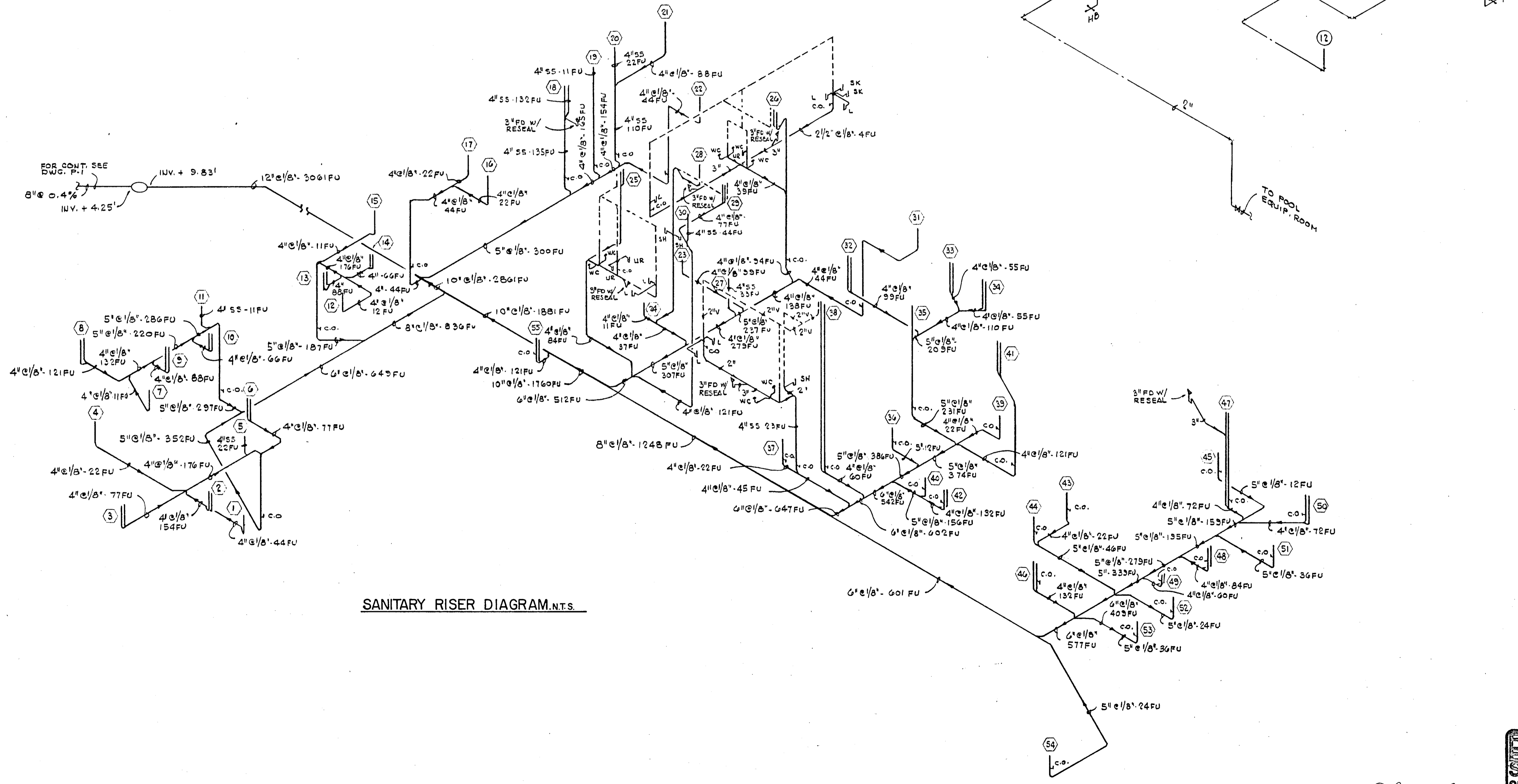
CHAMPLAIN TOWERS SOUTH
A- 135 UNIT CONDOMINIUM
COMM. No. DATE: 8-13-79 SHEET No. 11 OF 11 SHEETS

FLORIDA ENGINEERING SERVICES
552 NE 167 STREET
MIAMI, FLA. 33132

8/13/79



WATER RISER DIAGRAM.N.T.S.



SANITARY RISER DIAGRAM.N.T.S.

PLUMBING NOTES

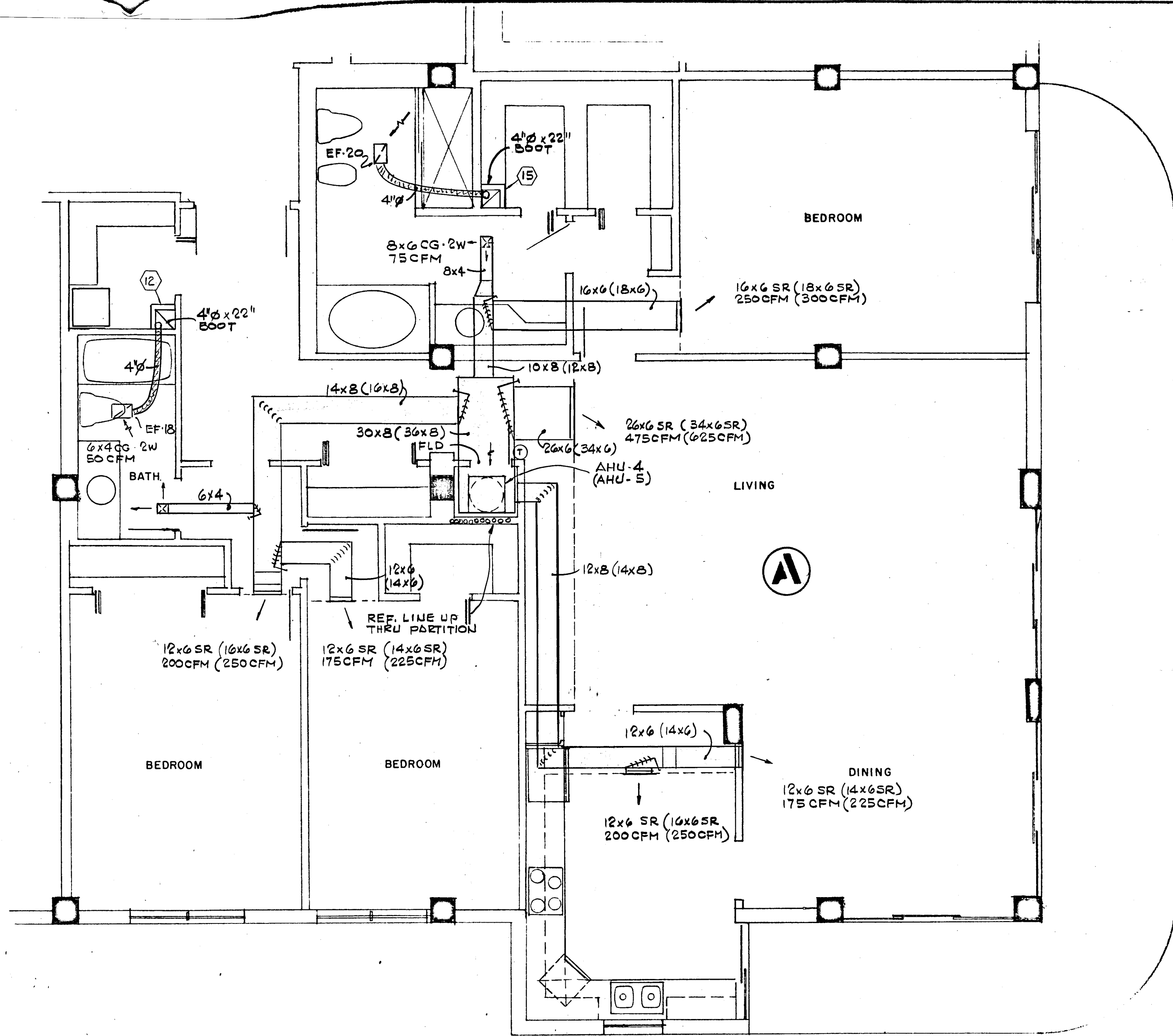
1. ALL PLUMBING SHALL BE DONE IN ACCORDANCE WITH STATE AND LOCAL CODES AND ORDINANCES, AND UTILITY COMPANIES SPECIFICATIONS AND REQUIREMENTS.
2. PLUMBING CONTRACTOR SHALL PAY ALL FEES, INSPECTION AND CONNECTION CHARGES REQUIRED.
3. PLUMBING CONTRACTOR SHALL VERIFY ALL SPACE CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO FABRICATION AND INSTALLATION OF MATERIALS AND EQUIPMENT.
4. COORDINATE WORK WITH OTHER TRADES.
5. SUBMIT SHOP DRAWINGS TO ENGINEER FOR APPROVAL OF ALL EQUIPMENT, MATERIALS AND LAYOUTS PRIOR TO INSTALLATION.
6. PLUMBING CONTRACTOR SHALL GUARANTEE ALL WORK FREE OF DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE.
7. PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL A/C CONDENSATE DRAIN AND TRAP. SEE A/C PLANS FOR LOCATIONS OF UNITS AND DRAINS.
8. EACH BATHROOM AND FIXTURE GROUP SHALL BE PROVIDED WITH AIR CHAMBERS.
9. PROVIDE SHUT-OFF VALVE FOR EACH FIXTURE.
10. WHEREVER DISSIMILAR METALS ARE TO BE JOINED, A DIELECTRIC FITTING SHALL BE PROVIDED TO CONNECT BOTH TYPES OF PIPES.
11. FURNISH AND INSTALL BATHROOM FIXTURES AS SPECIFIED.
12. PIPING:
 - A) WATER LINES:
 1. UNDERGROUND
ALL PIPING 4" AND LARGER SHALL BE CEMENT MORTAR LINED DUCTILE IRON PIPE CLASS 150, WITH HOT COAL TAR DIPPED EXTERIOR.
ALL PIPING 3" AND SMALLER SHALL BE TYPE "L" COPPER. ALL COPPER LINES SHALL BE JOINED WITH 95/5 SOLDER.
 2. ABOVE GROUND
ALL COLD & HOT WATER PIPING SHALL BE TYPE "L" COPPER WITH CAST OR WROUGHT COPPER FITTINGS. ALL COPPER LINES SHALL BE JOINED WITH 95/5 SOLDER.
COLD AND HOT WATER PIPING IN SLAB SHALL BE TYPE "L" SOFT COPPER IN POLYETHYLENE CONDUIT. NO PIPE JOINTS ALLOWED INSIDE OF SLAB.
 3. VALVES 4" AND SMALLER SHALL BE ALL BRASS AS MANUFACTURED BY NIBCO OR APPROVED EQUAL. VALVES 5" AND LARGER SHALL BE CAST IRON BODY WITH BRASS TRIM CRANE, STOCKHAM OR APPROVED EQUAL.
 - B) SANITARY LINES:
 1. UNDERGROUND
ALL PIPES UNDER BUILDING, 2" AND SMALLER SHALL BE TYPE "L" COPPER SANITARY PIPE AND FITTING.
ALL PIPES UNDER BUILDING, 3", 4" OR 5" SHALL BE NO-HUB CAST IRON PIPE AND FITTINGS.
ALL PIPES UNDER BUILDING, 6" AND LARGER SHALL BE CAST IRON, NEOPRENE RUBBER GASKETED HUB AND SPIGOT SOIL PIPE AND FITTINGS.
ALL PIPES OUTSIDE OF BUILDING SHALL BE SAME AS DESCRIBED ON ABOVE ITEMS, EXCEPT PIPES 6" AND LARGER CAN BE VITRIFIED CLAY PIPE.
 2. ABOVE GROUND
ALL PIPING SHALL BE NO-HUB CAST IRON PIPE AND FITTINGS. FIXTURE ARMS SHALL BE TYPE DWV COPPER. FIXTURE ARMS EXPOSED TO VIEW SHALL BE CHROME PLATED BRASS, WITH ESCUTCHEON PLATE AT WALL.
 - C. STORM LINES
 1. UNDERGROUND
ALL PIPING, INSIDE OF BUILDING, 5" AND SMALLER SHALL BE NO-HUB CAST IRON PIPE AND FITTINGS.
ALL PIPING 6" AND LARGER, UNDER BUILDING, SHALL BE CAST IRON, NEOPRENE RUBBER GASKETED HUB AND SPIGOT SOIL PIPE AND FITTINGS.
ALL PIPING OUTSIDE OF BUILDING 5" AND SMALLER SHALL BE NO-HUB CAST IRON PIPE AND FITTINGS.
ALL PIPING OUTSIDE OF BUILDING, 6", 8" AND 10" SHALL BE NEOPRENE RUBBER GASKETED HUB AND SPIGOT PIPE AND FITTINGS.
ALL PIPING OUTSIDE OF BUILDING 12" AND LARGER SHALL BE CONCRETE PIPE AND FITTINGS OR CORRUGATED HELICAL ALUMINUM PIPE AND FITTINGS.
 2. ABOVE GROUND
ALL PIPING SHALL BE NO-HUB CAST IRON PIPE AND FITTINGS.
 - D. CONDENSATE LINES
SHALL BE SCHEDULE 40 PVC PIPE AND FITTINGS. INSTALL ALL VERTICAL RISERS WITHIN BUILDING, INSIDE OF PARTITION.
 - E. RELIEF VALVE LINES
ALL BOILER AND/OR WATER HEATER PRESSURE AND TEMPERATURE RELIEF LINES SHALL BE TYPE "L" COPPER PIPE AND FITTINGS.

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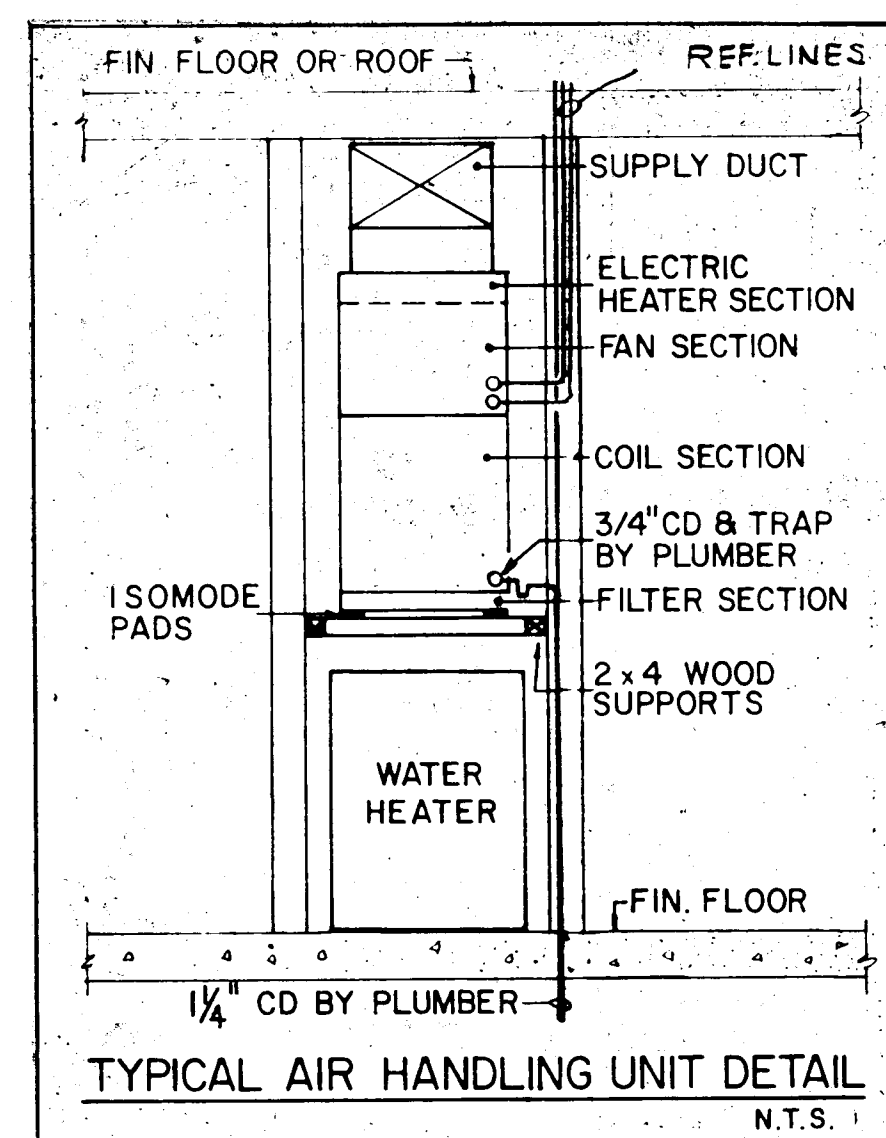
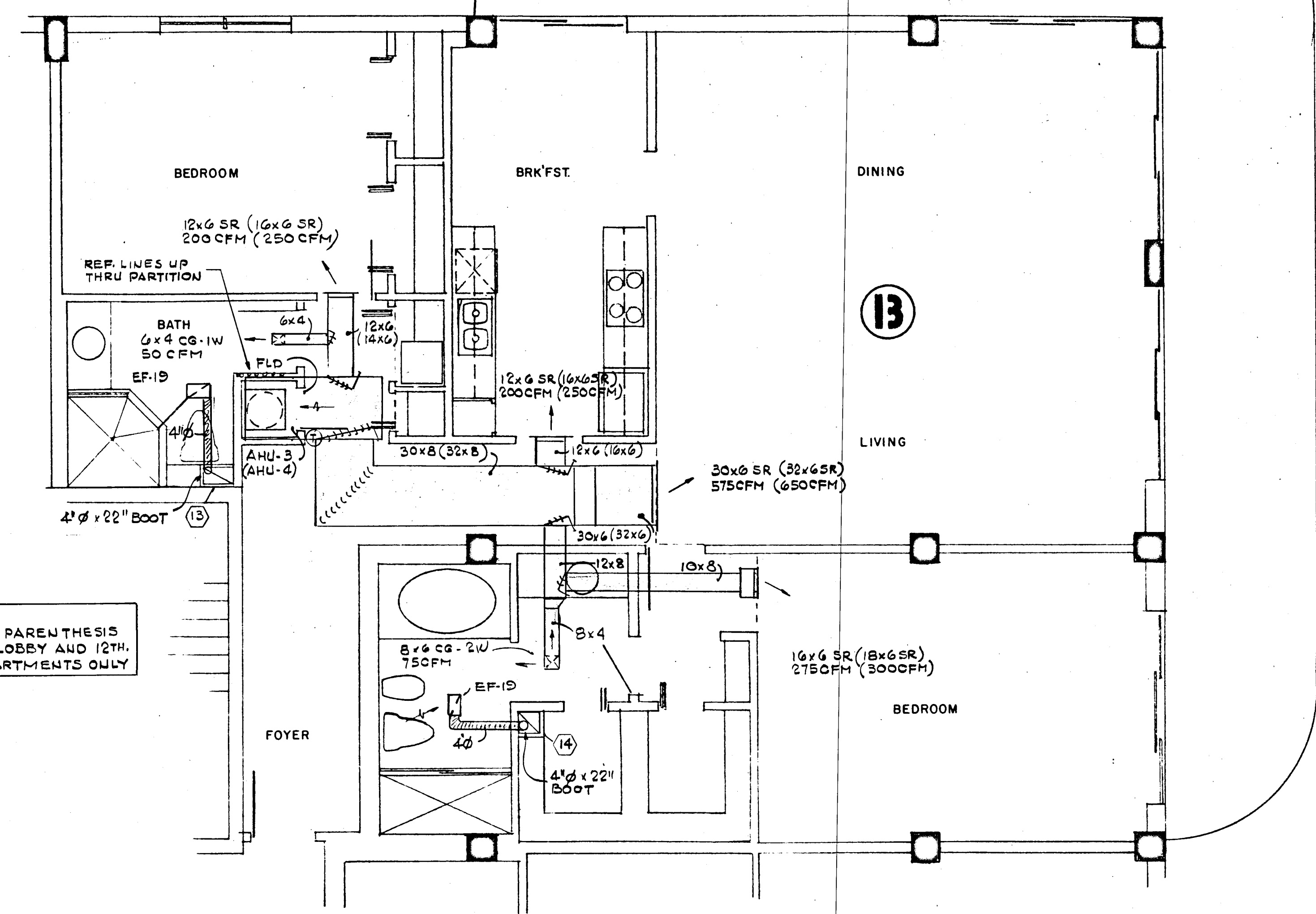
CHAMPLAIN TOWERS SOUTH
A- 135 UNIT CONDOMINIUM
COMM. No. DATE: 5-13-79 SHEET No. 11 OF 11 SHEETS

FLORIDA ENGINEERING SERVICES
352 NE 167 STREET
MIAMI BCH, FLA 33132 848-4743

Schreyer
5/13/79



NOTE:
ITEMS IN PARENTHESIS
APPLY TO LOBBY AND 12TH
FLOOR APARTMENTS ONLY



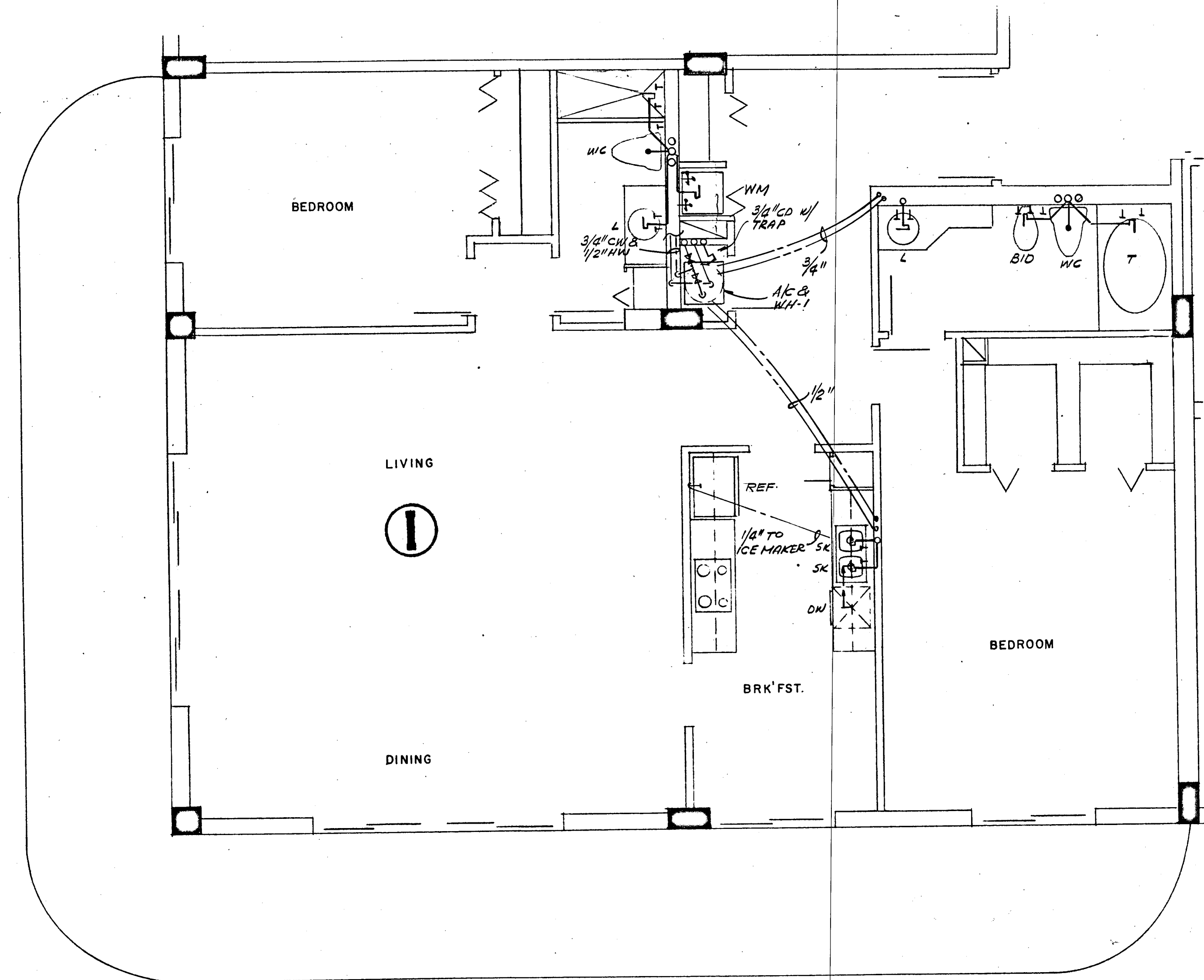
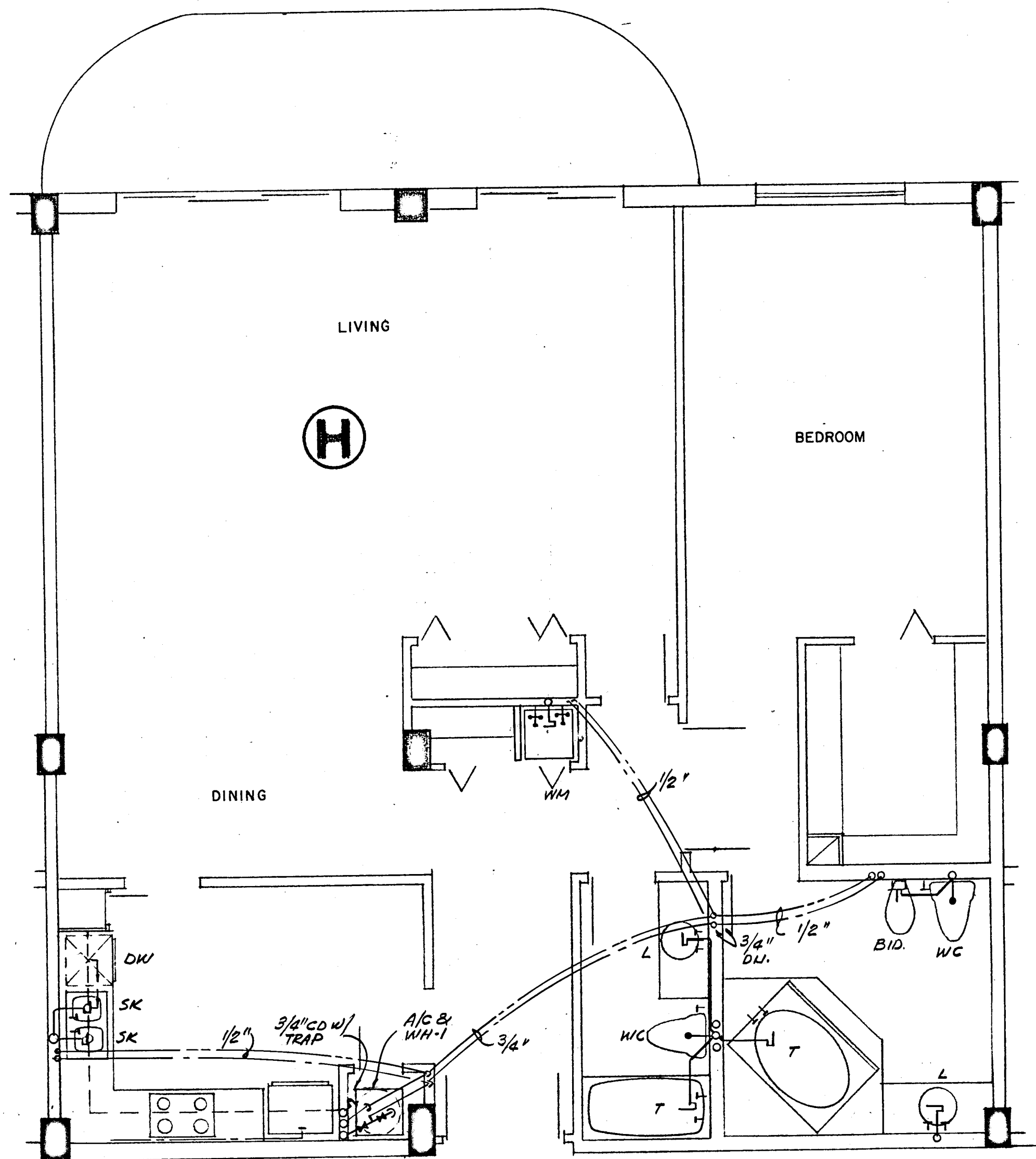
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CHAMPLAIN TOWERS SOUTH
A-135 UNIT CONDOMINIUM

COMM. No. DATE: 8-13-79
REV. 2E-V

CHEET No. AC-5 OF 9 SHEETS

Slowly Miller
8/13/79

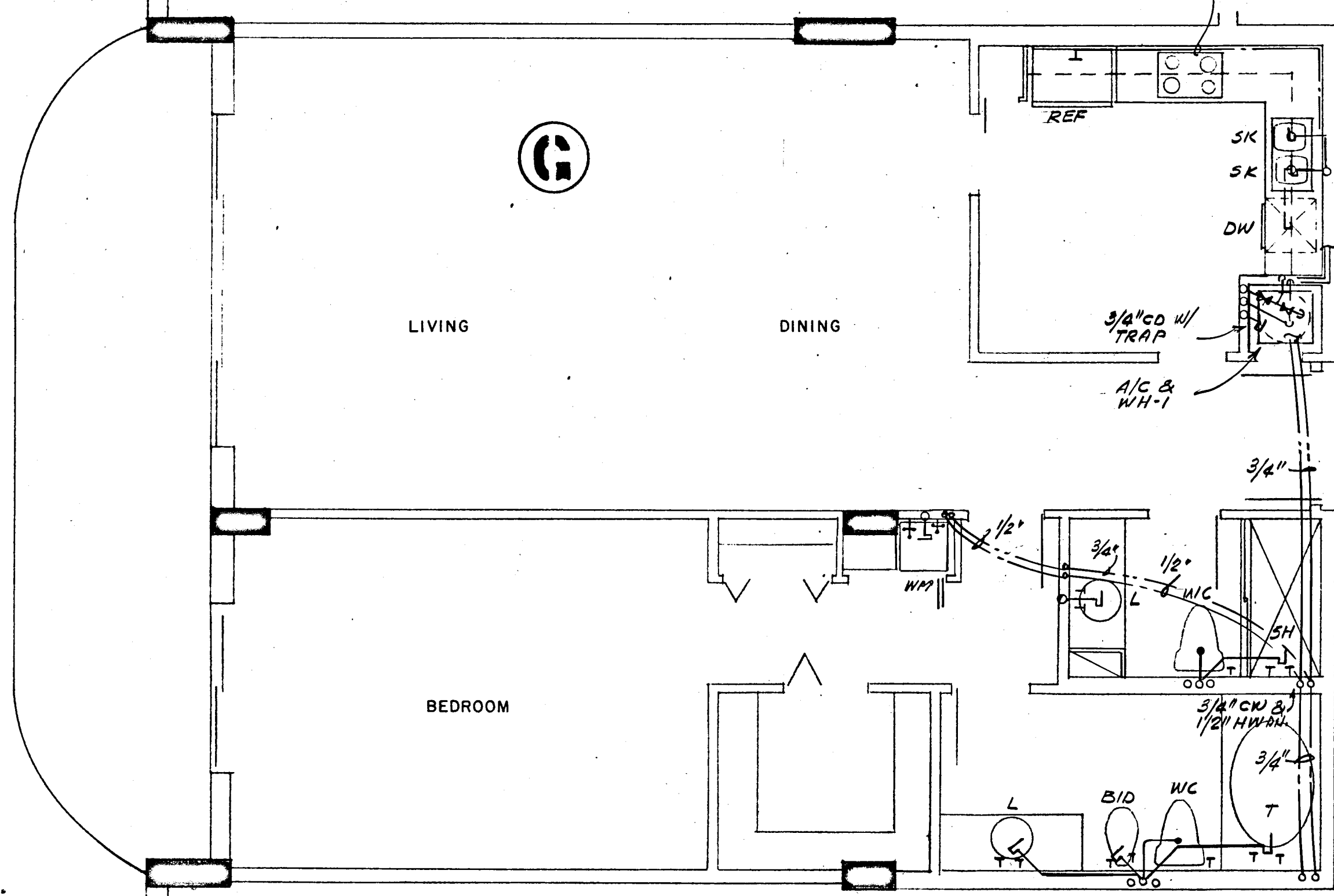
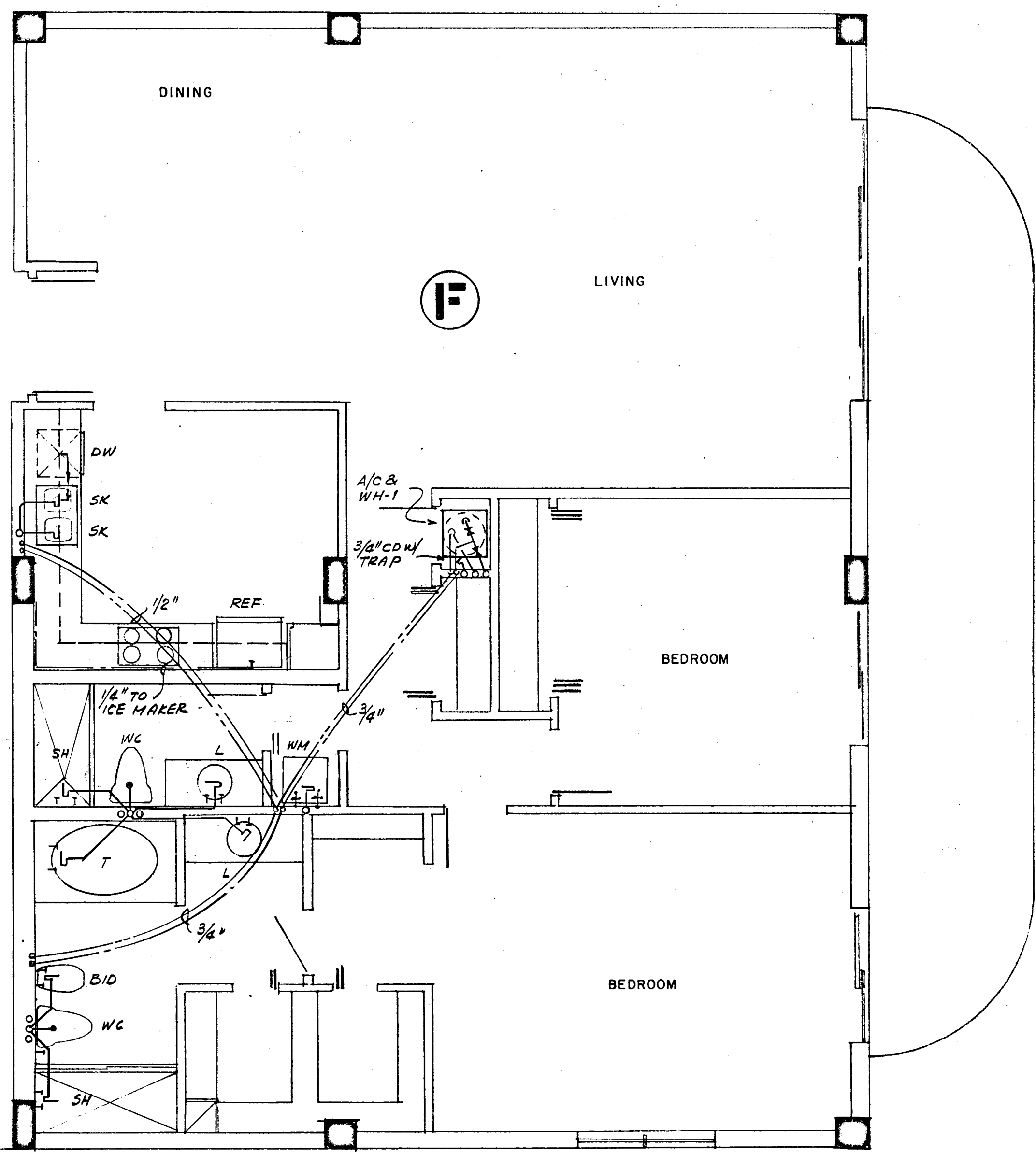
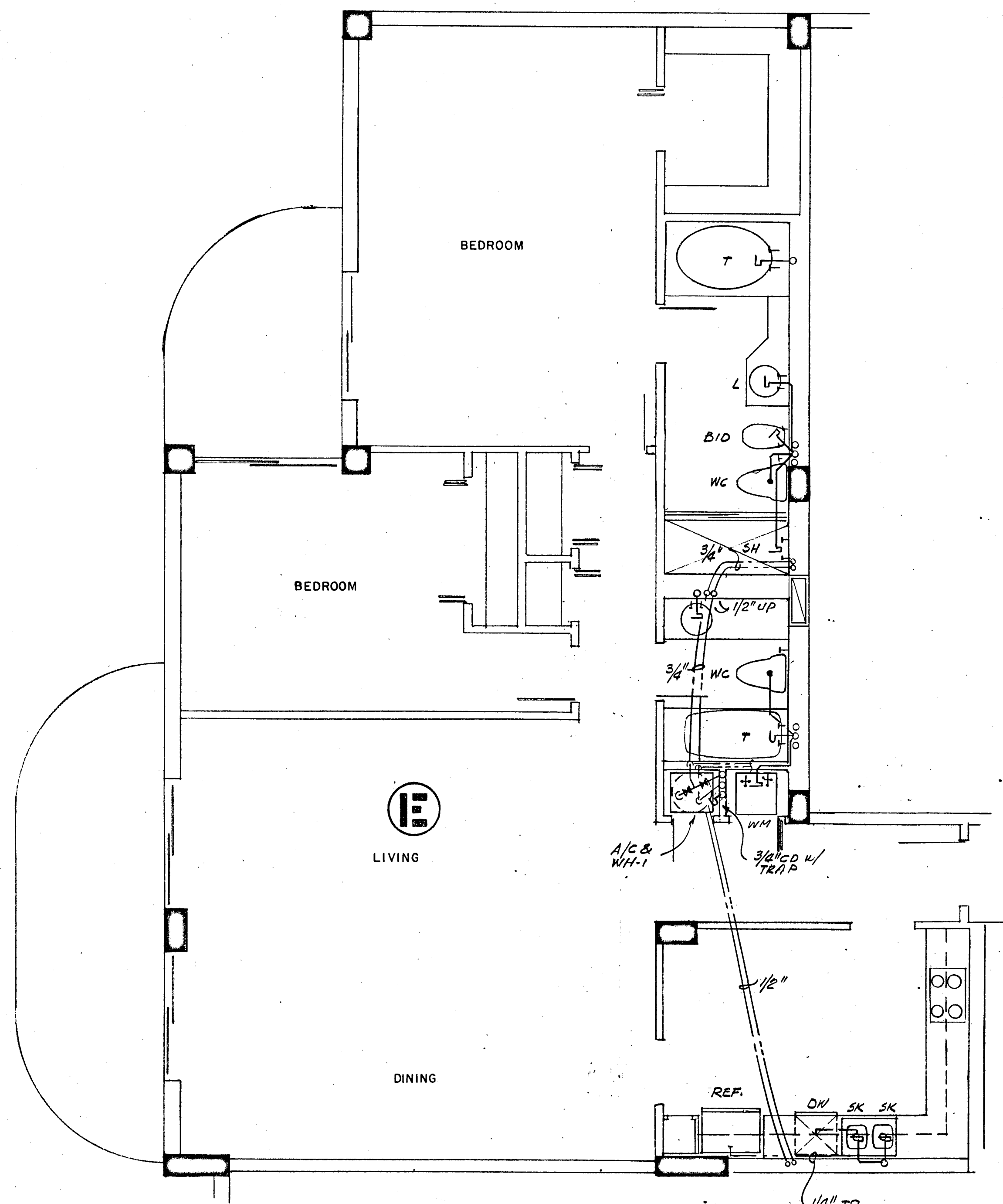


Salomon Friedman
12/79

WILLIAM M. FRIEDMAN
AND ASSOCIATES ARCHITECTS, INC.
128 S.E. 14th LANE
3588044

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ENGINEERING
SERVICES
352 NE 167 STREET
MIAMI BEACH, FLA.
33132 645-4743

CHAMPLAIN TOWERS SOUTH
A: 125 UNIT CONDOMINIUM
COMM. No. DATE: 8-13-79 SHEET No. 1361



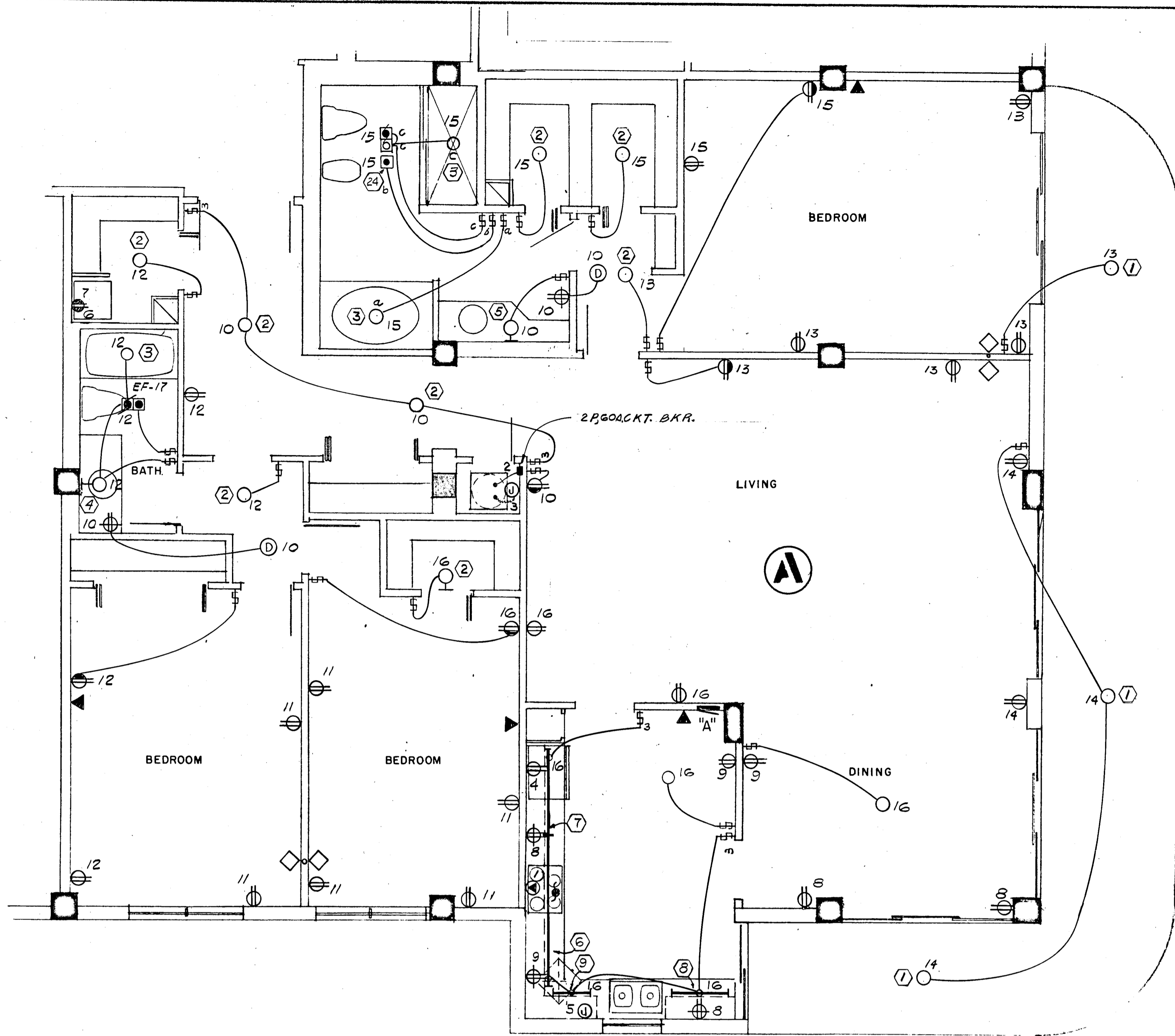
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138 S.E. 14th LANE
3588044

CHAMPLAIN TOWERS SOUTH
A - 135 UNIT CONDOMINIUM

FLORIDA ENGINEERING SERVICES
352 NE 167 STREET
N. MIAMI BCH, FLA.
33162 943-4743

COMM. No. DATE: 2-13-79 SHEET No. 138 of 11 SHEETS

REV. 8/13/79



2085 SQ. FT x 3 WATTS = 6.2 KW

PANEL "A" 1Ø, 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	LINE	NEUT.	KW
1	2-50	6	RANGE	12.0	8.4	
2	2-60	6	AIR COND. (HTR & A.H.U.)	10.9	---	
3	2-30	10	WATER HEATER	4.5	---	
4	1-20	12	REFRIGERATOR	0.7	0.7	
5			DISH WASHER	1.2	1.2	
6			DRYER (COMPACT-FUTURE)	1.8	1.8	
7			WASHER (COMPACT-FUTURE)	0.9	0.9	
8-9			SMALL APPLIANCES	3.0	3.0	
*10-16	1-15	14	LIGHTS & RECEPTACLES	6.2	6.2	

* CIRC NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

FIRST 10.0 KW @ 100% ----- 10.0
 NEXT 20.3 KW @ 40% ----- 8.1
 AIR COND. (HEATING) ----- 7.4
 TOTAL KW ----- 25.5

NEUTRAL

FIRST 3.0 KW @ 100% ----- 3.0
 NEXT 11.0 KW @ 35% ----- 3.8
 RANGE 12.0 KW @ 70% ----- 8.4
 TOTAL KW ----- 15.2

WATTS TO AMPS (LINE) 25,500 ÷ 208V = 122 AMPS
 WATTS TO AMPS (NEUT.) 15,200 ÷ 208V = 73 AMPS
 FEEDER: 2# 1 & 1# 4 THW CU - 1½"

• 10 KW x 65% = 6.5 KW + 0.9 KW A.H.U. = 7.4 KW

2ND THRU 11TH FLOOR

1795 SQ. FT x 3 WATTS = 5.3 KW

PANEL "B" 1Ø, 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	LINE	NEUT.	KW
1	2-50	6	RANGE	12.0	8.4	
2	2-50	6	AIR COND. (HTR & A.H.U.)	8.2	---	
3	2-30	10	WATER HEATER	4.5	---	
4	1-20	12	REFRIGERATOR	0.7	0.7	
5			DISH WASHER	1.2	1.2	
6			DRYER (COMPACT-FUTURE)	1.8	1.8	
7			WASHER (COMPACT-FUTURE)	0.9	0.9	
8-9			SMALL APPLIANCES	3.0	3.0	
*10-15	1-15	14	LIGHTS & RECEPTACLES	5.3	5.3	

* CIRC NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

FIRST 10.0 KW @ 100% ----- 10.0
 NEXT 19.4 KW @ 40% ----- 7.7
 AIR COND. (HEATING) ----- 5.5
 TOTAL KW ----- 23.2

NEUTRAL

FIRST 3.0 KW @ 100% ----- 3.0
 NEXT 9.9 KW @ 35% ----- 3.4
 RANGE 12.0 KW @ 70% ----- 8.4
 TOTAL KW ----- 14.8

WATTS TO AMPS (LINE) 23,200 ÷ 208V = 111 AMPS
 WATTS TO AMPS (NEUT.) 14,800 ÷ 208V = 71 AMPS
 FEEDER: 2# 2 & 1# 4 THW CU - 1½"

• 7.5 KW x 65% = 4.8 KW + 0.7 KW A.H.U. = 5.5 KW

LOBBY & 12TH FLOOR

1795 SQ. FT x 3 WATTS = 5.3 KW

PANEL "B" 1Ø, 3W, 120/208V, 125A, M.L.O. FLUSH MTD. SQD TYPE QO

CKT. NO.	POLE BKR.	WIRE	SERVING	LINE	NEUT.	KW
1	2-50	6	RANGE	12.0	8.4	
2	2-60	6	AIR COND.	10.9	---	
3	2-30	10	WATER HEATER	4.5	---	
4	1-20	12	REFRIGERATOR	0.7	0.7	
5			DISH WASHER	1.2	1.2	
6			DRYER (COMPACT-FUTURE)	1.8	1.8	
7			WASHER (COMPACT-FUTURE)	0.9	0.9	
8-9			SMALL APPLIANCES	3.0	3.0	
*10-15	1-15	14	LIGHTS & RECEPTACLES	6.2	6.2	

* CIRC NO. 10 TO BE G.F.I. BKR.

N.E.C. TABLE 220-30

LINE

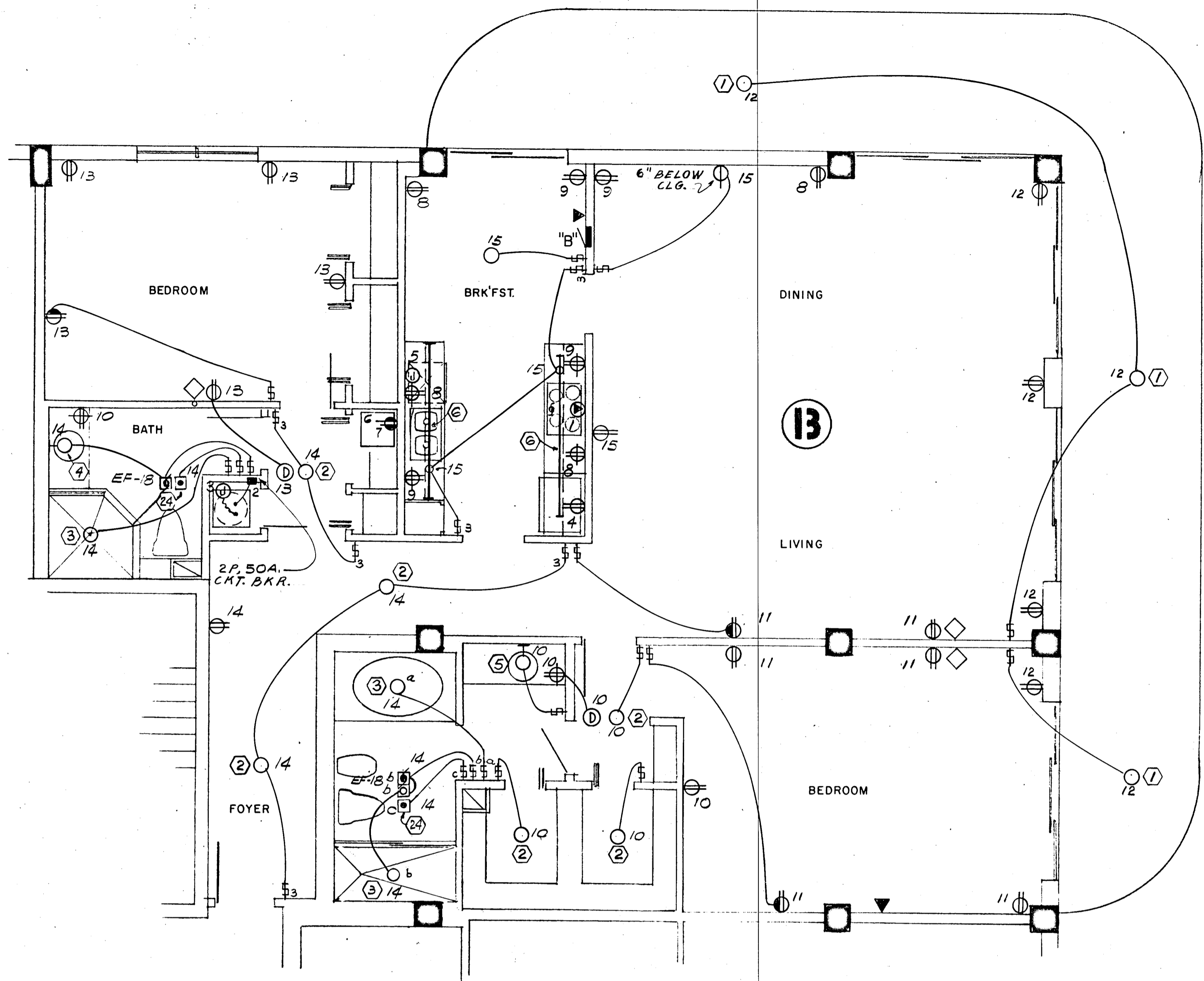
FIRST 10.0 KW @ 100% ----- 10.0
 NEXT 19.4 KW @ 40% ----- 7.7
 AIR COND. (HEATING) ----- 7.4
 TOTAL KW ----- 25.1

NEUTRAL

FIRST 3.0 KW @ 100% ----- 3.0
 NEXT 9.9 KW @ 35% ----- 3.4
 RANGE 12.0 KW @ 70% ----- 8.4
 TOTAL KW ----- 14.8

WATTS TO AMPS (LINE) 25,100 ÷ 208V = 120 AMPS
 WATTS TO AMPS (NEUT.) 14,800 ÷ 208V = 71 AMPS
 FEEDER: 2# 1 & 1# 4 THW CU - 1½"

• 10 KW x 65% = 6.5 KW + 0.9 KW A.H.U. = 7.4 KW



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CHAMPLAIN TOWERS SOUTH

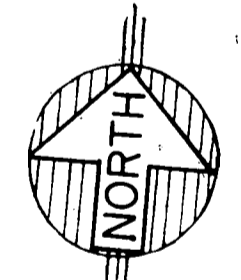
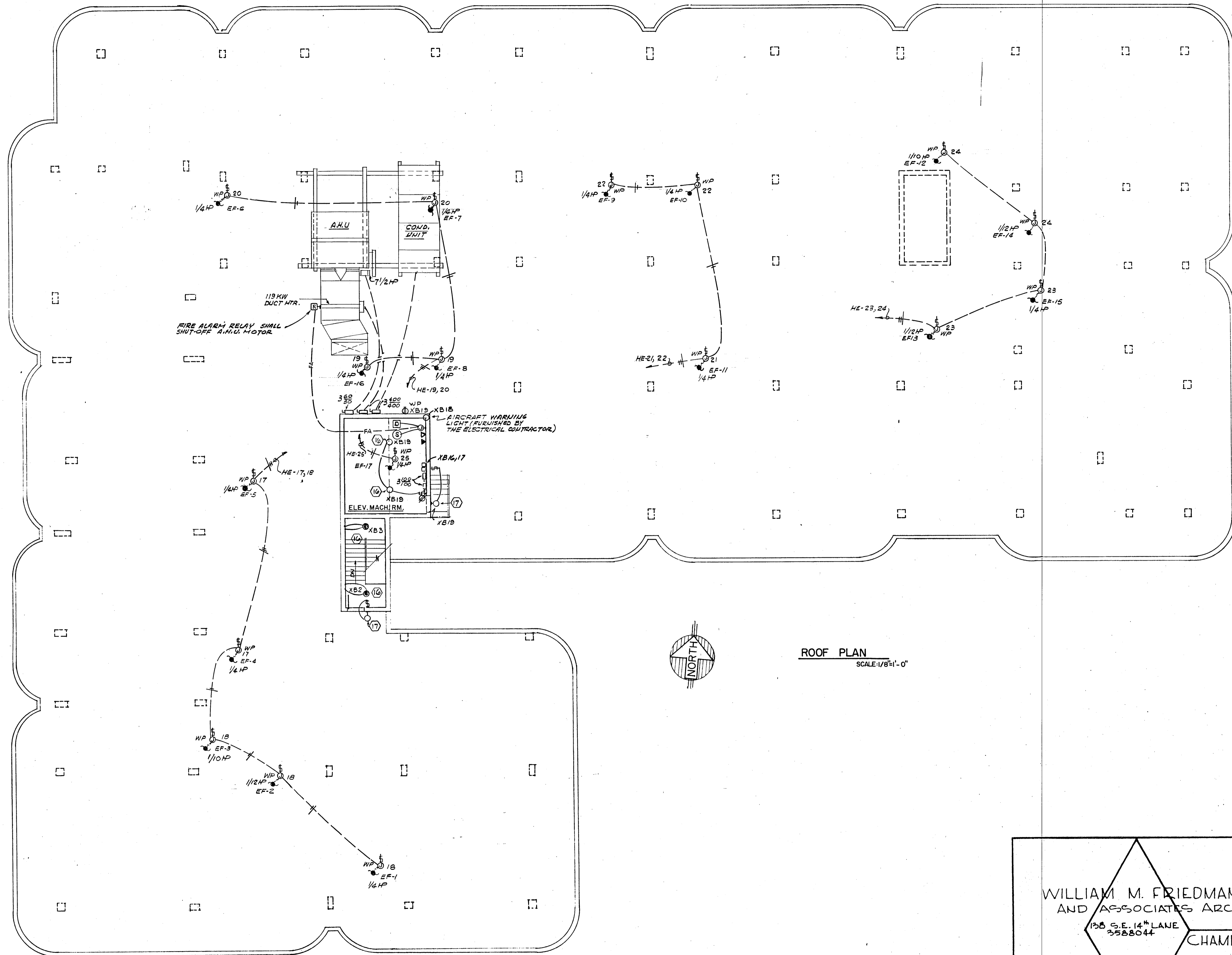
A-135 UNIT CONDOMINIUM

COMM. No. DATE: 8-13-79 SHEET No. 16 of 11

REV.

FLORIDA ENGINEERING SERVICES
352 NE 167 STREET
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945-4743

Selwyn Miller
8/13/79



ROOF PLAN
SCALE: 1/8" = 1'-0"

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CHAMPLAIN TOWERS SOUTH
A- 135 UNIT CONDOMINIUM

COMM. No.	DATE: 8-13-79	SHEET No.
REV.		155 of 11
		SHEETS

FLORIDA ENGINEERING SERVICES
221 N.W. 1ST STREET
MIAMI, FL 33128

Salomon Milas
8/17/79