



Town of Surfside
Special Town Commission - Quasi-Judicial Hearing
AGENDA
Tuesday, April 12, 2022
6:00 PM
Commission Chambers - 9293 Harding Avenue
Surfside, FL 33154

Rule 7.05 Decorum. Any person making impertinent or slanderous remarks or who becomes boisterous while addressing the commission shall be barred from further appearance before the commission by the presiding officer, unless permission to continue or again address the commission is granted by the majority vote of the commission members present. No clapping, applauding, heckling or verbal outbursts in support or opposition to a speaker or his or her remarks shall be permitted. Signs or placards may be disallowed in the commission chamber by the presiding officer. Persons exiting the commission chambers shall do so quietly.

Rule 6.05 Agenda. The good and welfare portion of the agenda set for 8:15 p.m. shall be restricted to discussion on subjects not already specifically scheduled on the agenda for discussion and debate. In no event shall this portion of the agenda be allotted more than 45 minutes with each speaker to be given no more than three minutes, unless by vote of a majority of the members of the commission present, it is agreed to extend the time frames. Likewise, commission members shall be restricted to speaking three minutes each unless an extension is granted in the same manner as set forth in the prior sentence.

Any person who received compensation, remuneration or expenses for conducting lobbying activities is required to register as a lobbyist with the Town Clerk prior to engaging in lobbying activities per Town Code Sec. 2-235. "Lobbyist" specifically includes the principal, as defined in this section, as well as any agent, officer or employee of a principal, regardless of whether such lobbying activities fall within the normal scope of employment of such agent, officer or employee. The term "lobbyist" specifically excludes any person who only appears as a representative of a not-for-profit community-based organization for the purpose of requesting a grant without special compensation or reimbursement for the appearance; and any person who only appears as a representative of a neighborhood, homeowners or condominium association without compensation for the appearance, whether direct or indirect or contingent, to express support of or opposition to any item.

Per Miami Dade County Fire Marshal, the Commission Chambers has a maximum capacity of 99 people. Once this capacity has been reached, people will be asked to watch the meeting from the first floor.

**** Denotes agenda items as "must haves" which means there will be significant impacts if the item is not addressed tonight. If these items have not been heard by 10 p.m., the order of the agenda will be changed to allow them to be heard.***

1. Opening

1.A Call to Order

1.B Roll Call of Members

2. Mayor, Commission and Staff Communications

2.A 9165 Collins Avenue – Hillcrest by the Sea – 9165 Surfside LLC Site Plan Approval - Andrew Hyatt, Town Manager

A RESOLUTION OF THE TOWN COMMISSION OF THE TOWN OF SURFSIDE, FLORIDA, [APPROVING/DENYING] AN APPEAL OF THE APPLICATION OF ZONING IN PROGRESS TO ROOFTOP AMENITIES; [APPROVING/DENYING] A SITE PLAN APPLICATION TO PERMIT THE DEVELOPMENT OF PROPERTY LOCATED AT 9165 COLLINS AVENUE, SURFSIDE, FLORIDA, FOR A MULTIFAMILY RESIDENTIAL DEVELOPMENT CONSISTING OF 14 DWELLING UNITS AND 32 PARKING SPACES SUBJECT TO CONDITIONS; PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

Staff evaluated the development proposal relative to the requirements of Section 90-20(2)(a) of the Zoning Code and found the proposal conforms to the Comprehensive Plan and the Zoning Code. The project has minimal impacts on the environment and natural resources. Impacts to public facilities and transportation will be reduced with improved access to Collins Avenue and on-site service deliveries. Redevelopment of the parcel will have a favorable impact on the economy of the Town and the building design is consistent with the community character of the beach side neighborhood.

[Staff Report for TC_4-12-22.docx](#)

[Resolution Approving/Denying Site Plan - 9165 Collins Avenue.pdf](#)
[9165 Collins Avenue Site Plan.pdf](#)

3. Adjournment

Respectfully submitted,

Andrew Hayatt
Town Manager

THIS MEETING IS OPEN TO THE PUBLIC. IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT OF 1990, ALL PERSONS THAT ARE DISABLED; WHO NEED SPECIAL ACCOMMODATIONS TO PARTICIPATE IN THIS MEETING BECAUSE OF THAT DISABILITY SHOULD CONTACT THE OFFICE OF THE TOWN CLERK AT 305-861-4863 EXT. 226 NO LATER THAN FOUR DAYS PRIOR TO SUCH PROCEEDING.

IN ACCORDANCE WITH THE PROVISIONS OF SECTION 286.0105, FLORIDA STATUTES, ANYONE WISHING TO APPEAL ANY DECISION MADE BY THE TOWN OF SURFSIDE COMMISSION, WITH RESPECT TO ANY MATTER CONSIDERED AT THIS MEETING OR HEARING, WILL NEED A RECORD OF THE PROCEEDINGS AND FOR SUCH PURPOSE, MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE WHICH RECORD SHALL INCLUDE THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

AGENDA ITEMS MAY BE VIEWED AT THE OFFICE OF THE TOWN CLERK, TOWN OF SURFSIDE TOWN HALL, 9293 HARDING AVENUE. ANYONE WISHING TO OBTAIN A COPY OF ANY AGENDA ITEM SHOULD CONTACT THE TOWN CLERK AT 305-861-4863. A COMPLETE AGENDA PACKET IS ALSO AVAILABLE ON THE TOWN WEBSITE AT www.townofsurfsidefl.gov.

TWO OR MORE MEMBERS OF OTHER TOWN BOARDS MAY ATTEND THIS MEETING.

THESE MEETINGS MAY BE CONDUCTED BY MEANS OF OR IN CONJUNCTION WITH COMMUNICATIONS MEDIA TECHNOLOGY, SPECIFICALLY, A TELEPHONE CONFERENCE CALL. THE LOCATION 9293 HARDING AVENUE, SURFSIDE, FL 33154, WHICH IS OPEN TO THE PUBLIC, SHALL SERVE AS AN ACCESS POINT FOR SUCH COMMUNICATION.



MEMORANDUM

ITEM NO. 2.A

To: Honorable Mayor, Vice-Mayor and Members of the Town Commission

From: Andrew Hyatt, Town Manager

Date: April 12, 2022

Subject: **9165 Collins Avenue – Hillcrest by the Sea – 9165 Surfside LLC Site Plan Approval**

This application is a request for Site Plan Approval for a proposed development for the property commonly known as the Hillcrest by the Sea Co-op Apartments. The existing two 2-story buildings with 24 units will be demolished. The developable portion of the site is located from the Collins Avenue east right of way line to the Town of Surfside Bulkhead Line and totals 0.54 acres. The area east of the Bulkhead line to the Erosion Control Line (ECL) is a private recreation area totaling 0.33 acres. A 11 story structure with 14 apartments units and 32 parking spaces in an underground garage is proposed.

The project site is located on the north side of the Seaway Villas and on the south side of the Carlisle on the Ocean. The project frontage on Collins Avenue is 100 feet. The use of the new setback option (Ordinance 21-1716) allows the building design to provide large balconies on the east, south and west while minimizing the balconies on the north. The resulting building envelope under this option produces a building with less volume than that derived from the Inclined Side Setback option where a 10 foot side setback increases 1 foot for each 3 feet of height above 30 feet.

Staff Findings: Staff evaluated the development proposal relative to the requirements of Section 90-20(2)(a) of the Zoning Code and found the proposal conforms to the Comprehensive Plan and the Zoning Code. The project has minimal impacts on the environment and natural resources. Impacts to public facilities and transportation will be reduced with improved access to Collins Avenue and on-site service deliveries. Redevelopment of the parcel will have a favorable impact on the economy of the Town and the building design is consistent with the community character of the beach side neighborhood.

Design Review Group (DRG): The DRG met on Tuesday, January 14, 2022 via Zoom to discuss and review the proposed Site Plan request. The DRG was satisfied the proposed Site Plan reduced the impacts to public services and did not negatively impact the Town.

Planning & Zoning Board: The Planning and Zoning Board considered this application at meetings of January 27 and February 24, 2022. At the February meeting, the Planning and

Zoning Board recommended to the Town Commission, the application be approved with staff conditions and with an additional condition the balcony architectural features should not extend beyond the maximum allowed balcony encroachment.

Budget Impact: The Applicant has proffered \$180,000 to address the impacts of development.

Growth Impact: The property has a maximum density permitted of 58 dwelling units. The proposed site plan provides for 14 dwelling units. The building layout on floors 3 through 7 provide for 2 dwelling units and the Applicant has indicated the dwelling units on these floors could be combined to further reduce the total number of dwelling units. The proposed Site Plan proposes a density reduction of 44 to 49 dwelling units.

Staff Impact: There has been no impact to staff other than the work necessary to review the project. The Applicant has funded the review through the cost recovery process and the building permit review will be funded through the building permit fees.

[Staff Report for TC_4-12-22.docx](#)

[Resolution Approving/Denying Site Plan - 9165 Collins Avenue.pdf](#)

[9165 Collins Avenue Site Plan.pdf](#)

Reviewed by: Prepared by:

SITE PLAN REPORT

This application is a request for Site Plan Approval for a proposed development for the property commonly known as the Hillcrest by the Sea Co-op Apartments. The existing two 2-story buildings with 24 units will be demolished. The developable portion of the site is located from the Collins Avenue east right of way line to the Town of Surfside Bulkhead Line and totals 0.54 acres. The area east of the Bulkhead line to the Erosion Control Line (ECL) is a private recreation area totaling 0.33 acres. A 11 story structure with 14 apartments units and 32 parking spaces in an underground garage is proposed.

The project site is located on the north side of the Seaway Villas and on the south side of the Carlisle on the Ocean. The project frontage on Collins Avenue is 100 feet. The project is proposing to utilize Ordinance 21-1716 which was adopted on second reading on November 9, 2021. The Ordinance provides an additional option to address side setbacks in the H120 Zoning district when lots are 100 feet or wider. The new option allows a 20 foot setback on each side with an additional 5 foot average setback. The average setback may be applied at any point along the floor of the building, mixed and matched among floors, and/or joined with setbacks taken from the opposite side elevation. The option requires determination of the aggregate volume of the average setback. The resulting building envelope under this option produces a building with less volume than that derived from the Inclined Side Setback option where a 10 foot side setback increases 1 foot for each 3 feet of height above 30 feet.

The use of the new setback option allows the building design to provide large balconies on the east, south and west while minimizing the balconies on the north. The first floor of the building provides for a lobby, stairwells and non-habitable spaces, cabanas, pool for a majority of the residents and beach access. Additionally, a large cabana space is provided for the apartment above on Level 2 with private garden spaces, large deck area, private pool and beach access.

Level 2 includes a fitness center and one apartment (6,086 SF). The building is designed to provide very large apartments with the possibility that on floors which have two apartments (5,484 SF & 2,7891 SF), a purchaser may combine the two units into a larger apartment. This could occur on Levels 3 through 7.

Level 8 provides for one large apartment with approximately 12,438 SF including the balconies. Levels 9 and 10 are considered penthouses with apartments with approximately 12, 500 SF including the balconies.

The rooftop is Level 11 with mechanical equipment in an enclosed area and private decks and pool for the penthouse(s). Table 1 on the following page, summarizes site characteristics and zoning requirements.

Ordinance 21-1716 also allowed for open and unenclosed balcony encroachments on side yards of 10 feet for 50% of the setback and up to 5 feet for the remaining 50 percent of the balcony length. Additional information needs to be provided by the Applicant to support the balcony encroachments and the average setback adjustments.

A traffic study was provided by the Applicant prepared by KBP Consulting dated January 2022. The traffic study was based on 14 dwelling units for a mid-rise multifamily land use. The estimated daily traffic is 64 trips per day with 5 trips in the morning peak hour and 5 trips in the afternoon peak hour. The estimated traffic associated with the existing 24 dwelling unit 2-story apartment buildings was 162 trips be day.

Table 1 - 9165 Collins Site Characteristics and Zoning Requirements

Address	9165 Collins Avenue
General Location	East side of Collins Avenue and south of 92 nd Street
Property Size	23,522 SF or 0.54 Net Acres (37,807 SF or 0.87 Ac w/Private Rec Area)
Zoning District	H120
Adjacent Zoning Districts	H120 north and south, H40 to the west
Future Land Use	High Density Residential/Tourist
Units Permitted	109 Dwelling Units (DUs) per Acre x 0.54 acres = 58 DUs
Units Proposed	14 Apartment Units (may end up less with SF expansion of units)
Proposed Parking Spaces	32 parking spaces - Located in an underground garage with 21,932 SF
Floor Area Detail	
Apartments	14 - (95,347 SF includes stairwells and non-habitable but not balconies)
Level 1	7 Cabanas (885 SF), Cabana (Deck and Pool for Level 2) Lobby, Mechanical and Outdoor Pool
Level 2	3 BR w/Cabana on Level 1 (6,086 SF w/3,263 SF Cabana)
Levels 3-7	4+ BR (5,484 SF) and 3 BR (2,791 SF)
Level 8	4+ BR (8,531 SF)
Level 9	Penthouse Unit (8,401 SF)
Level 10	Penthouse Unit (8,571 SF w/Access to Rooftop Decks/Pool)
Level 11	Rooftop (2 Decks, Pool and Enclosed Interior & Mechanical)
Maximum Building Height	120 Feet (from Wave Crest at 18.25 NGVD to the Floor of the Rooftop)
Modification of Height	20 Feet (from the floor of the Rooftop to top of the enclosed space)
Setbacks	
Front (40 Feet)	40 Feet.
Side South (20 Feet)	25 Feet Averaged
Side North (10 Feet)	25 Feet Averaged
Rear Beach (30 Feet)	30 Feet
Platted Bulkhead (20 Feet)	20 Feet
Pervious Area (20% Min)	25.6%

The proposed development will be accessed from northbound Collins Avenue at a southerly one-way inbound driveway which quickly turns north providing a drop-off lane at the front steps of the building and further connecting to a 2-way drive along the north side of the building. Vehicles can turn left and exit with a westbound right turn on Collins Avenue or turn right proceeding easterly along the north side of the building sloping downward to entering the underground parking garage. A 12 foot wide by 30 foot long loading space with 14.5 feet of height is located at the end of the northside drive in the underground garage.

While the traffic impacts of the development are not expected to be significant, some clarifications are needed. The traffic study is predicated on a typical mid-rise apartment buildings from 11 – 31 stories where the average number of dwelling units varied between 169 – 201 units. This proposed project is 13 non-typical very large square foot units. There are no dimensions on the project driveways or drives. Florida Department of Transportation (FDOT) access approval is required.

A landscape review was performed. Differences were noted between the Architectural Site Plan (Sheet A3.00) and the Landscape Site Plan (L-100). Previous area requirements for H120 are 20% and 25.6% is provided with the majority of the previous area occurring in the private recreation area east of the Bulkhead Line. The landscape plan utilizes the landscape treatment provided by the Seaway project on the south side of the property. The landscape plans did not include the required irrigation plan. Dimensions of the landscape buffers need to be provided between properties. A landscape calculation table needs to be provided indicating the minimum required and provided comparisons of the proposed plant material. Provide percentages of landscaping in VUA, street lengths, buffer lengths, percentages of Florida Friendly material and native/drought tolerance material. Proposed Green Buttonwood trees exceeds 30% of the same species and should be reduced in number. Oleander can be used as an accent but does not qualify as a required tree or Palm. The percentage of required trees being proposed as Palm trees should be provided.

The Design Review Group (DRG) met on Friday, January 14, 2022 to discuss and review the proposed site plan request. The DRG was satisfied the impacts of the proposed site plan on public services do not negatively impact the Town. A copy of the draft minutes of the DRG meeting are attached to this report.

Applicant Submitted Package: The Applicant submitted the following items relative to the Site Plan Application: Letter of intent, Site Plan Application, Architectural Plan Set (22 Sheets), Landscape Plan (9 Sheets), Civil Engineering Plans (5 Sheets), survey and Ground Level Lighting Plan.

Staff Recommendation: Development review requirements for this type of project follows Sec 90-20(2)(a) of the Zoning Code which requires:

- The development, as proposed, conforms to the comprehensive plan and the zoning code
- The development, as proposed, will have a favorable or unfavorable impact on the environment and natural resources, including a consideration of the means and estimated cost necessary to minimize the adverse impacts, if any
- The development, as proposed, will have a favorable or unfavorable impact on the economy of the Town of Surfside
- The development, as proposed, will efficiently use or unduly burden water, sewer, solid waste disposal, education, recreation or other necessary public facilities which have been constructed or planned and budgeted for construction in the area

- The development, as proposed, will efficiently use or unduly burden or affect public transportation facilities, including mass transit, public streets, and roads, which have been planned and budgeted for construction in the area, and if the development is or will be accessible by private or public roads or streets
- The development, as proposed, is consistent with the community character of the immediate neighborhood. In addition to consistency there must be congruity between the subject development and neighboring improvements and surroundings including but not limited to form, spacing, heights, setbacks, materials, color, rhythm and pattern of architectural or aesthetic interest or value as well as with any overlays and other development schemes or legislation; and,
- In the event of redevelopment, the applicant shall also submit a detailed plan for demolition.

Staff finds the proposal complies with the Town's Comprehensive Plan in that the developable portion of the parcel is west of the bulkhead line with a density lower than the maximum allowed and the portion of the parcel which is east of the bulkhead line is private recreation. Staff also finds that the proposal generally complies with the Zoning Code, the Town's Zoning in Progress and with the intent of Ordinance 21-1716.

The project has minimal impacts on the environment and natural resources. The lower unit density and the combination of the new side setback/average setback option has significantly reduced the volume of the building thereby, minimizing construction impacts and providing greater air flow and light. Impacts to public facilities and transportation impacts will be reduced with improved access to Collins Avenue and more efficient passenger access to the building with on-site service deliveries.

Redevelopment of the parcel will have a favorable impact on the economy of the Town and the design of the building will be consistent the community character of the beach side neighborhood. With the demolition of the existing structure and the construction of this site, the developer will implement a vibration monitoring program.

The balconies setbacks and average setback adjustments provided in Ordinance 21-1716 limit the primary front extension to not more than 8 feet and the rear of the building to 12 feet west of the bulkhead line. For the interior side setbacks, no more than 50% balcony length at 10 feet or less with the remaining balcony length at no more than 5 feet. The balconies also include a decorative extension of approximately 24 inches, this extension needs to be located within the above noted extensions, not an increased extension.

It is recommended the Applicant's Site Plan package be recommended to the Town Commission for approval subject to the resolution of the following comments.

- Revise the balcony widths to not extend beyond the maximum allowed extension
- Provide dimensional and pavement markings information for the access drives, driveways and parking ramp
- FDOT Access Connection Approval
- Verify whether the landscape areas over the underground garage are included in the pervious area calculations

Town of Surfside Development Review Group (DRG) Zoom Meeting Minutes
Hillcrest Site Plan Application

The Development Review Group (DRG) conducted a zoom meeting on Friday, January 14, 2022 at 1:30 pm. The purpose of the meeting was to review the site plan application by Fort Partners for Hillcrest by the Sea located at 9165 Collins Avenue. The DRG meeting was attended by the following:

Town Staff Participants:

Andrew Hyatt, Town Manager
Jason Greene, Assistant Town Mgr.- CFO
Tony Recio, Town Zoning Attorney
James McGuinness, Town Building Official
Marisol Vargas, Building Department Supervisor
Walter Keller, Town Consultant Planner
Hector Gomez, Public Works Director
Tim Milian, Parks and Recreation Director
John Healy, Town Police Captain

Applicant Participants:

Ian DeMello, Shubin and Bass, PA
William Thompson, Fort Partners
James Galvin, Fort Partners
Kurt Dannwolf, O'Donnell Dannwolf & Partners Architects
Tadao Shimizu, O'Donnell Dannwolf & Partners Architects

Jason Greene, Assistant Town Mgr. – CFO, opened the meeting. The Town Manager, Andrew Hyatt, was driving and monitoring the meeting. Walter Keller, Town Planner, noted the application is a request for Site Plan approval for the property known as the Hillcrest by the Sea Co-op Apartments.

James Galvin, Project Manager for Fort Partners, provided an overview of the proposal. The proposed plan provides for demolishing the existing Hillcrest buildings and constructing a 10-story structure with 13 units although an alternate floor plan provides the possibility of less units if buyers elect to combine units on Levels 3 - 5. The project site is adjacent to the Seaway parcel and the building is designed with similar stone cladding and glass with larger balconies on the Seaway side and smaller balconies on the Carlisle side.

Tadao Shimizu of O'Donnell Dannwolf & Partners Architects discussed the use of the 20 foot setback and 5 foot average setback use as depicted in the floor plan illustrations on Sheet A3.50. Sheet A3.50 provides the floor area, balconies and setback areas for the ground floor (Level 1), Level 2, Levels 3-5 and Levels 6-8. Sheet A3.51 provides for similar information for Levels 9, 10 and the rooftop. Walter Keller noted additional dimensional information is needed to support the setback and average setback use.

James McGuinness, Town Building Official, questioned the status of the ground floor elevation relative to V-Zone implications. Mr. McGuinness noted the cabanas with bathrooms and larger cabana were located below the wave crest elevation and may require the use of flood vents in the various enclosed spaces. Mr. Galvin indicated they would look at this and address this issue.

Hector Gomez, Town Public Works Director, inquired on the trash pickup, proposed water and sewer connections and storm drainage provisions. It was indicated the trash room is located adjacent to the north drive and Hector Gomez was satisfied with the location.

John Healy, Town Police Captain, wanted a description of site access, valet service, drop-off and service deliveries. It was mentioned a lane is available for front building drop-off and an on-site loading zone is located at the east end of the north drive in the underground garage. Captain Healy was comfortable with the drop-off and service delivery proposals. Walter Keller requested information relative to the Florida Department of Transportation access approval.

Mr. Keller asked the DRG members their thoughts on the site plan proposal. The DRG members were in general consensus that the proposed impacts of the site plan amendments were considered and the project should proceed to the Planning and Zoning Board for further review.

RESOLUTION NO. 2022-__

A RESOLUTION OF THE TOWN COMMISSION OF THE TOWN OF SURFSIDE, FLORIDA, [APPROVING/DENYING] AN APPEAL OF THE APPLICATION OF ZONING IN PROGRESS TO ROOFTOP AMENITIES; [APPROVING/DENYING] A SITE PLAN APPLICATION TO PERMIT THE DEVELOPMENT OF PROPERTY LOCATED AT 9165 COLLINS AVENUE, SURFSIDE, FLORIDA, FOR A MULTIFAMILY RESIDENTIAL DEVELOPMENT CONSISTING OF 14 DWELLING UNITS AND 32 PARKING SPACES SUBJECT TO CONDITIONS; PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, 9165 Surfside, LLC (“Applicant”), fee simple owner of the property located at 9165 Collins Avenue, Surfside, FL 33154 and legally described in Exhibit “A” attached hereto (the “Property”), subject to two (2) 99-year ground leases held by Hillcrest-by-the-Sea, Associates Inc., a Delaware corporation, who has consented to the Application, submitted an “Application” on August 6, 2021, requesting site plan approval from the Town of Surfside, Florida for a 14-dwelling unit multifamily residential development with 32 parking spaces; and

WHEREAS, the Property was previously developed as the Hillcrest-by-the-Sea Co-op Apartments consisting of 24 multifamily dwelling units which are proposed to be demolished; and

WHEREAS, the subject application was processed while Zoning in Progress had been invoked by notices dated September 7, 2021, December 7, 2021, and March 27, 2022. While similar in form, the successive notices of Zoning in Progress were not identical. Consequently, the rooftop amenities and structures depicted in the site plan may not conform to one or more of the Zoning in Progress notices. To resolve this issue, the Applicant has filed a formal appeal pursuant to Section 90-6(3) of the Town Code seeking the Town Commission’s determination that Zoning in Progress should not be applied to the rooftop amenities; and

WHEREAS, on February 24, 2022, the Planning & Zoning Board, at a duly noticed and televised quasi-judicial public hearing, after reviewing the Application and hearing from its professional staff, the Applicant, and members of the public, considered the requirements of the Town Zoning Code and the Application’s consistency with the Town of Surfside Comprehensive Plan and recommended the Application for approval with staff conditions and an additional condition that balcony projections, including all architectural features, not extend beyond the maximum allowable encroachment for a balcony; and

WHEREAS, on April __, 2022, the Town Commission, at a duly noticed and televised quasi-judicial public hearing, reviewed the Application and heard from its professional staff, the Applicant, and members of the public, and considered the recommendation of the Planning & Zoning Board, the requirements of the Town Zoning Code, the Application’s consistency with the Town of Surfside’s Comprehensive Plan, and the substantial competent evidence presented at the hearing.

NOW THEREFORE, BE IT RESOLVED BY THE TOWN COMMISSION OF THE TOWN OF SURFSIDE, FLORIDA, APPLICABLE TO APPLICANT, ITS SUCCESSORS AND/OR ASSIGNS, AS FOLLOWS:

SECTION 1. RECITALS AND FINDINGS OF FACT.

A. All recitals set forth above are incorporated into the body of this Resolution as if same were fully set forth herein.

B. The Town Commission finds that the proposed Site Plan as conditioned, is in compliance with the requirements and criteria set forth in the applicable Town Code and the Comprehensive Plan.

SECTION 2. APPEAL OF APPLICATION OF ZONING IN PROGRESS TO ROOFTOP AMENITIES. The appeal of the application of zoning in progress to the rooftop amenities depicted in the site plan is hereby [approved/denied].

SECTION 3. SITE PLAN [APPROVAL/DENIAL]. The request to approve a site plan is hereby [approved/denied] based on the plans submitted to the Building Department as part of the Application as updated on February 15, 2022, by O’Donnell, Dannwolf, and Partners Architects, Inc., consisting of the following sheets:

- A0.00, A1.00, A2.00, A3.00, A3.50, A3.51, A4.00 – A4.07, A5.00 – A5.03, A6.00, A7.00, and A7.01
- C100, C101, C200, C300, and C400
- L-000, L-100, L-200, L-201, and L-300 – L-305.

SECTION 4. CONDITIONS. The approval granted herein is subject to the following conditions:

1. Prior to building permit, the Applicant shall:
 - a. Execute a recorded covenant that states that the landscaping material and design approved per the site plan shall not be modified without a site plan amendment.

- Plant and materials may be changed out due to maintenance but shall be reinstalled with the same type of plants and materials per the approved site plan.
- b. Clarify floor criteria requirements for cabanas and cabana bathrooms on level 1 and for flood venting of level 2, subject to the approval of the Building Official.
 - c. If the appeal of the application of zoning in progress to the rooftop amenities is denied, the applicant shall revise the site plan to conform to the applicable land development regulations under the Zoning in Progress notice published on March 27, 2022.
 - d. If the Town Commission concurs with the Town's Staff Report and the Planning & Zoning Board and determines that the architectural features extending from the balconies beyond the maximum allowable balcony projection into the interior side setback are not permissible, then the Site Plan shall be revised to adhere to the maximum allowable projection for a balcony.
 - e. Demonstrate compliance with Ordinance No. 2022-1720, adopted March 8, 2022 (codified in Section 14-104 of the Town Code), regarding construction sites.
 - f. Tender the Applicant's voluntary proffer of \$180,000.00 towards the cost of water and sewer improvements on Collins Avenue. Said funds may be used at the Town's discretion for design, engineering, planning, permitting, installation and construction observation or for any costs related to the planning, design, development, and implementation of water and sewer improvements.
 - g. Demonstrate compliance with Section 14-30 of the Town Code regarding the required bond for damage to Town property.
 - h. Comply with calculating the cost of construction and auditing procedures pursuant to Town of Surfside Ordinance No. 16-1656 (Section 14-29 of the Town Code).
 - i. Provide water/sewer fees to the Town of Surfside in the amount prescribed in Town Code Section 78-83 and calculated using all fixtures in the buildings. Said fee shall be paid at the issuance of a Building Permit and there shall be no offset for existing fixtures if such offset is prohibited by law.
 - j. Dedicate a hardpack easement to the Town in form and substance acceptable to the Town Attorney, and in compliance with Section 90-60.1(5) of the Town Code.
2. During construction, the Applicant shall:
- a. Comply with all applicable requirements of Ordinance No. 2022-1720, adopted March 8, 2022 (codified in Section 14-104 of the Town Code), regarding construction sites.
 - b. Comply with Section 14-32 of the Town Code regarding construction hours and noise.

- c. Prior to commencement of any above-grade work, obtain approval from the Florida Department of Transportation for both driveway access points to Collins Avenue.
3. Prior to Temporary Certificate of Occupancy, or Permanent Certificate of Occupancy if a Temporary Certificate of Occupancy is not granted, the Applicant shall:
- a. Exclusive of and in addition to any financial proffers, remove existing 8-inch water main and install a new C-900 8-inch water main within Collins Avenue for the entire width of the Property and the Seaway property located at 9133-9149 Collins Avenue (the “Seaway Property”).
 - b. Tie-in to existing sewer main using existing sewer laterals. New sewer cut-ins shall not be approved.
 - i. Ensure the Town's water/sewer infrastructure is ready to receive the approved utility connections referenced in condition no. 1. above.
 - ii. Any damage to the existing sewer main or adjacent water main caused by the Applicant’s development activities will be restored by the Applicant to the satisfaction of the Town’s Public Works Department.
 - c. Improve the entire dune system east of and adjacent to the Property and the Seaway Property, bringing the elevation to +15.00 feet NGVD or the elevation of the dune adjacent to the Surf Club property, whichever is less, and improve dune as follows subject to FDEP approval:
 - i. Preserve existing sea grapes;
 - ii. Remove all invasive species;
 - iii. Replant island with 6-gallon sea oats or approved equivalent; and
 - iv. Permit applications, including existing conditions plan, grading plan, tree disposition plan, and landscape plan, shall be submitted for approval by the Florida Department of Environmental Protection and the Town’s Public Works department prior to commencement work. Existing trees may be relocated as approved by FDEP and the Town.
 - d. Plant shade trees as close as possible to the sidewalk abutting the Property for providing shade to pedestrians using the sidewalk.
 - e. Restore all adjacent roadways damaged by construction to Town of Surfside and FDOT standards.
 - f. Maintain all landscaping materials on site in good condition, replacing diseased, dying or dead plant material as necessary so as to present a healthy and orderly appearance at all times. A bond in the amount and duration determined by the Town Manager or designee shall be posted to ensure the survival of landscaping material for one or more years after the Certificate of Occupancy is issued.
4. General conditions:
- a. All utilities shall be installed underground.

- b. Applicant shall improve the public sidewalks abutting the Property with pavers with the design approved by the Town Manager or designee. Applicant shall provide a suitable transition between public and private sidewalks.
- c. All voluntary proffers and commitments made to the Town of Surfside pursuant to the Resolution, including but not limited to, those described in these Conditions, shall be binding upon Applicant, its heirs, successors and assigns, and, as to payments, shall be due and payable, or in the event of an action, shall be performed, in strict compliance with the manner and within the time frames set forth in these Conditions and any change in ownership, or modification of the site plan or design, whether substantial or minor in nature, shall not excuse the performance or the payments, all of which are part of the Conditions subject to which the Applicant's request for site plan approval were granted.
- d. In the event the Applicant obtains a building permit and the permit expires, it shall be required to comply with Section 14-55 entitled "Vacant lots or buildings" of the Town of Surfside Code, including but not limited to, the posting of a bond to defray the cost the Town may incur if required to secure and maintain the site, if necessary, and as may be required by the Building Official. The Applicant for this purpose shall provide a bond not to exceed five (5) percent of the construction cost, as required by the Building Official. These funds shall be used to secure the Property and the construction site in the event construction is abandoned or ceases prior to completion.
- e. The Applicant shall design the project to be LEED silver certifiable and use best efforts to obtain Silver or its equivalent certification within 12 months of issuance of the Certificate of Occupancy and maintain such certification thereafter.
- f. The Applicant shall meet all requirements of the Department of Public Works and Miami-Dade County for storm drainage services.
- g. The Applicant agrees that all contractor and subcontractor agreements applicable to this development shall include a separate clause prohibiting construction workers from parking on residential streets or public parking lots and that Applicant shall submit the proposed clause for the approval of the Town Manager or designee within 45 days of the effective date of this Resolution.
- h. The Applicant shall provide monthly reports to the Town Manager of any problems or complaints with regard to workers parking their vehicles in residential neighborhoods.
- i. If the Town Manager deems necessary, the Applicant shall provide more frequent reports and develop additional preventive measures to protect the residential neighborhoods.
- j. Any change in ownership of the current property owner shall be fully disclosed in writing to the Town Manager and Town Attorney immediately upon said

change occurring. Any change of ownership of the Property shall not extend or modify any of the dates for payment or performance included in this Resolution or in any related agreements referenced in this Resolution nor shall any change of ownership modify or excuse or extend any of the payment obligations contained in this Resolution or in any related agreements referenced in this Resolution. All payment obligations and performance obligations of any kind set forth in this Resolution and in these Conditions are binding on the Applicant, its heirs, successors and assigns.

- k. The Applicant shall only apply for a Certificate of Occupancy and Certificate of Use from the Town once in compliance with all terms and conditions of this Development Order are met and documented. The Certificate of Occupancy and Certificate of Use shall be subject to cancellation upon violation of any of the Conditions, in accordance with the law.

5. Ongoing Operational Conditions:

- a. The rooftop deck shall not have live music. Recorded music, over a distributive sound system, no greater than 75 dba measured 1 meter from any speaker, is permitted only between the hours of 11am to 7pm. No music is permitted prior to 11am or after 7pm.
- b. The rooftop deck and garden shall not be used for organized events or activities after dusk.
- c. All lighting on the rooftop deck shall be internally focused.
- d. To the extent that a valet parking operation is used to service the building, the Applicant shall provide a copy of the valet operations agreement to the Town Manager to confirm the required number of valet attendants to optimize the on-site vehicle stacking.
- e. All employees shall be required to park on private property.
- f. All deliveries and loading after Certificate of Occupancy, shall occur on-site and shall not block the street, sidewalk or any right-of-way.

6. Revisions to Plans:

- a. A reduction in the total number of units, with no other exterior or operational changes, shall not require formal amendment of this site plan approval.
- b. Changes to the plans based on conditions in Section 4 above, 1.c and 1.d, shall not require a formal site plan amendment of the site plan approval before the Town Commission, and shall instead be reviewed and approved by the Town Planner.

- c. Any other changes to the approved site plan, including changes to lot coverage, volume, height, or massing of the building, shall require a formal site plan amendment.

SECTION 5. VIOLATION OF CONDITIONS. Failure to adhere to the terms and conditions of this Resolution shall be considered a violation of the Town Code and persons found violating the conditions shall be subject to the penalties prescribed by the Town Code, including but not limited to, the revocation of any of the approval(s) granted in this Resolution. The Applicant understands and acknowledges that it must comply with all other applicable requirements of the Town Code before it may commence construction or operation, and that the foregoing approval in this Resolution may be revoked by the Town at any time upon a determination by the Town Commission, following a public hearing, that the Applicant is in non-compliance with the Town Code or the conditions of this Approval and has failed to cure, or to provide an acceptable plan to timely cure, the non-compliance.

SECTION 6. SEVERABILITY CLAUSE. In the event any portion or section of this Resolution is determined to be invalid, illegal or unconstitutional by a court or agency of competent jurisdiction, such decision shall in no way affect the remaining portions of this Resolution, which shall remain full force and effect.

SECTION 7. EFFECTIVE DATE. This Resolution shall become effective upon adoption.

PASSED AND ADOPTED this ___ day of April 2022.

Motion by: _____,

Second by: _____.

FINAL VOTE ON ADOPTION

Commissioner Fred Landsman _____
Commissioner Marianne Meisheid _____
Commissioner Nelly Velazquez _____
Vice Mayor Jeffrey Rose _____
Mayor Shlomo Danzinger _____

Shlomo Danzinger, Mayor

ATTEST:

Sandra N. McCready, MMC, Town Clerk

**APPROVED AS TO FORM AND LEGAL SUFFICIENCY
FOR THE TOWN OF SURFSIDE ONLY:**

Weiss Serota Helfman Cole & Bierman, P.L.
Town Attorney

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

I, Sandra N. McCready, Town Clerk of the Town of Surfside, Florida, do hereby certify that the above and foregoing is a true and correct copy of Resolution No. 2022-____ adopted by the Town Commission at its meeting held on the __ day of April 2022.

Issued: _____

Sandra McCready, MMC
Town Clerk

EXHIBIT "A"

LEGAL DESCRIPTION OF PROPERTY

Parcel 1:

Lots 6 and 7, Block 2 of "Altos del Mar No. 4" according to the plat thereof as recorded in Plat Book 10 at Page 63 of the Public Records of Miami-Dade County, Florida more particularly described as follows:

Begin at the Southwest corner of Lot 6; thence run North 05°55'47" West, along the Westerly Line of said Lot 6 and Lot 7 and the Easterly Right of Way Line of Collins Avenue as shown on the Florida Department of Transportation Right of Way Map for State Road A-1-A (Collins Avenue) Section 87060, for a distance of 71.43 feet to a point; thence run North 05°12'20" West, along the Westerly Line of said Lot 7 and the Easterly Right of Way Line of Collins Avenue as shown on said Right of Way Map, for a distance of 28.69 feet to the Northwest corner of said Lot 7; thence run North 87°04'29" East, along the Northerly line of said Lot 7 for a distance of 280.00 feet to the Northeast corner of said Lot 7; thence run South 05°43'20" East, along the Easterly Line of said Lots 7 and 6, for a distance of 100.12 feet to the Southeast corner of said Lot 6; thence run South 87°04' 29" West, along the Southwesterly line of said Lot 6, for a distance of 280.00 feet to the Point of Beginning.

Parcel 2:

A Parcel of land lying Easterly of and adjacent to Lots 6 and 7, Block 2 of "Altos de Mar No. 4" according to the plat thereof as recorded in Plat Book 10 at Page 63 of the Public Records of Miami Dade County, and Westerly of the Erosion Control Line as shown on the "Erosion Control Line" according to the plat thereof as recorded in Plat Book I 05 at Page 62 of the Public Records of Miami Dade County, more particularly described as follows:

Begin at the Northeast corner of said Lot 7, thence run North 87°04 '29" East along the Easterly extension of the North line of said Lot 7 for 95.89 feet to a point on the Erosion Control Line as shown in said Plat Book 105 at Page 62, thence run South 05°23' 57" East, along said Erosion Control line, for a distance of 100.09 feet to a point on the Easterly extension of the South line of said Lot 6; thence run South 87°04'29" West, along the aforesaid Easterly extension of Lot 6, for a distance of 95.32 feet to the Southeast corner of said Lot 6; thence run North 05°43'20" West, along the Easterly line of said Lots 6 and 7, for a distance of 100.12 feet to the Point of Beginning.



HILLCREST
9165 COLLINS AVE
SURFSIDE, FL 33154

MULTI-FAMILY AND NON-RESIDENTIAL SITE-PLAN APPLICATION SUBMISSION
FEBRUARY 15, 2022

DRAWING INDEX

ARCHITECTURE		
A0.00	COVER SHEET	02/15/22
A1.00	DRAWING INDEX	02/15/22
SURVEY SURVEY		
A2.00	ZONING INFORMATION & BUILDING DATA	06/15/21
A3.00	SITE PLAN	02/15/22
A3.50	SIDE SETBACK & BALCONY DIAGRAMS	02/15/22
A3.51	SETBACK, ROOF, PERVIOUS AREA DIAGRAMS	02/15/22
A4.00	BASEMENT PLAN	02/15/22
A4.01	LVL 1 FLOOR PLAN	02/15/22
A4.02	LVL 2 FLOOR PLAN	02/15/22
A4.03	LVL 3-7 FLOOR PLAN	02/15/22
A4.04	LVL 8 FLOOR PLAN	02/15/22
A4.05	LVL 9 FLOOR PLAN	02/15/22
A4.06	LVL 10 FLOOR PLAN	02/15/22
A4.07	ROOFTOP DECK PLAN	02/15/22
A5.00	NORTH ELEVATION	02/15/22
A5.01	EAST ELEVATION	02/15/22
A5.02	SOUTH ELEVATION	02/15/22
A5.03	WEST ELEVATION	02/15/22
A6.00	BUILDING SECTION	02/15/22
A7.00	RENDERING - STREET VIEW	02/15/22
A7.01	RENDERING - BEACH VIEW	02/15/22
CIVIL		
C100	GENERAL NOTES AND SPECIFICATIONS	02/15/22
C101	WATER AND SEWER NOTES	02/15/22
C200	PAVING, GRADING AND DRAINAGE PLAN	02/15/22
C300	WATER AND SEWER PLAN	02/15/22
C400	DRAINAGE DETAILS	02/15/22
LANDSCAPE		
L-000	COVER SHEET	02/15/22
L-100	OVERALL SITE PLAN	02/15/22
L-200	LANDSCAPE PLAN - GROUND FLOOR	02/15/22
L-201	LANDSCAPE PLAN - ROOF LEVEL	02/15/22
L-300	LANDSCAPE NOTES	02/15/22
L-301	PLANTING DETAILS	02/15/22
L-302	PLANTING DETAILS	02/15/22
L-303	PLANTING DETAILS	02/15/22
L-304	PLANTING DETAILS	02/15/22
L-305	PLANTING DETAILS	02/15/22

CLIENT
 801 COLLINGS AVE
 SUITE 100
 SUITE 100
 SURESIDE, FLORIDA 33154

ARCHITECT OF RECORD
 DONNELL DANNWOLF AND PARTNERS ARCHITECTS INC.
 242 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 954.938.8200

CIVIL, TRAFFIC & PARKING ENGINEER
 OSCAR TORRES
 801 BISCAYNE BLVD. SUITE 100
 T. 954.253.5282

LANDSCAPE ARCHITECT
 FERNANDO WONG, OUTDOOR LIVING DESIGN
 6100 AQUA AVE SUITE 107 MIAMI BEACH, FL 33141
 T. 305.874.4040



KURT DANNWOLF
 FL. LANDSCAPE ARCH. REG. NO.
 AR 92042

THIS FIRM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY USING DIGITAL SIGNATURE AND DATE TIME. ANY ALTERATION OF THIS DOCUMENT AFTER IT HAS BEEN SIGNED AND SEALED AND SIGNATURE MUST BE REPRODUCED IN ANY ELECTRONIC COPIES.



ARCHITECTURE AND DESIGN
 242 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 954.253.5282
 WWW.DANNWOLFDESIGN.COM

PROJECT

REVISIONS

KEY PLAN

SCALE
 NOTE: THIS DRAWING IS 2"=10' DO NOT SCALE DRAWINGS
 DATE: 02/20/22
 DRAWN BY: J
 CHECKED BY:
 DATE PLOTTED: 02/21/2022 1:45:58 PM

DRAWING INDEX

SHEET NO.
A1.00

Original Date	01/15/21
Revised	11/20/21
Drawn By	JLAD
Old No.	
Project	103395
Plot	02/21/1937A
Field Book F.L.D. SHEET	
Job No.	49598, cm-Daniel C Fortin
Drawn No.	210358
Drawn Date	06/24/2021
Drawn By	Daniel C Fortin
Sheet	1 of 1

FORTIN, LEAVY, SKALES, INC.
CONSULTING ENGINEERS, SURVEYORS & MAPPERS
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 0006493
180 Northeast 18th Street / North Miami Beach, Florida 33162
Phone 305-653-4939 / Fax 305-651-7133 / Email leavy@fortinleavy.com

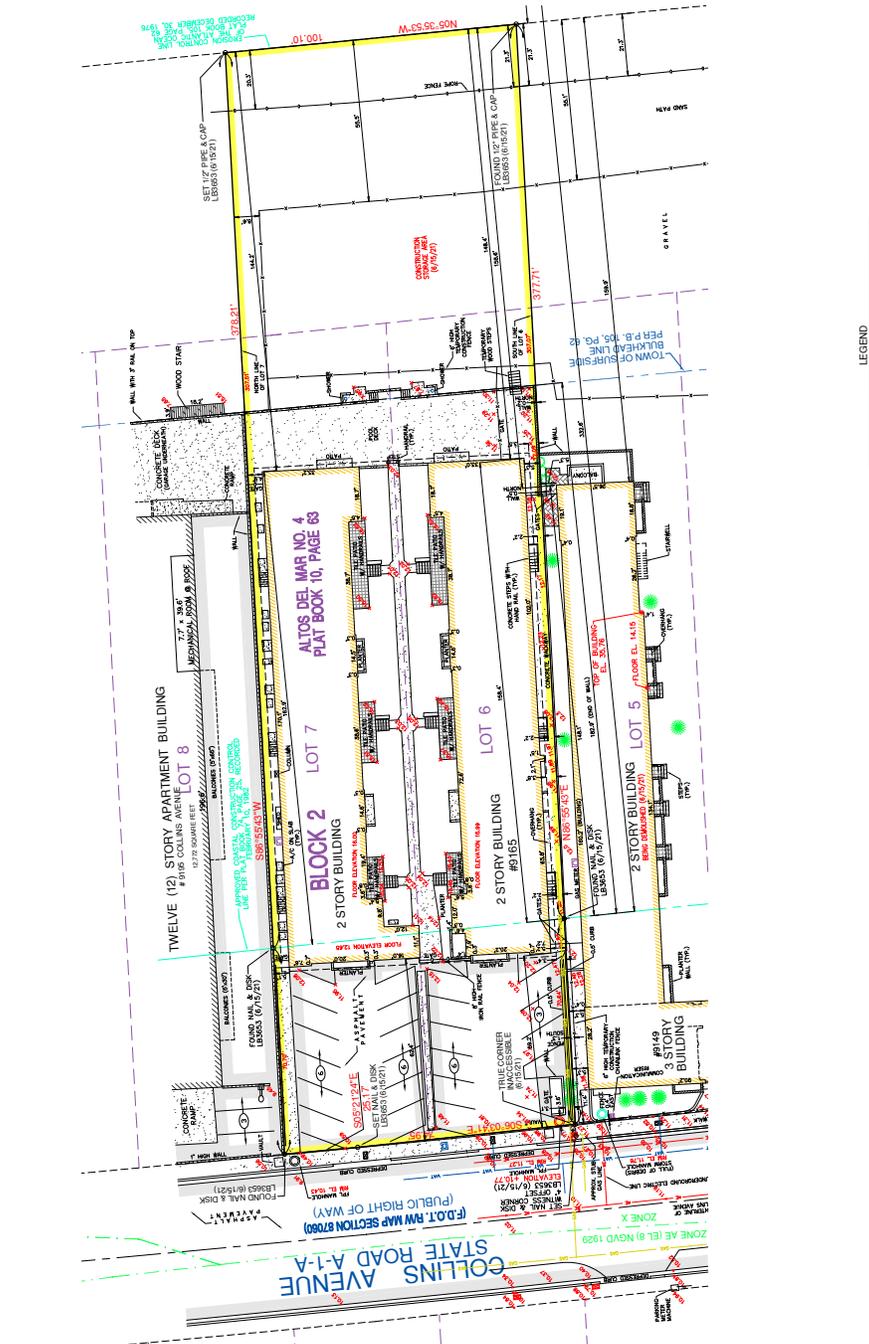
BOUNDARY & TOPOGRAPHIC SURVEY
9165 COLLINS AVENUE
TOWN OF SURFSIDE, MIAMI-DADE COUNTY, FLORIDA

Original Date	01/15/21
Revised	11/20/21
Drawn By	JLAD
Old No.	
Project	103395
Plot	02/21/1937A
Field Book F.L.D. SHEET	
Job No.	49598, cm-Daniel C Fortin
Drawn No.	210358
Drawn Date	06/24/2021
Drawn By	Daniel C Fortin
Sheet	1 of 1



LOCATION SKETCH
NOT TO SCALE

LEGAL DESCRIPTION:
Lots 4 and 7, of Block 2, of ALDOS DEL MAR NO. 4, according to the plat thereof, as recorded in Plat Book 10, Page 63, of the Public Records of Miami-Dade County, Florida.
Lots 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



LEGEND

CL	CLAY MARK
CM	CONCRETE MARK
DM	DIAPHRAGM WALL
EM	ELECTRICAL MARK
FM	FLOOR MARK
GM	GRAVEL
HM	HIGHWAY MARK
IM	IRON MARK
JM	JUNCTION MARK
LM	LANDMARK
MM	METAL MARK
OM	ORANGE MARK
PM	PURPLE MARK
SM	STEEL MARK
TM	TIN MARK
UM	UNIDENTIFIED MARK
VM	VISUAL MARK
WM	WOOD MARK
YM	YELLOW MARK
ZM	ZINC MARK
AM	ASPHALT PAVEMENT
BM	BENCH MARK
CM	CHALK MARK
DM	DRAWING MARK
EM	ELEVATION MARK
FM	FLOOR MARK
GM	GRAVEL
HM	HIGHWAY MARK
IM	IRON MARK
JM	JUNCTION MARK
LM	LANDMARK
MM	METAL MARK
OM	ORANGE MARK
PM	PURPLE MARK
SM	STEEL MARK
TM	TIN MARK
UM	UNIDENTIFIED MARK
VM	VISUAL MARK
WM	WOOD MARK
YM	YELLOW MARK
ZM	ZINC MARK



GRAPHIC SCALE
1" = 10' ±



REQUIRED AVERAGE SIDE SETBACK VOLUME

Level	Floor Area	Floor Height	Floor Volume
REQUIRED NORTH SETBACK VOLUME			
LEVEL 01	973.75 SF	13'-10"	13,470.18 CF
LEVEL 02	973.75 SF	13'-10"	13,470.18 CF
LEVEL 03	973.75 SF	11'-7"	11,279.25 CF
LEVEL 04	973.75 SF	11'-7"	11,279.25 CF
LEVEL 05	973.75 SF	11'-7"	11,279.25 CF
LEVEL 06	973.75 SF	11'-7"	11,279.25 CF
LEVEL 07	973.75 SF	11'-7"	11,279.25 CF
LEVEL 08	973.75 SF	11'-7"	11,279.25 CF
LEVEL 09	973.75 SF	11'-7"	11,279.25 CF
LEVEL 10	973.75 SF	14'-3"	13,929.91 CF
REQUIRED SOUTH SETBACK VOLUME			
LEVEL 01	989.97 SF	13'-10"	13,473.79 CF
LEVEL 02	989.97 SF	13'-10"	13,473.79 CF
LEVEL 03	989.97 SF	11'-7"	11,280.03 CF
LEVEL 04	989.97 SF	11'-7"	11,280.03 CF
LEVEL 05	989.97 SF	11'-7"	11,280.03 CF
LEVEL 06	989.97 SF	11'-7"	11,280.03 CF
LEVEL 07	989.97 SF	11'-7"	11,280.03 CF
LEVEL 08	989.97 SF	11'-7"	11,280.03 CF
LEVEL 09	989.97 SF	11'-7"	11,280.03 CF
LEVEL 10	989.97 SF	14'-3"	13,817.82 CF
GRAND TOTAL	19,424.20 SF		239,040.60 CF

PROVIDED AVERAGE SIDE SETBACK VOLUME

Level	Floor Area	Floor Height	Floor Volume
PROVIDED NORTH SETBACK VOLUME			
LEVEL 01	1,597.25 SF	13'-10"	25,355.95 CF
LEVEL 02	1,365.78 SF	13'-10"	19,066.28 CF
LEVEL 03	1,365.78 SF	11'-7"	15,129.23 CF
LEVEL 04	1,365.78 SF	11'-7"	15,129.23 CF
LEVEL 05	1,365.78 SF	11'-7"	15,129.23 CF
LEVEL 06	1,365.78 SF	11'-7"	15,129.23 CF
LEVEL 07	1,365.78 SF	11'-7"	15,129.23 CF
LEVEL 08	1,365.78 SF	11'-7"	15,129.23 CF
LEVEL 09	1,365.78 SF	11'-7"	15,129.23 CF
LEVEL 10	1,284.18 SF	14'-3"	18,296.61 CF
	13,577.67 SF		167,793.22 CF
PROVIDED SOUTH SETBACK VOLUME			
LEVEL 01	1,596.83 SF	13'-10"	22,117.82 CF
LEVEL 02	1,011.20 SF	13'-10"	13,984.34 CF
LEVEL 03	876.83 SF	11'-7"	10,145.00 CF
LEVEL 04	876.83 SF	11'-7"	10,145.00 CF
LEVEL 05	876.83 SF	11'-7"	10,145.00 CF
LEVEL 06	876.83 SF	11'-7"	10,145.00 CF
LEVEL 07	876.83 SF	11'-7"	10,145.00 CF
LEVEL 08	876.83 SF	11'-7"	10,145.00 CF
LEVEL 09	1,008.39 SF	11'-7"	11,680.51 CF
LEVEL 10	657.73 SF	14'-3"	12,222.71 CF
GRAND TOTAL	23,308.83 SF		288,672.59 CF

AVERAGE SIDE SETBACK SUMMARY

- 100' LOT WIDTH x 5% = 5' AVERAGE SETBACK
- REQUIRED SETBACK VOLUME (NORTH + SOUTH) = 238,040.60 CF
- PROVIDED SETBACK VOLUME (NORTH + SOUTH) = 288,672.59 CF
- EXCESS VOLUME SUBTRACTED = 49,631.99 CF
- LEVELS APPLIED TO (LEVELS 1 - 10) = 10 LEVELS
- EXCESS VOLUME PER LEVEL (AVERAGE) = 4,963.20 CF
- HEIGHT PER LEVEL (TYPICAL) = 11.58 FT
EXCESS FLOOR AREA REMOVED PER LEVEL (AVERAGE) = 428.00 SF

FLOOR AREA DATA

ENTRY LEVEL	FLOOR AREA - PROVIDED
LEVEL 02	6,290.97 SF
LEVEL 03	7,739.00 SF
LEVEL 04	9,882.57 SF
LEVEL 05	9,882.58 SF
LEVEL 06	9,882.58 SF
LEVEL 07	9,882.58 SF
LEVEL 08	9,882.58 SF
LEVEL 09	9,882.58 SF
LEVEL 10	9,360.23 SF
ROOFTOP	2,551.46 SF
	95,397.42 SF

FLOOR AREA AS DEFINED IN SEC. 90.3 DEFINITIONS

PARKING DATA

PARKING TOTALS	
19' x 18' Tandem	25
12' x 5' ADA Standard	6
12' x 5' ADA Standard	1
	32

PARKING BY UNIT TYPE	
3-BEDROOM PARKING	12
4-BEDROOM PARKING	16
4-BEDROOM PARKING (TANDEM)	2
ADA PARKING	1
VISITOR	1
	32

BUILDING UNIT DATA

UNIT MATRIX - TOTALS	
LEVEL 02	1
3-BEDROOM	1
LEVEL 03	1
3-BEDROOM	1
4-BEDROOM	1
LEVEL 04	1
3-BEDROOM	1
4-BEDROOM	1
LEVEL 05	1
3-BEDROOM	1
4-BEDROOM	1
LEVEL 06	1
3-BEDROOM	1
4-BEDROOM	1
LEVEL 07	1
3-BEDROOM	1
4-BEDROOM	1
LEVEL 08	1
4-BEDROOM	1
LEVEL 09	1
PENTHOUSE	1
LEVEL 10	1
PENTHOUSE	1
GRAND TOTAL	14

ZONING ANALYSIS SURFSIDE, FLORIDA CODE OF ORDINANCES: CHAPTER 90 - ZONING

LOT DISTRICT	H120	ALLOWED / REQUIRED	PROPOSED / PROVIDED
LOT AREA			37,807 SF (GROSS) / 25,441 SF (NET)
MINIMUM LOT WIDTH		50'-0" MIN	100'-0"
MINIMUM LOT AREA		-	-
MAXIMUM LOT COVERAGE		-	-
MINIMUM PERVIOUS AREA DEFINITION	20% Area maintained in its natural condition, or covered by a material that permits infiltration or percolation of water directly into the ground. Pavement or pervious hard materials, including pervious concrete, shall not be utilized for the calculation of pervious area.	7,561.46 SF MIN	10,332.62 SF = 27.30%
FLOOR AREA	The sum of the gross horizontal areas of the several floors of a building or buildings, measured from the exterior faces of exterior walls or from the centerline of walls separating two attached buildings, including but not limited to: a.) Elevator shafts or stairwells at each floor, b.) Floor space used for mechanical equipment, c.) Floor space in penthouses, d.) Attic floor space, e.) Floor space in interior balconies or mezzanines, f.) Floor space in porches or pools enclosed with plastic, glass, or permanent type of material, g.) Any floor space used for residential use not located within the building, h.) Garages, sheds and accessory buildings.		95,397.42 SF
SEE FLOOR AREA TABLE FOR AREA PER LEVEL / STORY			
SETBACKS			
PRIMARY FRONTAGE			
SIDE	10% OF THE LOT FRONTAGE, NO LESS THAN 10 FEET OR 20% OF LOT FRONTAGE + ADDITIONAL 5% AVERAGE (25% TOTAL) WHEN A BUILDING EXCEEDS HEIGHT OF 30'. THE WIDTH OF EACH SIDE YARD SHALL BE INCREASED BY 1' FOR EVERY 2' OF BUILDING HEIGHT ABOVE 30'	20'-0" + 5'-0" = 25'-0" AVERAGE	40'-0"
REAR		30'-0" MIN	30'-0" FROM PROPERTY LINE 20'-0" FROM BULKHEAD
PROJECTIONS INTO REQUIRED SETBACKS	SILLS, CORNICES, ROOF EAVES AND ORNAMENTAL FEATURES OPEN, UNENCLOSED BALCONIES INTO AN INTERIOR SIDE SETBACK NO MORE THAN 50% OF A BALCONY'S FOOTPRINT SHALL OVERHANG THE BALCONY ON A LOWER LEVEL.	8'-0" MAX	8'-0"
MINIMUM UNIT SIZES			
2-BEDROOM APARTMENTS		950 SF MIN	PROVIDED (see Unit Matrix Table)
3-BEDROOM APARTMENTS		1159 SF MIN	PROVIDED (see Unit Matrix Table)
BUILDING HEIGHT DEFINITION			
MAX HEIGHT	Rat. Roofs: The vertical distance from the average datum or elevation of the crown of the roof fronting the lot or building site, to the highest point of the roof. In the H120 district on lots or parcels where construction is regulated by the Florida Coastal Construction Code, maximum height shall be measured from the established elevation determined by the FDCR for the first floor.	120'-0"	120'-0" (Wavecrest) / 127'-1 3/4" (Crown of Roof)
MAX STORIES		12 STORIES	11 STORIES (10 + 1 Rooftop)
MODIFICATIONS OF HEIGHT	Architectural elements per Sec. 90-44.1: 20 FT AND 30% MAX AGGREGATE ROOF AREA Mechanical equipment rooms per Sec. 90-44.2: 20 FT AND 30% MAX AGGREGATE ROOF AREA Height variations per Sec. 90-44.4: NO LESS THAN 5 FT	20'-0"	20'-0"
PARKING			
MULTI-FAMILY RESIDENTIAL	MINIMUM OF 2.0 PARKING SPACES PER 2-BEDROOMS AND 3-BEDROOMS	12 SPACES (2 SPACES EACH FOR 6 UNITS)	12 SPACES
TANDEM PARKING	MINIMUM OF 2.25 PARKING SPACES PER 4-BEDROOMS OR MORE	18 SPACES (2.25 SPACES EACH FOR 8 UNITS)	18 SPACES
VISITOR PARKING	One unincubated parking space, tandem or regular, must be provided for each dwelling unit and visitor parking services shall be provided at all times. One visitor parking space for each 15 dwelling unit, unless tandem parking with visitor services is provided in which case one visitor space for each 20 units is required.	1	2 TANDEM INCL. FOR 4-BEDROOMS (BOTH IN PRIVATE GARAGE)
ACCESSIBLE PARKING	2%, BUT NO FEWER THAN ONE SPACE	1	1
ACCESSIBLE VAN PARKING	ONE FOR EVERY SIX ACCESSIBLE PARKING SPACES PROVIDED	SAME AS ADA SPACE	SAME AS ADA SPACE
LOADING	1 SPACE FOR 20,000 SF - 100,000 SF. MINIMUM SIZE = 12 FT WIDTH x 30 FT DEPTH x 14.5 FT HEIGHT	32 SPACES TOTAL	32 SPACES TOTAL

PROPERTY INFORMATION AND DATA

PROPERTY ADDRESS: 9165 COLLINS AVENUE SURFSIDE, FLORIDA 33154
FOLIO NUMBER: 14-2235-021-0001
SUB-DIVISION: HILLCREST BY THE SEA CO-OP APTS INC
LEGAL DESCRIPTION: LOTS 6 AND 7 OF BLOCK 2 OF ALTOS DEL MAR NO. 4 AS RECORDED IN PLAT BOOK 19, PAGE 63, TOGETHER WITH LOTS 6 AND 7 OF BLOCK 2 BOUNDED ON NORTH BY EASTERLY EXTENSION OF THE NORTH LINE OF SAID LOT 7; BOUNDED ON THE EAST BY THE EROSION CONTROL LINE, AS RECORDED IN PLAT BOOK 105, PAGE 62; BOUNDED ON THE SOUTH BY THE EASTERLY EXTENSION OF THE SOUTH LINE OF SAID LOT 6; AND BOUNDED ON THE WEST BY THE EAST LINE OF SAID BLOCK 2.
SECTION 35, TOWNSHIP 52 SOUTH, RANGE 42 EAST, TOWN OF SURFSIDE, MIAMI-DADE COUNTY, FLORIDA
H120
ZONE 'X'
EL: +18.2' NGVD



SITE LOCATION

CLIENT KURT DANWOLF ARCHITECTS 8011 COLLINGS AVENUE SURFSIDE, FLORIDA 33154	ARCHITECT OF RECORD KURT DANWOLF ARCHITECTS 8011 COLLINGS AVENUE SURFSIDE, FLORIDA 33154	CIVIL, TRAFFIC & PARKING ENGINEER COYNE ENGINEERING 432 HOLLWOOD BLVD. W. HOLLYWOOD, FL 33020 T. 954.943.8300	LANDSCAPE ARCHITECT FERNANDO WONG, LANDSCAPE ARCHITECT 6160 AQUA AVE SUITE 107, MIAMI BEACH, FL 33141 T. 305.440.1410

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PROJECT: ARCHITECTURE AND DESIGN
243 HOLLWOOD BLVD., HOLLYWOOD, FL 33020
T. 954.943.8300
WWW.GONNELLDANNWOLF.COM

REVISIONS

NO.	DESCRIPTION	DATE

KEY PLAN

SCALE: 3/32" = 1'-0"
NOTE: THIS DRAWING IS 20'x30" DO NOT SCALE DRAWINGS
DATE: 03/20/20
DRAWN BY: J. WONG
CHECKED BY: J. WONG

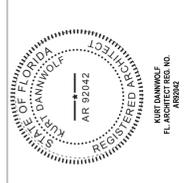
ZONING INFORMATION & BUILDING DATA SHEET NO. **A2.00**

CLIENT
 THE SEASIDE
 811 COLLINS AVENUE
 SURFSIDE, FLORIDA 33154

ARCHITECT OF RECORD
 GONNELL DANNOFF AND PARTNERS ARCHITECTS INC. AR0000096
 243 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 305.543.8200

CIVIL, TRAFFIC & PARKING ENGINEER
 DEAN M. RAYMOND
 8101 BISCAYNE BLVD UNIT 206
 MIAMI BEACH, FL 33141
 T. 781.253.5262

LANDSCAPE ARCHITECT
 FERNANDO WONG, OUTDOOR LIVING DESIGN
 6189 AQUA AVE SUITE 107 MIAMI BEACH, FL 33141
 T. 305.543.8200



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KURT DANNOFF
 F.L. LICENSE NO. AR 92042

ARCHITECTURE AND DESIGN
 243 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 305.543.8200
 WWW.GONNELLANDPARTNERS.COM

PROJECT

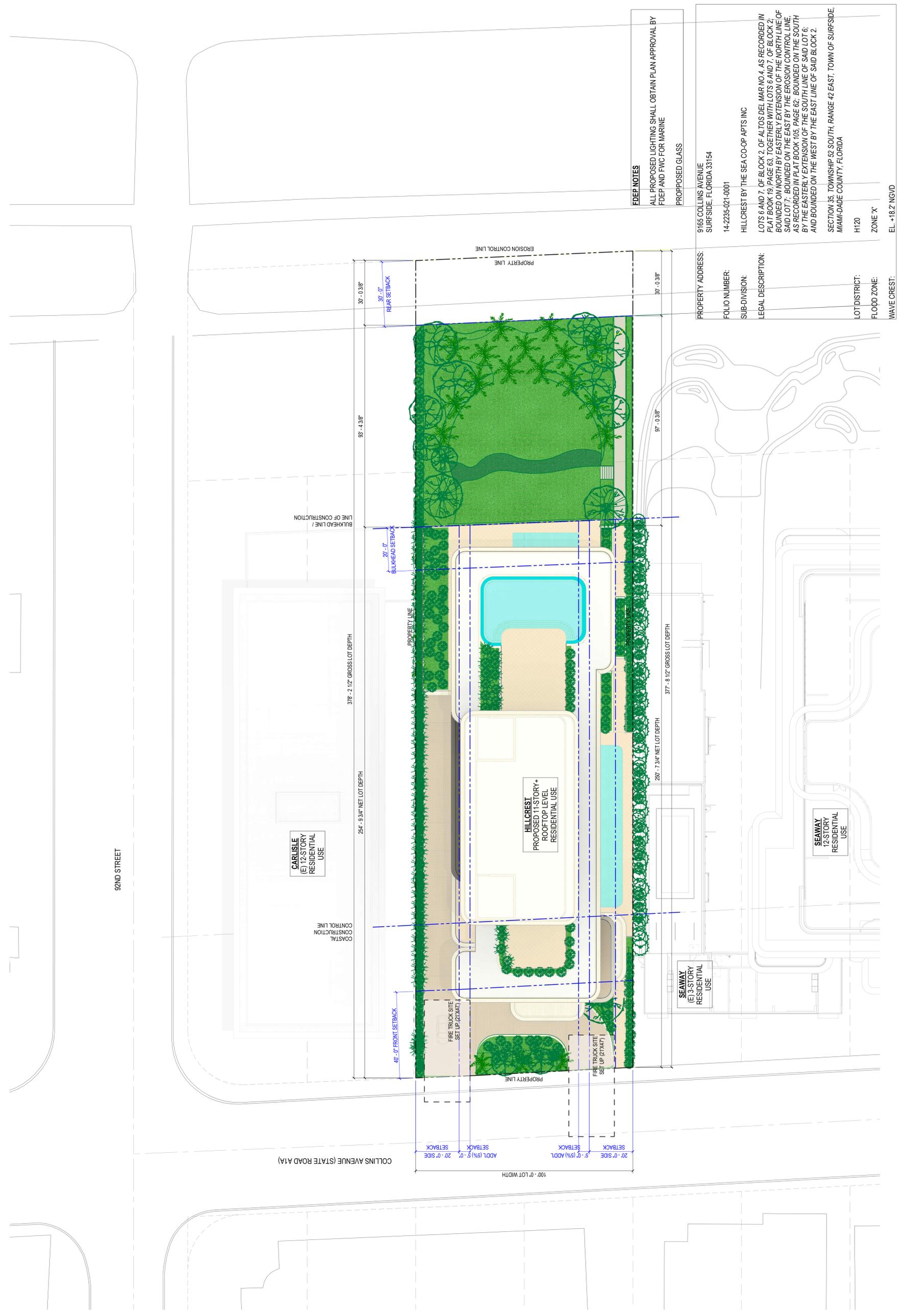
REVISIONS

KEY PLAN

SCALE: AS SHOWN
 NOTE: THIS DRAWING IS 2D AND NOT SCALE DRAWING
 DATE: 03/20/25
 DRAWING TITLE: DRAWING TITLE

SITE PLAN

SHEET NO.
A3.00



CLIENT
 GUYTON W. WATSON
 8011 COLLINGS AVE
 SUITE 200
 SURFSIDE, FLORIDA 33154
 ARCHITECT OF RECORD
 GUYTON W. WATSON
 8011 COLLINGS AVE SUITE 200
 SURFSIDE, FLORIDA 33154
 CIVIL, TRAFFIC & PARKING ENGINEER
 GUYTON W. WATSON
 8011 COLLINGS AVE SUITE 200
 SURFSIDE, FLORIDA 33154
 LANDSCAPE ARCHITECT
 GUYTON W. WATSON
 8011 COLLINGS AVE SUITE 200
 SURFSIDE, FLORIDA 33154

100' LOT WIDTH x 5% = 5' AVERAGE SETBACK

Level	Floor Area	Floor Volume	Floor Height	Level	Floor Area	Floor Volume	Floor Height
LEVEL 01	3,446.13 SF	47,671.38 CF	13'-10"	LEVEL 01	1,943.42 SF	26,883.97 CF	13'-10"
LEVEL 02	2,316.98 SF	32,051.63 CF	13'-10"	LEVEL 02	1,943.42 SF	26,883.97 CF	13'-10"
LEVEL 03	2,181.61 SF	25,270.28 CF	11'-7"	LEVEL 03	1,943.42 SF	26,883.97 CF	13'-10"
LEVEL 04	2,181.61 SF	25,270.28 CF	11'-7"	LEVEL 04	1,943.42 SF	26,883.97 CF	13'-10"
LEVEL 05	2,181.61 SF	25,270.28 CF	11'-7"	LEVEL 05	1,943.42 SF	26,883.97 CF	13'-10"
LEVEL 06	2,181.61 SF	25,270.28 CF	11'-7"	LEVEL 06	1,943.42 SF	26,883.97 CF	13'-10"
LEVEL 07	2,181.61 SF	25,270.28 CF	11'-7"	LEVEL 07	1,943.42 SF	26,883.97 CF	13'-10"
LEVEL 08	2,181.61 SF	25,270.28 CF	11'-7"	LEVEL 08	1,943.42 SF	26,883.97 CF	13'-10"
LEVEL 09	2,181.61 SF	25,270.28 CF	11'-7"	LEVEL 09	1,943.42 SF	26,883.97 CF	13'-10"
LEVEL 10	2,181.61 SF	25,270.28 CF	11'-7"	LEVEL 10	1,943.42 SF	26,883.97 CF	13'-10"
LEVEL 10	2,314.17 SF	30,522.31 CF	14'-3"	LEVEL 10	1,943.42 SF	26,883.97 CF	13'-10"
LEVEL 10	2,314.17 SF	30,522.31 CF	14'-3"	LEVEL 10	1,943.42 SF	26,883.97 CF	13'-10"
GRAND TOTAL	23,388.83 SF	288,672.99 CF		GRAND TOTAL	19,434.20 SF	259,040.60 CF	

EXCESS FLOOR AREA REMOVED PER LEVEL (AVERAGE) = 4,953.20 CF

Level	Floor Area	Floor Volume	Floor Height	Level	Floor Area	Floor Volume	Floor Height
LEVEL 01	3,446.13 SF	47,671.38 CF	13'-10"	LEVEL 01	1,943.42 SF	26,883.97 CF	13'-10"
LEVEL 02	2,316.98 SF	32,051.63 CF	13'-10"	LEVEL 02	1,943.42 SF	26,883.97 CF	13'-10"
LEVEL 03	2,181.61 SF	25,270.28 CF	11'-7"	LEVEL 03	1,943.42 SF	26,883.97 CF	13'-10"
LEVEL 04	2,181.61 SF	25,270.28 CF	11'-7"	LEVEL 04	1,943.42 SF	26,883.97 CF	13'-10"
LEVEL 05	2,181.61 SF	25,270.28 CF	11'-7"	LEVEL 05	1,943.42 SF	26,883.97 CF	13'-10"
LEVEL 06	2,181.61 SF	25,270.28 CF	11'-7"	LEVEL 06	1,943.42 SF	26,883.97 CF	13'-10"
LEVEL 07	2,181.61 SF	25,270.28 CF	11'-7"	LEVEL 07	1,943.42 SF	26,883.97 CF	13'-10"
LEVEL 08	2,181.61 SF	25,270.28 CF	11'-7"	LEVEL 08	1,943.42 SF	26,883.97 CF	13'-10"
LEVEL 09	2,181.61 SF	25,270.28 CF	11'-7"	LEVEL 09	1,943.42 SF	26,883.97 CF	13'-10"
LEVEL 10	2,314.17 SF	30,522.31 CF	14'-3"	LEVEL 10	1,943.42 SF	26,883.97 CF	13'-10"
LEVEL 10	2,314.17 SF	30,522.31 CF	14'-3"	LEVEL 10	1,943.42 SF	26,883.97 CF	13'-10"
GRAND TOTAL	23,388.83 SF	288,672.99 CF		GRAND TOTAL	19,434.20 SF	259,040.60 CF	

AVERAGE SETBACK VOLUME - PROVIDED BY LEVEL

REQUIRED SETBACK VOLUME - REQUIRED BY LEVEL

EXCESS VOLUME SUBTRACTED = 49,631.98 CF

LEVELS APPLIED TO LEVELS 1 - 10 = 10 LEVELS

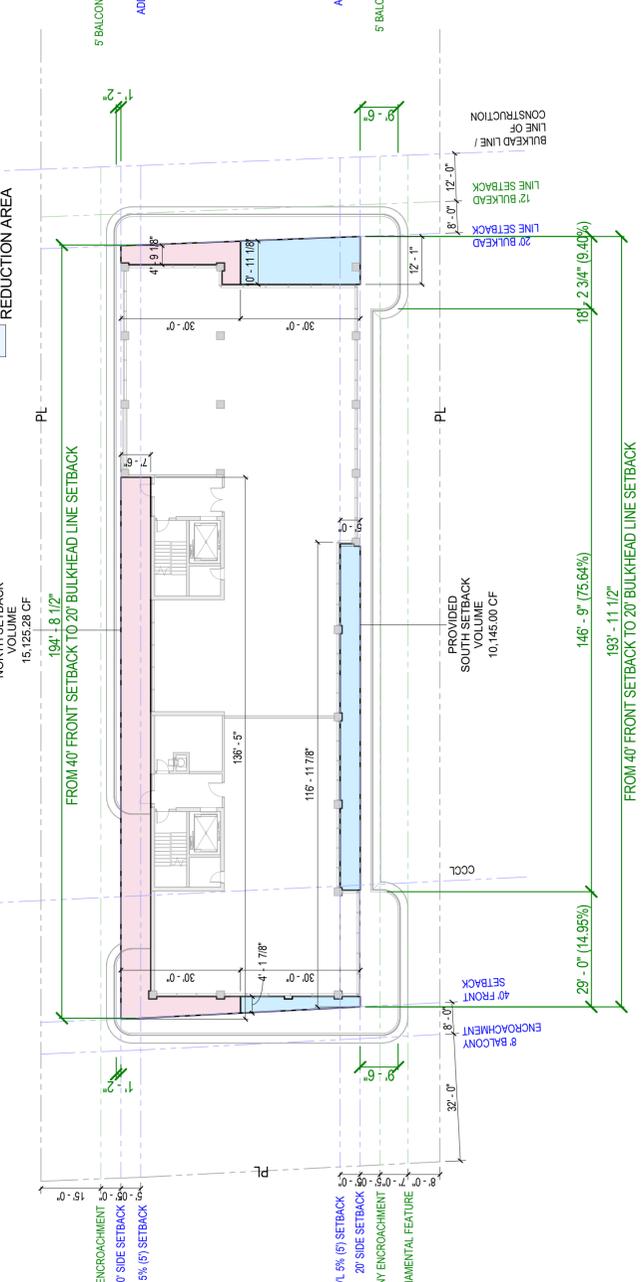
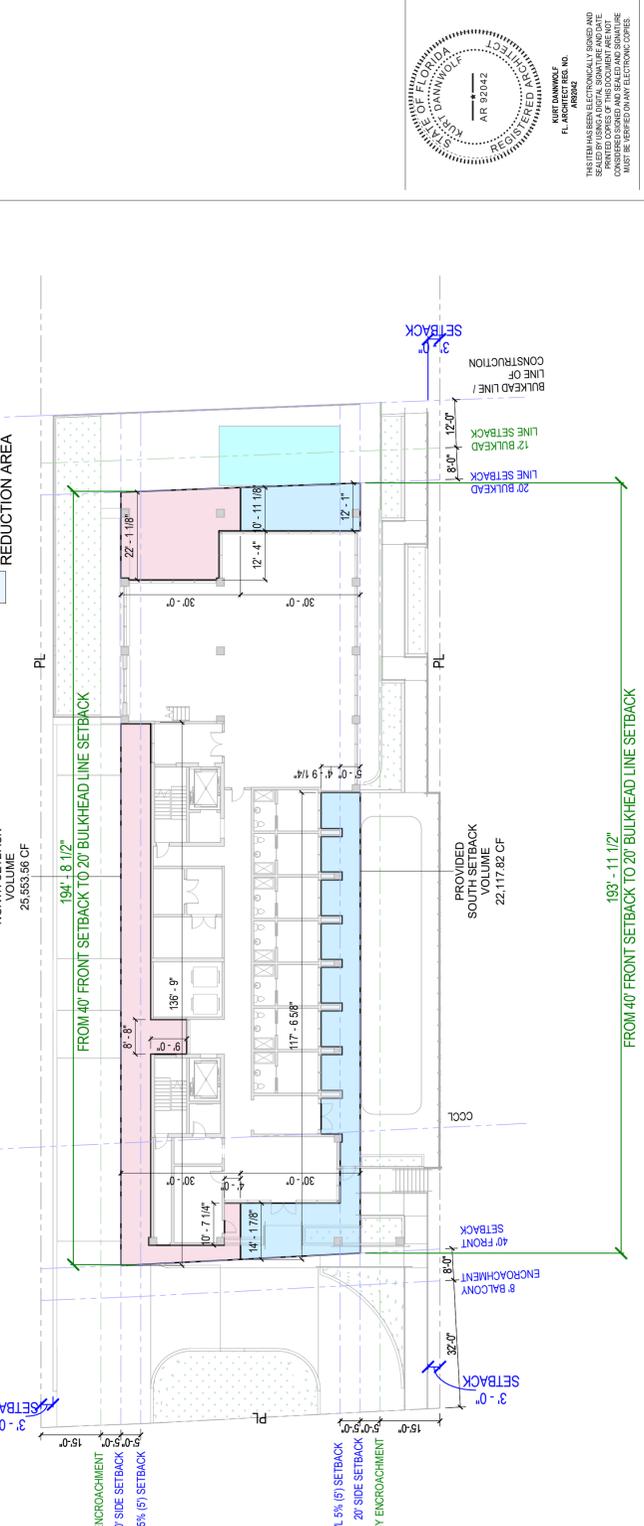
EXCESS VOLUME PER LEVEL (AVERAGE) = 4,963.20 CF

HEIGHT PER LEVEL (TYPICAL) = 11.58 FT

AVERAGE SETBACK VOLUME LEGEND

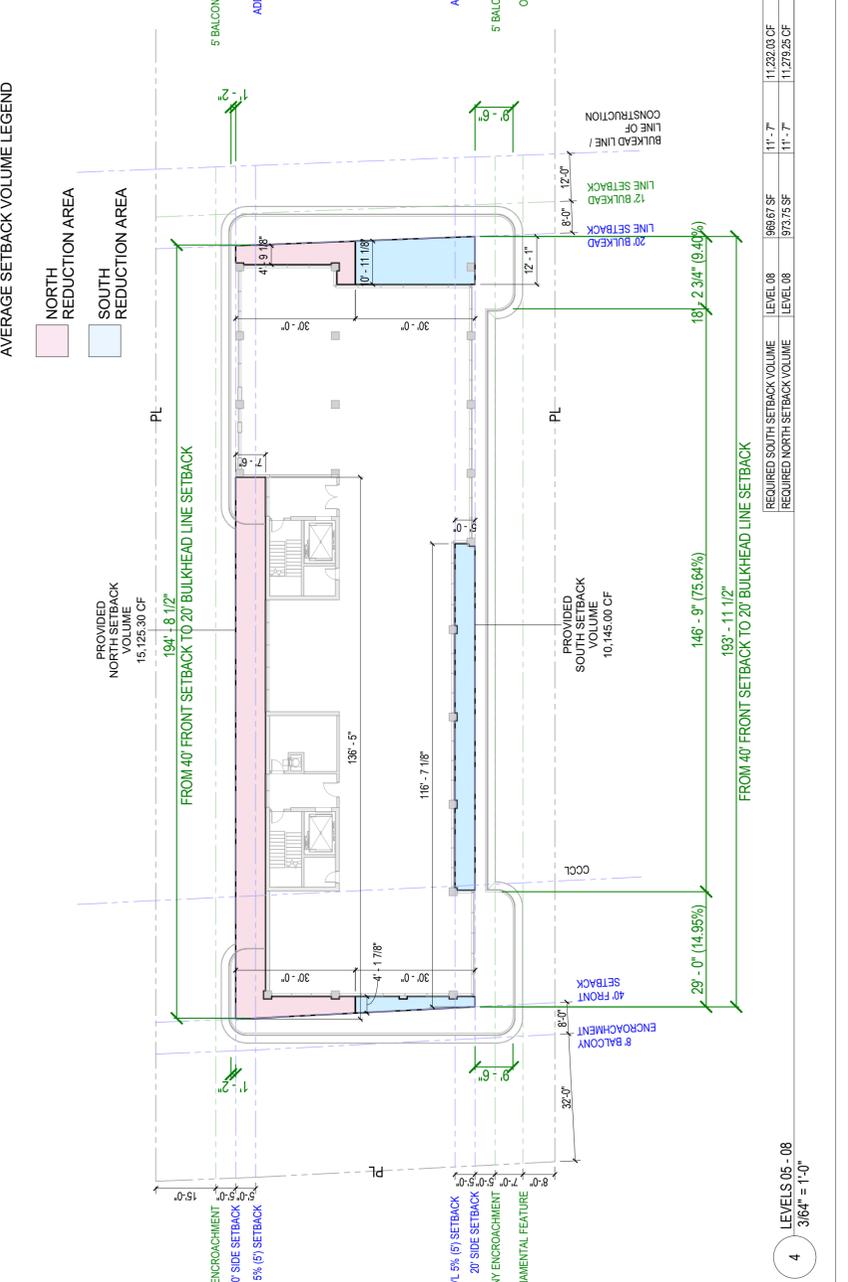
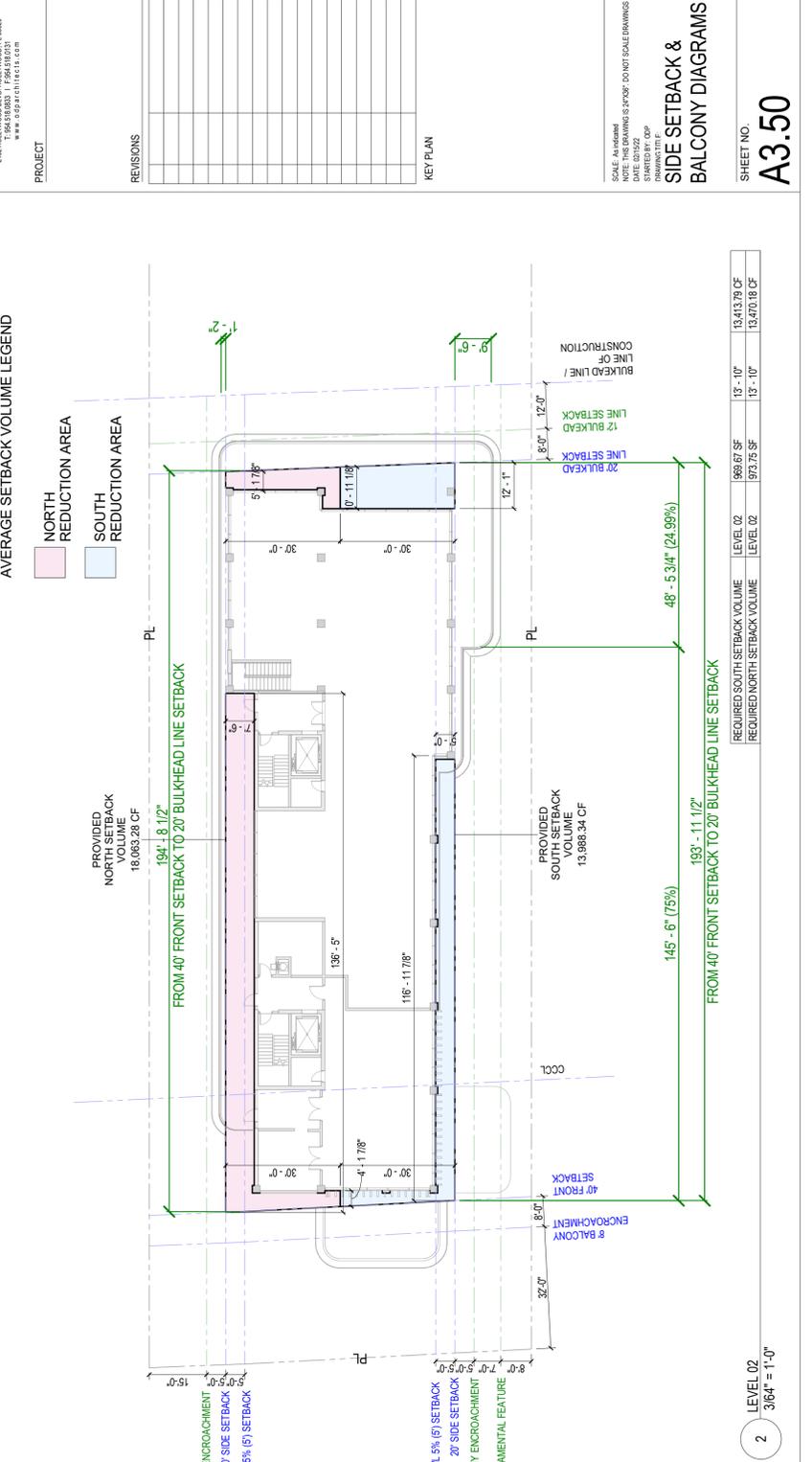
NORTH REDUCTION AREA

SOUTH REDUCTION AREA



Level	Level 01	Level 02	Level 03	Level 04
REQUIRED SOUTH SETBACK VOLUME	969.67 SF	973.75 SF	11'-7"	11,292.03 CF
REQUIRED NORTH SETBACK VOLUME	973.75 SF	13'-10"	13'-10"	11,279.26 CF
364" = 1'-0"				

Level	Level 03	Level 04
REQUIRED SOUTH SETBACK VOLUME	969.67 SF	11'-7"
REQUIRED NORTH SETBACK VOLUME	973.75 SF	13'-10"
364" = 1'-0"		



MODIFICATION OF HEIGHT REGULATIONS (H120)

CURRENT CODE SECTION 90-44 - 20 FT MAXIMUM HEIGHT OF ARCHITECTURAL ELEMENTS ABOVE MAXIMUM BUILDING HEIGHT HEIGHT PROVIDED - 20 FT

CURRENT CODE SECTION 90-44 - 30% MAXIMUM PERCENTAGE OF AGGREGATE ROOF ABOVE MAXIMUM BUILDING HEIGHT. 12,137.05 SF x 0.30 = 3,641.12 SF MAXIMUM AREA PROVIDED = 2,891.92 SF (23.83%)

PROPOSED ROOF DECK USAGE DIAGRAM

AGGREGATE STRUCTURAL ROOF SLAB AREA PROVIDED: 12,137.05 SF

CURRENT CODE SECTION 90-50.2(3)a - ROOF DECK PROVISIONS MAXIMUM 10% OF AGGREGATE ROOF AREA = 8,495.94 SF ROOF DECK AREA PROVIDED = 7,202.87 SF (89.39%)

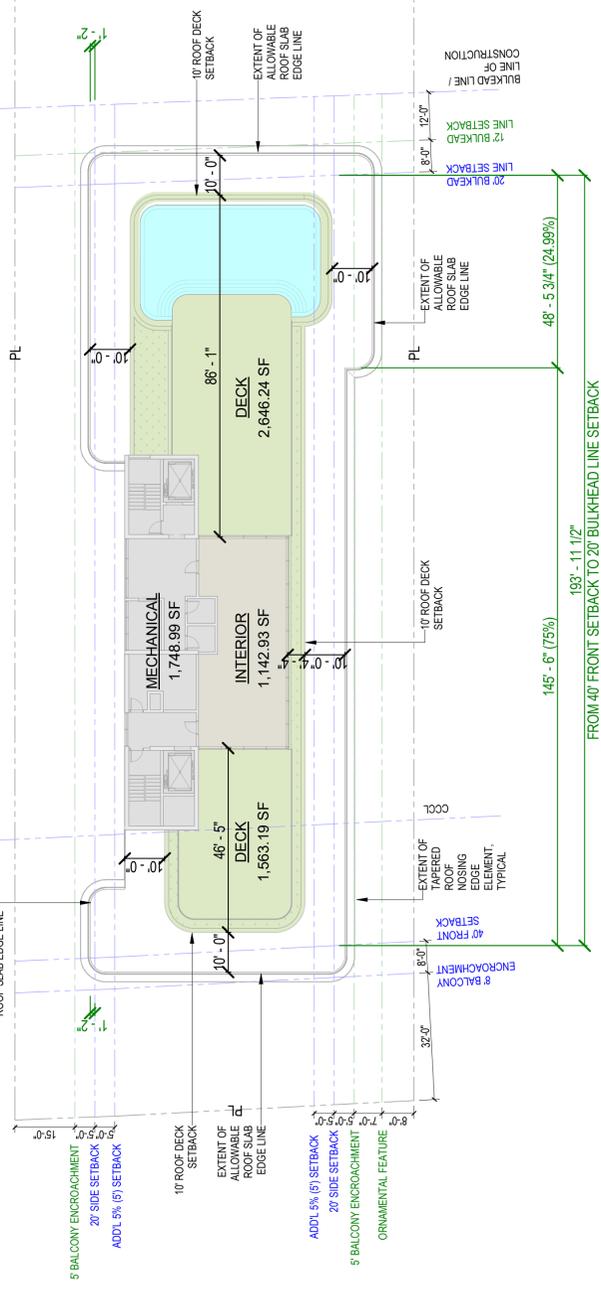
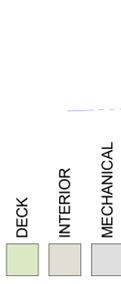
CURRENT CODE SECTION 90-50.2(3)c - SETBACK AT LEAST 10 FEET FROM ROOFLINE ON ALL SIDES - 10 FT MIN PROVIDED

ZONING IN PROGRESS CODE - ROOF COVERAGE 60% OF TOTAL ROOF AREA = 7,282.23 SF AREA PROVIDED = 7,202.87 SF (99.39%)

ZONING IN PROGRESS CODE - ROOF DECK COVERAGE 30% OF TOTAL ROOF AREA ALLOWED FOR DECK = 3,641.12 SF AREA PROVIDED = 2,891.92 SF (79.33%)

ZONING IN PROGRESS CODE - TOTAL ROOF AREA ALLOWED 10% OF TOTAL ROOF AREA ALLOWED FOR INTERIOR (A.C) SPACE = 1,213.71 SF AREA PROVIDED = 1,142.93 SF (94.22%)

AVERAGE SETBACK VOLUME LEGEND



3 ROOFTOP 3/64\"/>

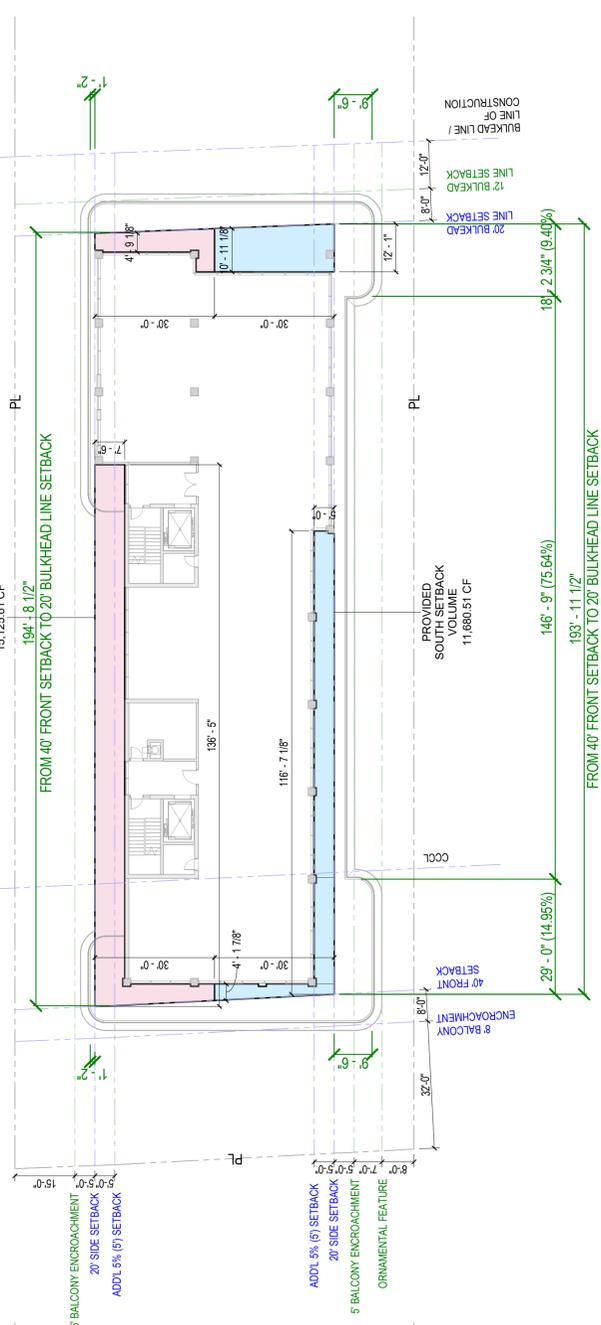
AVERAGE SETBACK VOLUME - PROVIDED BY LEVEL

Level	Floor Area	Floor Height	Floor Volume
LEVEL 01	3,446.13 SF	13'-10"	47,671.38 CF
LEVEL 02	2,316.98 SF	13'-10"	32,051.63 CF
LEVEL 03	2,181.61 SF	11'-7"	25,270.29 CF
LEVEL 04	2,181.61 SF	11'-7"	25,270.29 CF
LEVEL 05	2,181.61 SF	11'-7"	25,270.29 CF
LEVEL 06	2,181.61 SF	11'-7"	25,270.29 CF
LEVEL 07	2,181.61 SF	11'-7"	25,270.29 CF
LEVEL 08	2,181.61 SF	11'-7"	25,270.30 CF
LEVEL 09	2,314.17 SF	11'-7"	26,865.92 CF
LEVEL 10	2,141.91 SF	14'-3"	30,522.31 CF
GRAND TOTAL	23,388.83 SF		286,672.99 CF

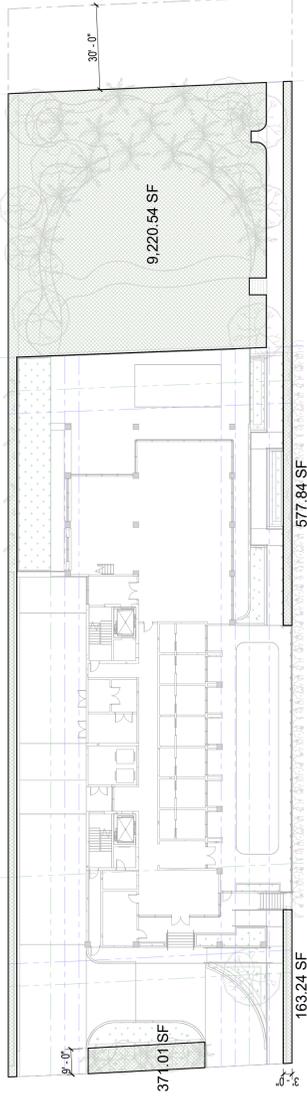
AVERAGE SETBACK VOLUME - REQUIRED BY LEVEL

Level	Floor Area	Floor Height	Floor Volume
LEVEL 01	1,943.42 SF	13'-10"	26,883.97 CF
LEVEL 02	1,943.42 SF	13'-10"	26,883.97 CF
LEVEL 03	1,943.42 SF	11'-7"	22,511.28 CF
LEVEL 04	1,943.42 SF	11'-7"	22,511.28 CF
LEVEL 05	1,943.42 SF	11'-7"	22,511.28 CF
LEVEL 06	1,943.42 SF	11'-7"	22,511.28 CF
LEVEL 07	1,943.42 SF	11'-7"	22,511.28 CF
LEVEL 08	1,943.42 SF	11'-7"	22,511.28 CF
LEVEL 09	1,943.42 SF	11'-7"	22,511.28 CF
LEVEL 10	1,943.42 SF	14'-3"	27,883.70 CF
GRAND TOTAL	19,434.20 SF		239,040.60 CF

NORTH REDUCTION AREA SOUTH REDUCTION AREA



1 LEVEL 09 3/64\"/>



PERVIOUS AREA REQUIREMENT TOTAL LOT AREA = 97,807.98 SF 20% REQUIRED = 7,564.16 SF 27.30% PROVIDED = 19,322.62 SF PERVIOUS SURFACE 110,332.83 SF

4 PERVIOUS AREA DIAGRAM 1\"/>

CLIENT
 STATE OF FLORIDA
 801 COLLINS AVENUE
 SUITE 2000
 WEST PALM BEACH, FL 33411

ARCHITECT OF RECORD
 DANNOLFF DANWOLF & PARTNERS ARCHITECTS INC.
 242 HULLWOOD BLVD., HULLWOOD, FL 33000
 TEL: 954.349.8300 FAX: 954.349.8300

CIVIL, TRAFFIC & PARKING ENGINEER
 DANNOLFF DANWOLF & PARTNERS ARCHITECTS INC.
 242 HULLWOOD BLVD., HULLWOOD, FL 33000
 TEL: 954.349.8300 FAX: 954.349.8300

LANDSCAPE ARCHITECT
 FERNANDO WONG - OUTDOOR LIVING DESIGN
 650 AQUA WALK SUITE 107, PALM BEACH, FL 33411
 TEL: 561.833.1111 FAX: 561.833.1112



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PROJECT

REVISIONS

NO.	DESCRIPTION	DATE

KEY PLAN

SCALE: AS SHOWN
 NOTE: THIS DRAWING IS FOR INFORMATION ONLY. DO NOT SCALE DRAWINGS.
 DATE: 03/20/24
 DRAWING TITLE: PERVIOUS AREA DIAGRAM

SETBACK, ROOF, PVIOUS AREA DIAGRAMS

A3.51

11,220.03 CF 11'-7" 11,279.25 CF 11'-7"

18,289.61 CF 14'-3" 13,877.82 CF 14'-3" 13,875.97 CF 14'-3"

CLIENT:
 CARLISLE
 811 COLLINS AVE
 SUITE 100
 SHELBYVILLE, KY 40381

ARCHITECT OF RECORD:
 STANTEC
 400 W. MAIN ST. SUITE 200
 INDIANAPOLIS, IN 46204

CIVIL, TRAFFIC & PARKING ENGINEER:
 STANTEC
 400 W. MAIN ST. SUITE 200
 INDIANAPOLIS, IN 46204

LANDSCAPE ARCHITECT:
 DANIEL WANG - OUTDOOR LIVING DESIGN
 6100 AQUA AVE SUITE 107, MARIETTA, GA 30067
 TEL: 770.571.4111

CARLISLE

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KURT DANWOLF
 F.L. NO. 31394
 ARCHITECTURE AND DESIGN
 2424 HOLLYWOOD BLVD, HOLLYWOOD, FL 33020
 TEL: 954.943.1443

PROJECT:
 PRIVATE BEACH VILLA

REVISIONS

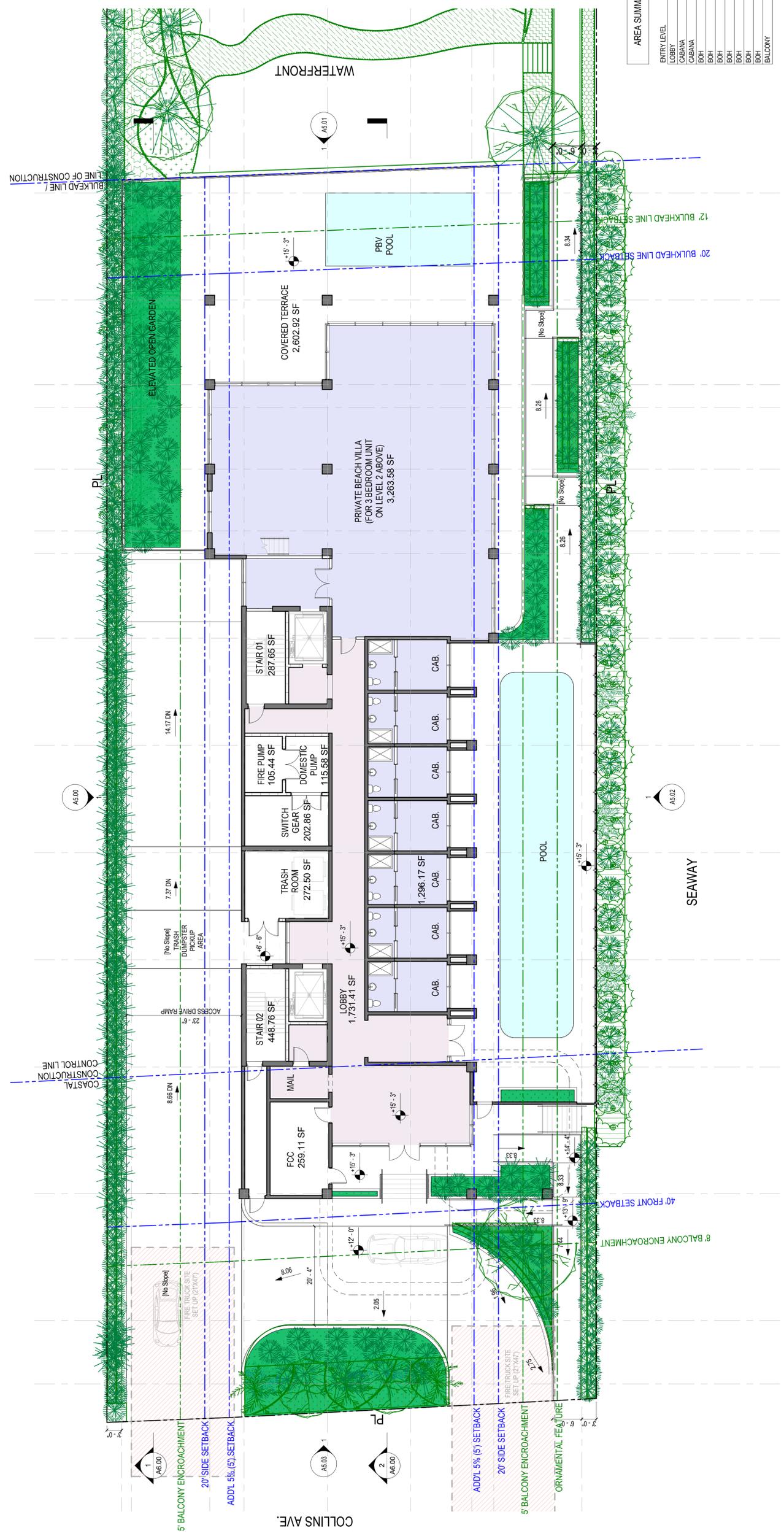
NO.	DESCRIPTION	DATE

KEY PLAN

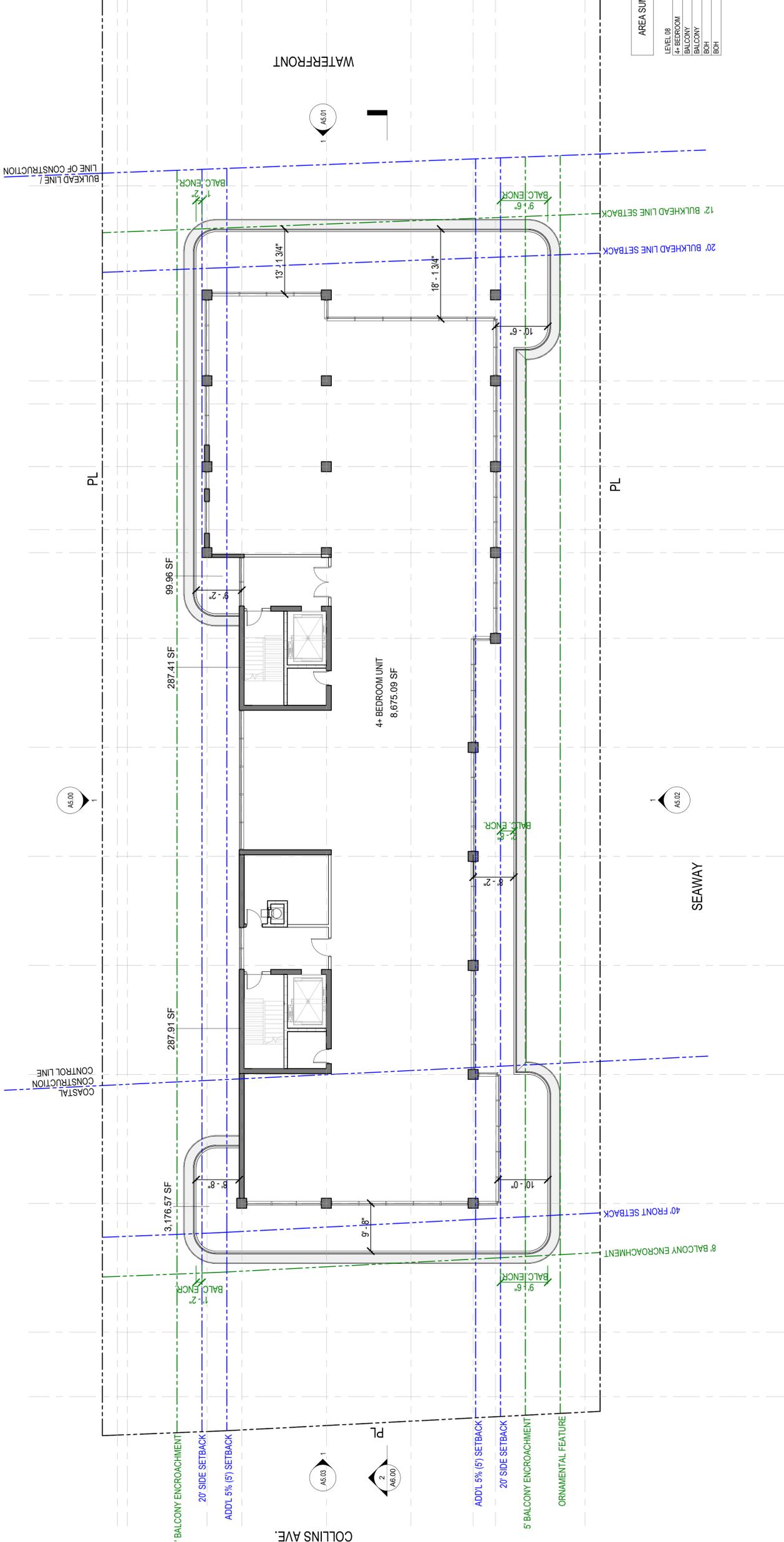
ENTRY LEVEL	AREA
LOBBY	1,731.41 SF
CABANA	3,263.58 SF
CABANA	1,296.17 SF
BOH	448.76 SF
BOH	202.86 SF
BOH	287.65 SF
BOH	115.58 SF
BOH	105.44 SF
BOH	272.50 SF
BOH	259.11 SF
BOH	2,602.92 SF
BALCONY	10,955.98 SF

SCALE: 1/32" = 1'-0"
 NOTE: THIS DRAWING IS A 2D/3D/0D NOT SCALE DRAWING
 DATE: 03/20/22
 DRAWING TITLE:
 LVL 1 FLOOR PLAN

SHEET NO.
A4.01



1 GROUND FLOOR PLAN
 3/22 = 1'-0"



AREA SUMMARY - LEVEL 8

LEVEL 08	8,675.09 SF
4+ BEDROOM	3,176.57 SF
BALCONY	99.96 SF
BALCONY	287.91 SF
BOH	287.41 SF
BOH	12,526.94 SF

1 LEVEL 08
3/22' = 1'-0"

SCALE: 3/22' = 1'-0"
NOTE: THIS DRAWING IS 2D/3D/100 NOT SCALE DRAWINGS
DATE: 03/20/20
DRAWN BY: J. J. DANIEL
DRAWN BY: J. J. DANIEL

LVL 8 FLOOR PLAN

SHEET NO.
A4.04

CLIENT
CARLISLE
811 COLLINS AVE
SUITE 200
SUNRISE, FLORIDA 33164

ARCHITECT OF RECORD
GONNELL DANNOFF & PARTNERS ARCHITECTS INC.
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CIVIL, TRAFFIC & PARKING ENGINEER
OCOM ENGINEERING
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MIAMI, FL 33148
T: 781.253.2522

LANDSCAPE ARCHITECT
FERNANDO WONG - OUTDOOR LIVING DESIGN
6189 AQUA AVE SUITE 107 MIAMI BEACH, FL 33141
T: 305.944.4100

CARLISLE



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KURT DANNOFF
FL ARCHITECT REG. NO.
AR 92042

ARCHITECTURE AND DESIGN
242 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
T: 954.518.8300
WWW.GONNELLDANNOFF.COM

REVISIONS

KEY PLAN

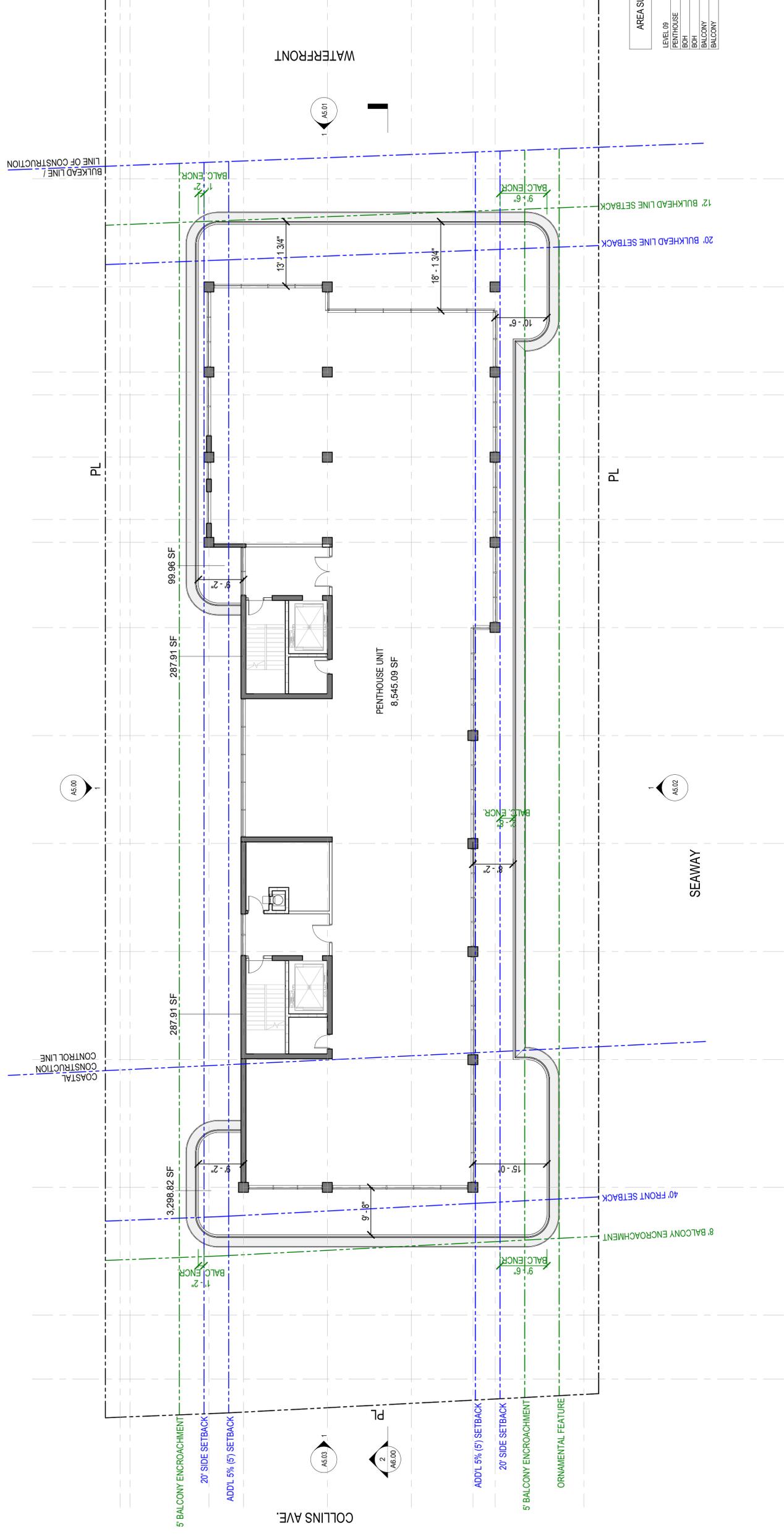
CLIENT
SUNBELT
8111 COLLINS AVE
SUITE 1000
SUNBELT FLORIDA 33514

ARCHITECT OF RECORD
GONNELL DANOWITZ & PARTNERS ARCHITECTS INC.
242 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
PH: 813.853.2650
T: 813.853.1830

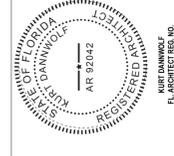
CIVIL, TRAFFIC & PARKING ENGINEER
OCAM ENGINEERING
2410 W. HUNTERS BLVD. SUITE 200
MILWAUKEE, WI 53212
T: 778.253.2522

LANDSCAPE ARCHITECT
FERNANDO WONG - OUTDOOR LIVING DESIGN
6165 AQUA AVE SUITE 107, MIAMI BEACH, FL 33141
T: 305.674.4910

CARLISLE



1 LEVEL 9 FLOOR PLAN
3/22' = 1'-0"



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ARCHITECTURE AND DESIGN
242 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
PH: 813.853.2650
WWW.GONNELL.COM

PROJECT

REVISIONS

NO.	DESCRIPTION	DATE

KEY PLAN

AREA SUMMARY - LEVEL 9

LEVEL 09	SQ. FT.
PENTHOUSE	8,545.09 SF
BOH	287.91 SF
BOH	287.91 SF
BALCONY	3,298.82 SF
BALCONY	99.96 SF
BALCONY	99.96 SF
TOTAL	12,519.69 SF

SCALE: 3/32" = 1'-0"
NOTE: THIS DRAWING IS FOR NOT SCALE DRAWINGS
DATE: 03/20/20
DRAWN BY: GONNELL DANOWITZ
CHECKED BY: [Signature]

LVL 9 FLOOR PLAN

SHEET NO.
A4.05

CLIENT
 CARLISLE
 8011 COLLINS AVE
 SUITE 200
 SURFSIDE, FLORIDA 33154

ARCHITECT OF RECORD
 DONNEL DANWOLF AND PARTNERS ARCHITECTS INC.
 242 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 954.983.8303

CIVIL, TRAFFIC & PARKING ENGINEER
 OCAMPA ENGINEERING
 8011 BISCAYNE BLVD. UNIT 200, MIAMI BEACH, FL 33141
 T. 305.233.5252

LANDSCAPE ARCHITECT
 FERNANDO WANG - OUTDOOR LIVING DESIGN
 6103 AQUA AVE SUITE 107, MIAMI BEACH, FL 33141
 T. 954.949.4141



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PROJECT
 ARCHITECTURE AND DESIGN
 242 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 954.983.8303
 WWW.DONNELDANWOLFARCHITECTS.COM

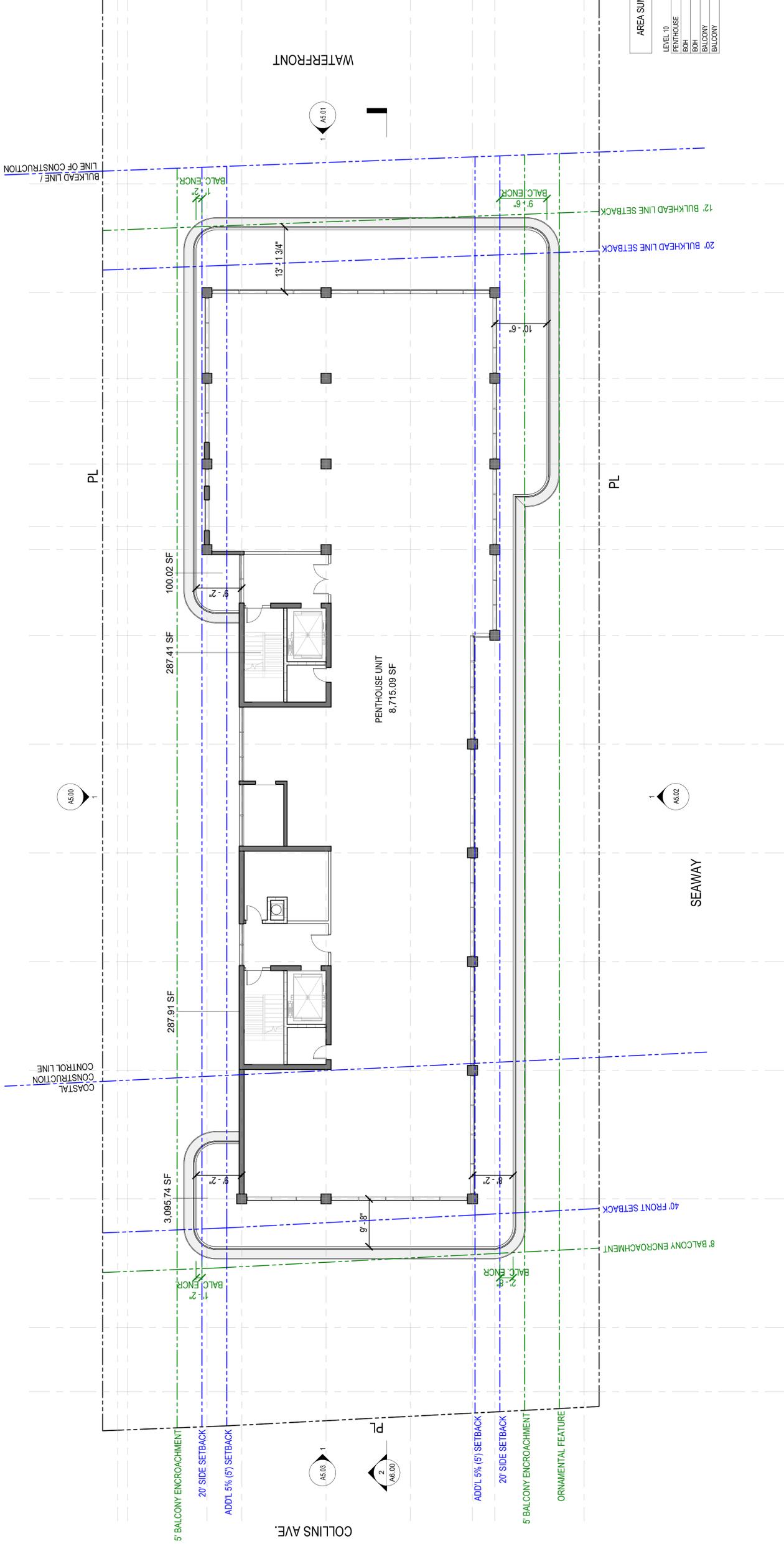
REVISIONS

NO.	DESCRIPTION	DATE

KEY PLAN

LEVEL 10	AREA	AREA
PENTHOUSE	8,715.09 SF	8,715.09 SF
BOH	287.91 SF	287.91 SF
BOH	287.41 SF	287.41 SF
BALCONY	3,095.74 SF	3,095.74 SF
BALCONY	100.02 SF	100.02 SF
		12,486.18 SF

1 LEVEL 10 FLOOR PLAN
 3/32" = 1'-0"



AREA SUMMARY - LEVEL 10

LEVEL 10	AREA	AREA
PENTHOUSE	8,715.09 SF	8,715.09 SF
BOH	287.91 SF	287.91 SF
BOH	287.41 SF	287.41 SF
BALCONY	3,095.74 SF	3,095.74 SF
BALCONY	100.02 SF	100.02 SF
		12,486.18 SF

SCALE: 3/32" = 1'-0"
 NOTE: THIS DRAWING IS 24"X36" 100% NOT SCALE DRAWINGS
 DATE: 03/02/20
 DRAWING: 1010 FLOOR PLAN
 DRAWING TITLE: LVL 10 FLOOR PLAN

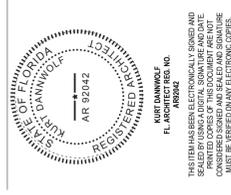
SHEET NO.
A4.06

CLIENT
 CARLISLE
 811 COLLINS AVE
 SUITE 100
 SHELBYVILLE, KY 40381
 SHREVE, FLORIAN/STEVENS
 ARCHITECT OF RECORD
 342 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 954.388.2022
 F. 954.983.8300

ARCHITECT OF RECORD
 GONNELL, DANNOFF & PARTNERS ARCHITECTS INC.
 242 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 954.388.2022
 F. 954.983.8300

CIVIL, TRAFFIC & PARKING ENGINEER
 DCCAM ENGINEERING
 8971 BISCAYNE BLVD. UNIT 2000
 MIAMI, FL 33148
 T. 786.253.2522
 F. 786.253.2522

LANDSCAPE ARCHITECT
 FERNANDO WANG - OUTDOOR LIVING DESIGN
 6103 AQUA AVE SUITE 107 MIAMI BEACH, FL 33141
 T. 305.945.4343



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ARCHITECTURE AND DESIGN
 242 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 954.388.2022
 F. 954.983.8300

PROJECT

REVISIONS

NO.	DESCRIPTION	DATE

KEY PLAN

AREA SUMMARY - ROOFTOP

ROOFTOP	1,789.86 SF
BOH	1,135.04 SF
INTERIOR	1,677.91 SF
DECK	1,111.81 SF
	5,715.23 SF

1 ROOFTOP FLOOR PLAN
 3/22" = 1'-0"

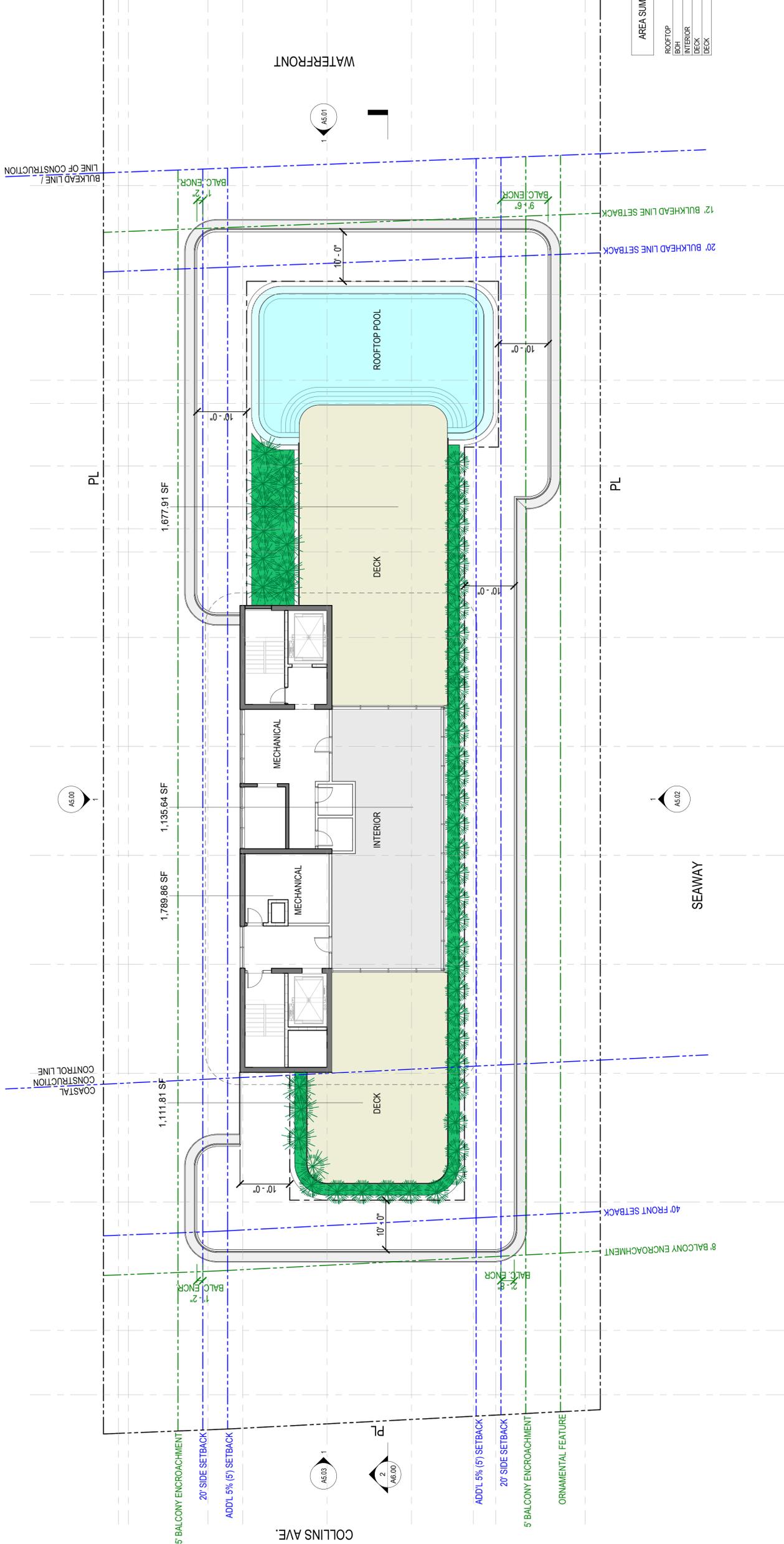
SCALE: 3/22" = 1'-0"
 DATE: 03/20/22
 DRAWING NO. RW-2022-001

ROOFTOP DECK PLAN

SHEET NO.

A4.07

CARLISLE



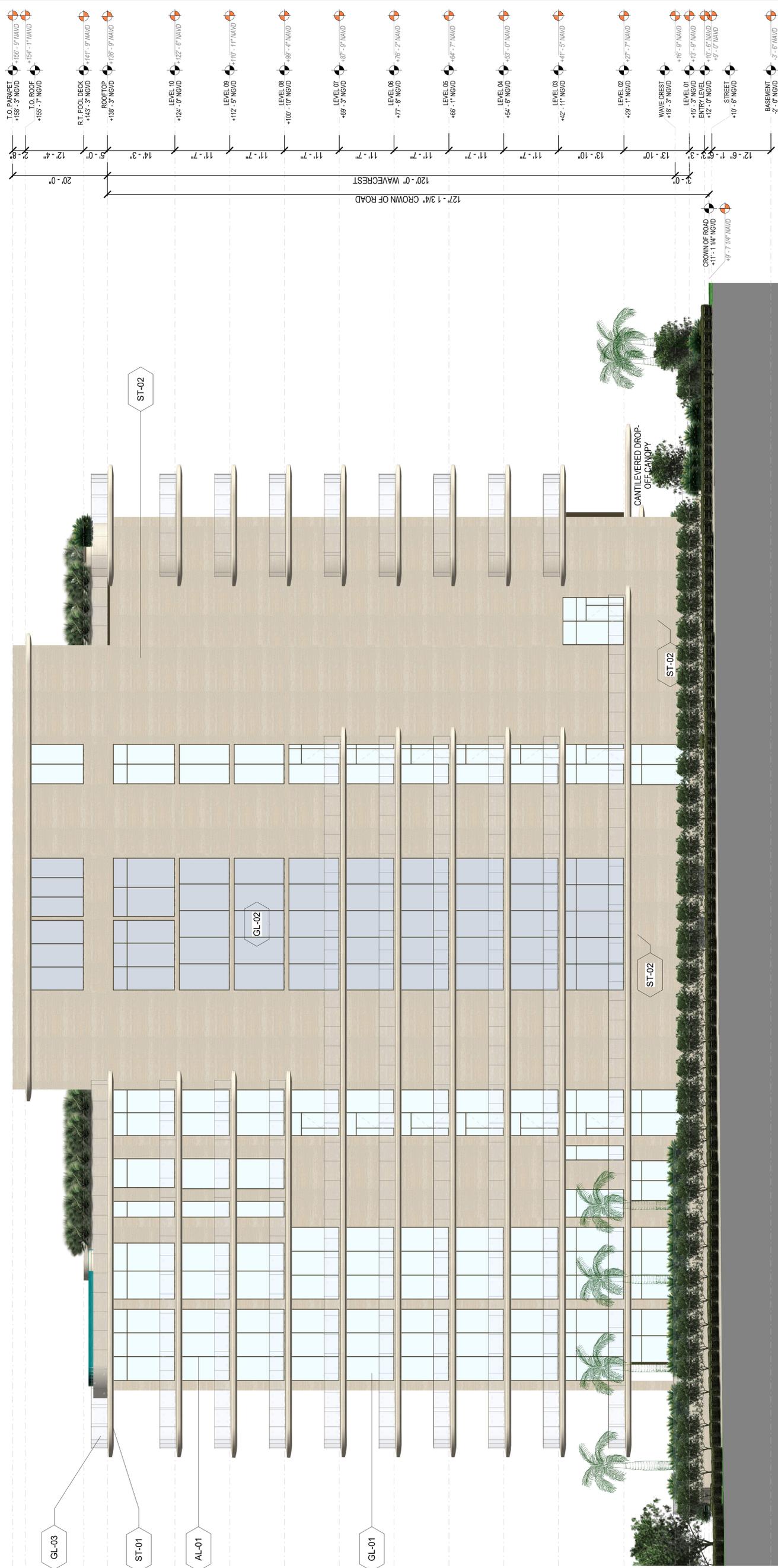
CLIENT
KURT DAMMOLF
3432 HOLLYWOOD BLVD
SUITE 200
SUNSHINE PALMS
SUNSHINE PALMS, FL 33506
PH 334.243.5121

ARCHITECT OF RECORD
DANNOLF DANANWOLF ARCHITECTS, P.A.
3432 HOLLYWOOD BLVD, SUITE 200
SUNSHINE PALMS, FL 33506
PH 334.243.5121

CIVIL, TRAFFIC & PARKING ENGINEER
DANNOLF DANANWOLF ARCHITECTS, P.A.
3432 HOLLYWOOD BLVD, SUITE 200
SUNSHINE PALMS, FL 33506
PH 334.243.5121

LANDSCAPE ARCHITECT
DANNOLF DANANWOLF ARCHITECTS, P.A.
3432 HOLLYWOOD BLVD, SUITE 200
SUNSHINE PALMS, FL 33506
PH 334.243.5121

	MATERIAL LEGEND
AL-01	ANODIZED ALUM. FRAME (LIGHT CHAMPAGNE GRAY OR SIM.)
GL-01	ULTRA CLEAR LAMINATED GLASS WITH NEUTRAL COATING
GL-02	LAMINATED SPANDREL GLASS WITH NEUTRAL COATING
GL-03	ULTRA CLEAR LAMINATED GLASS W/ DARK WOOD-LIKE HANDRAIL
ST-01	STONE-LIKE NOSING & CEILING FINISH (TO MATCH LA PERLA)
ST-02	LA PERLA-STONE FINISH ON COLUMNS / CMU / CONCRETE / METAL FRAMED SYSTEM



SCALE: AS SHOWN
NOTE: THIS DRAWING IS 2D/CAD AND NOT SCALE DRAWING
DATE: 03/20/20
DRAWN BY: [NAME]

1 NORTH ELEVATION
3/8" = 1'-0"

SHEET NO.
A5.00



KURT DAMMOLF
FL ARCHITECT REG. NO.
AR 92042
ARCHITECT OF RECORD



PROJECT

REVISIONS

No.	Description

KEY PLAN

CLIENT
KURT DANWOLF
8111 COLLIER AVENUE
SUITE 200
SURFSIDE, FLORIDA 33154

ARCHITECT OF RECORD
CONNELL DANNOLF & PARTNERS ARCHITECTS INC.
242 HOLLYWOOD BLVD., SUITE 200
HOUSTON, TEXAS 77002
T: 281.253.2522

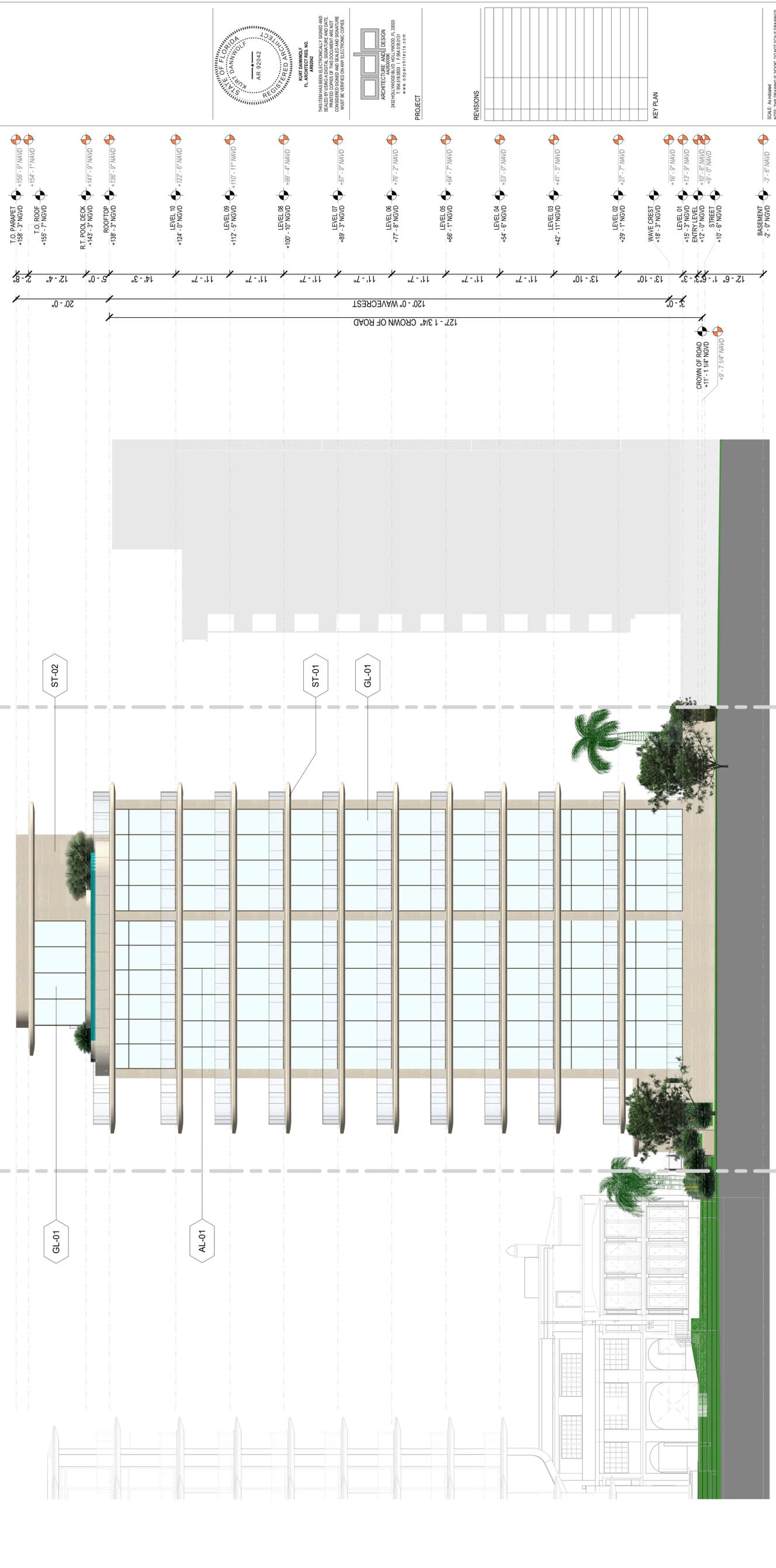
CIVIL, TRAFFIC & PARKING ENGINEER
OCAM ENGINEERING
8011 BISCAYNE BLVD. SUITE 300
MIAMI BEACH, FLORIDA 33154
T: 305.451.4444

LANDSCAPE ARCHITECT
FERNANDO WONG - OUTDOOR LIVING DESIGN
6160 AQUA AVE SUITE 107 MIAMI BEACH, FLORIDA 33141
T: 305.451.4444

MATERIAL LEGEND	
AL-01	ANODIZED ALUM. FRAME (LIGHT CHAMPAGNE GRAY OR SIM.)
GL-01	ULTRA CLEAR LAMINATED GLASS WITH NEUTRAL COATING
GL-02	LAMINATED SPANDREL GLASS WITH NEUTRAL COATING
GL-03	ULTRA CLEAR LAMINATED GLASS W/ DARK WOOD-LIKE HANDRAIL
ST-01	STONE-LIKE NOSING & CEILING FINISH (TO MATCH LA PERLA)
ST-02	LA PERLA-STONE FINISH ON COLUMNS / CMU / CONCRETE / METAL FRAMED SYSTEM

SEAWAY

CARLSLE



REVISIONS

KEY PLAN

PROJECT

ARCHITECTURE AND DESIGN
KURT DANWOLF ARCHITECTS INC.
242 HOLLYWOOD BLVD., SUITE 200
HOUSTON, TEXAS 77002
T: 281.253.2522

SCALE: AS SHOWN
NOTE: THIS DRAWING IS 2D/3D/DO NOT SCALE DRAWINGS
DATE: 03/2022
DRAWN BY: HAWKINS TPT
CHECKED BY:

EAST ELEVATION

1 EAST ELEVATION
3/32" = 1'-0"

SHEET NO.
A5.01

CLIENT
 STATE OF FLORIDA
 801 COLLINS AVE
 SUITE 1000
 SUWANEE, FLORIDA 31754

ARCHITECT OF RECORD
 GONNELL DANNOFF & PARTNERS ARCHITECTS INC.
 342 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 954.518.8300

CIVIL, TRAFFIC & PARKING ENGINEER
 GONNELL DANNOFF & PARTNERS ARCHITECTS INC.
 342 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 954.518.8300

LANDSCAPE ARCHITECT
 GONNELL DANNOFF & PARTNERS ARCHITECTS INC.
 342 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 954.518.8300

ARCHITECTURE AND DESIGN
 GONNELL DANNOFF & PARTNERS ARCHITECTS INC.
 342 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 954.518.8300

REGISTERED PROFESSIONAL ENGINEER
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 T. 954.518.8300

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 342 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
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 GONNELL DANNOFF & PARTNERS ARCHITECTS INC.
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 T. 954.518.8300

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 GONNELL DANNOFF & PARTNERS ARCHITECTS INC.
 342 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
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 GONNELL DANNOFF & PARTNERS ARCHITECTS INC.
 342 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
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 342 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
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 342 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
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 GONNELL DANNOFF & PARTNERS ARCHITECTS INC.
 342 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 954.518.8300

REGISTERED PROFESSIONAL ENGINEER
 ARCHITECTURE AND DESIGN
 GONNELL DANNOFF & PARTNERS ARCHITECTS INC.
 342 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 954.518.8300

REGISTERED PROFESSIONAL ENGINEER
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 GONNELL DANNOFF & PARTNERS ARCHITECTS INC.
 342 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 954.518.8300

REGISTERED PROFESSIONAL ENGINEER
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 GONNELL DANNOFF & PARTNERS ARCHITECTS INC.
 342 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 954.518.8300

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 GONNELL DANNOFF & PARTNERS ARCHITECTS INC.
 342 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 954.518.8300

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 ARCHITECTURE AND DESIGN
 GONNELL DANNOFF & PARTNERS ARCHITECTS INC.
 342 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 954.518.8300

REGISTERED PROFESSIONAL ENGINEER
 ARCHITECTURE AND DESIGN
 GONNELL DANNOFF & PARTNERS ARCHITECTS INC.
 342 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 954.518.8300

REGISTERED PROFESSIONAL ENGINEER
 ARCHITECTURE AND DESIGN
 GONNELL DANNOFF & PARTNERS ARCHITECTS INC.
 342 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 954.518.8300

REGISTERED PROFESSIONAL ENGINEER
 ARCHITECTURE AND DESIGN
 GONNELL DANNOFF & PARTNERS ARCHITECTS INC.
 342 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 954.518.8300

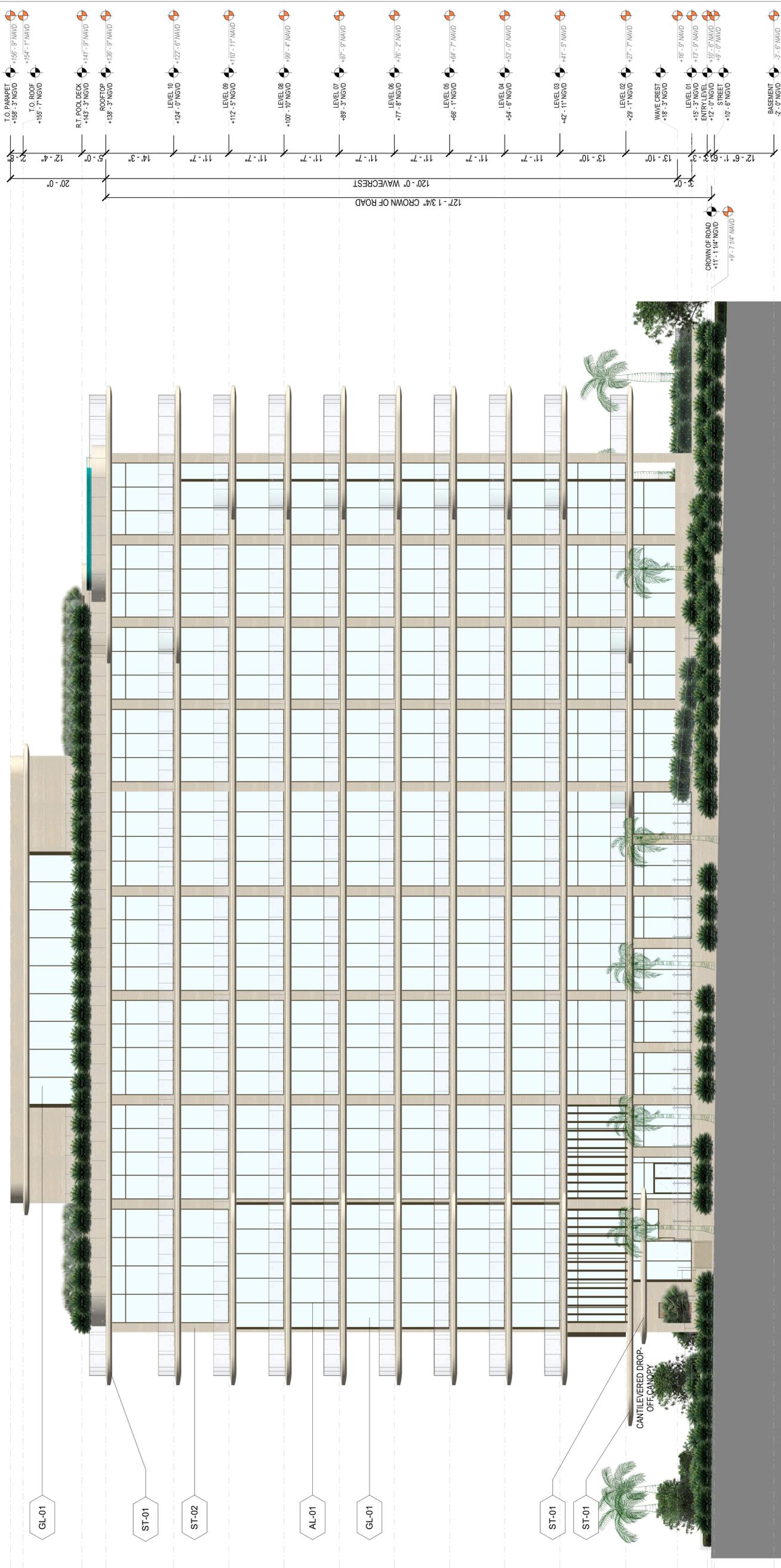
REGISTERED PROFESSIONAL ENGINEER
 ARCHITECTURE AND DESIGN
 GONNELL DANNOFF & PARTNERS ARCHITECTS INC.
 342 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 954.518.8300

REGISTERED PROFESSIONAL ENGINEER
 ARCHITECTURE AND DESIGN
 GONNELL DANNOFF & PARTNERS ARCHITECTS INC.
 342 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 954.518.8300

REGISTERED PROFESSIONAL ENGINEER
 ARCHITECTURE AND DESIGN
 GONNELL DANNOFF & PARTNERS ARCHITECTS INC.
 342 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 T. 954.518.8300

MATERIAL LEGEND

- AL-01 ANODIZED ALUM. FRAME (LIGHT CHAMPAGNE GRAY OR SIM.)
- GL-01 ULTRA CLEAR LAMINATED GLASS WITH NEUTRAL COATING
- GL-02 LAMINATED SPANDREL GLASS WITH NEUTRAL COATING
- GL-03 ULTRA CLEAR LAMINATED GLASS W/ DARK WOOD-LIKE HANDRAIL
- ST-01 STONE-LIKE NOSING & CEILING FINISH (TO MATCH LA PERLA)
- ST-02 LA PERLA-STONE FINISH ON COLUMNS / CMU / CONCRETE / METAL FRAMED SYSTEM



SCALE: AS SHOWN
 NOTE: THIS DRAWING IS 2D/3D. DO NOT SCALE DRAWINGS.
 DATE: 03/20/20
 DRAWING TITLE: DRAWING TITLE

SOUTH ELEVATION

SHEET NO.
 A5.02

1 SOUTH ELEVATION
 3/62" = 1'-0"

CLIENT
 H&S
 801 COLLINS AVE
 SUITE 200
 SUFESSE, FLORIDA 33154

ARCHITECT OF RECORD
 GONNELL DANNOFF AND PARTNERS ARCHITECTS INC. ARCHITECTS NO. 440000096
 342 HOLLYWOOD BLVD. HOLLYWOOD, FL 33030
 TEL: 954.518.8500

CIVIL, TRAFFIC & PARKING ENGINEER
 DCCAM ENGINEERING
 8911 BISCAYNE BLVD. UNIT 2000
 MIAMI, FLORIDA 33148
 TEL: 786.263.5252

LANDSCAPE ARCHITECT
 FERNANDO WONG - OUTDOOR LIVING DESIGN
 6160 AQUA AVE SUITE 107 MIAMI BEACH, FL 33141
 TEL: 305.564.6040

MATERIAL LEGEND	
AL-01	ANODIZED ALUM. FRAME (LIGHT CHAMPAGNE GRAY OR SIM.)
GL-01	ULTRA CLEAR LAMINATED GLASS WITH NEUTRAL COATING
GL-02	LAMINATED SPANDREL GLASS WITH NEUTRAL COATING
GL-03	ULTRA CLEAR LAMINATED GLASS W/ DARK WOOD-LIKE HANDRAIL
ST-01	STONE-LIKE NOSING & CEILING FINISH (TO MATCH LA PERLA)
ST-02	LA PERLA-STONE FINISH ON COLUMNS / CMU / CONCRETE / METAL FRAMED SYSTEM



 KURT DANNOFF
 P.E. LICENSE NO. AR 92042
 ARCHITECTURE AND DESIGN
 242 HOLLYWOOD BLVD. HOLLYWOOD, FL 33030
 TEL: 954.518.8500
 WWW.GONNELLANDPARTNERS.COM

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY USING A DIGITAL SIGNATURE AND DATE CONSIDERED SIGNED AND SEALED AND SIGNATURE MUST BE TYPED IN ANY ELECTRONIC COPIES.

PROJECT
 1227 - 1 3/4" CROWN OF ROAD
 120' - 0" WAVECREST

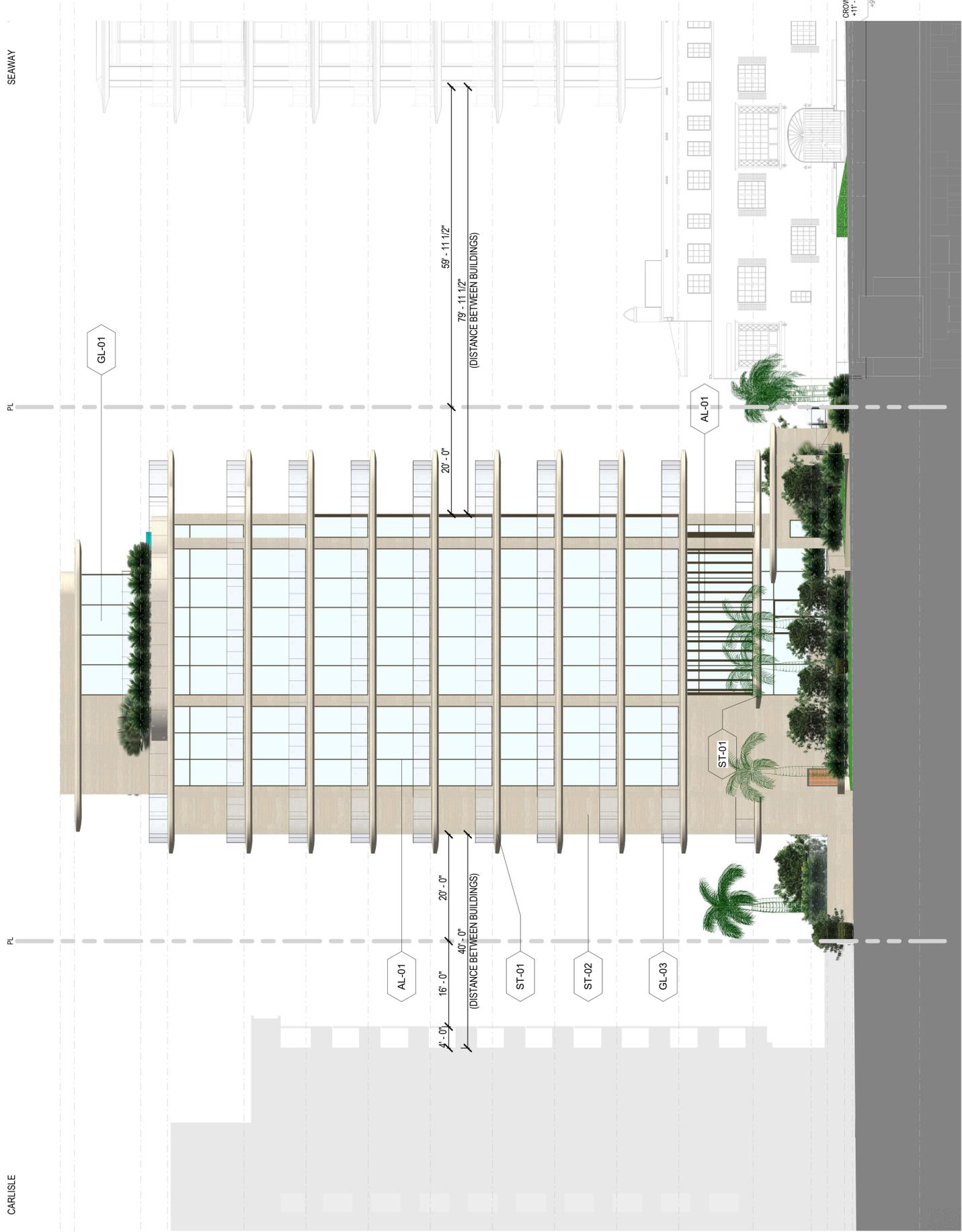
REVISIONS

NO.	DESCRIPTION

KEY PLAN

SCALE: AS SHOWN
 NOTE: THIS DRAWING IS 24" X 36" DO NOT SCALE DRAWINGS
 DATE: 03/20/22
 DRAWING TITLE: WEST ELEVATION

SHEET NO.
A5.03



CLIENT
 8111 COLLINGS AVE
 SUITE 200
 SUITE 200
 SUITE 200
 SUITE 200
 SUITE 200

ARCHITECT OF RECORD
 ARCHITECTURE AND DESIGN
 243 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 TEL: 954.944.1111
 WWW.A&D.COM

CIVIL, TRAFFIC & PARKING ENGINEER
 CIVIL ENGINEERING
 8911 BISCAYNE BLVD. UNIT 100
 MIAMI BEACH, FL 33154
 TEL: 305.233.5252
 WWW.C&P.COM

LANDSCAPE ARCHITECT
 LANDSCAPE ARCHITECTURE
 6900 AQUA AVE SUITE 107 MIAMI BEACH, FL 33141
 TEL: 305.441.1111
 WWW.L&A.COM

REGISTERED PROFESSIONAL ENGINEER
 ARCHITECTURE AND DESIGN
 243 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
 TEL: 954.944.1111
 WWW.A&D.COM

REGISTERED PROFESSIONAL ENGINEER
 CIVIL ENGINEERING
 8911 BISCAYNE BLVD. UNIT 100
 MIAMI BEACH, FL 33154
 TEL: 305.233.5252
 WWW.C&P.COM

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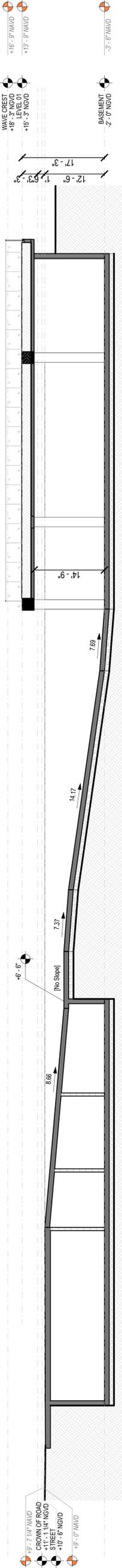
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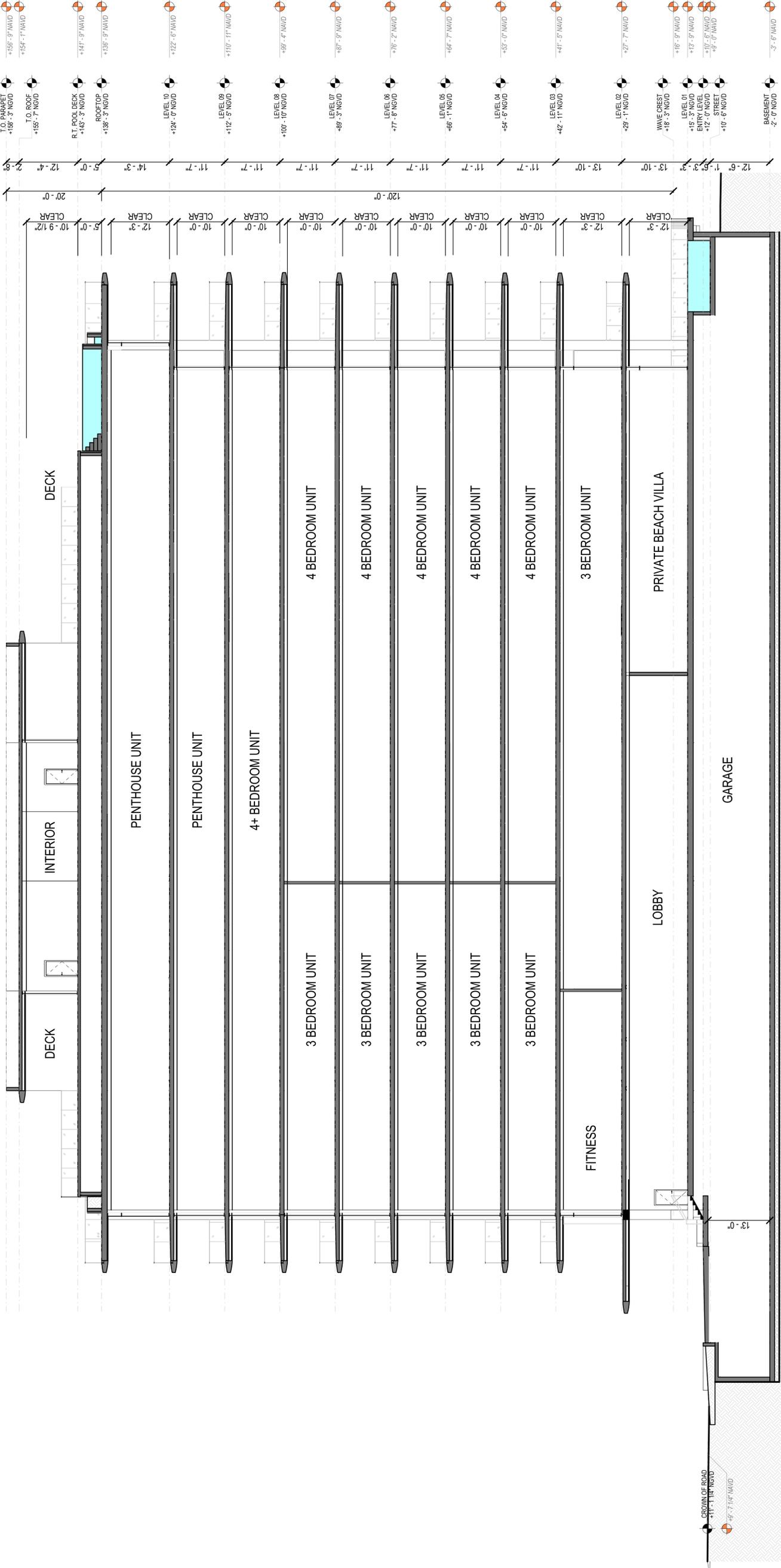
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 6900 AQUA AVE SUITE 107 MIAMI BEACH, FL 33141
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1 Section Partial at Ramp
 3/32" = 1'-0"



2 Section 1 P&Z
 3/32" = 1'-0"

LEVEL 02
 -29' - 1" NAVD

WAVE CREST
 +16' - 9" NAVD

LEVEL 01
 +15' - 3" NAVD

BASEMENT
 -2' - 9" NAVD

LEVEL 10
 +155' - 9" NAVD

TO ROOF
 +154' - 7" NAVD

R.T. POOL DECK
 +141' - 9" NAVD

PROCTOP
 +138' - 3" NAVD

LEVEL 09
 +124' - 9" NAVD

LEVEL 08
 +112' - 5" NAVD

LEVEL 07
 +100' - 10" NAVD

LEVEL 06
 +87' - 9" NAVD

LEVEL 05
 +77' - 9" NAVD

LEVEL 04
 +66' - 11" NAVD

LEVEL 03
 +54' - 5" NAVD

LEVEL 02
 +42' - 11" NAVD

WAVE CREST
 +18' - 3" NAVD

LEVEL 01
 +13' - 9" NAVD

ENTRY LEVEL
 +12' - 9" NAVD

TO ROAD
 +10' - 6" NAVD

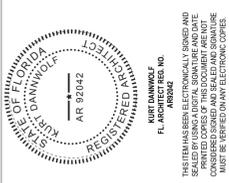
BASEMENT
 -2' - 9" NAVD

CLIENT
 THE UNIVERSITY OF
 ARIZONA
 801 COLLEGE AVE
 SUITE 600
 TUCSON, AZ 85724

ARCHITECT OF RECORD
 DONNEL DANWOLF AND PARTNERS ARCHITECTS INC.
 342 HOLLYWOOD BLVD, HOLLYWOOD, FL 33020
 TEL: 954.518.8500
 WWW.DANWOLF.COM

CIVIL, TRAFFIC & PARKING ENGINEER
 OCEAN ENGINEERING
 8971 BISCAYNE BLVD UNIT 3000, MIAMI, FL 33148
 TEL: 781.253.2522

LANDSCAPE ARCHITECT
 FERNANDO WONG, OODDOOR LIVING DESIGN
 6160 AQUA AVE SUITE 107, MIAMI BEACH, FL 33141
 TEL: 954.518.8500



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KURT DANWOLF
 FL. LICENSE REG. NO.
 AR 92042

ARCHITECTURE AND DESIGN
 342 HOLLYWOOD BLVD, HOLLYWOOD, FL 33020
 TEL: 954.518.8500
 WWW.DANWOLF.COM

PROJECT

REVISIONS

NO.	DESCRIPTION	DATE

KEY PLAN

SCALE: 1/8" = 1'-0"
 NOTE: THIS DRAWING IS 27"X36" DO NOT SCALE DRAWINGS
 DATE: 03/20/20
 DRAWN BY: [Name]
 CHECKED BY: [Name]

**RENDERING - STREET
 VIEW**

SHEET NO.
A7.00



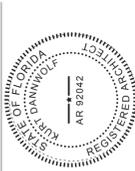


CLIENT
THE COVE
1611 COLLETTA AVE
SUNSHINE BEACH, FLORIDA 32514

ARCHITECT OF RECORD
DONNELL DANNOLOFF AND PARTNERS ARCHITECTS INC. AIAA000096
242 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
T. 954.943.8000

CIVIL, TRAFFIC & PARKING ENGINEER
OCEAN ENGINEERING
8071 BISCAYNE BLVD UNIT 200
MIAMI, FL 33141
T. 781.263.9282

LANDSCAPE ARCHITECT
FERNANDO WONG - OUTDOOR LIVING DESIGN
6160 AQUA AVE SUITE 107 MIAMI BEACH, FL 33141
T. 305.944.8940



PROFESSIONAL SEAL
KURT DANWOLFF
FL ARCHITECT REG. NO.
AR 92042
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PROJECT
242 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
ARCHITECTURE AND DESIGN
PHOTOGRAPHY
WWW.ODDOFLA.COM

REVISIONS				

KEY PLAN

SCALE: 1/4" = 1'-0"
NOTE: THIS DRAWING IS AT 3/16" DO NOT SCALE DRAWINGS
DATE: 6/13/2022
DRAWN BY: JIMMY
REVIEWED BY: JIMMY
RENDERING - BEACH VIEW

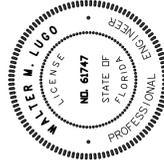
SHEET NO. A7.01

Table with 4 columns: REVISIONS, ITEM, CROSS REF., SPEC. REF.

PROJECT: ARCHITECTURE AND DESIGN 200 HOLLYWOOD BL. HOLLYWOOD, FL 33020 WWW.SUNSHINE807.COM



WALTER M. LUGO P.E. FL PE# 07147



CLIENT: 8911 COLLIER AVE SUITE 1, CORAL GABLES ARCHITECT OF RECORD: OCONNELL, DANWOLF AND PARTNERS ARCHITECTS

CIVIL, TRAFFIC & PARKING ENGINEER: 810 BISCAYNE BLVD SUITE 104, MIAMI, FL 33139

LANDSCAPE ARCHITECT: FERNANDO VIZO, 610 AZAVIA SUITE 107, MIAMI, FL 33139

HEALTH DEPARTMENT NOTES NOT PART OF M-DWASD NOTES NOR APPROVAL WATER MAIN HORIZONTAL SEPARATIONS

SEPARATIONS SHALL BE MEASURED OUTSIDE EDGE TO OUTSIDE EDGE BETWEEN WATER MAINS AND STORM SEWERS, STORMWATER FORCE MAINS, OR RECLAIMED WATER LINES, SHALL BE 3 FT MINIMUM. BETWEEN WATER MAINS AND VACUUM TYPE SEWER PREFERABLY 10 FT, AND AT LEAST 3 FT MINIMUM.

WATER MAIN VERTICAL SEPARATIONS

SEPARATIONS BETWEEN WATER MAINS AND GRAVITY SEWER, VACUUM TYPE SEWER, OR STORM SEWERS, TO BE PREFERABLY 12 INCHES, OR AT LEAST 6 INCHES ABOVE, OR AT LEAST 12 INCHES IF BELOW. PRESSURE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR RECLAIMED WATER, AT LEAST 12 INCHES ABOVE OR BELOW.

GENERAL NOTES FOR CONSTRUCTION: (NOT PART OF M-DWASD NOTES NOR APPROVAL)

- 1. THE CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO PERFORM THE WORK AND MAINTAIN SAFETY TO THE PUBLIC AND WORKERS, AND THE PROTECTION OF PROPERTY THROUGHOUT CONSTRUCTION. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA STANDARDS, AS APPLICABLE. CONTRACTOR MUST COMPLY WITH TRENCH SAFETY ACT.

HEALTH DEPARTMENT NOTES NOT PART OF M-DWASD NOTES NOR APPROVAL WATER MAIN HORIZONTAL SEPARATIONS

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Table with 4 columns: ISSUE DATE, APPROVED BY, V.F.C., D.V.

NOT PART OF M-DWASD NOTES NOR APPROVAL RER-DERM WATER-SEWER GENERAL NOTES

- 1. A horizontal distance of at least 6 feet, and preferably 10 feet (outside to outside), shall be maintained between gravity or pressure sewer pipes and water pipes. The minimum horizontal separation can be reduced to 3 feet for vacuum-type sewers or for gravity sewers where the top of the sewer pipe is at least 6 inches below the bottom of the water pipe.

Please note that the demolition, removal, and/or disturbance of existing underground utilities that contain asbestos-cement pipes (ACP) are subject to the provisions of 40 CFR-61. Subpart M. Therefore, pursuant to the provisions of 40 CFR-61.145, a NOTICE OF DEMOLITION OR ASBESTOS RENOVATION form must be filed with the Air Quality Management Division (AQMD) of DERM, at least ten (10) working days prior to starting of any work.

Rev: 4/30/2018



Call Bill or visit sunshine807.com two full business days before scheduling to have bonded facilities located and marked.



CITY ENGINEERING CONSULTANTS

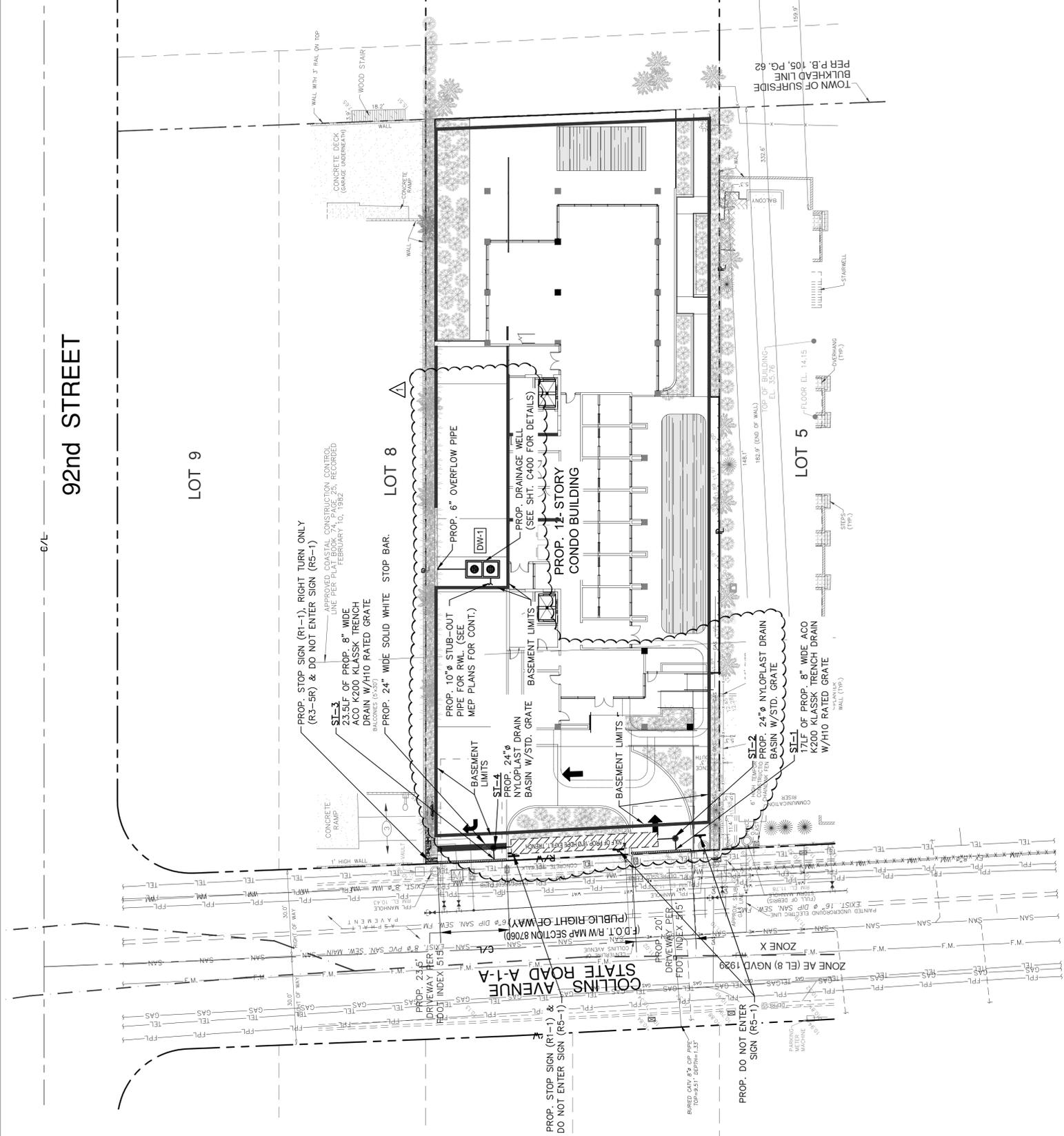
WATER & SEWER DEPARTMENT

STANDARD REQUIREMENTS WATER AND SEWER CONSTRUCTION

ISSUE DATE: 03/07/2010 V.F.C. APPROVED BY: D.V.

07/20/2016 D.V. STANDARD REQUIREMENTS WATER AND SEWER CONSTRUCTION

MIAMI-DADE COUNTY WATER & SEWER DEPARTMENT



92nd STREET

LOT 9

LOT 8

LOT 5

HILLCREST

9317 Collins Ave Surfside, FL

BASIN INFORMATION FOR PROP. DRAINAGE SYSTEM

Storm frequency, $T = 5$ Years
 Minimum time of Concentration, $t_c = 10$ Min.
 The IDF relation used by DERM, $I = 308.5(48.6T^{0.11} + 10(0.5895 + T^{0.05}))$
 Intensity, $I = 6.17$ (inches/hour)

RATIONAL METHOD PEAK RUNOFF CALCULATIONS

DRAINAGE BASIN ID	TOTAL DRAINAGE BASIN AREA (AC)	IMPERVIOUS AREA (AC)	PERVIOUS AREA (AC)	WEIGHTED "C" VALUE	CONTRIBUTING DRAINAGE AREA (CXA)	INTENSITY (IN/HR)	PEAK RUNOFF (CFS)
Building	0.37	0.37	0.00	0.95	0.35	6.17	2.17

DRAINAGE WELL DESIGN

Well Discharge Capacity: 375 gpm/ft of head
 Well Discharge Rate: 0.84 cfs/ft
 Cell Diameter: 80 inches
 Drainage Well Capacity: 80 cfs
 Well Wounding: 1.76 ft
 Ground Water Table: 2.07 ft. N.G.V.D.
 Provided Well Structures Min. Top Elevation: 8.00 ft. N.G.V.D.

DRAINAGE BASIN ID	AVAILABLE EFFECTIVE HEAD (F.L.NGVD)	WELL CAPACITY (CFS/WELL)	DRAINAGE BASIN AREA (AC)	PEAK RUNOFF (CFS)	NUMBER OF WELLS PROPOSED	TOTAL WELLS CAPACITY (CFS)	SAFETY FACTOR
Building	4.17	3.48	0.370	2.17	1.00	3.48	1.61

LEGEND:

- R/W LINE / PROPERTY LINE
- CENTER LINE
- EXISTING CURBING
- EXISTING ELEVATIONS (NGVD)
- PROP. DRAINAGE WELL (REFER TO FOR SHEET C400 FOR DETAILS)
- DW-1
- DW-1
- DW-1



- NOTES:**
- EXISTING OFFSITE SIDEWALKS AND CURB RAMPS TO BE RECONSTRUCTED OR REPLACED WHERE NON-COMPLIANT TO CITY OF SURFSIDE AND/OR FLORIDA DEPARTMENT OF TRANSPORTATION REGULATIONS. ALL CURBS MUST BE MECHANICALLY RESTRAINED W/MEGA LUGS OR APPROVED EQUAL.

CLIENT
 9317 COLLINS AVE
 SURFSIDE, FLORIDA 33154

ARCHITECT OF RECORD
 OTONNELL DANNOLO AND PARTNERS ARCHITECTS
 242 HOLLYWOOD BLVD, HOLLYWOOD, FL 33020
 T: 954-978-8333
 F: 954-978-8333

CIVIL TRAFFIC & PARKING ENGINEER
 810 BISCAYNE BLVD UNIT 308, MIAMI, FL 33139
 T: 786-298-9582
 F: 786-298-9582

LANDSCAPE ARCHITECT
 FERNANDO VINDO - OUTDOOR LIVING DESIGN
 652 ADRIANA SUITE 101, MIAMI, FL 33139
 T: 305-696-0000



ARCHITECTURE AND DESIGN
 242 HOLLYWOOD BLVD, HOLLYWOOD, FL 33020
 T: 954-978-8333
 WWW.OTONNELLARCHITECTS.COM

PROJECT
 WALTER M. LUGO P.E.
 FL PE# 61747

REVISIONS

NO.	DATE	DESCRIPTION
1	02-24-2022	CITY COMMENTS

KEY PLAN

SCALE: NOTE THIS DRAWING IS SHOWN. DO NOT SCALE DRAWINGS.
 DRAWN BY: GPP
 DRAWING TITLE:

PAVING, GRADING AND DRAINAGE PLAN

SHEET NO. **C200**

Sunshine607

Call Bill or Veda Sunshine607.com two full business days before bidding to have bonded facilities located and marked. Check positive response codes before pre-bid!

OCEAN ENGINEERING
 CIVIL ENGINEERING CONSULTANTS
 1000 N. W. 10th St., Suite 1000, Ft. Lauderdale, FL 33304
 Tel: 954-562-1111 Fax: 954-562-1112
 www.oceaneng.com

DRAINAGE STRUCTURES STRUCTURAL NOTES:

DESIGN CRITERIA: DESIGN, FABRICATION AND ERECTION OF PRECAST CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-99 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND PCI DESIGN HANDBOOK. DESIGN OF CAST-IN-PLACE CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-99.

DESIGN LIVE LOADS: THE TOP SLAB OF DRAINAGE STRUCTURE WITHIN TRAFFIC AREAS SHALL BE DESIGNED TO CARRY TRAFFIC LOADS (HS 20 LOADING).

GEOTECHNICAL CRITERIA: SOIL BEARING PRESSURE UNDER STRUCTURE ASSUMED TO BE AT MINIMUM 2000 PSF. FOUNDATION DESIGN SHALL BE IN ACCORDANCE WITH A LICENSED GEOTECHNICAL LABORATORY. FOUNDATION DESIGN MUST BE CONFIRMED BY THE CONTRACTOR, THROUGH A CERTIFIED GEOTECHNICAL LABORATORY.

CONCRETE: CONCRETE SHALL BE NORMAL WEIGHT, AND SHALL ATTAIN A 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI AND SHALL MEET THE REQUIREMENT OF ASTM C478. CONCRETE COVER FOR REINFORCEMENT SHALL BE 2 INCHES EXCEPT FOOTING BOTTOM BARS SHALL HAVE 3" COVER.

REINFORCING: REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, AND SHALL BE OF U.S. MANUFACTURE.

MORTAR: MORTAR GROUT TO SEAL THE PIPE, TOP SLABS, AND LEVELING COURSE SHALL BE OF SUCH A MIX THAT SHRINKAGE WILL NOT CAUSE LEAKAGE INTO OR OUT OF THE UNIT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR MORTAR FOR ENGINEER REVIEW AND APPROVAL.

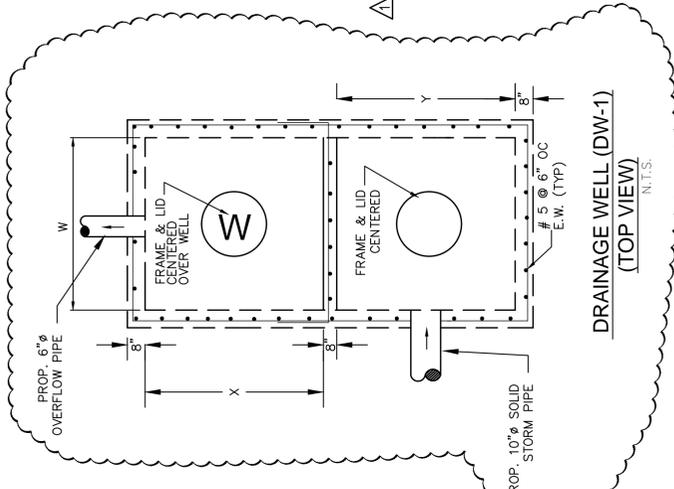
SHOP DRAWINGS: CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, SIGNED AND SEALED BY A FLORIDA LICENSED ENGINEER, FOR PRECAST STRUCTURES TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE CONSTRUCTION OF STRUCTURE.

MANHOLE RING & COVER: ALL MANHOLE RINGS AND COVERS, WITHIN PRIVATE PROPERTY, SHALL HAVE THE WORD "STORM SEWER" CAST ON COVER.

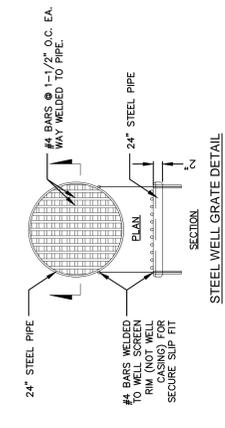
SLAB AND WALL THICKNESS: ALL DRAINAGE WELLS LOCATED WITHIN THE DESIGNATED FIRE TRUCK STAGING AREAS WILL BE DESIGNED WITH 12-INCH THICK TOP AND BOTTOM SLABS AND 8-INCH THICK WALLS. ALL OTHER WELLS OUTSIDE OF THE DESIGNATED FIRE TRUCK STAGING AREAS WILL BE DESIGNED WITH 8-INCH TOP AND BOTTOM SLABS AND 6-INCH WALLS. REFER TO ARCHITECTURAL SHEET A-2.00A FIRE TRUCK ACCESS SITE PLAN TO LOCATE THESE AREAS.

NOTES FOR DRAINAGE WELL:

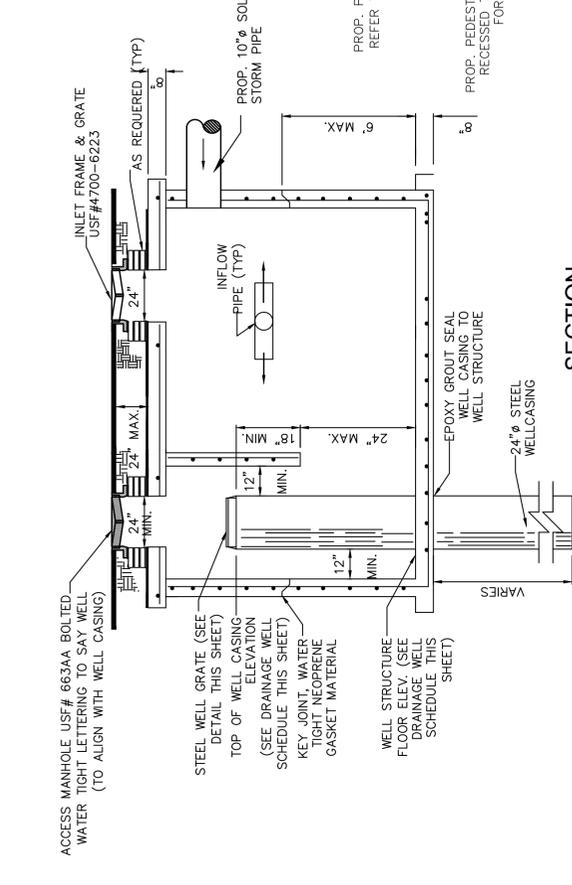
- INJECTION WELL SHALL BE CONSTRUCTED IN ACCORDANCE WITH FDEP CHAPTER 52.528 UNDERGROUND INJECTION CONTROL PROGRAM RULES, AND MUST PROVIDE THE OPTIMUM RECHARGE FLOW RATE INTO THE G-III AQUIFER; FDEP CHAPTER 520.410 DEFINES THE G-III AQUIFER AS NON-POTABLE WATER UNCONFINED AQUIFER WITH A DISSOLVED SOLID CONTENT EQUAL TO OR GREATER THAN 10,000 MG/L...
- BOTTOM OF WELL CASING SHALL BE SHALLOWER THAN THE 10,000 MG/L INTERFACIAL. THE INJECTION WELL SHALL HAVE A MINIMUM CASING LENGTH OF 60-FEET WITH MAXIMUM CASING LENGTH IMMEDIATELY ABOVE THE FOOTING OF THE WELL. FIELD CONDITIONS LOCATES THE 10,000 MG/L INTERFACIAL TO BE SHALLOWER OR DEEPER THAN THE LIMITS SET HEREIN. THE OPEN HOLE AREA OF THE WELL SHALL BE PLACED TO PROVIDE THE OPTIMUM FLOW THROUGH THE AQUIFER.
- UPON COMPLETION OF THE INSTALLATION OF THE FIRST INJECTION WELL, THE CONTRACTOR SHALL PERFORM A RECHARGE CAPACITY FLOW TEST AND PROVIDE THE RESULTS OF SUCH FLOW TEST TO THE ENGINEER OF RECORD FOR REVIEW, PRIOR TO THE INSTALLATION OF ANY MORE WELLS. IF THE FIELD CONDITIONS DIFFER, AND THE REQUIRED WELL RECHARGE RATE OF 500 GPM/FEET OF HEAD CANNOT BE ACHIEVED WITH THE FOREMENTIONED CASING REQUIREMENTS, THE CONTRACTOR WOULD BE REQUIRED TO PROVIDE A PLAN OF ACTION TO REMEDY THE DEFICIENT CAPACITY.
- NOTE ANY INJECTION WELL INSTALLED BY THE CONTRACTOR THAT DOES NOT MEET THE REQUIRED FLOW AND CASING REQUIREMENTS WILL NOT BE ACCEPTED AND WOULD NEED TO BE IMMEDIATELY REPLACED WITH A NEW WELL MEETING THE FOREMENTIONED CASING AND FLOW REQUIREMENTS AT THE CONTRACTOR'S EXPENSE.
- STEEL WELL GRATE TO BE INSTALLED OVER 24" DEEP WELL. STEEL GRATE TO BE HOT DIPPED GALVANIZED AFTER FABRICATION. COST TO BE INCLUDED IN THE PRICE OF CASING.
- ALL WELL OVERFLOW PIPING SHALL LEAD DIRECTLY INTO THE RETENTION CHAMBER OF OVERFLOW PIPING SHALL BE DIRECTLY CONNECTED INTO THE WELL CHAMBER OF THE ADJACENT WELL BOX.



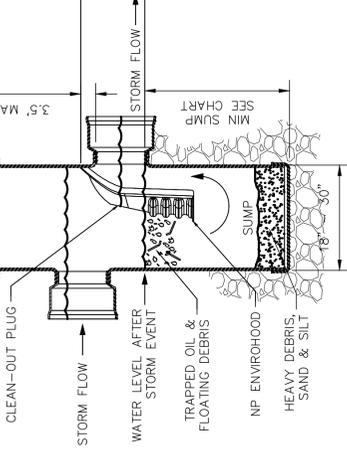
DRAINAGE WELL (DW-1)
N.T.S.



STEEL WELL GRATE DETAIL
N.T.S.



SECTION
STORM DRAINAGE WELL (DW-1)
N.T.S.

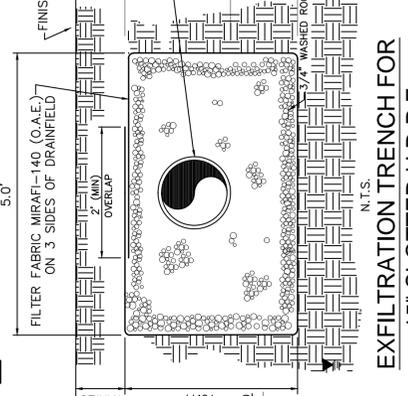


NYLOPLAST DRAIN BASIN WITH ENVIROHOOD

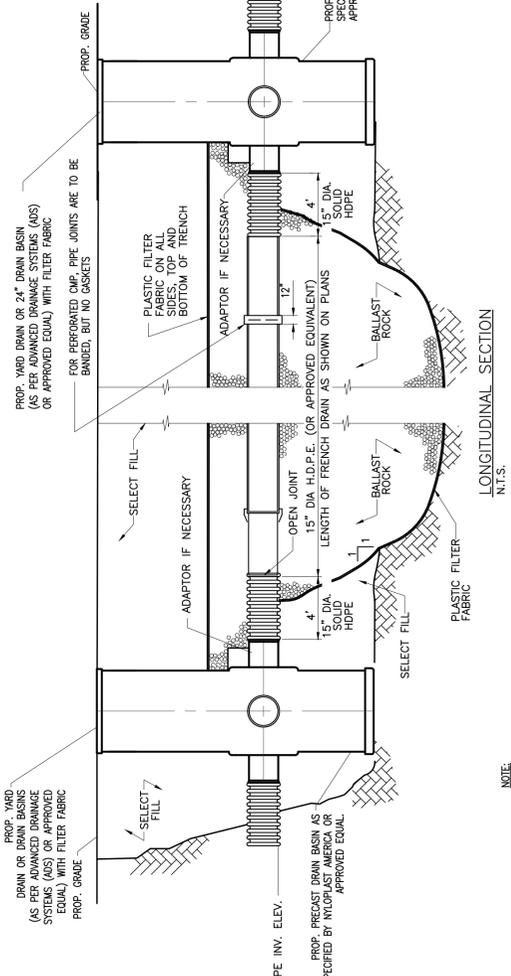
- ENVIROHOOD SHALL BE INSTALLED IN ALL DRAIN BASINS DESIGNED WITH AT LEAST ONE LEADING PIPE DRAINING INTO AN EXFILTRATION TRENCH.
- FRAMES, GRATES, COVERS, HOODS, & BASE PLATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER (4" - 18").
- ALL BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.
- THE STRUCTURE SHOULD BE INSPECTED AT LEAST ONCE PER MONTH FOR THE FIRST YEAR, OR UNTIL THE SITE HAS BE STABILIZED.
- THE STRUCTURE SHALL BE CLEANED IF ACCUMULATED DEBRIS IS EQUAL OR GREATER TO THE FOLLOWING:
A. DEBRIS IN SUMP - 18" MAX
B. FLOATABLE DEBRIS - 6" MAX
- THE PROPOSED DRAIN BASIN SHOULD BE INSPECTED ONCE PER MONTH FOR THE FIRST YEAR TO DETERMINE A PROPER CLEANING CYCLE.
- CLEANING CYCLE SHALL INCLUDE REMOVAL OF DEBRIS AND RINSING OF BASIN.

DRAINAGE WELL SCHEDULE

STRUCT. NO.	FRAME & LID	INVERT (PIPE DESC.)			LONGITUDE
		NORTH	SOUTH	WEST	
WELL #1	USF E--BWTL	5.00'	5.00'	5.00'	
		3.10' (6" SDR35)	3.10' (10" SDR35)	3.10' (10" SDR35)	
					(-10.50')



EXFILTRATION TRENCH FOR 15" SLOTTED H.D.P.E.
N.T.S.



LONGITUDINAL SECTION
N.T.S.

NOTE:
AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF SETTLEMENT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE PROPER ELEVATION SO THAT THE EXFILTRATION TRENCH IS COMPLETED IN ACCORDANCE WITH THE DETAILS.

CLIENT
8911 COLLIER AVE
SUITE 100
DADE COUNTY, FL 33126

ARCHITECT OF RECORD
OTONNELL DANVILLE AND PARTNERS ARCHITECTS
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F: 781-768-8333

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180 BISCAYNE BLVD UNIT 204, MIAMI, FL 33139
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F: 781-768-8333

LANDSCAPE ARCHITECT
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657 ADRIANA SUITE 101, MIAMI, FL 33139
T: 305-603-0000

ENGINEER
WALTER M. LUOGO P.E.
FL PE# 6747

ARCHITECTURE AND DESIGN
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WWW.DSDARCHITECTS.COM

PROJECT

REVISIONS

NO.	DATE	DESCRIPTION
1	02/05/2022	CITY COMMENTS

KEY PLAN

SCALE
NOTE: THIS DRAWING IS SHOWN WITHOUT SCALE DRAWINGS
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DRAWING TITLE:
DRAINAGE DETAILS

SHEET NO.
C400

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432 HOLLYWOOD BL. W. HOLLYWOOD, FL 33020
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T: 305-603-0000

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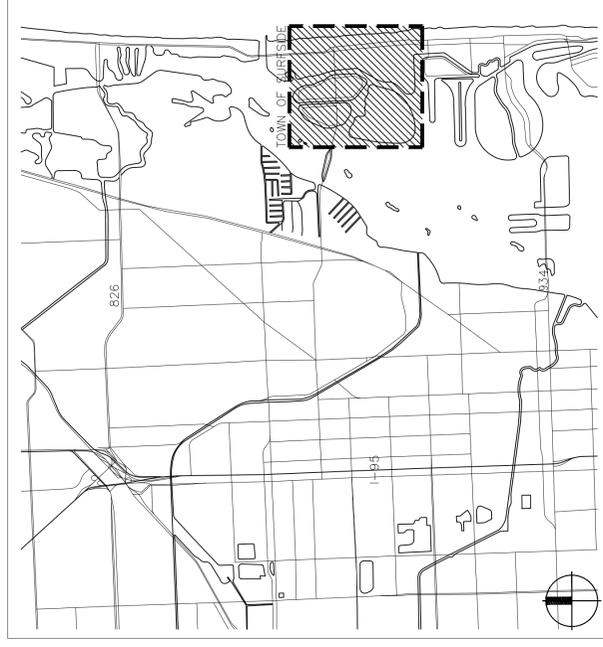
FEBRUARY 15, 2022
Submittal Set

HILLCREST

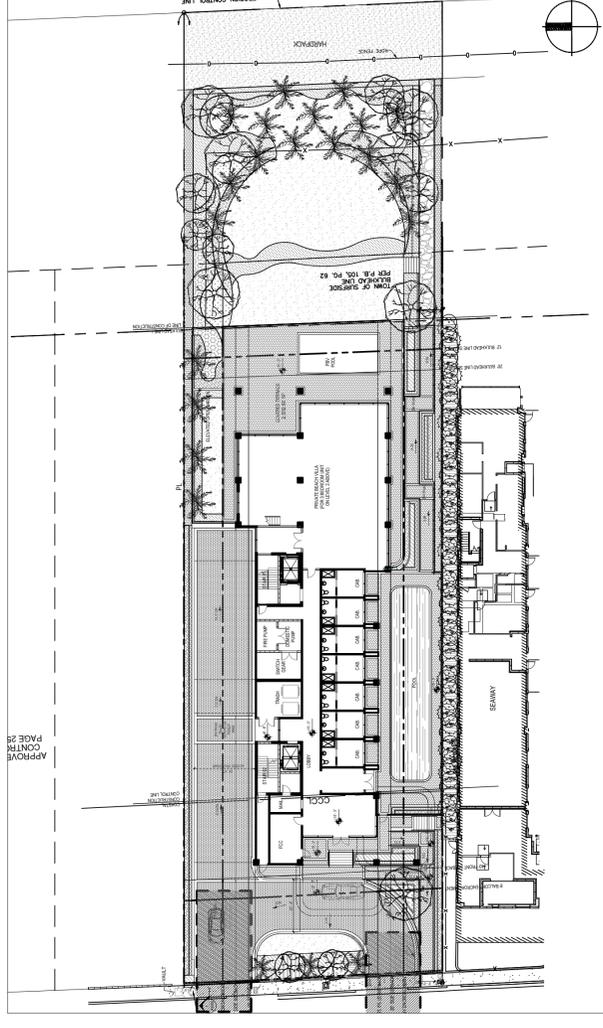
Condominium

Town of Surfside, FL

VICINITY MAP



PROJECT LOCATION



DRAWING INDEX

Sheet No. Sheet Title

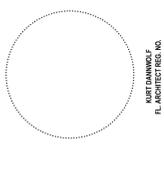
- | | |
|-------|-------------------------------|
| L-100 | OVERALL SITE PLAN |
| L-200 | LANDSCAPE PLAN - GROUND FLOOR |
| L-201 | LANDSCAPE PLAN - ROOF LEVEL |
| L-300 | LANDSCAPE NOTES |
| L-301 | PLANTING DETAILS |
| L-302 | PLANTING DETAILS |
| L-303 | PLANTING DETAILS |
| L-304 | PLANTING DETAILS |
| L-305 | PLANTING DETAILS |

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LANDSCAPE ARCHITECT
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DANIEL D. DANWOLF
FL ARCHITECT REG. NO.
15022

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WWW.DANIELDANWOLF.COM

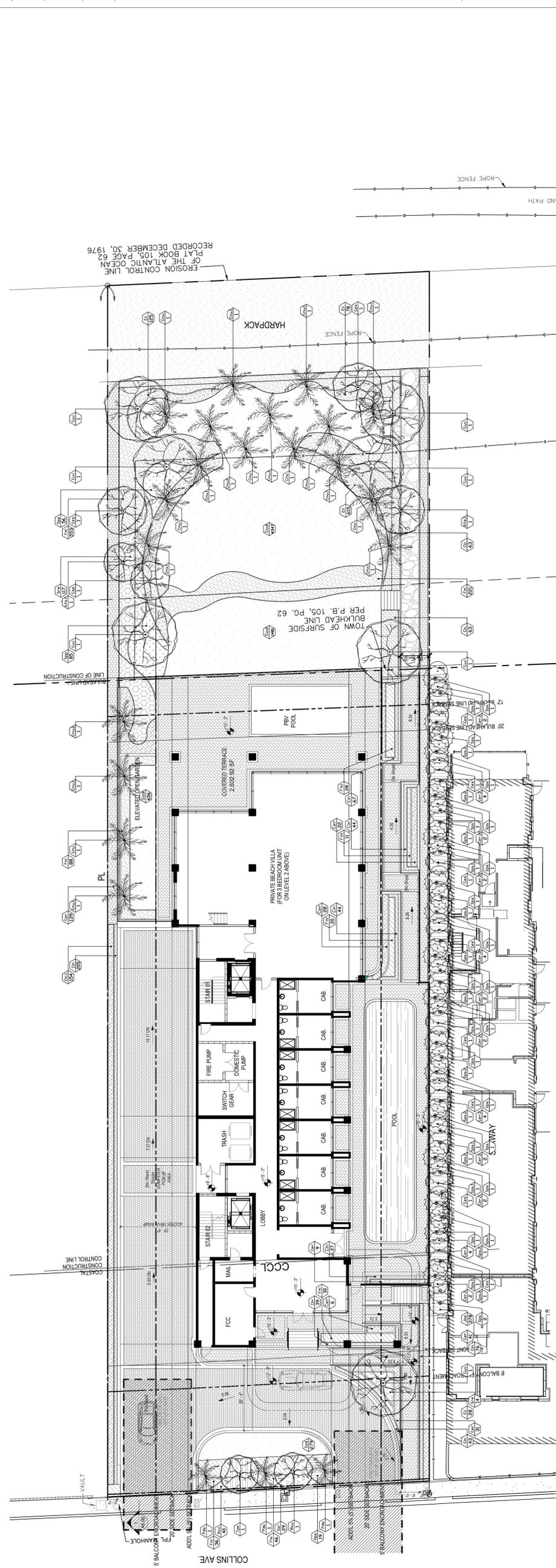
PROJECT

NO.	DESCRIPTION	DATE

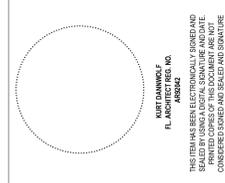
KEY PLAN

SCALE: As Indicated
DATE: 02/15/22
DRAWN BY: PFDL
DRAWING TITLE:
COVER SHEET

SHEET NO.
L-000



LANDSCAPE PLAN
SCALE: 1/16" = 1' 0"



CLIENT
CORE PARTNERS
SUPERIOR, FLORIDA 32134

ARCHITECT OF RECORD
DONNEL DANNOLF AND PARTNERS ARCHITECTS INC.
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PALM BEACH, FL 33480

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WWW.OCCANENGINEERING.COM

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TEL: (561) 855-4444
WWW.EDWARDROYLANDSCAPE.COM

PROJECT

REVISIONS

KEY PLAN

SCALE: As noted
DATE: 03/14/20
DRAWN BY: PFD
DRAWING TITLE

LANDSCAPE PLAN

SHEET NO. **L-200**

LANDSCAPE LIST

TREES

SYMBOL	QUAN.	PROPOSED MATERIAL	DROUGHT TOLERANT	DESCRIPTION
Cer.2	32	*Conocarpus erectus GREEN BUTTWOOD TREE	HIGH	14'-16" O.A. HT. 6" W 3" DBH 6W 45 GAL FLORIDA GRADE #1
Ces	10	*Conocarpus erectus var. sericeus SILVER BUTTWOOD TREE	HIGH	14'-16" O.A. PLANTED HT. 10' W F.G. FLORIDA GRADE #1, 5" DBH.
Cse	1	*Cordia sebestena ORANGE GEIGER	HIGH	14'-16" O.A. PLANTED HT. 6" DBH. 8' W F.G. FLORIDA GRADE #1
Cuv	7	*Coccoloba uvifera SEA GRAPE	HIGH	25' HT. MULTI-TRUNK 16" W 6" DBH. F.G. FLORIDA GRADE #1
Kfe.1	2	*Krugiodendron ferreum BLACK RONWOOD	HIGH	18'-20' HT. 7-8" C.T. 10" W 8" DBH. F.G. FLORIDA GRADE #1
Rku	1	Radermachera 'Kumming' DWARF TREE JASMINE	LOW	10' O.A. HT. 6" DBH.
Tpe	1	Thevetia peruviana YELLOW OLEANDER	MODERATE	10'-12' O.A. HT. X 6" W. 3" DBH. F.G. FLORIDA GRADE #1

PALMS

SYMBOL	QUAN.	PROPOSED MATERIAL	DROUGHT TOLERANT	DESCRIPTION
Cnu	6	Cocos nucifera COCONUT PALM	HIGH	18' C.T.
Cnu.1	9	Cocos nucifera COCONUT PALM	HIGH	22' C.T.
Cnu.2	4	Cocos nucifera COCONUT PALM	HIGH	F.G. FLORIDA GRADE #1 26' C.T.
Spa	18	*Sabal palmetto SABAL PALM	HIGH	F.G. FLORIDA GRADE #1
Spa.1	7	*Sabal palmetto SABAL PALM	HIGH	25' WID. STRAIGHT TRUNK F.G. FLORIDA GRADE #1
Spa.2	11	*Sabal palmetto SABAL PALM	HIGH	30' WID. STRAIGHT TRUNK F.G. FLORIDA GRADE #1
Pda	3	Phoenix dactylopera 'Medjool' MEDJOOOL DATE PALM	HIGH	35' WID. STRAIGHT TRUNK F.G. FLORIDA GRADE #1 25' C.T. 38' O.A. PLANTED HT.

SHRUBS

SYMBOL	QUAN.	PROPOSED MATERIAL	DROUGHT TOLERANT	DESCRIPTION
Acu	40	Azalepas curassavica 'Yellow' BLOODYFLOWER YELLOW	MODERATE	18" O.A. PLANTED HT. 18" O.C. 18" W 3 GAL
Cer	276	*Conocarpus erectus GREEN BUTTWOOD	HIGH	8" O.A. PLANTED HT. 24" O.C. 24" W 25 GAL
Cin	545	*Cissus incisa MARINE IVY	HIGH	12" O.C. 3 GAL
Cic	126	*Chrysobalanus icaco GREEN COCOPLUM	HIGH	2-3' O.A. PLANTED HT. 18" O.C. 18" W 7 GAL
Cic.1	154	*Chrysobalanus icaco RED TIP COCOPLUM	HIGH	6" O.A. PLANTED HT. 18" O.C. 18" W 15 GAL
Eli	846	*Eriondea littoralis GOLDEN CREEPER	MODERATE	12" O.A. PLANTED HT. 12" O.C. 12" W 3 GAL
Fmi	1,033	Ficus microcarpa GREEN ISLAND FIGUS	MODERATE	24" O.A. PLANTED HT. 18" O.C. 18" W 7 GAL
Hpa	19	*Hamelia patens FIREBUSH	HIGH	24" O.A. PLANTED HT. 24" O.C. 24" W 7 GAL
Jke	378	*Jacquinia keyensis JACKWOOD	HIGH	3' O.A. HT. AS DENSE MASS 18" W 18" O.C. 3 GAL
Sar	29	Schefflera arboicola DWARF UMBRELLA	MODERATE	24" O.A. PLANTED HT. 24" O.C. 24" W 7 GAL
Spp	141	*Spartina patens SALTMEADOW CORDGRASS	HIGH	24" O.A. PLANTED HT. 18" O.C. 18" W 3 GAL
Ste	131	*Serenoa repens SAW PALMETTO	HIGH	2-3' O.A. PLANTED HT. 24" O.C. 24" W 15 GAL

SOD & SAND

SYMBOL	SG. FT.	PROPOSED MATERIAL	DROUGHT TOLERANT	DESCRIPTION
SOD	6,107	*Sesashore Paspalum SAME	LOW	

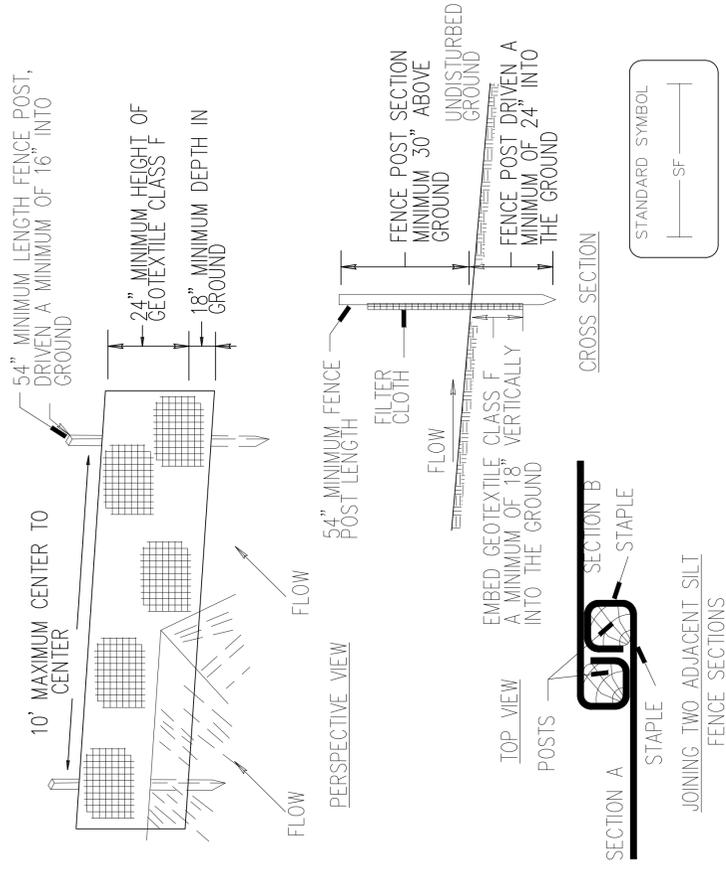
*DENOTES NATIVE SPECIES



NORTH

SHEET NO. **L-200**

SILT FENCE DETAILS

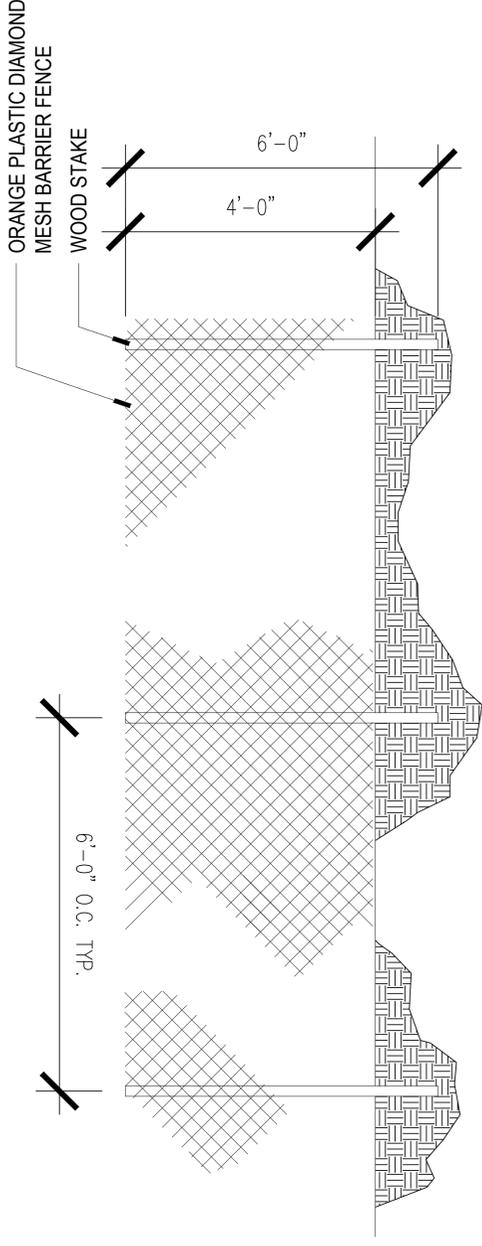


Construction Specifications

- Fence posts shall be a minimum of 54" long driven 24" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard I or U section weighting not less than 1.00 pound per linear foot.
- Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:
 - Tensile Strength 50 lbs./in. (min.) Test: MSMT 509
 - Tensile Modulus 20 lbs./in. (min.) Test: MSMT 509
 - Flow Rate 0.3 gal ft² / minute (max.) Test: MSMT 322
 - Filtering Efficiency 75% (min.) Test: MSMT 322
- Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
- Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

U.S. DEPARTMENT OF AGRICULTURE PAGE 3 MARYLAND DEPARTMENT OF ENVIRONMENT
SOIL CONSERVATION SERVICE E - 15 - 3 WATER MANAGEMENT ADMINISTRATION

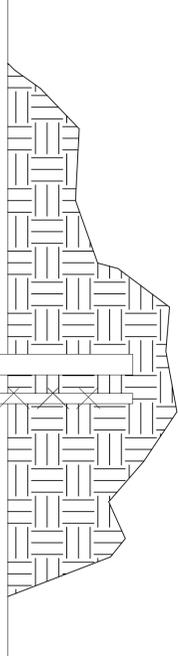
CONSTRUCTION PROTECTION FENCE



CONSTRUCTION PROTECTION FENCE

SECTION WITH SILT FENCE

CONSTRUCTION PROTECTION FENCE
SILT FENCE FOR TURTLE PROTECTION



REVISIONS

NO.	DESCRIPTION	DATE

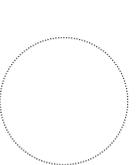
KEY PLAN

SCALE: As shown
DATE: 03/14/22
DRAWN BY: PWD
DRAWING FILE

PLANTING DETAILS

SHEET NO.
L-301

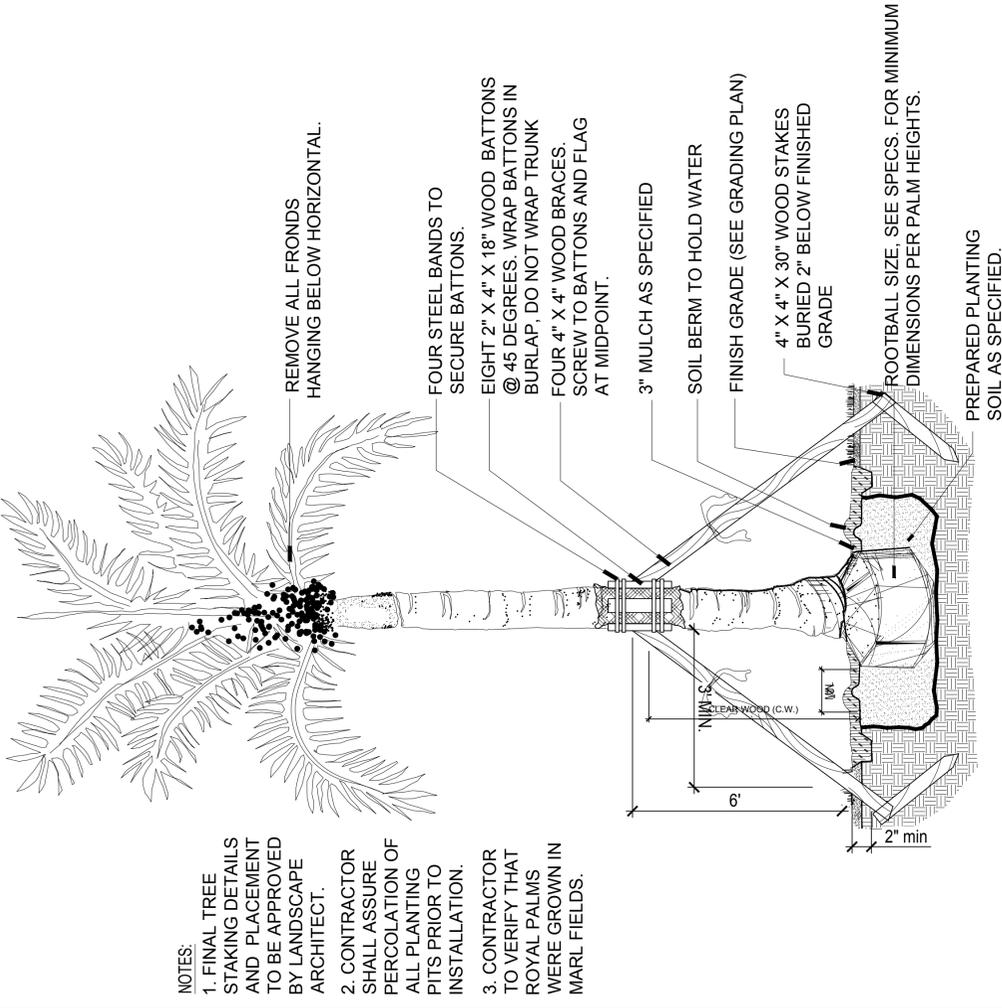
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FORT PARTNERS
601 W. CENTRAL AVENUE, SUITE 200
SUNSHINE, FLORIDA 32566
ARCHITECT OF RECORD
40800066
ODONELL, DANWOLF AND PARTNERS ARCHITECTS INC.
421 HICKORY ROAD
SUNSHINE, FLORIDA 32566
T: 904.383.9833
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OCEAN ENGINEERING
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1708326264
LANDSCAPE ARCHITECT
LAWRENCE W. O'DONELL
8103 AQUADAVE SUITE 107, TAMPA BAY, FL 33611
1: 788.504.8000



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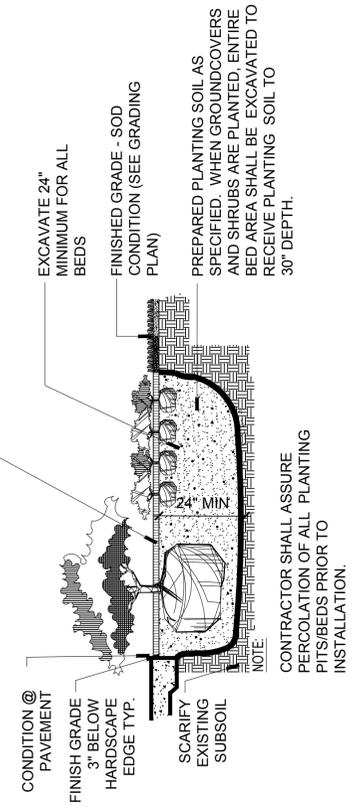
odp
PROFESSIONAL ENGINEERING
REGISTERED PROFESSIONAL ENGINEER
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TAMPA, FLORIDA 33606
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WWW.ODPARCHITECTS.COM

PROJECT

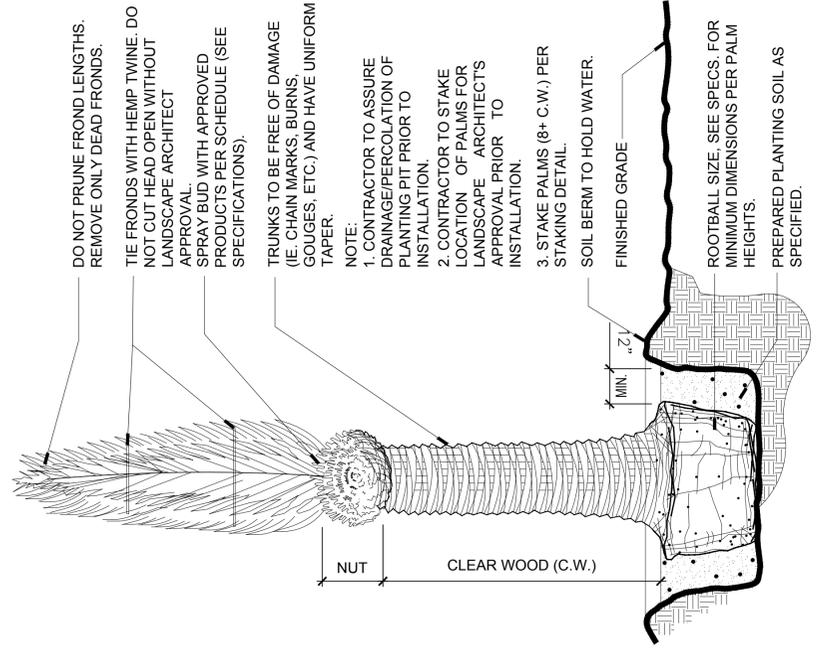


- NOTES:**
1. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY LANDSCAPE ARCHITECT.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. CONTRACTOR TO VERIFY THAT ROYAL PALMS WERE GROWN IN MARL FIELDS.

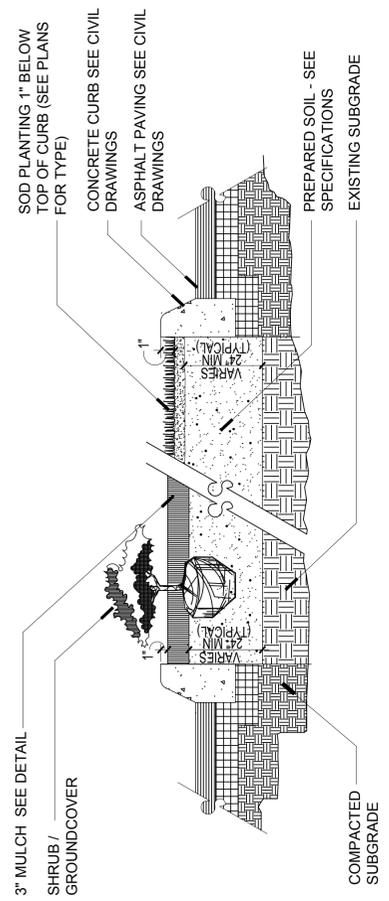
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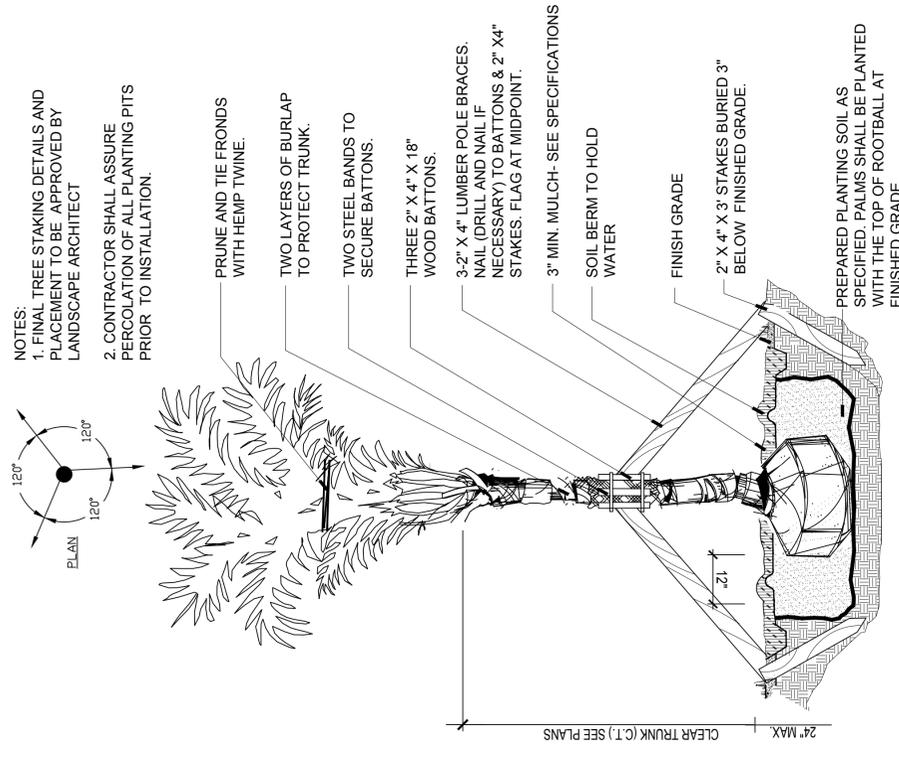
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2 DETAIL SCALE: 1"=1'-0"

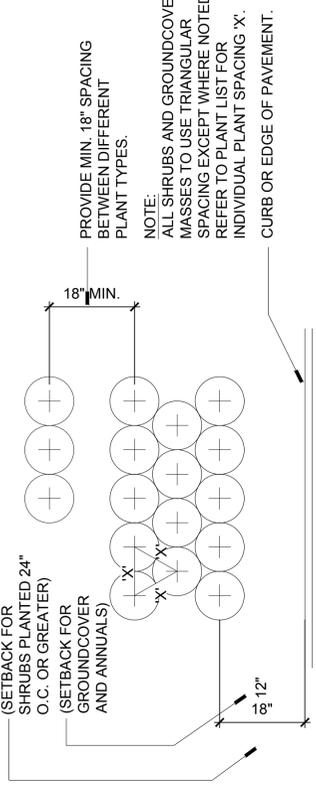


5 SECTION SCALE: 1"=1'-0"



- NOTES:**
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 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

3 SECTION SCALE: N.T.S.



6 PLAN SCALE: 1"=1'-0"

CLIENT
 FORE PARTNERS
 SUPERIOR, FLORIDA 33154

ARCHITECT OF RECORD
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REVISIONS

NO.	DESCRIPTION	DATE

KEY PLAN

PROJECT

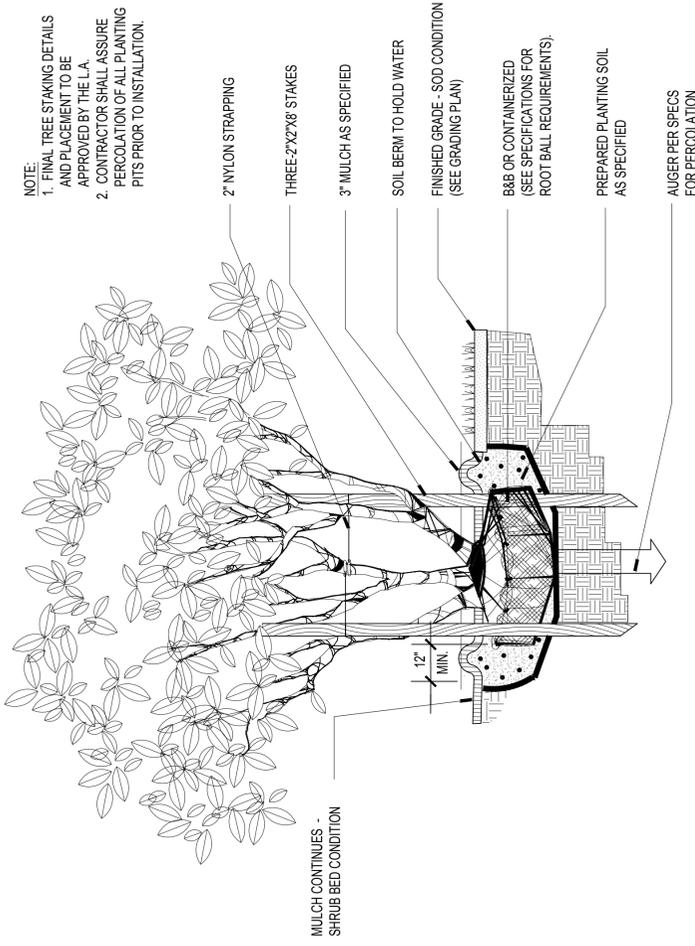
FLORIDA REGISTERED PROFESSIONAL ENGINEER
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 400 N. HOLLAND WOOD BLVD. SUITE 100
 MIAMI, FLORIDA 33136
 T: 305.458.9833

SCALE: 1"=1'-0"
 DATE: 03/14/22
 DRAWN BY: PWD
 DRAWING TITLE: PLANTING DETAILS

PLANTING DETAILS

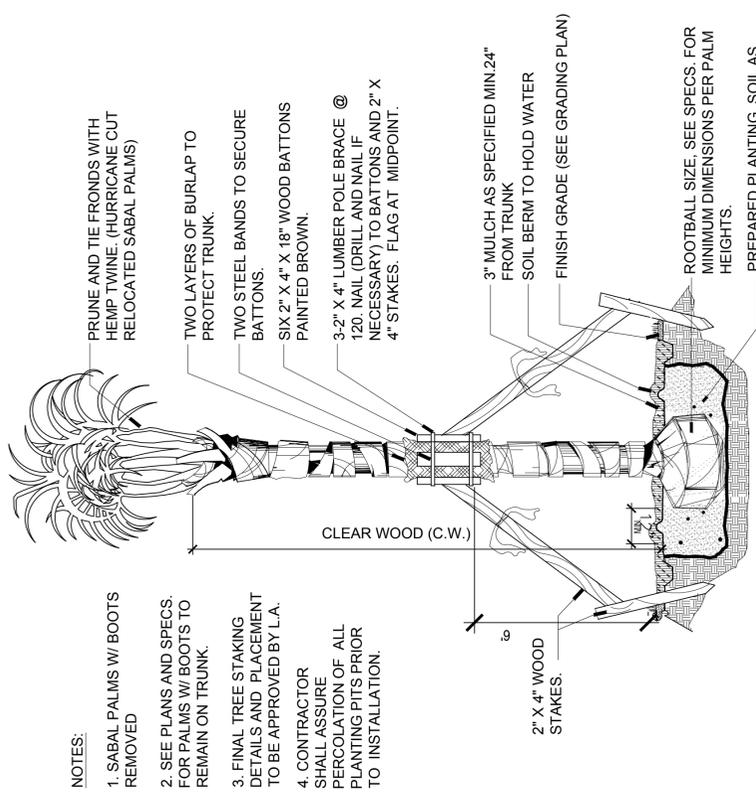
SHEET NO.
L-302

NOTE: PLANT MIX B: PALM TREES AND TRANSPLANTED PALMS
 10% - APPROVED TOPSOIL
 20% - CLEAN CANADIAN PEAT OR COMPOSTED OM
 70% COURSE RIVER SAND



- NOTE:**
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY THE L.A.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
- 2" NYLON STRAPPING
 - THREE-2"X2'X8" STAKES
 - 3" MULCH AS SPECIFIED
 - SOIL BERM TO HOLD WATER
 - FINISHED GRADE - SOD CONDITION (SEE GRADING PLAN)
 - B&B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS)
 - PREPARED PLANTING SOIL AS SPECIFIED
 - AUGER PER SPECS FOR PERCOLATION

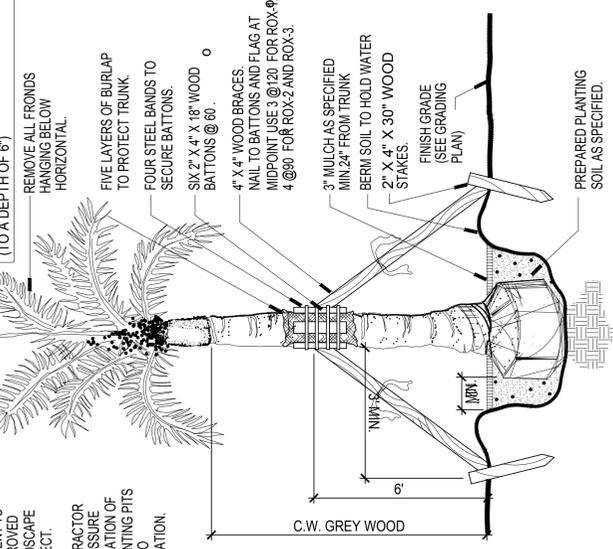
2 MULTI-TRUNK TREE
 SECTION d-4327-027
 SCALE: 1"=1'-0"



- NOTES:**
- SABAL PALMS W/ BOOTS REMOVED
 - SEE PLANS AND SPECS FOR PALMS W/BOOTS TO REMAIN ON TRUNK.
 - FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY L.A.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
- 2" X 4" WOOD STAKES
 - 3" MULCH AS SPECIFIED MIN. 24" FROM TRUNK SOIL BERM TO HOLD WATER
 - FINISH GRADE (SEE GRADING PLAN)
 - ROOTBALL SIZE, SEE SPECS FOR MINIMUM DIMENSIONS PER PALM HEIGHTS.
 - PREPARED PLANTING SOIL AS SPECIFIED.

1 SABAL PALM
 SECTION 4164-SABAL-1"-1'-0"
 SCALE: 1"=1'-0"

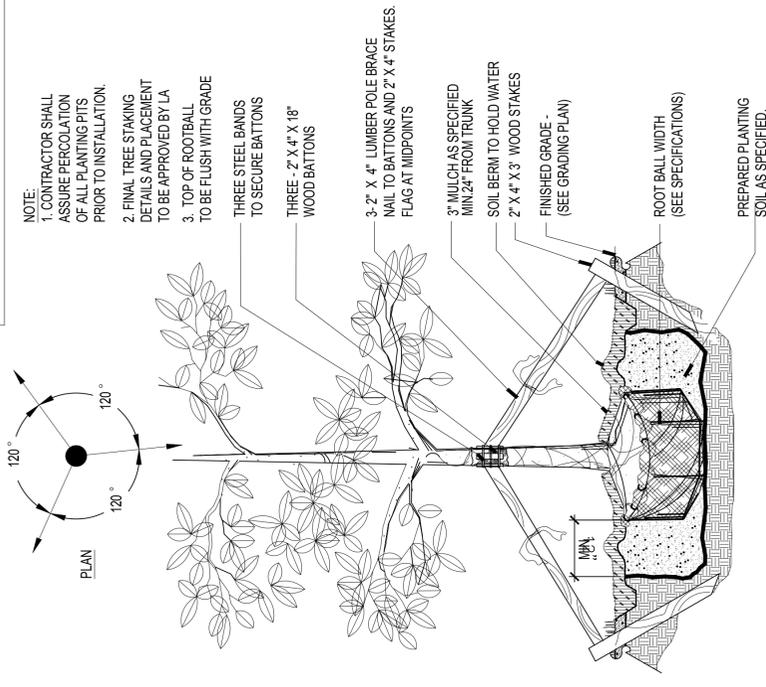
NOTE: PLANT MIX A: SHRUB PLANTINGS, TREES, AND ROYAL PALMS:
 30% - APPROVED TOPSOIL
 20% - CLEAN CANADIAN PEAT OR COMPOSTED OM
 70% COURSE RIVER SAND OR EQUAL (TO A DEPTH OF 6")



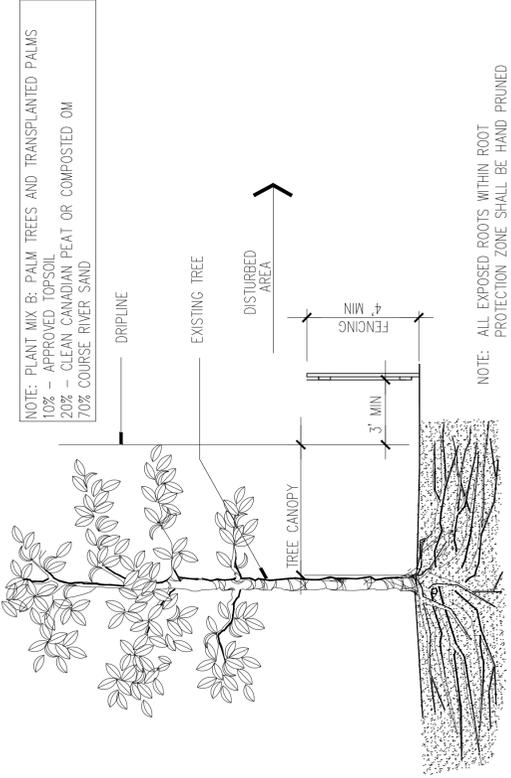
- NOTES:**
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY LANDSCAPE ARCHITECT.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
- REMOVE ALL FRONDS HANGING BELOW HORIZONTAL.
 - FIVE LAYERS OF BURLAP TO PROTECT TRUNK.
 - FOUR STEEL BANDS TO SECURE BATTONS.
 - SIX 2" X 4" X 18" WOOD BATTONS @ 6".
 - 4" X 4" WOOD BRACES NAIL TO BATTONS AND FLAG AT MIDPOINT USE 3 @ T20 FOR ROX-9, 4 @ 90 FOR ROX-2 AND ROX-3.
 - 3" MULCH AS SPECIFIED MIN. 24" FROM TRUNK
 - BERM SOIL TO HOLD WATER
 - 2" X 4" X 30" WOOD STAKES.
 - FINISH GRADE (SEE GRADING PLAN)
 - PREPARED PLANTING SOIL AS SPECIFIED.

3 ROYAL PALM
 SECTION d-4327-029
 SCALE: 1/2"=1'-0"

NOTE: PLANT MIX B: PALM TREES AND TRANSPLANTED PALMS
10% - APPROVED TOPSOIL
20% - CLEAN CANADIAN PEAT OR COMPOSTED OM
70% COURSE RIVER SAND

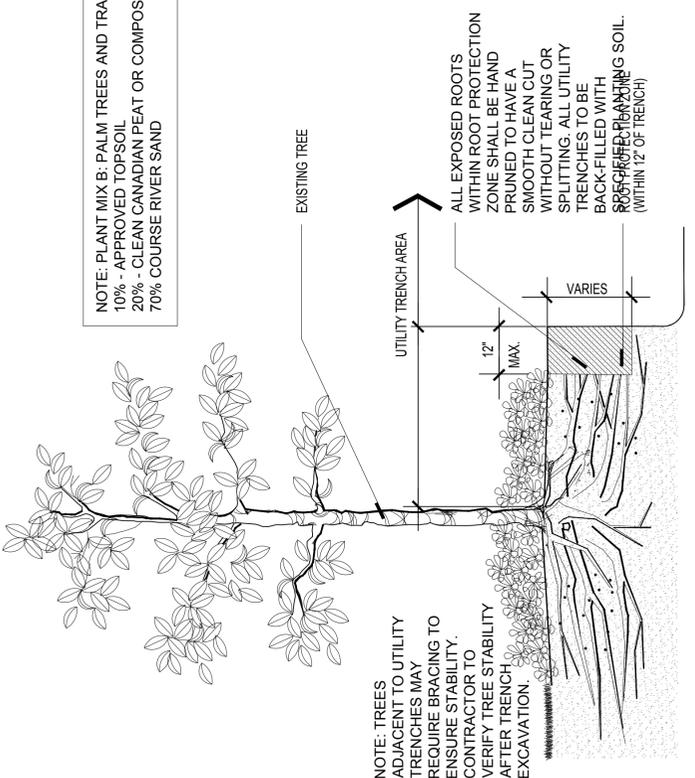


1 SECTION
d-4327-028
SCALE: 1"=1'-0"



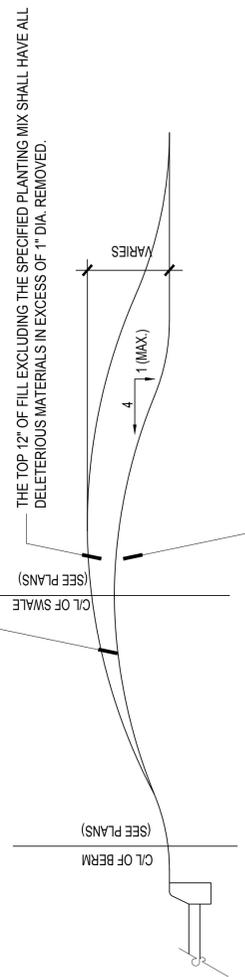
3 SECTION
pl-4327-092.dwg
SCALE: 1/4"=1'-0"

NOTE: PLANT MIX B: PALM TREES AND TRANSPLANTED PALMS
10% - APPROVED TOPSOIL
20% - CLEAN CANADIAN PEAT OR COMPOSTED OM
70% COURSE RIVER SAND



2 SECTION
d-4327-024
SCALE: 1"=1'-0"

NOTE: PLANT MIX D: TURF AREAS
9% - CLEAN CANADIAN PEAT OR COMPOSTED OM
91% - COURSE RIVER SAND
(TO A DEPTH OF 6")



4 TEXT
d-4327-025
SCALE: 1/2"=1'-0"

- CONTRACTOR SHALL NOT SUBSTANTIALLY VARY GRADING FROM GRADING PLAN WITHOUT THE APPROVAL OF DESIGNER. ALL SITE GRADING IS SUBJECT TO REVIEW AND APPROVAL OF THE LANDSCAPE ARCHITECT.
- CONTOURS FOR EARTH MOUNDS SHALL BE SMOOTH, CONTINUOUS ARCS. SIDE SLOPES SHALL BE SMOOTH AND EVEN IN TRANSITION AND VOID OF DEPRESSIONS AND SURFACE IRREGULARITIES SHALL BLEND INTO THE SURROUNDING TERRAIN IN A NATURAL MANNER. CAREFUL ATTENTION SHOULD BE GIVEN TO THE GRADING PLANS CONCERNING THE SHAPES AND FORMATIONS OF PROPOSED SLOPES.
- ALL GRADED AREAS SHALL BE DRAGGED WITH A DRAG MAT TO BLEND IN. SMALL IMPERFECTIONS AND ROUND OFF ANY SHARP LINES THAT MAY HAVE BEEN CONSTRUCTED BY EQUIPMENT. ALL AREAS TO BE PLANTED SHALL HAVE NO WATER HOLDING POCKETS.
- ONCE THE SUBGRADED HAS BEEN SHAPED AND HAS RECEIVED THE APPROVAL OF THE LANDSCAPE ARCHITECT, THE TOPSOIL SHALL BE REPLACED IN A SMOOTH AND EVEN LAYER CONFORMING TO THE GRADED CONTOUR AND BLENDING INTO EXISTING GRADE.
- MAXIMUM SIDE SLOPES THROUGHOUT SHALL BE FOUR FEET (4') HORIZONTAL TO ONE FOOT (1') VERTICAL (I.E., 4 TO 1), UNLESS OTHERWISE NOTED.
- ALL CUT AREAS SHALL BE SCARIFIED TO A DEPTH OF SIX INCHES (6") MINIMUM TO LOOSEN SOIL. ALL DEBRIS, ROOTS, TRASH, CLUMPS OF SOD, ROCKS, ECT., SHALL BE REMOVED FROM THE SOIL. TO THE SATISFACTION OF DESIGNER, IN ORDER TO MAKE A CLEAN SEEDBED FOR CAPPING AND PLANTING. 10. PLANTING SOIL SHOULD BE SPREAD SMOOTHLY TO ENSURE ALL SHAPING IS PRESERVED.
- ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM TRAVERSABLE SLOPE OF 5%.

NOTE: TYPICAL BERM CONFIGURATION, HEIGHT, & LOCATION SHALL BE REVIEWED IN THE FIELD AND APPROVED PRIOR TO FINAL GRADING.

ALL FILL REQUIRED SHALL BE CLEAN, WELL DRAINED SOIL. MATERIAL SHALL BE FREE OF ALL MATERIAL HARMFUL TO PLANT GROWTH AND ALL DELETERIOUS MATERIAL.

CLIENT
FORT PARTNERS
10000 WOODHOLM BLVD
SUITE 100
FORT LAUDERDALE, FL 33304
ARCHITECT OF RECORD
DANIEL, DANNEFELT AND PARTNERS ARCHITECTS INC.
400 N. WOODLAND BLVD
SUITE 100
FORT LAUDERDALE, FL 33304
CIVIL, TRAFFIC & PARKING ENGINEER
8970 BISCAYNE BLVD UNIT 500
MIAMI, FL 33158
LANDSCAPE ARCHITECT
10000 WOODHOLM BLVD
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FORT LAUDERDALE, FL 33304

CONTRACTOR
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400 N. WOODLAND BLVD
SUITE 100
FORT LAUDERDALE, FL 33304

DESIGNER
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400 N. WOODLAND BLVD
SUITE 100
FORT LAUDERDALE, FL 33304

DATE: 07/14/22
DRAWN BY: PWD
DRAWING TITLE: PLANTING DETAILS

SCALE: 1/2"=1'-0"

PROJECT

REVISIONS

KEY PLAN

SCALE: 1/2"=1'-0"

SCALE: 1/2"=1'-0"

SCALE: 1/2"=1'-0"

SCALE: 1/2"=1'-0"

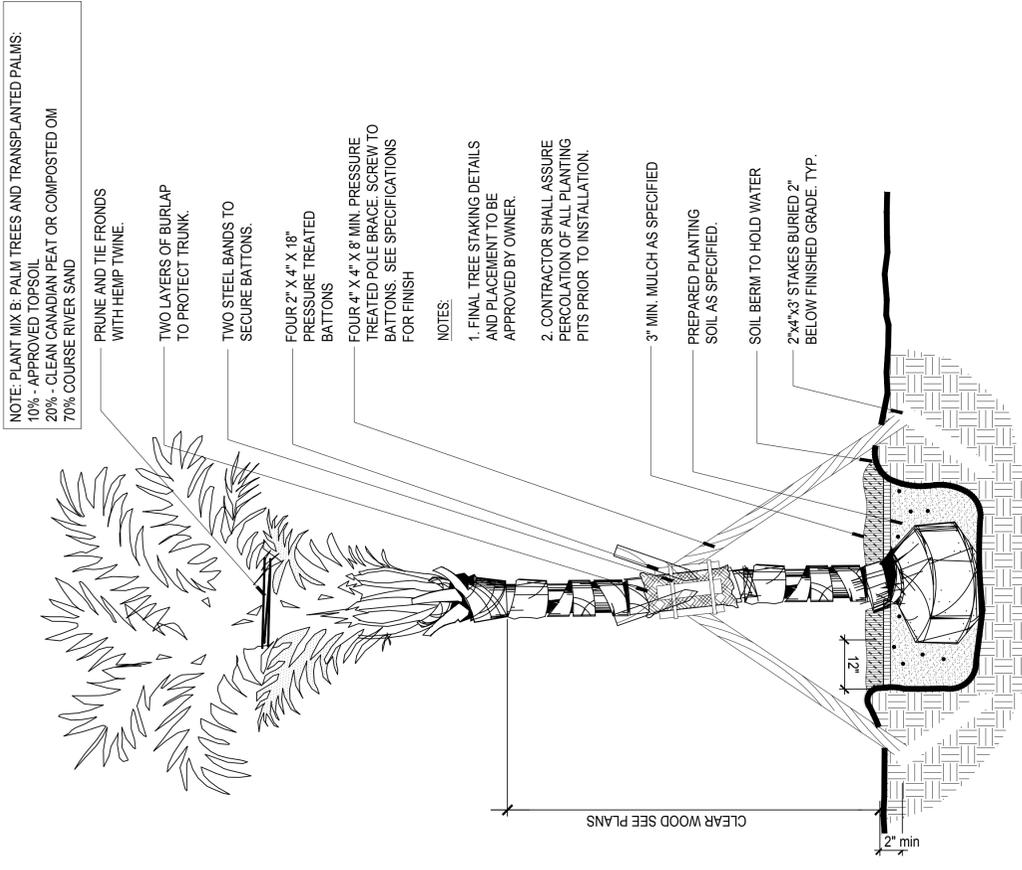
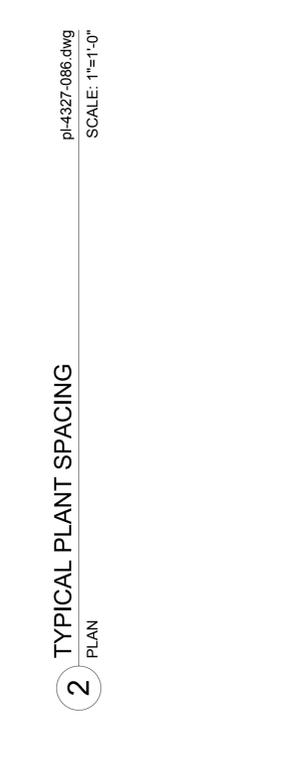
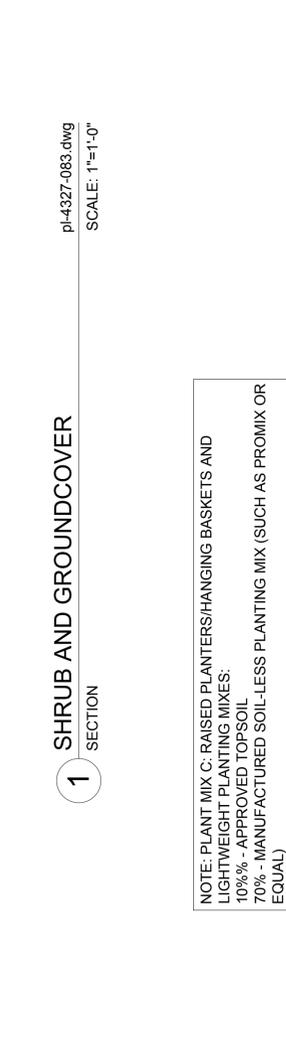
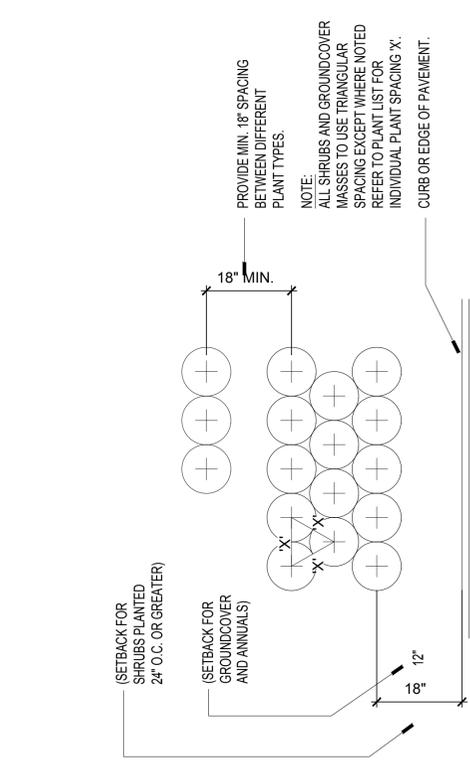
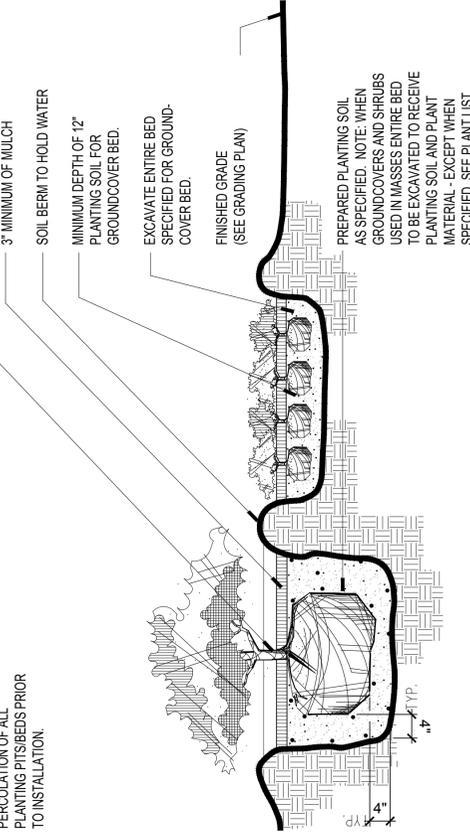
SCALE: 1/2"=1'-0"

SCALE: 1/2"=1'-0"

SHEET NO
L-304

NOTE: PLANT MIX C: RAISED PLANTERS/HANGING BASKETS AND LIGHTWEIGHT PLANTING MIXES:
 100% - APPROVED TOPSOIL
 70% - MANUFACTURED SOIL-LESS PLANTING MIX (SUCH AS PROMIX OR EQUAL) 20% COURSE RIVER SAND

NOTE:
 CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS/BEDS PRIOR TO INSTALLATION.



NOTE: PLANT MIX B: PALM TREES AND TRANSPLANTED PALMS:
 10% - APPROVED TOPSOIL
 20% - CLEAN CANADIAN PEAT OR COMPOSTED OM
 70% COURSE RIVER SAND

PRUNE AND TIE FRONDS WITH HEMP TWINE.

TWO LAYERS OF BURLAP TO PROTECT TRUNK.

TWO STEEL BANDS TO SECURE BATTONS.

FOUR 2" X 4" X 18" PRESSURE TREATED BATTONS.

FOUR 4" X 4" X 8' MIN. PRESSURE TREATED POLE BRACE SCREW TO BATTONS - SEE SPECIFICATIONS FOR FINISH.

NOTES:
 1. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

3" MIN. MULCH AS SPECIFIED

PREPARED PLANTING SOIL AS SPECIFIED.

SOIL BERM TO HOLD WATER

2"x4"x3 STAKES BURIED 2" BELOW FINISHED GRADE. TYP.

CLEAR WOOD SEE PLANS

RIGHTS RESERVED
 FL ARCHITECT REG. NO. 40899
 DEBBIE WILSON
 LANDSCAPE ARCHITECT
 2424 W. UNIVERSITY AVENUE, SUITE 107
 TAMPA, FL 33606
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