RESOLUTION NO. 2024-Z-3338

A RESOLUTION OF THE TOWN COMMISSION OF THE TOWN OF SURFSIDE, FLORIDA, APPROVING A SITE PLAN APPLICATION TO PERMIT THE DEVELOPMENT OF PROPERTY LOCATED AT 9300 COLLINS AVENUE, SURFSIDE, FLORIDA, FOR A MULTIFAMILY RESIDENTIAL DEVELOPMENT CONSISTING OF UP TO SEVENTY-FIVE (75) RESIDENTIAL DWELLING UNITS AND 137 PARKING SPACES (INCLUDING MECHANICAL LIFTS); PROVIDING FOR VIOLATION OF CONDITIONS; PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, 9300 Collins Owner, LLC ("Applicant"), fee simple owner of the property located at 9300 Collins Avenue, Surfside, FL 33154 and legally described in **Exhibit "A"** attached hereto (the "Property"), entered into a Memorandum of Understanding ("MOU") with the Town of Surfside, Florida (the "Town") for a modification to a previously approved site plan (the "Application") made on August 30, 2024 to the Town for a seventy-five (75) dwelling unit multifamily residential development with 137 parking spaces (including mechanical lifts) (the "Project"), which was approved by Town Resolution 2024-3310; and

WHEREAS, the Property is largely vacant, except for a building with a façade at 9340 Collins Avenue (the "Historic Façade") designated historic by the Miami-Dade County Historic Preservation Board (the "Historic Preservation Board") on December 18, 2014, pursuant to Chapter 16A of the Miami-Dade County Code (the "Historic Preservation Ordinance"); and

WHEREAS, the Property is the subject of Resolution No. 2024-Z-3255 approving a site plan application to permit the development of eighty-seven (87) residential dwelling units and the termination of a covenant of restrictions affecting the Property ("Prior Project"); and

WHEREAS, the Applicant does not intend to construct the Prior Project, and now seeks to proceed with the Project and modified site plan, as reflected in the Application, the MOU, Town Resolution 2024-3310 and this Resolution; and

WHEREAS, the Application was reviewed by the Town's Design Review Group on September 11, 2024, and all Town officials or departments raised their concerns but had no objection to the Application going forward for consideration at public hearings provided adequate conditions were implemented; and

WHEREAS, on September 25, 2024, the Planning and Zoning Board, at a duly noticed and televised quasi-judicial public hearing, after reviewing the Application and hearing from its professional staff, the Applicant, and members of the public, considered the requirements of the Town's Zoning Code and the Application's consistency with the Town's Comprehensive Plan, and recommended the Application for approval; and

WHEREAS, on October 8, 2024, the Town Commission, at a duly noticed and televised quasi-judicial public hearing, reviewed the Application and heard from its professional staff, the Applicant, and members of the public, and considered the recommendation of the Planning and Zoning Board, the requirements of the Town Zoning Code, the Application's consistency with the Town's Comprehensive Plan, and the substantial competent evidence presented at the hearing.

NOW THEREFORE, BE IT RESOLVED BY THE TOWN COMMISSION OF THE TOWN OF SURFSIDE, FLORIDA, APPLICABLE TO APPLICANT, ITS SUCCESSORS AND/OR ASSIGNS, AS FOLLOWS:

SECTION 1. RECITALS AND FINDINGS OF FACT.

A. All recitals set forth above are incorporated into the body of this Resolution and adopted as if same were fully set forth herein.

B. The Town Commission finds that the proposed Site Plan, as conditioned, complies with the requirements and criteria set forth in the Town's Code and its Comprehensive Plan.

SECTION 2. SITE PLAN APPROVAL. The request to approve a modification to a previously approved site plan is hereby approved based on the plans submitted to the Planning Department as part of the Application titled "9300 Collins Avenue" prepared by Jo Palma and Partners Corporation, Langan Engineering and Environmental Services, Inc., and Savino Miller Design Studio, dated September 13, 2024 or as set forth below, and consisting of the following sheets ("Site Plan"): G-001; G-002; G-003; G-004; G-005 (10/13/2023);G-007(10/13/2023);G-008; A-001; A-002; A-003; A-101; A-101M; A-102; A-103; A-104; A-201; A-202; A-203; A-204; A-251; A-252; A-501; L-01, as amended to include the use of environmentally friendly herbicide; L-02 (08/28/2024); L03 (08/28/2024); L-04 (08/28/2024); L-05 (08/28/2024); L-06 (08/28/2024); L-07 (08/28/2024); L-08 (08/28/2024); L-09 (08/28/2024); L-10 (08/28/2024); L-11 (08/28/2024); L-12 (08/28/2024); L-13 (08/28/2024); L-15 (08/28/2024); plans dated August 28, 2024 consisting of the following sheets: C-300; C-301;C-302; C-310; C-311; C-312; C-400; C-401; C-500; C-800; and C-801; and Survey dated 09/12/2024 (collectively, **Exhibit "B"**).

SECTION 3. CONDITIONS. The approval granted herein is subject to the following conditions:

A. The Applicant shall comply with the requirements of Town Resolution 2024-Z-3255, except as modified by this Resolution and Town Resolution 2024-3310, incorporating the MOU attached thereto, which shall supersede Town Resolution 2024-Z-3255 in the event of any conflict.

B. The following conditions of Resolution No. 2024-Z-3255 are hereby deleted as no longer being applicable:

- **a.** Section 3.A.4.b. – The Town no longer allows building permit fees to be moved into the General Fund.
- **b.** Section 3.A.4.i. – The revised development plan is no longer "mixed-use" and no covenant associated with the potential application of the Live Local Act is necessary.
- **c.** Section 3.A.4.k. – These conditions relate to details of the prior plan and are no longer applicable.
- **d.** Section 3.A.5.a. – The MOU requires the retention of the Historic Façade.
- **e.** Section 3.A.7.h. – This condition relates to the loading dock in the former design, which is now internalized and, thus no longer necessary.

C. The Applicant shall secure formal approval and permission from the Miami-Dade County Office of Historical Preservation and its Historical Preservation Board to preserve the portion of the Historic Façade on the Property that faces Collins Avenue and comply with all terms of the Historic Designation COA #2016-03-S. A plan for façade restoration and bracing shall be submitted prior to a partial demolition permit.

D. The Applicant shall pay **$4,500** for two trees and one palm tree, as a fee in lieu to the Town, to allow for three trees to be planted in an area of the Town as determined by the Town in its sole and absolute discretion. The payment will be in lieu of providing a total of 31 street trees along Collins Avenue. The Applicant shall plant a total of 28 street trees along Collins Avenue.

E. Execute a covenant in lieu of unity of title to retain the Collins parcel combined with the Harding parcels as a single site for zoning purposes ("Covenant"). The Covenant shall require the Applicant to provide the Town with a payment of **$28,500** for 19 required lot trees prior to the transfer of the Harding Parcel to the Town.

F. That the new façade be modified to increase the radius and exaggerate the rounded corners that are directly adjacent to the Historic Façade at 9340 Collins Avenue.

G. That no new palms may be installed in front of the Historic Façade (the two existing palms may remain). Any exhibit panels or exhibit panel placement shall require Design Review and Town Commission approval.

SECTION 4. VIOLATION OF CONDITIONS. Failure to adhere to the terms and conditions of this Resolution, its exhibits and anything referenced herein, shall be considered a violation of the Town Code and persons found violating the conditions shall be subject to the penalties prescribed by the Town Code, including but not limited to, the revocation of any of the approval(s) granted in this Resolution. The Applicant understands and acknowledges that it must comply with all other applicable requirements of the Town Code before it may commence construction or operation, and that the foregoing approval in this Resolution may be revoked by the Town at any time upon a determination by the Town Commission, following a public hearing, that the Applicant is in non-compliance with the Town Code or the conditions of this Approval and has failed to cure, or to provide an acceptable plan to timely cure, the non-compliance.

SECTION 5. SEVERABILITY CLAUSE. In the event any portion or section of this Resolution is determined to be invalid, illegal or unconstitutional by a court or agency of competent jurisdiction, such decision shall in no way affect the remaining portions of this Resolution, which shall remain full force and effect.

SECTION 6. EFFECTIVE DATE. This Resolution shall become effective upon adoption.

PASSED AND ADOPTED this 8th day of October, 2024.

Motion By: Commissioner Velasquez
Second By: Vice Mayor Paul

FINAL VOTE ON ADOPTION:

Commissioner Ruben A. Coto	Yes
Commissioner Nelly Velasquez	Yes
Commissioner Gerardo Vildostegui	Yes
Vice Mayor Tina Paul	Yes
Mayor Charles W. Burkett	Yes

Charles W. Burkett, Mayor

ATTEST:

Sandra N. McCready, MMC, Town Clerk

TOWN OF SURFSIDE INCORPORATED SEAL 1935 DADE COUNTY

APPROVED AS TO FORM AND LEGALITY FOR THE USE AND BENEFIT OF THE TOWN OF SURFSIDE ONLY:

Mark Blumstein, Town Attorney

EXHIBIT "A"

LEGAL DESCRIPTION OF PROPERTY

Lots 1-12, and Lot 19, Block 3 of the Altos Del Mar No. 5 Subdivision recorded in Plat Book 8, Page 92, of the Public Records of Miami-Dade County, Florida.

EXHIBIT "B"

SITEPLAN

9300 COLLINS AVE

MULTI-FAMILY DEVELOPMENT

9300 COLLINS AVE, SURFSIDE, FL 33154

ISSUED FOR SITE PLAN REVISIONS - SEPTEMBER 13TH, 2024

APPLICABLE BUILDING CODES

1. FBC, FLORIDA BUILDING CODE, EIGHTH EDITION, 2023
2. FAC, FLORIDA ACCESSIBILITY CODE, EIGHTH EDITION, 2023
3. FFPC, FLORIDA FIRE PREVENTION CODE, EIGHTH EDITION, 2023
4. NFPA 70, NATIONAL ELECTRIC CODE (NEC), 2017 EDITION
5. FBC-M, FLORIDA BUILDING CODE - MECHANICAL, EIGHTH EDITION, 2023
6. FBC- P, FLORIDA BUILDING CODE - PLUMBING, EIGHTH EDITION, 2023
7. NFPA 10, STANDARD FOR PORTABLE FIRE EXTINGUISHERS, 2018 EDITION
8. NFPA 13, STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS, 2016 EDITION
9. NFPA 14, STANDARD FOR THE INSTALLATION OF STANDPIPE AND HOSE SYSTEMS, 2016 EDITION
10. NFPA 20, STANDARD FOR INSTALLATION OF STATIONARY FIRE PUMPS FOR FP, 2016 EDITION
11. NFPA 72, NATIONAL FIRE ALARM AND SIGNALING CODE, 2016 EDITION
12. NFPA 88A, STANDARD FOR PARKING GARAGE STRUCTURES, 2015 EDITION
13. NFPA 90A, STANDARD FOR THE INSTALLATION OF AC AND VENTILATING SYSTEMS, 2015 EDITION
14. NFPA 92, STANDARD FOR SMOKE CONTROL SYSTEMS, 2015 EDITION
15. NFPA 110, STANDARD FOR EMERGENCY AND STANDBY POWER SYSTEMS, 2016 EDITION

PROJECT LOCATION MAP

BUILDING CODE SUMMARY

CHAPTER 3 - USE & OCCUPANCY CLASSIFICATION

OCCUPANCY	SECTION	USE
A-2 / ASSEMBLY	303.3	AMENITIES
A-3 / ASSEMBLY	303.4	GYM, POOL DECK AND LOBBIES
B / BUSINESS	304	OFFICES
S-2 / LOW HAZARD	311.2	PARKING GARAGE
R-2 / RESIDENTIAL	310	APARTMENTS

CHAPTER 5 - GENERAL BUILDING HEIGHT & AREA

ALLOWABLE BUILDING HEIGHT:	UNLIMITED FOR TYPE IA
ALLOWABLE BUILDING AREA:	UNLIMITED FOR TYPE IA
SEPARATION OF OCCUPANCIES:	NON - SEPARATED MIXED USE

CHAPTER 6 - TYPES OF CONSTRUCTION

TYPE OF CONSTRUCTION = IA

BUILDING ELEMENTS (TABLE 601)	RATING
PRIMARY STRUCTURAL FRAME	3 HRS
BEARING WALLS	
EXTERIOR	3 HRS
INTERIOR	3 HRS
NON-BEARING WALLS	
EXTERIOR	SEE BELOW
INTERIOR	0 HR
FLOOR CONSTRUCTION AND SECONDARY MEMBERS	2 HRS
ROOF CONSTRUCTION AND SECONDARY MEMBERS	1 1/2 HRS
EXTERIOR WALLS BASED ON FIRE SEPARATION (TABLE 705.5)	
NORTH EXTERIOR WALL	0 HR
EAST EXTERIOR WALL	0 HR
SOUTH EXTERIOR WALL	0 HR
WEST EXTERIOR WALL	1 HR

CHAPTER 7 - FIRE AND SMOKE PROTECTION

FIRE SEPARATION (713.4)	RATING
FIRE SERVICE ELEVATOR LOBBY	1 HRS
ELEVATOR LOBBIES	SMOKE RATING
SHAFT ENCLOSURES	2 HRS
BETWEEN DWELLING UNITS (FBC 420 AND 708)	1 HR
BETWEEN CORRIDOR AND OCCUPANCY 3 (FBC 1030.2)	1/2 HR

CHAPTER 9 - FIRE PROTECTION SYSTEMS

1. AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH FBC 903.3.1 AND NFPA 13 WILL BE PROVIDED, SUBJECT TO REVIEW BY THE CITY.
2. AUTOMATIC SPRINKLER SYSTEM SUPERVISION AND ALARMS, AND MONITORING WILL BE PROVIDED IN ACCORDANCE WITH FBC 903.4

CHAPTER 10 - MEANS OF EGRESS

PROTECTION OF EGRESS	RATING
EXIT ENCLOSURES / STAIRS (FBC 1019.3)	2 HRS
CORRIDORS (FBC 1020.1)	1/2 HRS

NUMBER OF EGRESS REQUIRED (FBC 1006)	2 MIN.
SIZE AND CAPACITY OF EXIT	REFER TO PLANS

TRAVEL DISTANCE REQUIREMENTS		DISTANCE
A	MAX TRAVEL DISTANCE	250 FT
	DEAD END CORRIDOR	20 FT
	COMMON PATH	20 FT (50 OR MORE OCCUPANTS) / 75 FT (UNDER 50)
B	MAX TRAVEL DISTANCE	300 FT
	DEAD END CORRIDOR	50 FT
	COMMON PATH	100 FT
R-2	MAX TRAVEL DISTANCE	250 FT
	DEAD END CORRIDOR	50 FT
	COMMON PATH	125 FT (UNIT & CORRIDOR) / 50 FT (CORRIDOR)
S-1	MAX TRAVEL DISTANCE	250 FT
	DEAD END CORRIDOR	50 FT
	COMMON PATH	100 FT
S-2	MAX TRAVEL DISTANCE	400 FT
	DEAD END CORRIDOR	50 FT
	COMMON PATH	50 FT (GARAGE) / 100 FT (STORAGE)

CHAPTER 11 - ACCESSIBILITY

THE DWELLING UNITS, INCLUDING ACCESS, ARE DESIGNED TO COMPLY WITH THE FAIR HOUSING ACT. REFER TO FAIR HOUSING DIAGRAMS ON G-013.
NONE OF THE DWELLING UNITS ARE SUBJECT TO HUD SECTION 504 REGULATION, NOR HAS THE OWNER RECEIVED ANY PUBLIC FUNDING (STATE OR LOCAL) FOR THE DEVELOPMENT.
NONE OF THE DWELLING UNITS ARE SUBJECT TO FLORIDA BUILDING CODE - ACCESSIBILITY, EIGHT EDITION, AS THEY ARE NOT SUBJECT TO ADA, TITLE III.

THE LOBBY AND AMENITY SPACES, INCLUDING ACCESS, ARE DESIGNED TO COMPLY WITH FLORIDA ACCESSIBILITY CODE.

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SHEET LIST

GENERAL		
G_000	COVER SHEET	13-SEP-2024
G_001	DRAWING LIST, ABBREVIATIONS, LEGENDS	13-SEP-2024
G_002	SITE CONTEXT PLAN & ZONING DATA TABLE	13-SEP-2024
G_003	ZONING DIAGRAMS	13-SEP-2024
G_004	CIRCULATION DIAGRAMS	13-SEP-2024
G_005	FEMA FLOOD MAP	13-OCT-2024
G_007	HISTORICAL BUILDING	13-OCT-2024
G_008	RENDERINGS	26-AUG-2024
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ARCHITECTURE		
A_001	ARCHITECTURAL SITE PLAN	13-SEP-2024
A_002	SITE SIGNAGE	13-SEP-2024
A_003	SITE SECTIONS	13-SEP-2024
A_100	BASEMENT PLAN	VOID
A_101	LEVEL 1 PLAN	13-SEP-2024
A_101M	LEVEL 1M PLAN	13-SEP-2024
A_102	LEVEL 2 PLAN	13-SEP-2024
A_103	LEVEL 3 PLAN	13-SEP-2024
A_104	POOL DECK PLAN	13-SEP-2024
A_201	EXTERIOR ELEVATIONS	13-SEP-2024
A_202	EXTERIOR ELEVATIONS WITH LANDSCAPE	13-SEP-2024
A_203	ENLARGED WEST EXTERIOR ELEVATION	13-SEP-2024
A_204	ENLARGED EAST EXTERIOR ELEVATION	13-SEP-2024
A_251	BUILDING SECTIONS	13-SEP-2024
A_252	BUILDING SECTIONS	13-SEP-2024
A_253	GARAGE SECTIONS	VOID
A_500	HISTORICAL BLDG ENLARGED PLAN & ELEVATIONS	08-DEC-2023
A_501	ENLARGED EXTERIOR ELEVATIONS	13-SEP-2024
A_502	ENLARGED EXTERIOR ELEVATIONS	VOID
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CIVIL		
C-300	SITE PLAN	26-AUG-2024
C-301	PAVEMENT MARKING AND SIGNAGE PLAN	26-AUG-2024
C-302	PAVING PLAN	26-AUG-2024
C-310	PASSENGER VEHICLE CIRCULATION PLAN	26-AUG-2024
C-311	MOVING TRUCK CIRCULATION PLAN	26-AUG-2024
C-312	BUS/SD CIRCULATION PLAN	26-AUG-2024
C-400	GRADING PLAN	26-AUG-2024
C-401	DRAINAGE PLAN	26-AUG-2024
C-500	UTILITY PLAN	26-AUG-2024
C-501	SANITARY SEWER LATERAL PROFILES	26-AUG-2024
C-600	DETAILS	26-AUG-2024
C-601	DRAINAGE WELL DETAILS	26-AUG-2024
LANDSCAPE		
L-01	GENERAL NOTES & LANDSCAPE LEGEND	13-SEP-2024
L-02	TREE MANAGEMENT PLAN	26-AUG-2024
L-03	TREE MANAGEMENT SCHEDULE	26-AUG-2024
L-04	SITE PLAN	26-AUG-2024
L-05	HARDSCAPE PLAN LEVEL 1	26-AUG-2024
L-06	HARSCAPE DETAILS	26-AUG-2024
L-07	PLANTING PLAN CANOPY LEVEL 1	26-AUG-2024
L-08	PLANTING IMAGES CANOPY	26-AUG-2024
L-09	PLANTING PLAN UNDERSTORY LEVEL 1	26-AUG-2024
L-10	PLANTING IMAGES UNDERSTORY	26-AUG-2024
L-11	PLANTING DETAILS	26-AUG-2024
L-12	IRRIGATION PLAN LEVEL 1	26-AUG-2024
L-13	LIGHTING PLAN LEVEL 1	26-AUG-2024
L-14	LIGHTING LEVEL 1 PHOTOMETRICS	26-AUG-2024

ABBREVATIONS

@	AT
'	PER
AB	ANCHOR
ABV	ABOVE
ACOUST	ACOUSTICAL
AD	AREA DRAIN
ADD	ADDENDUM
ADH	ADHESIVE
AFF	ABOVE FINISH FLOOR
AGGR	AGGREGATE
ALT	ALTERNATE
ALUM	ALUMINUM
APPROX	APPROXIMATE
ARCH	ARCHITECT ARCHITECTURAL
ASPH	ASPHALT
AUTO	AUTOMATIC
AVG	AVERAGE
B/	BOTTOM OF
BD	BOARD
BIT	BITUMINOUS
BLDG	BUILDING
BLKG	BLOCKING
BM	BEAM
BOT	BOTTOM
BRG	BEARING
BRK	BREAK
BRKT	BRACKET
BSMT	BASEMENT
BT	BOLT
BTWN	BETWEEN
BYND	BEYOND
CAB	CABINET
CB	CASING BEAD
CEM	CEMENT
CG	CORNER GUARD
CH	CHANNEL
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CLKG	CAULKING
CLR	CLEAR
CLO	CLOSET
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONN	CONNECTION
CONST	CONSTUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
CORR	CORRIDOR
CBK	COUNTER SUNK
CT	CERAMIC TILE
DBL	DOUBLE
DEG	DEGREES
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIFF	DIFFUSER
DIM	DIMENSION
DISP	DISPENSER
DIST	DISTANCE
DIV	DIVISION
DN	DOWN
DR	DOOR
DS	DOWNSPOUT
DTL	DETAIL
DWG	DRAWING
DWL	DOWEL
EA	EACH
EL	ELEVATION
ELAS	ELASTOMETIC
ELEC	ELECTRICAL
ELEV	ELEVATOR
ENCL	ENCLOSURE
ENTR	ENTRANCE
EP	ELECTRICAL PANEL
EQ	EQUAL
EQUIP	EQUIPMENT
ETC	ETCETERA
EWC	ELECTRIC WATER COOLER
EXIST	EXISTING
EXP	EXPOSED
EXP JT	EXPANSION JOINT
EXT	EXTERIOR
EXTR	EXTRUDE
F/	FACE OF
FD	FLOOR DRAIN
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FH	FIRE HOSE
FHC	FIRE HOSE CABINET
FHS	FLAT HEAD SCREW
FIN	FINISH
FIXT	FIXTURE
F.J.	FALSE JOINT
FLR	FLOOR
FLSH	FLASHING
FPRF	FIREPROOF
FR	FIRE RATED
FT	FOOT/FEET
FTG	FOOTING
FURN	FURNISH
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GEN	GENERAL
GL	GLASS
GND	GROUND
GR	GRADE
GRAN	GRANITE
GRTG	GRATING
GYP	GYPSUM
H/C	HANDICAPPED
HC	HOLLOWED CORE
HD	HAND
HDW	HARDWARE
HM	HOLLOW METAL
HNDRL	HANDRAIL
HORIZ	HORIZONTAL
HP	HIGH POINT
HR	HOUR
HT	HEIGHT
HVAC	HEATING, VENTILATION & AIR CONDITIONING
HYD	HYDRANT
ID	INSIDE DIMENSION
IN	INCH
INCL	INCLUDE
INFO	INFORMATION
INSTL	INSTALLINSTALLATION
INSUL	INSULATION
INT	INTERIOR
JAN	JANITOR
JST	JOIST
JT	JOINT
LAM	LAMINATE
LAV	LAVATORY
LEV	LEVEL
LDG	LANDING
LF	LINEAL FOOT
LH	LEFT HAND
LP	LOW POINT
LTG	LIGHTING
LVR	LOUVER
MACH	MACHINE
MAINT	MAINTENANCE
MAX	MAXIMUM
MECH	MECHANICAL
MEMB	MEMBRANE
MEZZ	MEZZANINE
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MRB	MARBLE
MSNRY	MASONRY
MTG	MEETING
MTL	METAL
MULL	MULLION
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIMENSION
OFF	OFFICE
O.H.	OPPOSITE HAND
OPNG	OPENING
OPP	OPPOSITE
OVHD	OVERHEAD
PD	PAINTED
PLAM	PLASTIC LAMINATE
PDW	PERFORATED
PL	PLATE
PLAS	PLASTER
PLMB	PLUMBING
PLYWD	PLYWOOD
PNL	PANEL
POL	POLISH
PORC	PORCELAIN
PR	PAIR
PRCST	PRECAST
PREFAB	PREFABRICATED
PTD	PAPER TOWEL DISPENSER
PTN	PARTITION
PWR	POWER
QT	QUARRY TILE
QTY	QUANTITY
R	REBAR
RAD	RADIUS
RD	ROOF DRAIN
RECP	RECEPTACLE
REFL	REFLECTED
REINF	REINFORCED,REINFORCING
REM	REMOVE
REQD	REQUIRED
RET	RETURN
REV	REVISION
RH	RIGHT HAND
RM	ROOM
RO	ROOM OPENING
RTU	ROOF TOP UNIT
SAT	SUSPENDED ACOUSTICAL TILE
SC	SOLID CORE
SCHD	SCHEDULE
SCUP	SCUPPER
SECT	SECTION
SERV	SERVICE
SF	SQUARE FOOT
SHT	SHEET
SHTG	SHEATHING
SIM	SIMILAR
SND	SANITARY NAPKIN DISPENSER
SNR	SANITARY NAPKIN RECEPTACLE
SP	SPLASH PAN
SPEC	SPECIFICATIONS
SPR	SPRINKLER
ST	STAINLESS
STC	SOUND TRANSMISSION CLASSIFICATION
STL	STEEL
STOR	STORAGE
STR	STAIR
STRUCT	STRUCTURAL
SUSP	SUSPENDED
SYM	SYMBOL
SYS	SYSTEM
T/	TOP OF
T	TREAD
TB&S	TOP, BOTTOM & SIDE
TD	TOWEL
TDR	TOWEL DISPENSER & RECEPTICAL
TEL	TELEPHONE
TEMP	TEMPERED
TER	TERRAZO
THR	THRESHOLD
TLT	TOILET
TOS	TOP OF SLAB
TPS	TOILET
TOR	TOILET PAPER HOLDER
TYP	TYPICAL
UH	UNIT HEATER
UL	UNDERWRITERS LABORATORIES
UNO	UNLESS NOTED
UR	OTHERWISE
UTL	URINAL
VCT	UTILITY
VENT	VINYL COMPOSITION TILE
VERT	VENTILATION
VEST	VERTICAL
VF	VESTIBULE
VWC	VERIFY IN FIELD VINYL WALL COVERING
W/	WITH
W/O	WITH OUT
WC	WATER CLOSET
WD	WOOD
WDW	WINDOW
W GL	WIRED GLASS
WH	WEEP HOLE
WP	WATERPROOFING
WR	WASTE RECEPTACLE
WRK PT	WORKING POINT
WT	WATERTIGHT
WWM	WELDED WIRE MESH

MATERIAL GRAPHIC LEGEND

CONCRETE
STEEL
ROUGH WOOD
RIGID INSULATION
CMU
GRANULAR FILL
FINISH WOOD
BATT INSULATION
BRICK / TILE
SOIL
PLYWOOD
ACOUSTIC CEILING
CUT STONE
GYPSUM BOARD
FIRE SAFING INSULATION
CARPET

DRAWING SYMBOLS LEGEND

ELEVATION MARKERS — DRAWING NUMBER / SHEET NUMBER
BUILDING SECTION
DETAIL SECTION
ENLARGED PLAN / DETAIL
KEYNOTE TAG — XX-00
PROPERTY LINE
SETBACK LINE
ROOM INFORMATION — ROOM NAME, 101, ROOM NUMBER
DOOR NUMBER
PARTITION TYPE — PARTITION TYPE, SOUND ATTENUATION, FIRE RATING
REVISION NUMBER
WORKPOINT
FHA FLOOR CLEARANCE

PROJECT
9300 COLLINS AVE
9300 COLLINS AVE, SURF SIDE, FL 33154

CLIENT
KUSHNER
9300 COLLINS OWNER LLC C/O KUSHNER
767 FIFTH AVENUE, 58 FL, NEW YORK, NEW YORK 10153
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DEVELOPMENT & CONSTRUCTION MANAGER

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JO PALMA + PARTNERS CORPORATION
1143 W RUNDELL PLACE, #302, CHICAGO, ILLINOIS 60607
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INFO@PALMA.GLOBAL

CONSULTANT

KEY PLAN

GENERAL NOTES

SEAL & SIGNATURE
STATE OF FLORIDA — ANA KOLEV — A29981 — LICENSED ARCHITECT

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	29-DEC-2023
D	ISSUED FOR SITE PLAN REVISIONS	26-AUG-2024
E	ISSUED FOR SITE PLAN REVISIONS	13-SEP-2024

NOT FOR CONSTRUCTION

SHEET NAME
DRAWING LIST, ABBREVIATIONS, LEGENDS

SHEET NO
G_001

PROJECT NO. 2303
DATE 13-OCT-2023
SCALE 1/4" = 1'-0"

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A SITE CONTEXT
1 : 1500

ZONING SUMMARY

PROJECT ADDRESS:
9300 COLLINS AVE, SURFSIDE, FL 33154-2642

LEGAL DESCRIPTION:
LOTS 1 THROUGH 12, INCLUSIVE, BLOCK 3, "ALTOS DEL MAR NO 5", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 92, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

H40 LOT SIZE:
91,231 SF / 2.1 ACRES

ELEVATION DEFINITION:

PROJECT 0'-0"	= 10.17' NAVD, 11.72' NGVD
CROWN OF THE ROAD	= 8.12' NAVD, 9.67' NGVD
FEMA BASE FLOOD ELEV.	= 8' NGVD
DESIGN FLOOD ELEV.	= 10'-2" NAVD, 11.72' NGVD

DIMENSIONAL REQUIREMENTS - BUILDING

ZONING DESIGNATION: H40	REQUIRED	PROVIDED
H40 LOT DENSITY	55 UNIT / ACRE X 65% = 103 MAX	75 UNITS
MAXIMUM BUILDING HEIGHT (Sec. 90-43)		
MAXIMUM HEIGHT	40'-0"	39'-6"
MAXIMUM STORIES	3 (MULTI FAMILY)	3
ROOF AREA	N/A	67,243 SF
MODIFICATION OF HEIGHT REGULATIONS (Sec. 90-44)		
MAXIMUM HEIGHT	12'-0"	12'-0" ABOVE T-ROOF SLAB LEVEL (57'-0" FROM CROWN OF ROAD)
MAX. PERCENTAGE OF AGGREGATE ROOF AREA	10% (5,856 SF)	9.98% (5,948 SF)
SETBACKS	13'-0" FROM FACADE WALL PLANE WITH A MIN. 4'-0" HIGH PARAPET	13'-0" MIN
ROOF DECK PROVISIONS (Sec. 90-50.2)		
MAXIMUM PERCENTAGE OF AGGREGATE ROOF AREA	70% (47,000 SF)	49% (33,148 SF)
MAXIMUM HEIGHT	SHALL NOT EXCEED THE MAXIMUM ROOF HEIGHT REQUIRED BY ANY ABUTTING PROPERTY'S ZONING DESIGNATION	41'-0" ABOVE T-ROOF SLAB LEVEL (44'-0" FROM CROWN OF ROAD)
SETBACK FROM ROOFLINE	10'-0" MIN	13'-0" MIN
LOT STANDARDS (Sec. 90-49)		
LOT AREA	N/A	91,231 SF (2.1 ACRES)
LOT WIDTH	50'-0" MIN	500.44'
LOT COVERAGE	N/A	
PERVIOUS AREA	20% LOT AREA (18,246 SF) MIN.	16,465 SF + 1,800 SF PROVIDED ON PARCEL 19
IMPERVIOUS AREA	N/A	74,766 SF
SETBACKS - BUILDING (Sec. 90-45)		
COLLINS AVE. AND HARDING AVE. FRONTAGE	20'-0" 25'-0" ABOVE 30'	20'-0" 23'-6" *
REAR	10'-0" 15'-0" ABOVE 30'	10'-0" 13'-6" *
SECONDARY FRONTAGE (CORNER)	10'-0" 15'-0" ABOVE 30'	10'-0" 13'-6" *
*PROJECTIONS ALLOWED UP TO 24" WITHIN SETBACK		

PARKING REQUIREMENTS (Sec. 90-77)

UNIT TYPE	#UNITS	UNIT AREA (SF)	AVG. UNIT AREA (SF)	REQUIRED PARKING / UNIT	SPACES REQUIRED
1 BD + DEN	39	52,762	1,353	1.5 SPACES	58.5
2 BD + DEN	27	50,554	1,872	2 SPACES	54.0
3 BD + DEN	9	20,005	2,223	2 SPACES	18.0
TOTAL RESIDENTIAL	**75**	**123,321**			**130.5**
		GSF	**NSF**	**REQUIRED PARKING / SF**	**SPACES REQUIRED**
VISITOR				1 PER 20 UNITS (VALET PROVIDED)	3.7
TOTAL NON-RESIDENTIAL					**3.7**
TOTAL REQUIRED					**134.25 SPACES**
TOTAL PROVIDED					**137 SPACES**

BUILDING AREA SUMMARY

(PER 2023 FBC, CHAPTER 2, SECTION 202)

PROGRAM	AREA
ROOF DECK	
ROOF ACCESS	3,399 SF
	3,399 SF
LEVEL 3	
AMENITY	5,870 SF
RESIDENTIAL	55,130 SF
	61,000 SF
LEVEL 2	
AMENITY	4,891 SF
RESIDENTIAL	51,912 SF
	56,803 SF
LVL 1M	
FPL VAULT	735 SF
MEZZ	3,030 SF
	3,765 SF
LEVEL 1	
BOH	526 SF
LOBBY	2,363 SF
PARKING	26,706 SF
RESIDENTIAL	26,220 SF
	57,815 SF
	182,883 SF

BUILDING AREA DIAGRAMS

1 LEVEL 1 BLDG AREA DIAGRAM -
1" = 60'-0"

1M LVL 1M BLDG AREA DIAGRAM-
1" = 60'-0"

2 LEVEL 2 BLDG AREA DIAGRAM -
1" = 60'-0"

3 LEVEL 3 BLDG AREA DIAGRAM -
1" = 60'-0"

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CONSULTANT

KEY PLAN

GENERAL NOTES

SEAL & SIGNATURE
STATE OF FLORIDA
IANA KOLEV
AR99811
REGISTERED ARCHITECT

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
D	ISSUED FOR SITE PLAN REVISIONS	08-AUG-2024
E	ISSUED FOR SITE PLAN REVISIONS	13-SEP-2024

NOT FOR CONSTRUCTION

SHEET NAME
SITE CONTEXT PLAN & ZONING DATA TABLE

SHEET NO.
G_002

PROJECT NO. 2303
DATE 13-OCT-2023
SCALE As indicated

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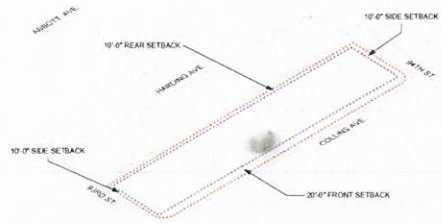
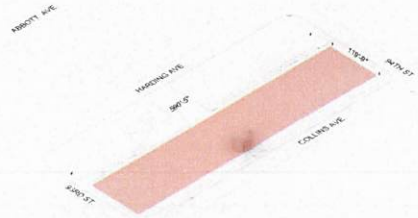
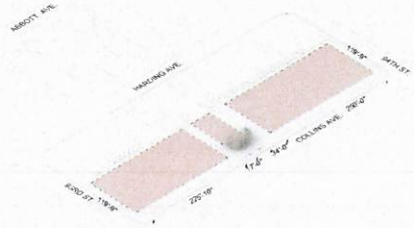


BUILDING SETBACKS



BUILDABLE AREA



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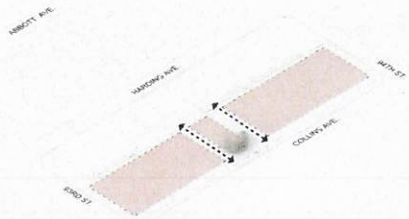

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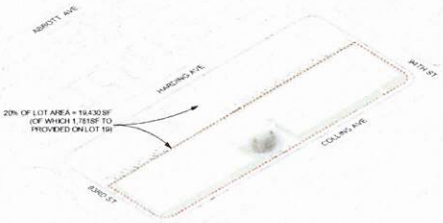
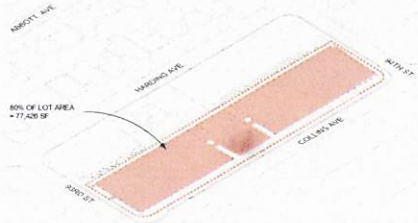


PERVIOUS AREA



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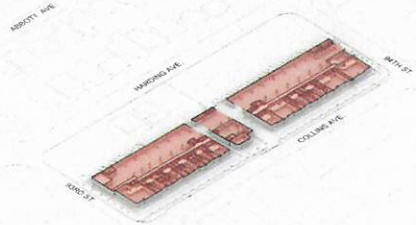

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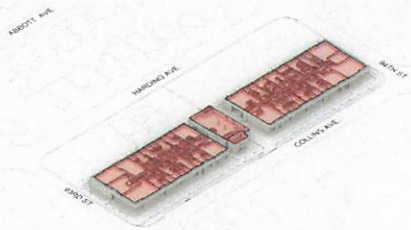

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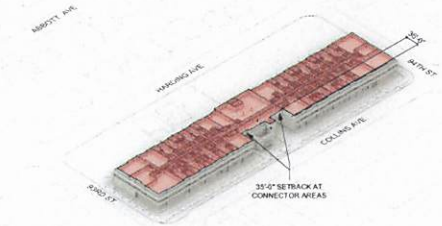

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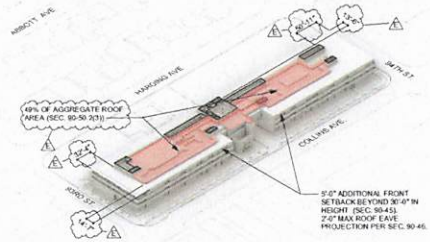
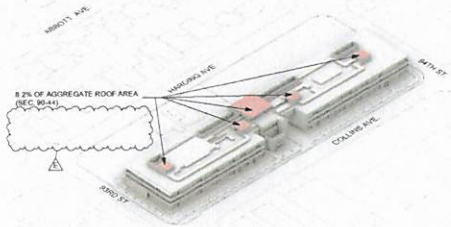


ROOF DECK



UPPER ROOF

PROJECT
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CONSULTANT

KEY PLAN

GENERAL NOTES

SEAL & SIGNATURE
STATE OF FLORIDA
IANA KOLEV
AR99811
REGISTERED ARCHITECT

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
D	ISSUED FOR SITE PLAN REVISIONS	28-AUG-2024
E	ISSUED FOR SITE PLAN REVISIONS	13-SEP-2024

NOT FOR CONSTRUCTION

SHEET NAME
ZONING DIAGRAMS

SHEET NO.
G_003

PROJECT NO. 2303
DATE 13-OCT-2023
SCALE

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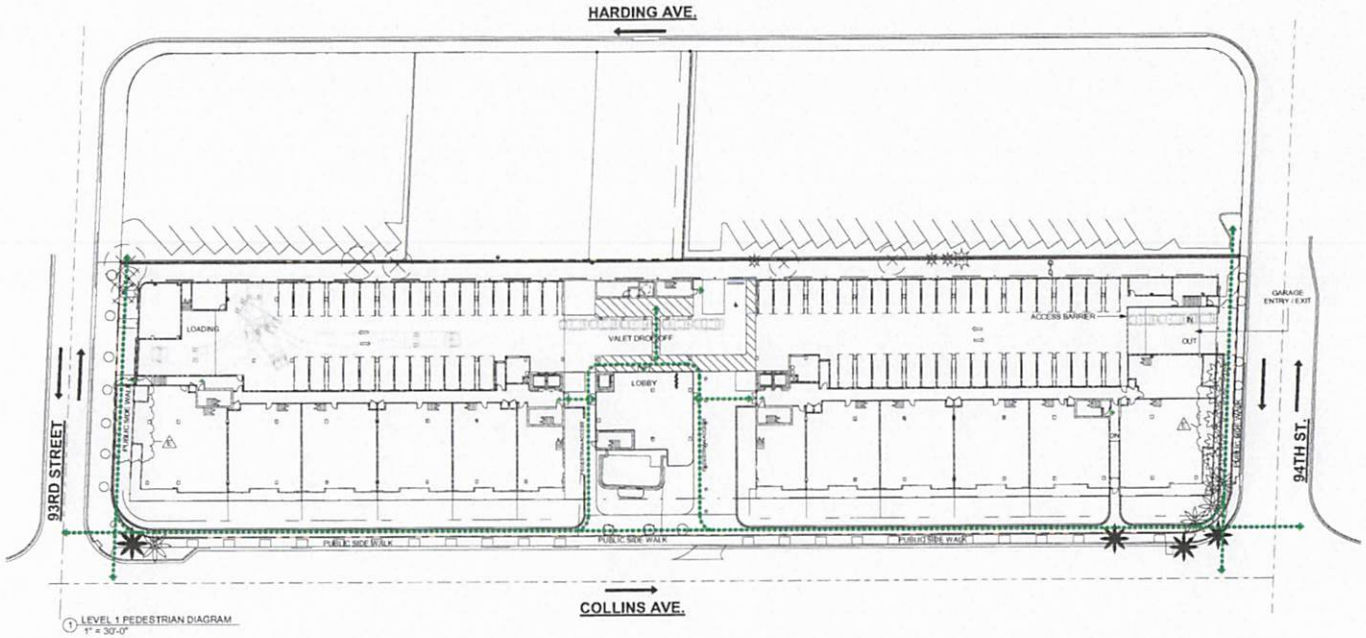
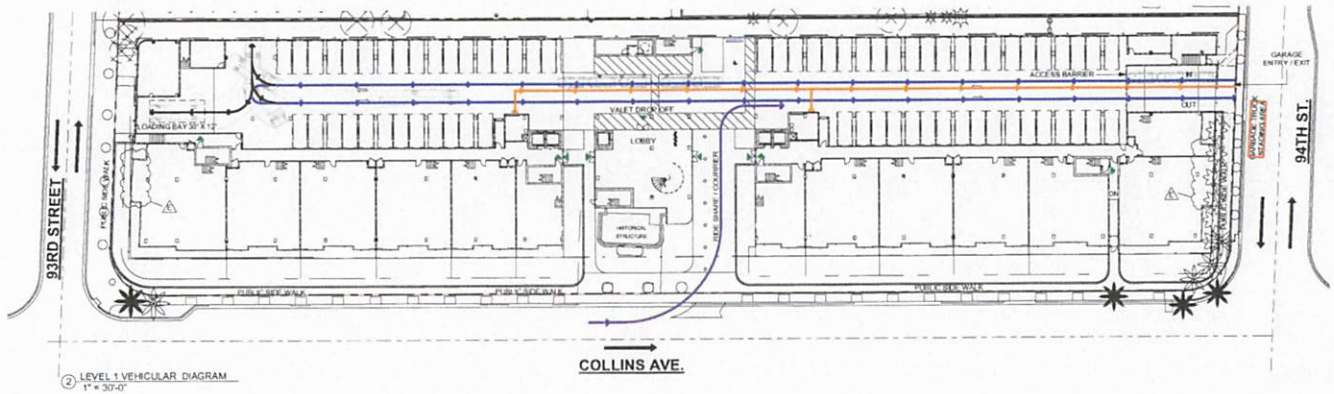


1 LEVEL 1 PEDESTRIAN DIAGRAM
1" = 30'-0"



2 LEVEL 1 VEHICULAR DIAGRAM
1" = 30'-0"

LEGEND

- PEDESTRIAN CIRCULATION
- VEHICULAR CIRCULATION
- LOADING CIRCULATION
- REFUSE CIRCULATION
- RIDE SHARE/ COURRIER CIRCULATION

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CONSULTANT

KEY PLAN

GENERAL NOTES

SEAL & SIGNATURE
STATE OF FLORIDA
JANA KOLEV
AR90811
REGISTERED ARCHITECT

NO	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
D	ISSUED FOR SITE PLAN REVISIONS	26-AUG-2024
E	ISSUED FOR SITE PLAN REVISIONS	13-SEP-2024

NOT FOR CONSTRUCTION

SHEET NAME
CIRCULATION DIAGRAMS

SHEET NO.
G_004

PROJECT NO. 2303
DATE 13-OCT-2023
SCALE 1" = 30'-0"

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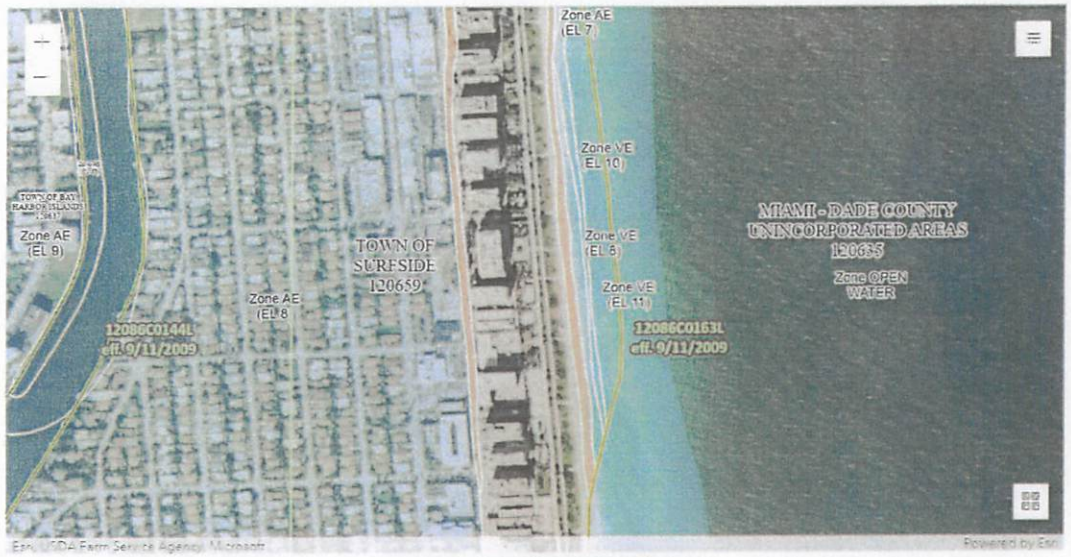
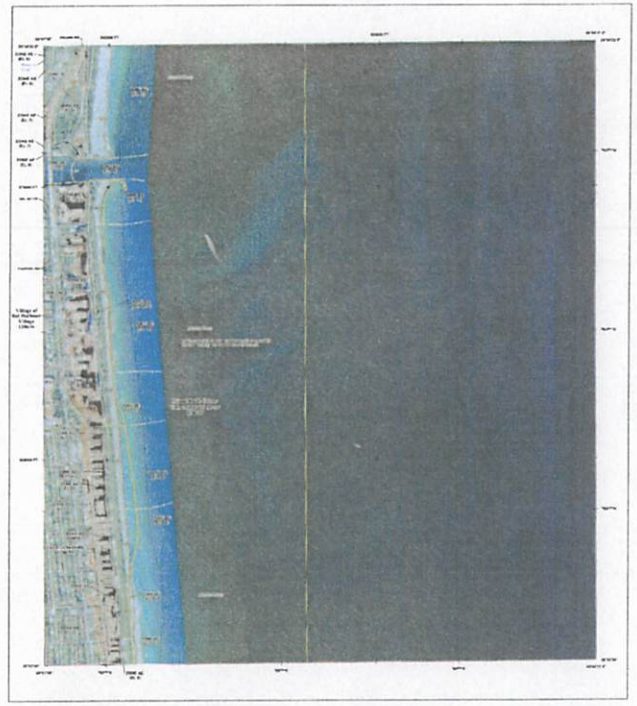


CURRENT FEMA MAP



PRELIMINARY/PROPOSED FEMA MAP (12086C0163M)

PROJECT
9300 COLLINS AVE
9300 COLLINS AVE, SURFSIDE, FL 33154

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CONSULTANT

KEY PLAN

GENERAL NOTES

SEAL & SIGNATURE
STATE OF FLORIDA
IANA KOLEV
AR99811
REGISTERED ARCHITECT

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023

NOT FOR CONSTRUCTION

SHEET NAME
FEMA FLOOD MAP

SHEET NO.
G_005

PROJECT NO. 2303
DATE 13-OCT-2023
SCALE

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HISTORIC BUILDING: THE BOUGAIN VILLEA APARTMENT MOTEL

9340 COLLINS AVE, MIAMI BEACH, FLORIDA 33154

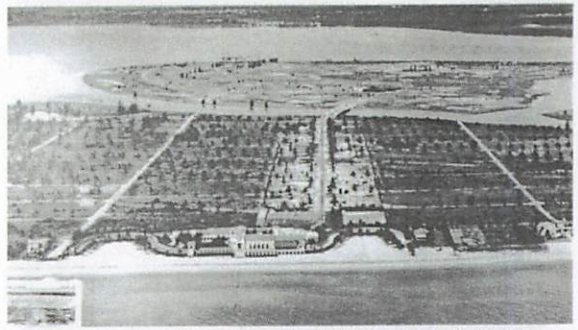
THE TWO-STORY APARTMENT BUILDING, WHICH WAS BUILT IN 1940, HAS 21 UNITS. THE STRUCTURE HAS NOT BEEN OCCUPIED SINCE 2015.

2023 Aerial View from Google satelite image

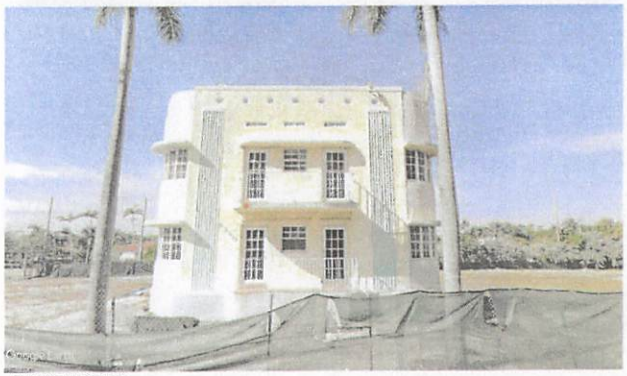
Postcard Image of The Bougain Villea Apt, Motel's courtyard

Google Earth displays a satellite-taken image of Bougainvillea Apartment and its neighborhood from 1995.

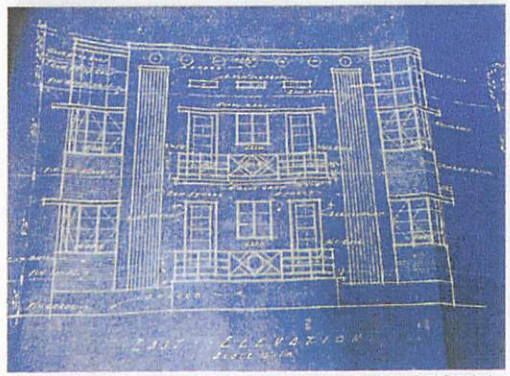
Postcard Image of The Bougain Villea Apt, Motel's courtyard



Aerial view toward the west, showing the finished Surf Club. Surfside Boulevard was the focus of early development by the Seaway Corporation, while the rest of the neighborhood remained undeveloped and covered with trees in 1935. (Image # WE914. Courtesy of the Wander Collection, Florida Memory Collection.)



2023 Street View from Google Earth



Original blueprint from the office of T. Hunter Henderson, JR., Architect, showing the east elevation, facing Collins Avenue, of Bougainvillea apartments. The overall design and character of the building remains evident too, in spite changes made to the windows, doors, and railings September 18, 1940.

Atlas Del Mar No. 5 Plat from Plat Book of Miami Beach/Golden Beach Florida, published by G.M. Hopkins Co.

PROJECT	KEY PLAN	GENERAL NOTES	SEAL & SIGNATURE	NO.	DESCRIPTION	DATE	SHEET NAME
9300 COLLINS AVE 9300 COLLINS AVE, SURFSIDE, FL 33154			STATE OF FLORIDA IANA KOLEV AR99811 REGISTERED ARCHITECT		ISSUED FOR SITE PLAN REVIEW	13-OCT-2023	HISTORICAL BUILDING
CLIENT	DEVELOPMENT & CONSTRUCTION MANAGER	ARCHITECT	CONSULTANT				SHEET NO.
KUSHNER 9300 COLLINS OWNER LLC C/O KUSHNER 767 FIFTH AVENUE, 50 FL, NEW YORK, NEW YORK 10153 T +1 212 527 7000 WWW.KUSHNER.COM		PALMA JO PALMA + PARTNERS CORPORATION 1143 W RUNDELL PLACE, #203, CHICAGO, ILLINOIS 60607 T +1 312 496 2117 INFO@PALMA.GLOBAL			NOT FOR CONSTRUCTION		G_007
							PROJECT NO. Z303
							DATE 13-OCT-2023
							SCALE 3" = 1'-0"

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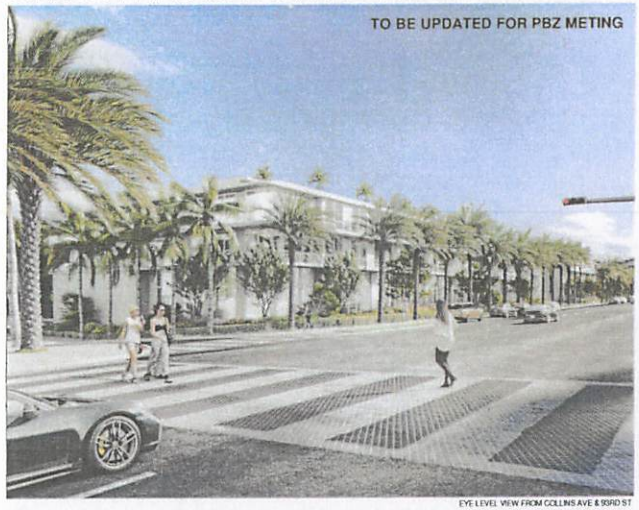

EYE LEVEL VIEW FROM COLLINS AVE & 93RD ST

AERIAL VIEW LOOKING NORTH WEST

EYE LEVEL VIEW ALONG COLLINS AVE

EYE LEVEL VIEW AT 94TH ST LOOKING EAST

PROJECT

9300 COLLINS AVE

9300 COLLINS AVE, SURFSIDE, FL 33154

CLIENT

KUSHNER

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CONSULTANT

KEY PLAN

GENERAL NOTES

1. CGIS PROVIDED FOR VISUAL REFERENCE ONLY. REFER TO PLANS AND ELEVATIONS FOR DIMENSIONS AND PROPOSED MATERIALS
2. CGI TO BE UPDATED PRIOR TO TOWN COMISSIONING MEETING

SEAL & SIGNATURE

STATE OF FLORIDA
IANA KOLEV
AR99811
REGISTERED ARCHITECT

NO.	DESCRIPTION	DATE
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SHEET NAME

RENDERINGS

SHEET NO.

G_008

PROJECT NO. 2303

DATE 13-OCT-2023

SCALE

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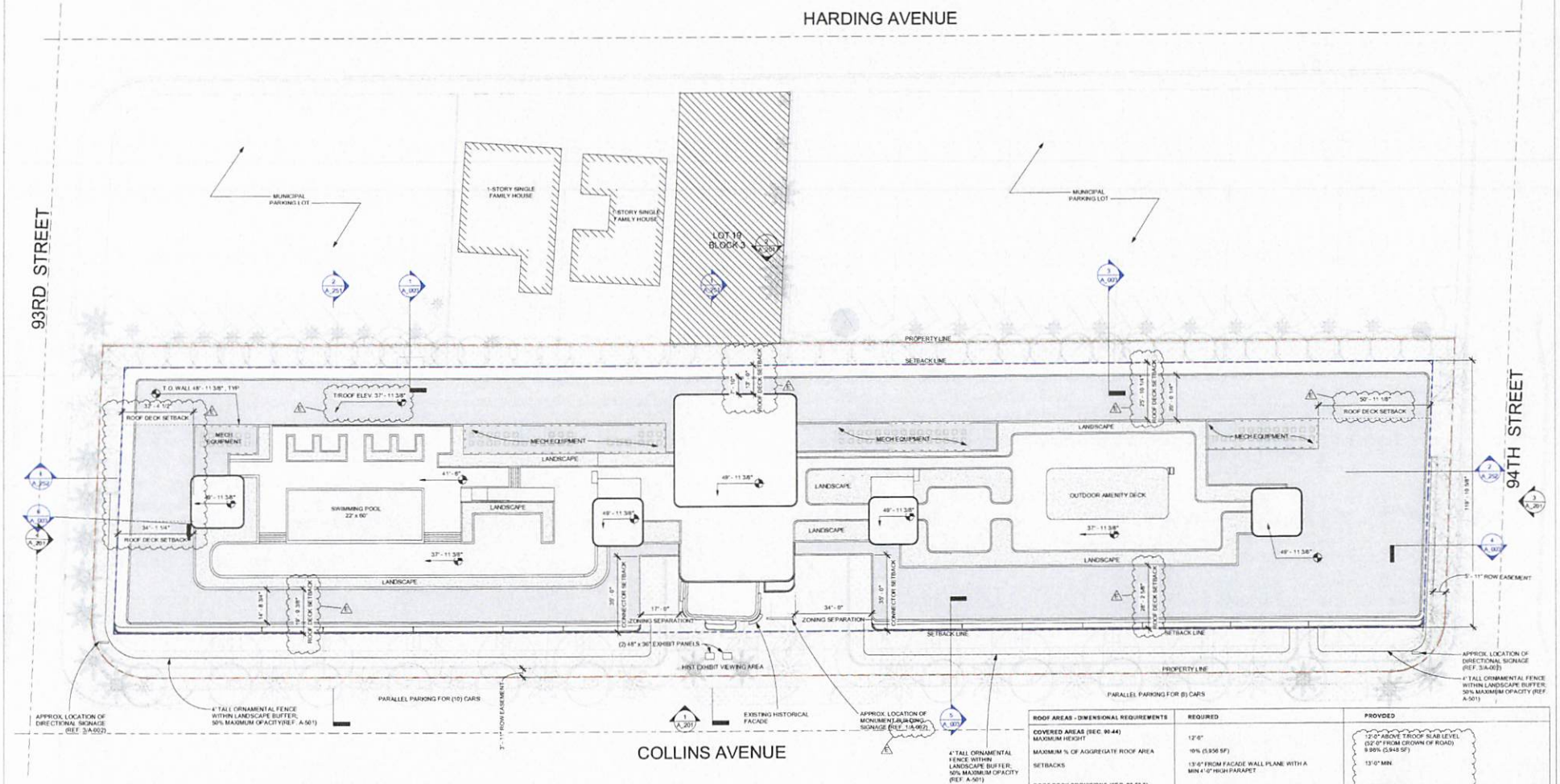

1 ARCHITECTURAL SITE PLAN - DRG
1" = 20'-0"

1" = 20'
0' 10' 20' 40' 80'

ROOF AREAS - DIMENSIONAL REQUIREMENTS	REQUIRED	PROVIDED
COVERED AREAS (SEC. 90-44) MAXIMUM HEIGHT	12'-0"	12'-0" ABOVE T.ROOF SLAB LEVEL (52'-0" FROM CROWN OF ROAD)
MAXIMUM % OF AGGREGATE ROOF AREA	10% (5,956 SF)	9.99% (5,948 SF)
SETBACKS	13'-0" FROM FACADE WALL PLANE WITH A MIN 4'-0" HIGH PARAPET	13'-0" MIN.
ROOF DECK PROVISIONS (SEC. 90-50.2) MAXIMUM % OF AGGREGATE ROOF AREA	78% (47,660 SF)	49% (33,148 SF)
MAXIMUM HEIGHT	SHALL NOT EXCEED THE MAXIMUM ROOF HEIGHT REQUIRED BY ANY ABUTTING PROPERTY'S ZONING DESIGNATION	4'-0" ABOVE T.ROOF SLAB LEVEL (44'-0" FROM CROWN OF ROAD)
SETBACK FROM ROOFLINE	10'-0" MIN	13'-0" MIN.

PROJECT
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INFO@PALMA.GLOBAL

CONSULTANT

KEY PLAN

GENERAL NOTES
1. ELEVATION DEFINITION:
1.a PROJECT 0'-0" = 10.17 NAVD,11.72 NGVD.
2. REFER TO CIVIL DRAWINGS FOR GRADING INFORMATION.
3. REFER TO LANDSCAPE DRAWINGS FOR HARDSCAPE, PLANTING, AND SITE LIGHTING AND FURNITURE INFORMATION.
4. REFER TO A-101 FOR GROUND FLOOR DOCUMENTATION.

SEAL & SIGNATURE
STATE OF FLORIDA
JANA KOLEV
AR99611
REGISTERED ARCHITECT

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
B	ISSUED FOR SITE PLAN REVISIONS	29-DEC-2023
D	ISSUED FOR SITE PLAN REVISIONS	28-AUG-2024
E	ISSUED FOR SITE PLAN REVISIONS	13-SEP-2024

NOT FOR CONSTRUCTION

SHEET NAME
ARCHITECTURAL SITE PLAN

SHEET NO.
A_001

PROJECT NO. 2303
DATE 13-OCT-2023
SCALE As indicated

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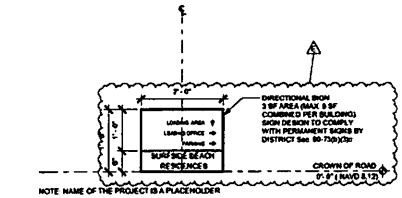
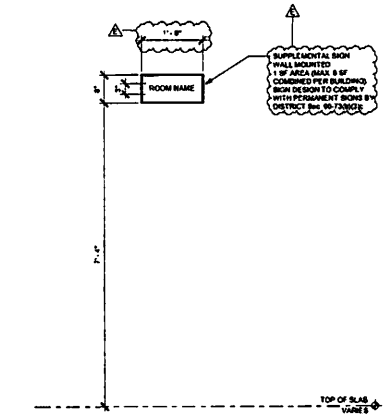
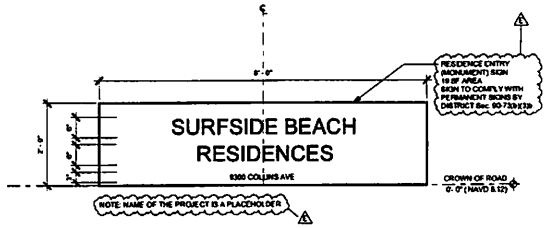


3 DIRECTIONAL (SUPPLEMENTAL) SIGN
3/4" = 1'-0"



2 SUPPLEMENTAL SIGN
3/4" = 1'-0"



1 MONUMENT SIGN
3/4" = 1'-0"

PROJECT
9300 COLLINS AVE
9300 COLLINS AVE, SURFSIDE, FL 33154

CLIENT
KUSHNER
9300 COLLINS OWNER LLC C/O KUSHNER
767 FIFTH AVENUE, 50 FL, NEW YORK, NEW YORK 10153
T +1 212 527 7003
WWW.KUSHNER.COM

DEVELOPMENT & CONSTRUCTION MANAGER

ARCHITECT
PALMA
JO PALMA + PARTNERS CORPORATION
1143 W RUNDELL PLACE, #203, CHICAGO, ILLINOIS 60607
T +1 312 466 3117
INFO@PALMA.OB.COM

CONSULTANT

KEY PLAN

GENERAL NOTES:
1. NAME OF THE PROJECT IS A PLACEHOLDER
2. REFER TO CIVIL DWGS. FOR TRAFFIC RELATED MARKINGS AND SIGNAGE
3. SIGNAGE SHOWN FOR GENERAL DESIGN INTENT ONLY. REFER TO SIGNAGE DRAWINGS ISSUED UNDER SEPERATE COVER FOR COMPREHENSIVE DETAILS INCLUDING MATERIALS, COLORS, AND FONTS

SEAL & SIGNATURE
STATE OF FLORIDA
JANA KOLEV
AR99611
LICENSED
REGISTERED ARCHITECT

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
0	ISSUED FOR SITE PLAN REVISIONS	13-06 P-2024

NOT FOR CONSTRUCTION

SHEET NAME
SITE SIGNAGE

SHEET NO.
A_002

PROJECT NO.	2303
DATE	13-OCT-2023
SCALE	3/4" = 1'-0"

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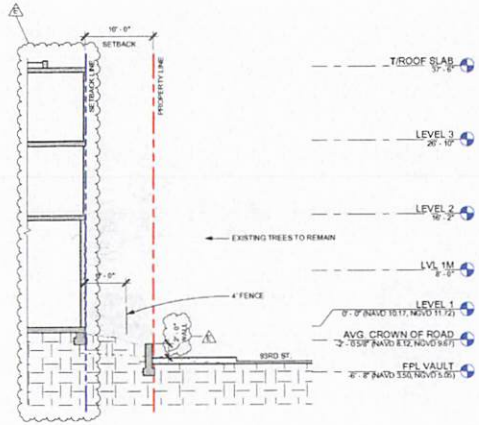
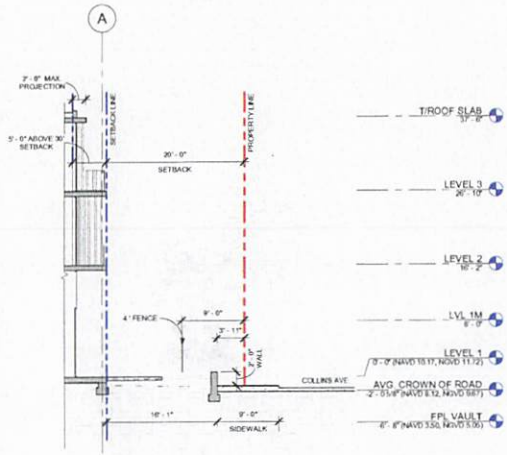
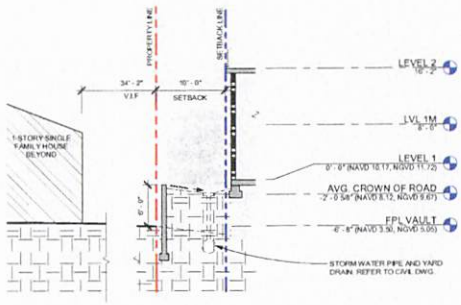


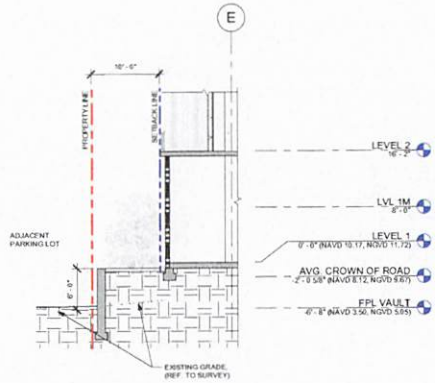
6 SITE SECTION ALONG 93RD
1/8" = 1'-0"



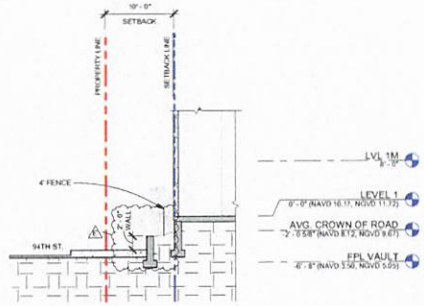
5 SITE SECTION ALONG COLLINS
1/8" = 1'-0"



1 SITE SECTION ALONG ADJ. PARKING
1/8" = 1'-0"



3 SITE SECTION ALONG ADJ. PARKING
1/8" = 1'-0"



4 SITE SECTION ALONG 94TH
1/8" = 1'-0"

PROJECT
9300 COLLINS AVE
9300 COLLINS AVE, SURFSIDE, FL 33154

CLIENT
KUSHNER
9300 COLLINS OWNER LLC C/O KUSHNER
767 FIFTH AVENUE, 50 FL, NEW YORK, NEW YORK 10153
T +1 212 527 7000
WWW.KUSHNER.COM

DEVELOPMENT & CONSTRUCTION MANAGER

ARCHITECT
PALMA
JO PALMA + PARTNERS CORPORATION
1143 W RUNDELL PLACE, #203, CHICAGO, ILLINOIS 60607
T +1 312 496 3117
INFO@PALMA.GLOBAL

CONSULTANT

KEY PLAN

GENERAL NOTES
1. ELEVATION DEFINITION:
1.a PROJECT 0'-0" = 10.17 NAVD, 11.72 NGVD.
2. REFER TO CIVIL DRAWINGS FOR GRADING INFORMATION.
3. REFER TO LANDSCAPE DRAWINGS FOR HARDSCAPE, PLANTING, AND SITE LIGHTING AND FURNITURE INFORMATION.
4. REFER TO A-161 FOR GROUND FLOOR DOCUMENTATION.

SEAL & SIGNATURE
STATE OF FLORIDA
JANA KOLEV
AR99811
REGISTERED ARCHITECT

NO.	DESCRIPTION	DATE
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
	IN-PROGRESS DESIGN DEVELOPMENT	08-DEC-2023
	IN-PROGRESS DESIGN DEVELOPMENT	12-JAN-2024
	ISSUED FOR DESIGN DEVELOPMENT	23-FEB-2024
D	ISSUED FOR SITE PLAN REVISIONS	28-AUG-2024
E	ISSUED FOR SITE PLAN REVISIONS	13-SEP-2024

NOT FOR CONSTRUCTION

SHEET NAME
SITE SECTIONS

SHEET NO.
A_003

PROJECT NO. 2303
DATE 13-OCT-2023
SCALE 1/8" = 1'-0"

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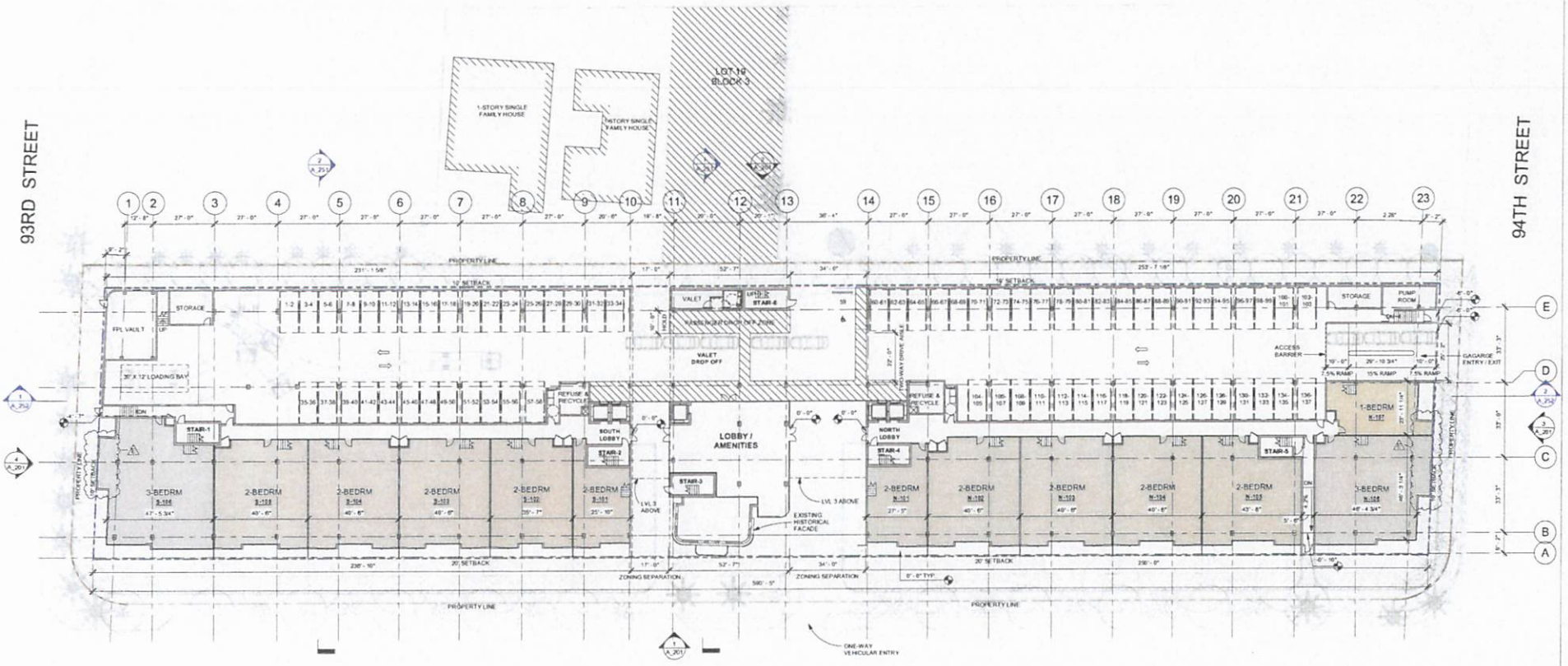
HARDING AVENUE

93RD STREET

94TH STREET



COLLINS AVENUE

1 LEVEL 1 PLAN
1" = 20'-0"

1" = 20'
0' 10' 20' 40' 80'

PROJECT
9300 COLLINS AVE
9300 COLLINS AVE, SURFSIDE, FL 33154

CLIENT
KUSHNER
9300 COLLINS OWNER LLC C/O KUSHNER
767 FIFTH AVENUE, 50 FL, NEW YORK, NEW YORK 10153
T +1 212 527 7000
WWW.KUSHNER.COM

DEVELOPMENT & CONSTRUCTION MANAGER

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1143 W RUNDELL PLACE, #203, CHICAGO, ILLINOIS 60607
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CONSULTANT

KEY PLAN

GENERAL NOTES
* CAPACITY INCREASE BASED ON BUILDING'S AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH FBC SECTION 903.3.1.1 OR 903.3.1.2 AND AN EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM IN ACCORDANCE WITH FBC SECTION 907.5.2.2.

1. REFER TO CIVIL DRAWINGS FOR EXISITNG AND NEW ROW AND UTILITIES EASEMENTS.
2. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR PROPOSED PAVEMENT AND LANDSCAPE EXTENTS AND MATERIALS.
3. REFER TO A-001 FOR SITE RELATED ITEMS.
4. ELEVATION DEFINITION:
   1 = PROJECT 0'-0" = 10.17 NAVD,11.72 NGVD

SEAL & SIGNATURE
STATE OF FLORIDA
JAMA KOLEV
AR99811
REGISTERED ARCHITECT

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
C	ISSUED FOR SITE PLAN REVISIONS	11-MAR-2024
D	ISSUED FOR SITE PLAN REVISIONS	28-AUG-2024
E	ISSUED FOR SITE PLAN REVISIONS	13-SEP-2024

NOT FOR CONSTRUCTION

SHEET NAME
LEVEL 1 PLAN

SHEET NO.
A_101

PROJECT NO.	2303
DATE	13-OCT-2023
SCALE	1" = 20'-0"

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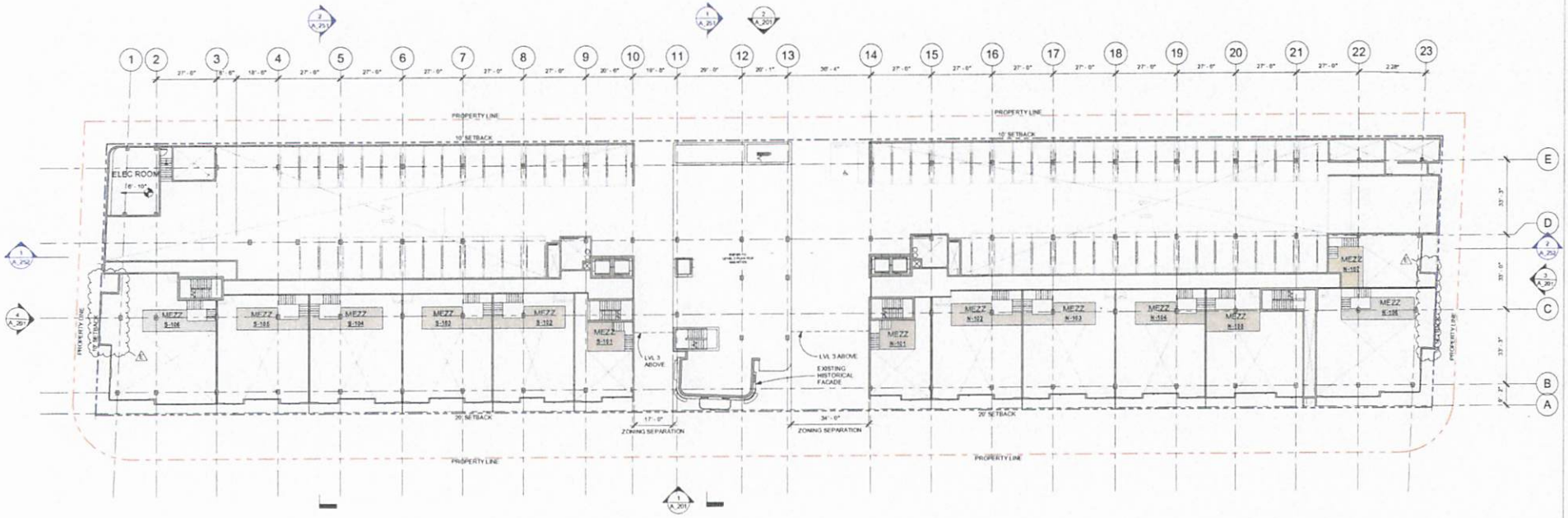

1 LEVEL 1M PLAN
1" = 20'-0"

1" = 20'
0' 10' 20' 40' 80'

PROJECT
9300 COLLINS AVE
9300 COLLINS AVE, SURFSIDE, FL 33154

CLIENT
KUSHNER
9300 COLLINS OWNER LLC C/O KUSHNER
767 FIFTH AVENUE, 50 FL, NEW YORK, NEW YORK 10153
T +1 212 527 7000
WWW.KUSHNER.COM

DEVELOPMENT & CONSTRUCTION MANAGER

ARCHITECT
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T +1 312 466 3117
INFO@PALMA.GLOBAL

CONSULTANT

KEY PLAN

GENERAL NOTES
* CAPACITY INCREASE BASED ON BUILDING'S AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH FBC SECTION 903.3.1.1 OR 903.3.1.2 AND AN EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM IN ACCORDANCE WITH FBC SECTION 907.5.2.2.

1 ELEVATION DEFINITION:
1.a PROJECT 0'-0" =
10.17 NAVD,11.72 NGVD.

SEAL & SIGNATURE
STATE OF FLORIDA
JANA KOLEV
AR99811
REGISTERED ARCHITECT

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
C	ISSUED FOR SITE PLAN REVISIONS	11-MAR-2024
D	ISSUED FOR SITE PLAN REVISIONS	28-AUG-2024
E	ISSUED FOR SITE PLAN REVISIONS	13-SEP-2024

NOT FOR CONSTRUCTION

SHEET NAME
LEVEL 1M PLAN

SHEET NO.
A_101M

PROJECT NO. 2303
DATE 13-OCT-2023
SCALE 1" = 20'-0"

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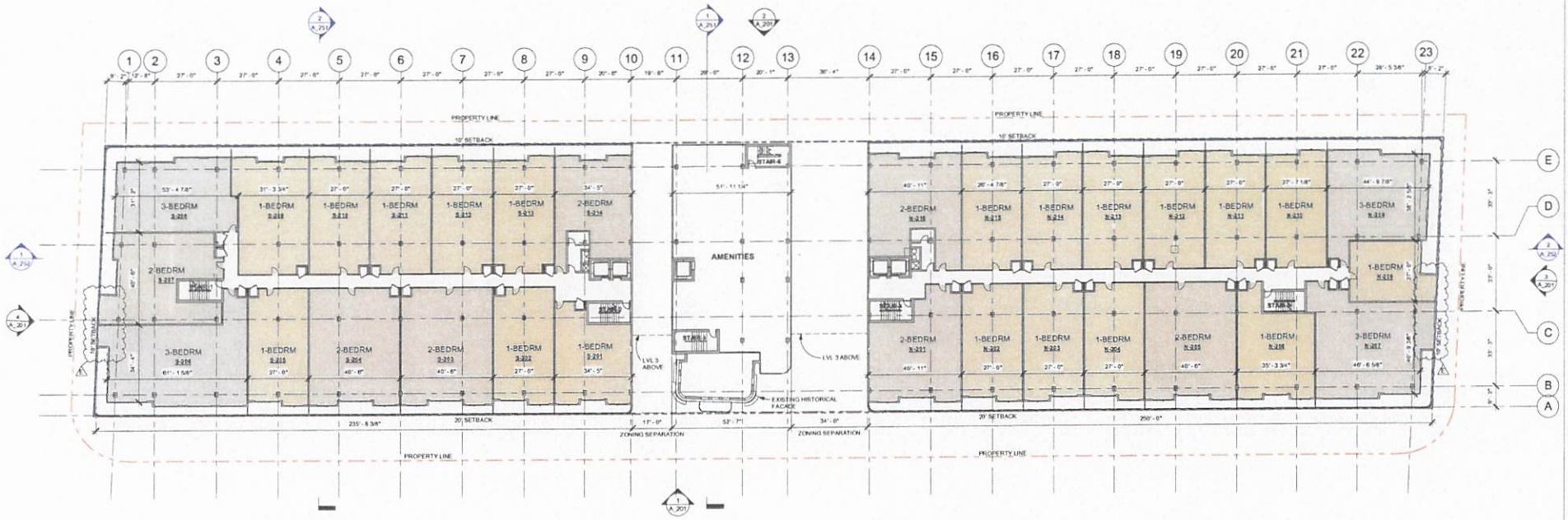

1 LEVEL 2 PLAN
1" = 20'-0"

1" = 20'
0' 10' 20' 40' 80'

PROJECT
9300 COLLINS AVE
9300 COLLINS AVE, BURFSIDE, FL 33154

CLIENT
KUSHNER
9300 COLLINS OWNER LLC C/O KUSHNER
767 FIFTH AVENUE, 50 FL, NEW YORK, NEW YORK 10153
T +1 212 527 7000
WWW.KUSHNER.COM

DEVELOPMENT & CONSTRUCTION MANAGER

ARCHITECT
PALMA
JO PALMA + PARTNERS CORPORATION
1143 W RUNDELL PLACE, #203, CHICAGO, ILLINOIS 60607
T +1 312 466 3117
INFO@PALMA.GLOBAL

CONSULTANT

KEY PLAN

GENERAL NOTES
* CAPACITY INCREASE BASED ON BUILDING'S AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH FBC SECTION 903.3.1.1 OR 903.3.1.2 AND AN EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM IN ACCORDANCE WITH FBC SECTION 907.5.2.2

1. ELEVATION DEFINITION:
   1.a PROJECT 0'-0" = 10.17 NAVD,11.72 NGVD.

SEAL & SIGNATURE
STATE OF FLORIDA
IANA KOLEV
AR99811
REGISTERED ARCHITECT

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
D	ISSUED FOR SITE PLAN REVISIONS	28-AUG-2024
E	ISSUED FOR SITE PLAN REVISIONS	13-SEP-2024

NOT FOR CONSTRUCTION

SHEET NAME
LEVEL 2 PLAN

SHEET NO.
A_102

PROJECT NO. 2303
DATE 13-OCT-2023
SCALE 1" = 20'-0"

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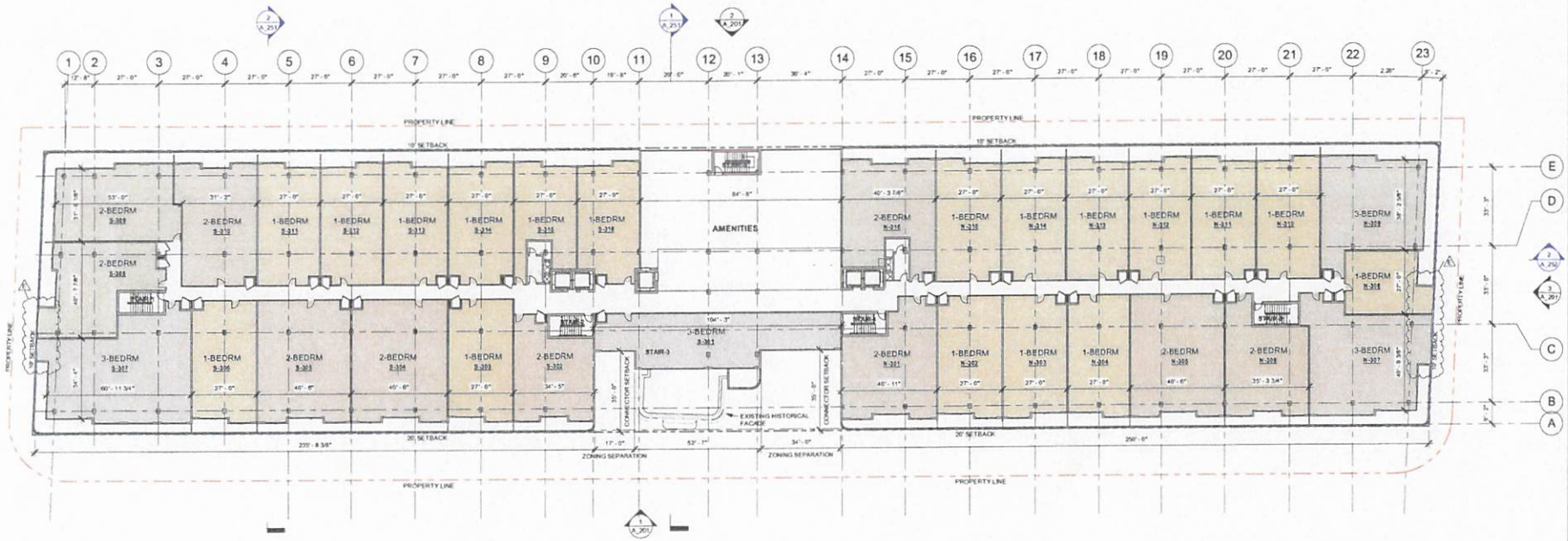

1 LEVEL 3 PLAN
1" = 20'-0"

1" = 20'
0' 10' 20' 40' 80'

PROJECT
9300 COLLINS AVE
9300 COLLINS AVE, SURFSIDE, FL 33154

CLIENT
KUSHNER
9300 COLLINS OWNER LLC C/O KUSHNER
767 FIFTH AVENUE, 50 FL, NEW YORK, NEW YORK 10153
T +1 212 527 7500
WWW.KUSHNER.COM

DEVELOPMENT & CONSTRUCTION MANAGER

ARCHITECT
PALMA
JO PALMA + PARTNERS CORPORATION
1143 W RUNDELL PLACE #203, CHICAGO, ILLINOIS 60607
T +1 312 496 3117
INFO@PALMA.GLOBAL

CONSULTANT

KEY PLAN

GENERAL NOTES
* CAPACITY INCREASE BASED ON BUILDING'S AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH FBC SECTION 903.3.1.1 OR 903.3.1.2 AND AN EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM IN ACCORDANCE WITH FBC SECTION 907.5.2.2.

1. ELEVATION DEFINITION:
   1.a PROJECT 0'-0" = 10.11 NAVD,11.72 NGVD.

SEAL & SIGNATURE
STATE OF FLORIDA
LAMA KOLEV
AR90611
REGISTERED ARCHITECT

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
D	ISSUED FOR SITE PLAN REVISIONS	28-AUG-2024
E	ISSUED FOR SITE PLAN REVISIONS	13-SEP-2024

NOT FOR CONSTRUCTION

SHEET NAME
LEVEL 3 PLAN

SHEET NO.
A_103

PROJECT NO. 2303
DATE 13-OCT-2023
SCALE 1" = 20'-0"

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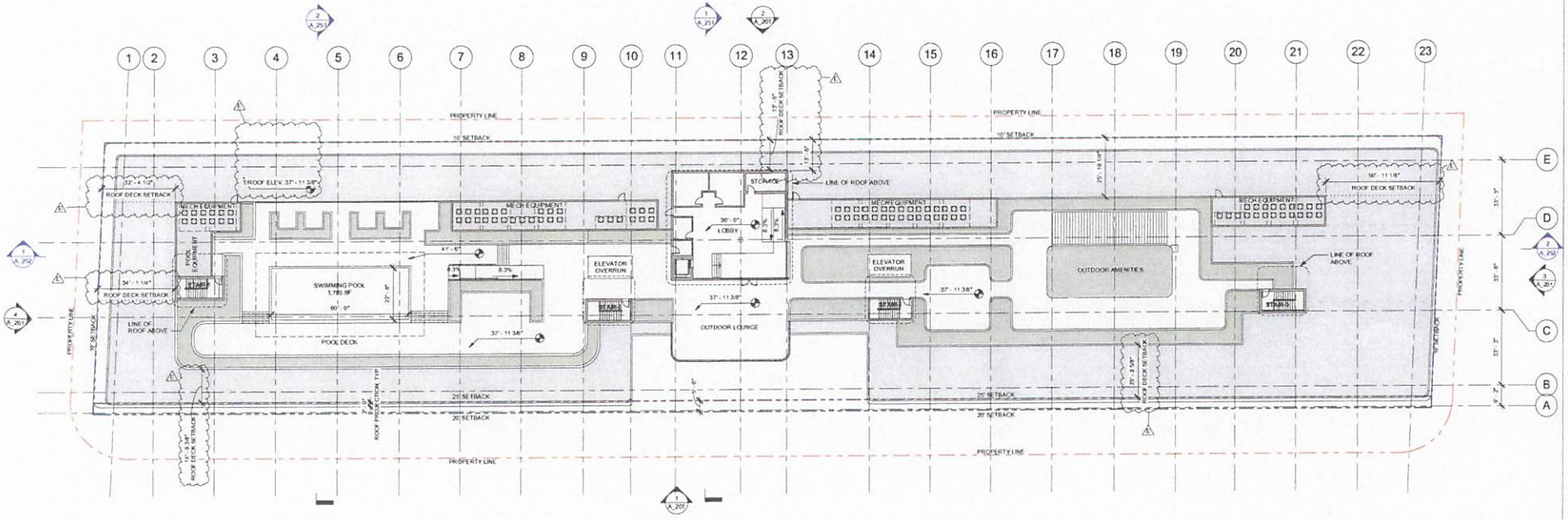

1 POOL DECK PLAN
1" = 20'-0"

1" = 20'
0' 10' 20' 40' 80'

PROJECT
9300 COLLINS AVE
9300 COLLINS AVE, SURFSIDE, FL 33154

CLIENT
KUSHNER
9300 COLLINS OWNER LLC C/O KUSHNER
767 FIFTH AVENUE, 50 FL, NEW YORK, NEW YORK 10153
T +1 212 527 7000
WWW.KUSHNER.COM

DEVELOPMENT & CONSTRUCTION MANAGER

ARCHITECT
PALMA
JO PALMA + PARTNERS CORPORATION
1143 W. RUNDELL PLACE, #263, CHICAGO, ILLINOIS 60607
T +1 312 466 3117
INFO@PALMA.GLOBAL

CONSULTANT

KEY PLAN

GENERAL NOTES
* CAPACITY INCREASE BASED ON BUILDING'S AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH FBC SECTION 903.3.1.1 OR 903.3.1.2 AND AN EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM IN ACCORDANCE WITH FBC SECTION 907.5.2.2.

1. ELEVATION DEFINITION:
1.a PROJECT 0'-0" = 10.17 NAVD, 11.72 NGVD.

SEAL & SIGNATURE
STATE OF FLORIDA
JANA KOLEV
AR99811
REGISTERED ARCHITECT

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
D	ISSUED FOR SITE PLAN REVISIONS	28-AUG-2024
E	ISSUED FOR SITE PLAN REVISIONS	13-SEP-2024

NOT FOR CONSTRUCTION

SHEET NAME
POOL DECK PLAN

SHEET NO.
A_104

PROJECT NO.	2303
DATE	13-OCT-2023
SCALE	1" = 20'-0"

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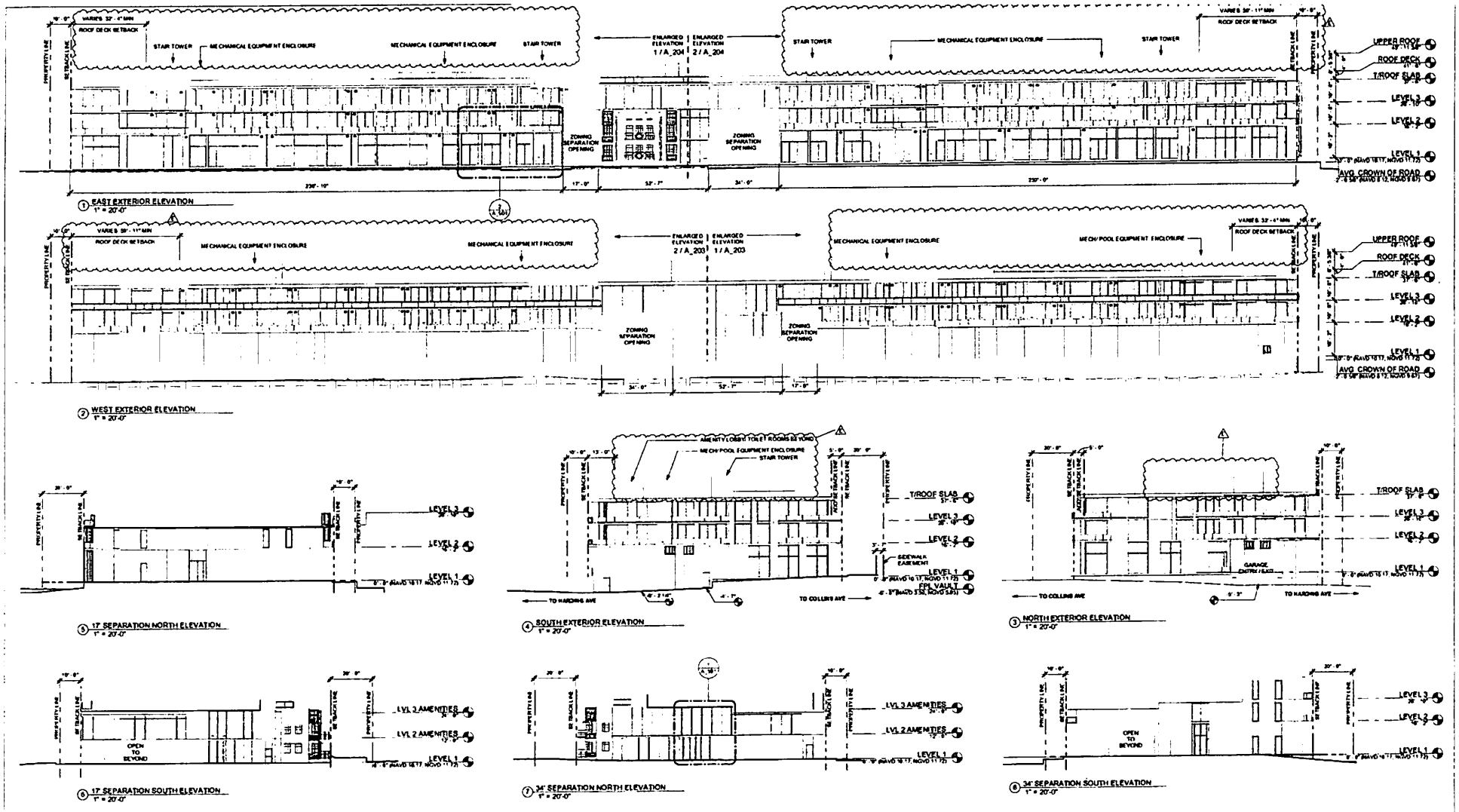

PROJECT

9300 COLLINS AVE

9300 COLLINS AVE, BUNI SEE, FL 33154

CLIENT

KUSHNER

9300 COLLINS OWNER LLC C/O KUSHNER
767 FIFTH AVENUE, 50 FL, NEW YORK, NEW YORK 10153
T +1 212 537 7000
WWW.KUSHNER.COM

DEVELOPMENT & CONSTRUCTION MANAGER

ARCHITECT

PALMA

JO PALMA + PARTNERS CORPORATION
1143 W RUNDELL PLACE, #263 CHICAGO, ILLINOIS 60607
T +1 312 466 3117
INFO@PALMA GLOBAL

CONSULTANT

KEY PLAN

GENERAL NOTES

1. ELEVATION DEFINITION
   1" = PROJECT 0'-0" = 16.17 NAVD, 11.72 NGVD
2. REFER TO CIVIL DRAWINGS FOR GRADING INFORMATION
3. REFER TO LANDSCAPE DRAWINGS FOR HARDSCAPE, PLANTING, AND SITE LIGHTING AND FURNITURE INFORMATION
4. REFER TO A-101 FOR GROUND FLOOR DOCUMENTATION
5. REFER TO SHEETS A-204, A-205, & A-501 FOR FINISHES AND ELEVATION DETAILS

SEAL & SIGNATURE

STATE OF FLORIDA
LANA KOLEV
AR96611
REGISTERED ARCHITECT

NO	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	06-DEC-2023
C	ISSUED FOR SITE PLAN REVISIONS	11-MAR-2024
D	ISSUED FOR SITE PLAN REVISIONS	30-AUG-2024
E	ISSUED FOR SITE PLAN REVISIONS	13-SEP-2024

NOT FOR CONSTRUCTION

SHEET NAME

EXTERIOR ELEVATIONS

SHEET NO

A_201

PROJECT NO 2303

DATE 13-OCT-2023

SCALE 1" = 20'-0"

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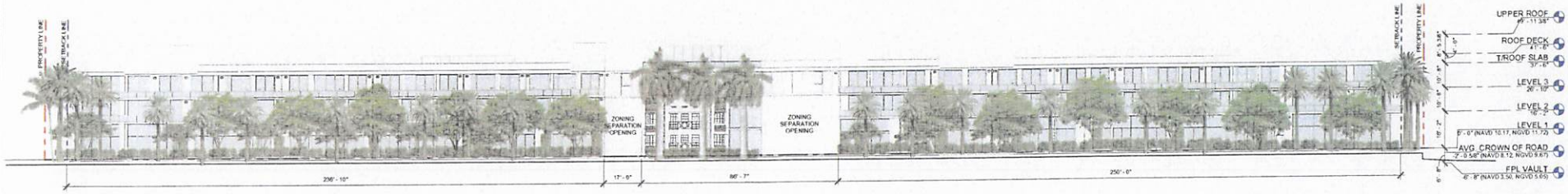
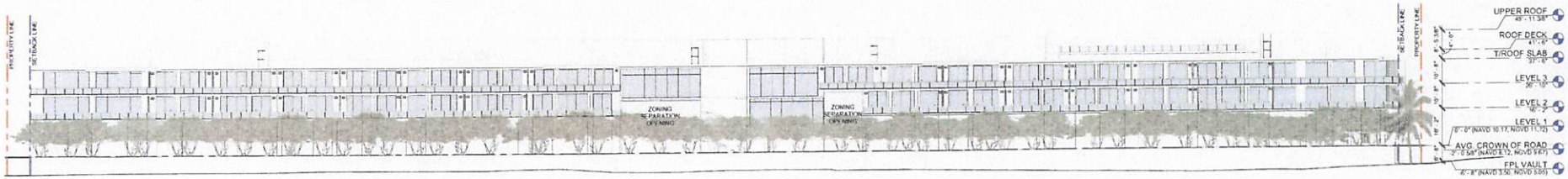
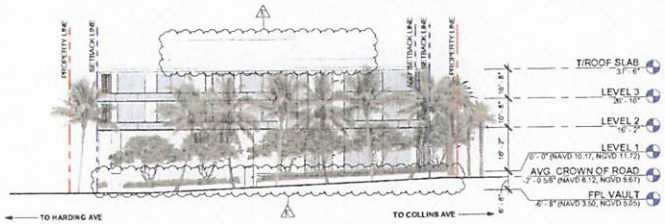


1 EAST ELEVATION WITH LANDSCAPE
1" = 20'-0"



2 WEST ELEVATION WITH LANDSCAPE
1" = 20'-0"



3 SOUTH ELEVATION WITH LANDSCAPE
1" = 20'-0"

4 NORTH ELEVATION WITH LANDSCAPE
1" = 20'-0"

PROJECT
9300 COLLINS AVE
9300 COLLINS AVE, SURFSIDE, FL 33154

CLIENT
KUSHNER
9300 COLLINS OWNER LLC C/O KUSHNER
767 FIFTH AVENUE, 50 FL, NEW YORK, NEW YORK 10153
T +1 212 527 7000
WWW.KUSHNER.COM

DEVELOPMENT & CONSTRUCTION MANAGER

ARCHITECT
PALMA
JO PALMA + PARTNERS CORPORATION
1143 W RUNDELL PLACE, #203, CHICAGO, ILLINOIS 60607
T +1 312 496 3117
INFO@PALMA.GLOBAL

CONSULTANT

KEY PLAN

GENERAL NOTES
1. ELEVATION DEFINITION:
1.a PROJECT 0'-0" = 10.17 NAVD, 11.72 NGVD.
2. REFER TO CIVIL DRAWINGS FOR GRADING INFORMATION.
3. REFER TO LANDSCAPE DRAWINGS FOR HARDSCAPE, PLANTING, AND SITE LIGHTING AND FURNITURE INFORMATION.
4. REFER TO A-101 FOR GROUND FLOOR PROGRAMMATICS.
5. REFER TO SHEETS A-204, A-205, & A-501 FOR FINISHES AND ELEVATION DETAILS.

SEAL & SIGNATURE
STATE OF FLORIDA
IANA KOLEV
AR99811
REGISTERED ARCHITECT

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
D	ISSUED FOR SITE PLAN REVISIONS	28-AUG-2024
E	ISSUED FOR SITE PLAN REVISIONS	13-SEP-2024

NOT FOR CONSTRUCTION

SHEET NAME
EXTERIOR ELEVATIONS WITH LANDSCAPE

SHEET NO.
A_202

PROJECT NO. 2303
DATE 13-OCT-2023
SCALE 1" = 20'-0"

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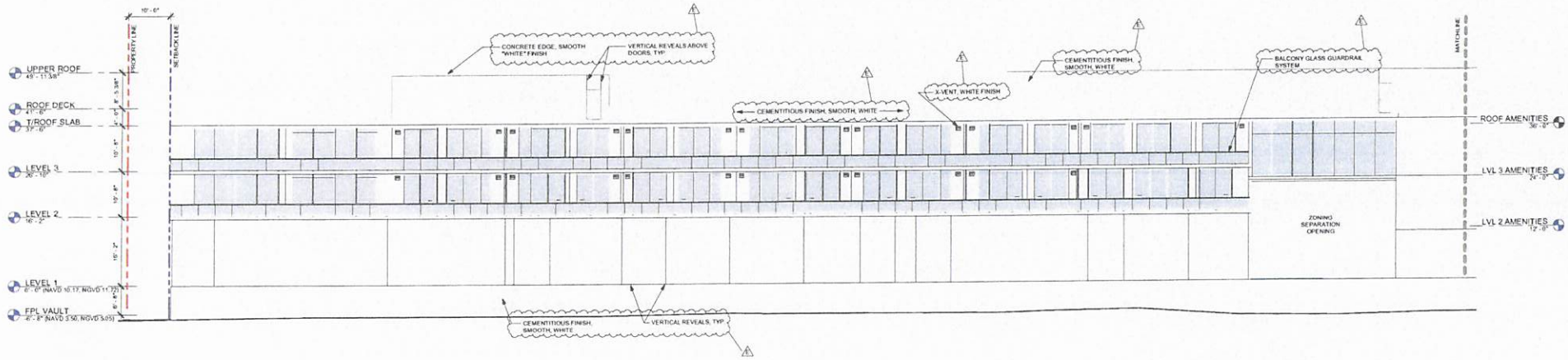
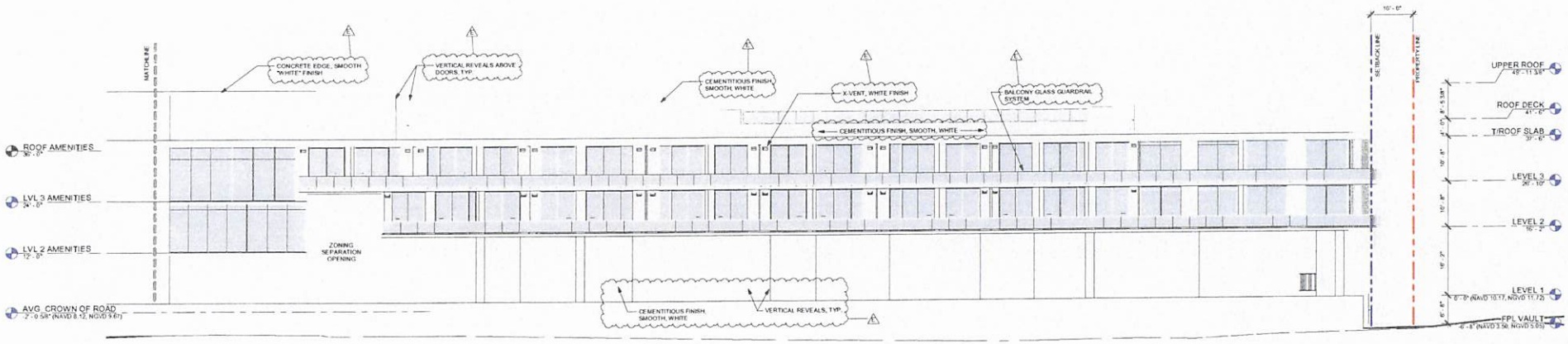


② ENLARGED WEST EXTERIOR ELEVATION
3/32" = 1'-0"



① ENLARGED WEST EXTERIOR ELEVATION
3/32" = 1'-0"

PROJECT
9300 COLLINS AVE
9300 COLLINS AVE, SURFSIDE, FL 33154

CLIENT
KUSHNER
9300 COLLINS OWNER LLC C/O KUSHNER
767 FIFTH AVENUE, 50 FL, NEW YORK, NEW YORK 10153
T +1 212 527 7000
WWW.KUSHNER.COM

DEVELOPMENT & CONSTRUCTION MANAGER

ARCHITECT
PALMA
JO PALMA + PARTNERS CORPORATION
1143 W RUNDELL PLACE, #203, CHICAGO, ILLINOIS 60607
T +1 312 466 3117
INFO@PALMA.GLOBAL

CONSULTANT

KEY PLAN

GENERAL NOTES
1. ELEVATION DEFINITION
   1.a PROJECT 0'-0" = 10.17 NAVD, 11.72 NGVD.
2. REFER TO CIVIL DRAWINGS FOR GRADING INFORMATION.
3. REFER TO LANDSCAPE DRAWINGS FOR HARDSCAPE, PLANTING, AND SITE LIGHTING AND FURNITURE INFORMATION.
4. REFER TO A-101 FOR GROUND FLOOR DOCUMENTATION.
5. REFER TO SHEET A-502 FOR FINISHES AND ELEVATION DETAILS.

SEAL & SIGNATURE
STATE OF FLORIDA
IANA KOLEV
AR99811
REGISTERED ARCHITECT

NO.	DESCRIPTION	DATE
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
B	ISSUED FOR SITE PLAN REVISIONS	29-DEC-2023
D	ISSUED FOR SITE PLAN REVISIONS	28-AUG-2024
E	ISSUED FOR SITE PLAN REVISIONS	13-SEP-2024

NOT FOR CONSTRUCTION

SHEET NAME
ENLARGED WEST EXTERIOR ELEVATION

SHEET NO.
A_203

PROJECT NO.	2303
DATE	13-OCT-2023
SCALE	3/32" = 1'-0"

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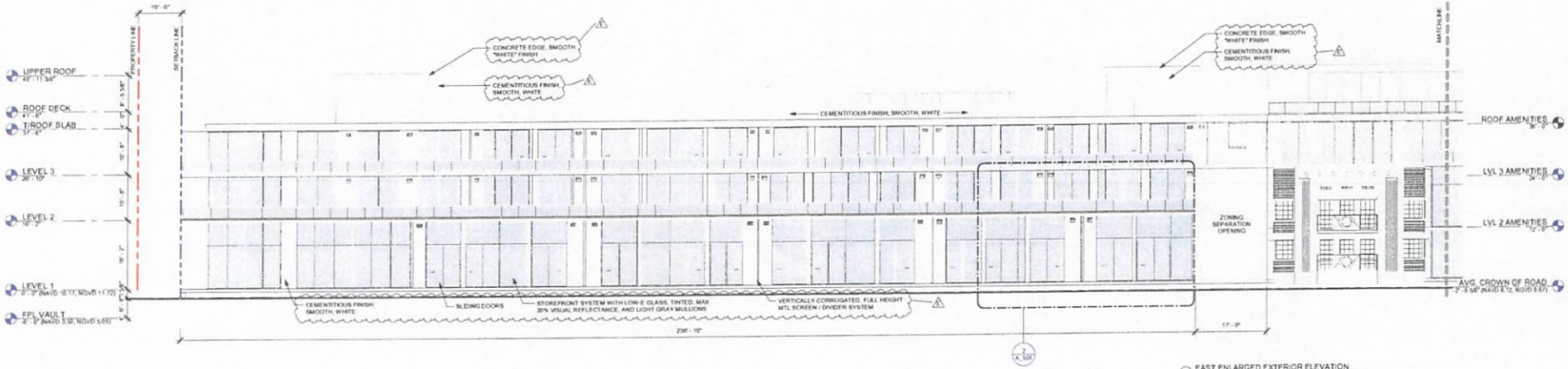
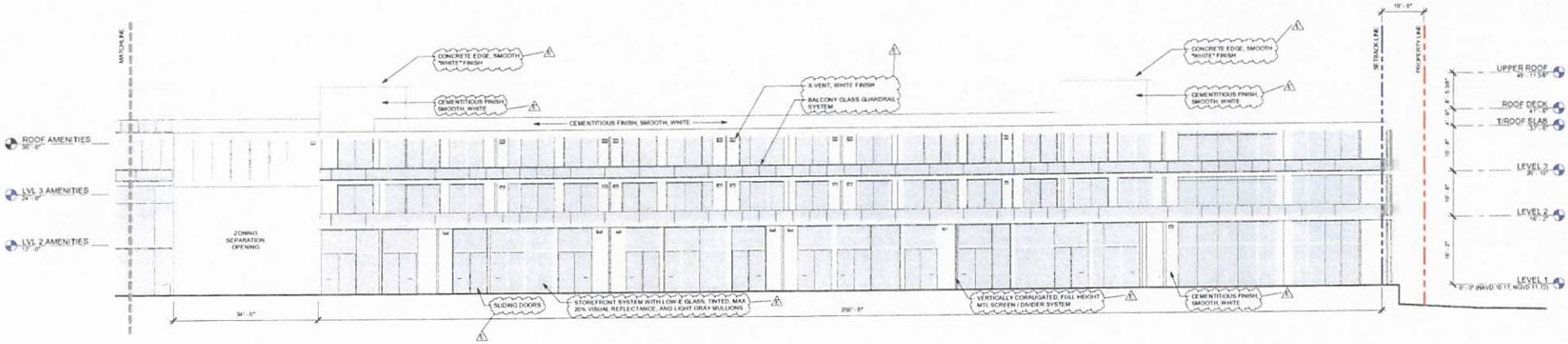


1 EAST ENLARGED EXTERIOR ELEVATION
3/32" = 1'-0"



2 EAST ENLARGED EXTERIOR ELEVATION
3/32" = 1'-0"

PROJECT
9300 COLLINS AVE
9300 COLLINS AVE, SURFSIDE, FL 33154

CLIENT
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   1 = PROJECT 0'-0" = 10.17 NAVD, 11.72 NGVD.
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SEAL & SIGNATURE
STATE OF FLORIDA
JANA KOLEV
AR99811
REGISTERED ARCHITECT

NO.	DESCRIPTION	DATE
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
B	ISSUED FOR SITE PLAN REVISIONS	29-DEC-2023
C	ISSUED FOR SITE PLAN REVISIONS	11-MAR-2024
D	ISSUED FOR SITE PLAN REVISIONS	28-AUG-2024
E	ISSUED FOR SITE PLAN REVISIONS	13-SEP-2024

NOT FOR CONSTRUCTION

SHEET NAME
ENLARGED EAST EXTERIOR ELEVATION

SHEET NO.
A_204

PROJECT NO.	2303
DATE	13-OCT-2023
SCALE	3/32" = 1'-0"

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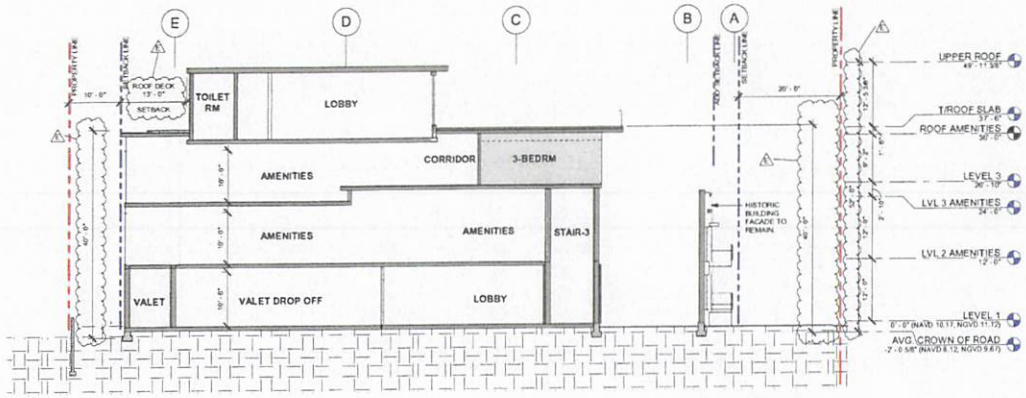
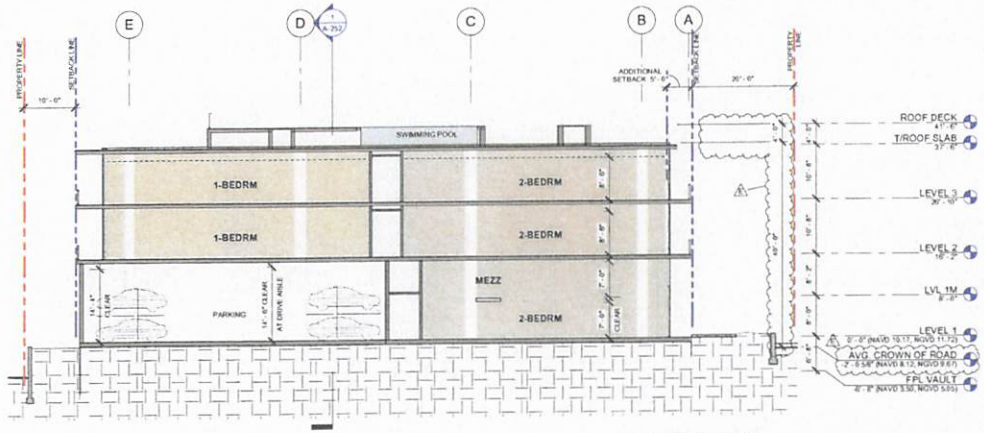


1 SECTION THROUGH LOBBY
3/32" = 1'-0"



2 SECTION THROUGH POOL
3/32" = 1'-0"

PROJECT
9300 COLLINS AVE
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CLIENT
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CONSULTANT

KEY PLAN

GENERAL NOTES
1. ELEVATION DEFINITION:
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SEAL & SIGNATURE
STATE OF FLORIDA
IANA KOLEV
AR99811
REGISTERED ARCHITECT

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
D	ISSUED FOR SITE PLAN REVISIONS	28-AUG-2024
E	ISSUED FOR SITE PLAN REVISIONS	13-SEP-2024

NOT FOR CONSTRUCTION

SHEET NAME
BUILDING SECTIONS

SHEET NO.
A_251

PROJECT NO. 2303
DATE 13-OCT-2023
SCALE 3/32" = 1'-0"

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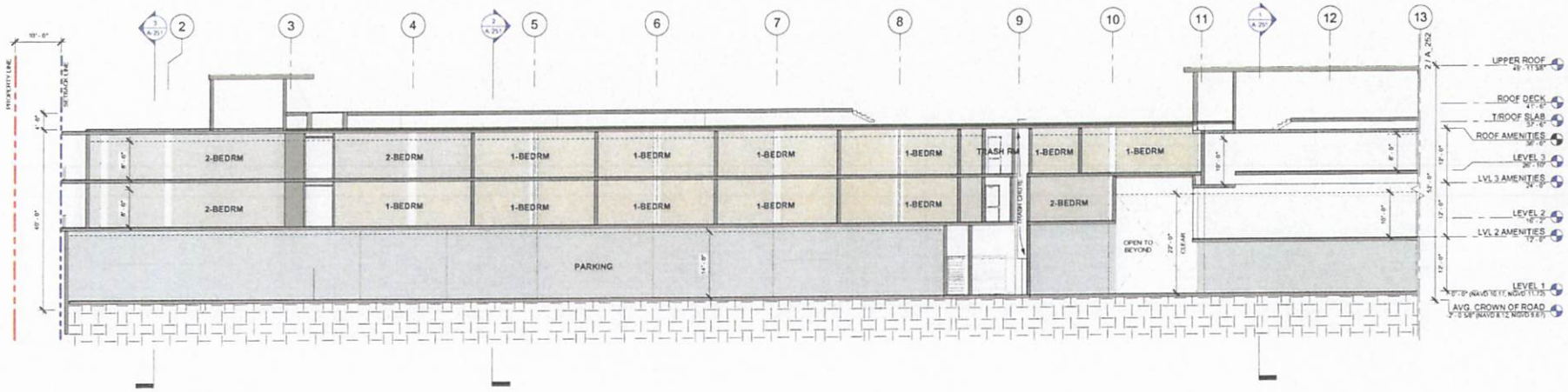
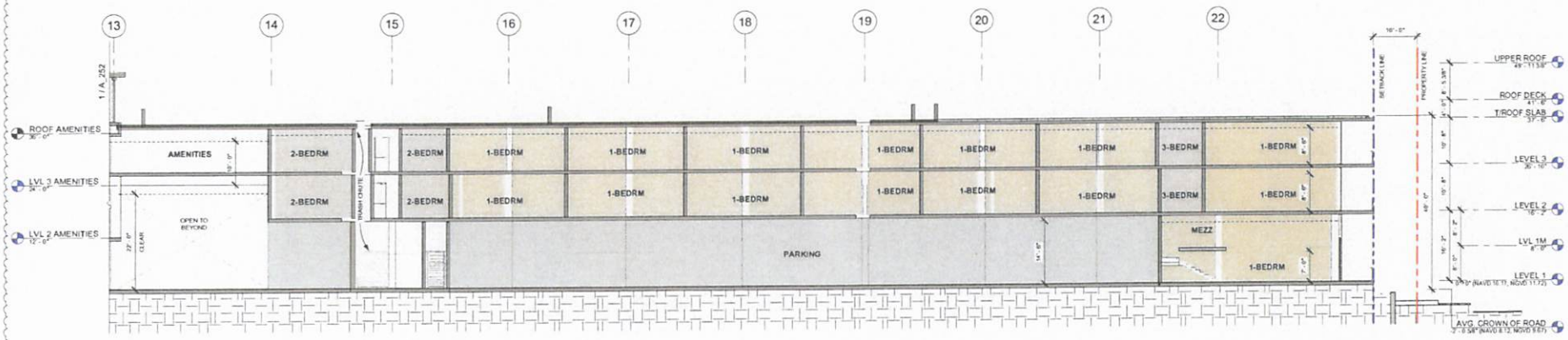


1 LONGITUDINAL BUILDING SECTION SOUTH WING
3/32" = 1'-0"



2 LONGITUDINAL BUILDING SECTION NORTH WING
3/32" = 1'-0"

PROJECT
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SEAL & SIGNATURE
STATE OF FLORIDA
IANA KOLEV
AR.99811
REGISTERED ARCHITECT

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
B	ISSUED FOR SITE PLAN REVISIONS	13-SEP-2024

NOT FOR CONSTRUCTION

SHEET NAME
BUILDING SECTIONS

SHEET NO.
A_252

PROJECT NO. 2303
DATE 13-OCT-2023
SCALE 3/32" = 1'-0"

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LOUVER SYSTEM WITH BACKPAN, COLOR TO MATCH WINDOW WALL MULLIONS

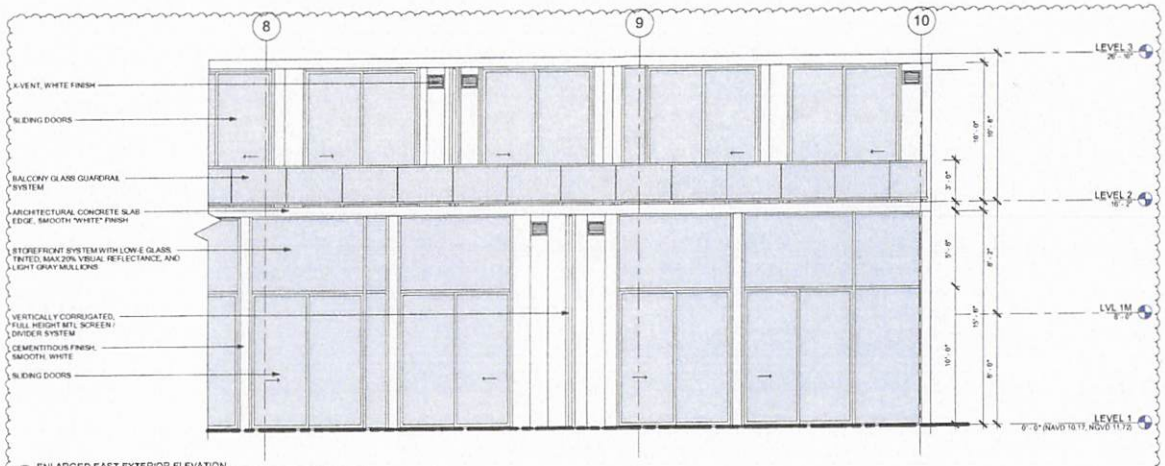
BALCONY MOUNTED GLASS GUARDRAIL SYSTEM

SLIDING DOORS WITH LOW-E GLASS, TINTED, MAX 20% VISUAL REFLECTANCE

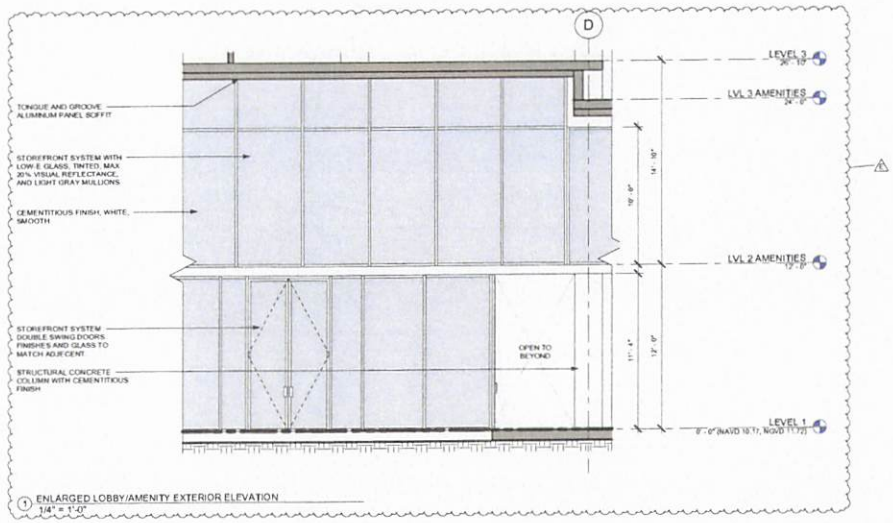
WINDOW WALL WITH LOW-E GLASS, TINTED, MAX 20% VISUAL REFLECTANCE, & LIGHT GRAY MULLIONS

CEMENTITIOUS FINISH, SMOOTH, WHITE

CONCRETE EDGE, SMOOTH "WHITE" FINISH



2 ENLARGED EAST EXTERIOR ELEVATION
1/4" = 1'-0"



1 ENLARGED LOBBY/AMENITY EXTERIOR ELEVATION
1/4" = 1'-0"

TONGUE AND GROOVE ALUMINUM PANEL SOFFIT

VERTICALLY CORRUGATED, FULL HEIGHT MTL SCREEN / DIVIDER SYSTEM

ORNAMENTAL FENCE, BLACK SATIN FINISH

PROJECT
9300 COLLINS AVE
9300 COLLINS AVE, SURFSIDE, FL 33154

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CONSULTANT

KEY PLAN

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SEAL & SIGNATURE
STATE OF FLORIDA
IANA KOLEV
AR99811
REGISTERED ARCHITECT

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	04-DEC-2023
E	ISSUED FOR SITE PLAN REVISIONS	13-SEP-2024

NOT FOR CONSTRUCTION

SHEET NAME
ENLARGED EXTERIOR ELEVATIONS

SHEET NO.
A_501

PROJECT NO.	2303
DATE	13-OCT-2023
SCALE	1/4" = 1'-0"

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SITE GENERAL NOTES

1. All work and material shall comply with the current edition of the Florida Building Code, and all other applicable codes.
2. The Contractor shall acquaint himself with the existing conditions of the site prior to construction.
3. Contractor to verify all dimensions and conditions before proceeding with work. Any discrepancies between existing conditions, improvements shown on the drawings and specifications, etc. should be identified and communicated in writing for resolution by the Owner, before work commences. Written dimensions govern over plan scales or unwritten dimensions. DO NOT SCALE DRAWINGS.
4. Coordinate all work with all subcontractors for verification of locations and dimensions of all work requirements to avoid interference with progress of construction.
5. The Landscape Architect is not responsible or liable for the integrity or correctness of the existing conditions and its components. Project is based on plans and surveys provided by the Owner.
6. The Contractor will secure and close all existing and new openings at the site perimeter at the end of each day's work.
7. The contractor will provide adequate protection to all existing work, furnishings and fixtures that are to be retained so that they will not be damaged. Any on-site existing trees or palms specified for preservation or transplanting which are damaged or destroyed shall be replaced by GC.
8. Contractor to verify existing grades shown on the survey to coordinate work shown on the drawings.
9. All existing planting and other site features identified to remain or be preserved shall be properly protected during the construction process, including plant canopy and root zones. Additionally, existing planting to be retained shall be watered regularly in case of drought conditions or if plants indicate they are being stressed due to lack of water.
10. All workmanship of Contractor shall be neat, clean, true, and correct.
11. All existing utilities (plumbing, gas, electrical) not reused shall be properly removed, capped and/or sealed.
12. Contractor shall obtain written approval for substitutions made in specified equipment, planting, materials and colors.
13. All materials shall be new and shall bear Underwriters and Union labels where applicable.
14. Submit shop drawings for Owner's approval of all items requiring fabrication. Do not fabricate until approved.
15. Contractor is responsible to secure all construction materials stored at the job site.
16. Storage of material: Contractor shall obtain owner approval for storing materials on the job site during construction.
17. Insurance: Contractor shall keep full liability and workmen's compensation insurance for the project at all times during the progress of work.
18. The Landscape Architect shall not have control of, charge of, and shall not be responsible for, construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the work, for the acts or omissions of the contractor, subcontractors or any other persons performing any of the work, or for the failure of any item to carry out the work in accordance with the contract documents.
19. Testing of material: All the required tests shall be performed at the expense of the contractor and by an approved testing laboratory. The test results are to be submitted to the engineer.
20. Trash: Contractor to remove all dust, trash, debris resulting from construction from the premises and restore the premises to a clean condition.

HARDSCAPE GENERAL NOTES

1. The Owner's Engineer will be responsible for insuring the structural integrity and compliance with all local codes for all elements designed on this sheet.
2. See Civil Drawings for all exterior finished grades at curbing, streets, driveways, utilities, and drainage structures. Architect and Structural Engineer shall control all elevations and finished floors of structures. Spot grades shown are for communicating design intent and shall be coordinated with the prime consultant. Contractor to notify the Landscape Architect and prime consultant of any noted discrepancy in writing prior to execution of related work.
3. Contractor shall verify all dimensions and elevations on site prior to beginning construction, and any discrepancies shall be brought to the immediate attention of the Owner and Landscape Architect.
4. Contractor shall stake the layout plan (or retain a registered surveyor, if required) in the field and have such staking approved by the Owner and Landscape Architect prior to proceeding with construction. The building contractor shall report all layout discrepancies immediately to the Owner and Landscape Architect for decision.
5. Contractor is responsible for location and protection of all existing underground and aboveground utilities, asphalt, curbs, walks, above ground structures and vegetation as noted on the landscape plans.
6. All dimensions are to face of curb unless otherwise noted.
7. All planters are flush to paving surface unless otherwise noted.
8. All Planter dimensions indicate open planting zone, and do not include structural planter walls.
9. All angles are 90 degrees unless otherwise noted.
10. All subbase and compacted Limerock requirements shall be per Miami Dade County Requirements.
11. Sample paving panels: At a location to be approved by the Landscape Architect, the Contractor shall construct a sample panel no less than 8' x 8' and large enough to demonstrate proposed material construction and finishes for the final installation. For concrete accurate color, the quantity of colored concrete mixed should not be less than one-third of the capacity of the mixing drum and should always be in full yard increments. For unit paving, the panels shall demonstrate the patterns, as shown in the drawings, and at least one sample panel shall be created for each type of paving pattern or custom stone work installation detail.

LANDSCAPE GENERAL NOTES

QUALITY ASSURANCE:
All plants furnished by the Landscape Contractor unless otherwise specified shall be Florida No.1 or better, and shall be specified in the latest edition of Grades and Standards for Nursery Plants, Part 1 by the Florida Department of Agriculture and Consumer Services Division of the plant industry. All species not listed in Grades and Standards for Nursery Plants shall conform to a Florida No.1 or better.

WARRANTIES:
1. All shrubs and groundcovers shall be guaranteed for 6 months from date of final acceptance. All trees and palms shall be guaranteed for one year from date of final acceptance. The Contractor shall be responsible to remove all the failing plant materials and replace them with the same kind and size material as specified in the plant list, with the same guarantee as initial planting. The landscape architect and client reserve the right to reject material which does not comply with the design criteria and specifications of the project at any time during any phase of the project.
2. Contractor shall familiarize themselves with the limits of work and existing conditions and verify all information. Where discrepancies with quantities and/or species differ between the planting plan(s) and the plant list, the contractor shall notify owner's representative in writing within seven (7) calendar days of contractor's notice to proceed. No changes shall be made without the prior, written consent of the Landscape Architect and/or Owner.
3. General Contractor shall submit for all plant material three (3) gallons or larger color photos indicating size, character and quality representative of material to be supplied to the Landscape Architect for review and approval. Any substitution in size and/or plant material must be approved by the Landscape Architect in writing. All plants will be subject to approval by the Landscape Architect and/or owner's representative before planting can begin.
4. Where quantities and/or species differ between the planting plan(s) and the plant list, the plan(s) shall govern.
5. The Contractor shall bear all costs of testing of soils, amendments, etc, associated with the work and included in the specifications.
6. Planting soil shall be weed-free, and unless otherwise noted, shall consist of 70% clean, coarse, sharp, FDOT #3 coarse silica sand (alternate: Ortona Sand) per chart below and 30% Everglades muck obtained from non-prime agricultural lands, and shall contain 1-1.5% organic matter by loss on ignition. To be mixed with the approved, native, soil in a ONE-ONE (1:1) ratio of planting soil.
7. A four inch (4") Sod Blanket to be installed beneath all Sod areas. 90% clean, coarse, sharp, (alternate Ortona Sand) and 10% Everglades Muck. The sod soil blanket shall be natural, friable, and free from rocks larger than 1½" diameter, weeds, stumps, plant tissue, litter, toxic substances, or any other deleterious materials.

Silica Sand particle size composition

Screen Size	%
#16/1-18 mm	6
#30/.60 mm	51
#50/.30 mm	87
#100/.15 mm	98
#200/.75 mm	99
FM	2.42

8. All planting beds to be weed and grass free, free of sticks, rocks greater than 4", construction debris, and any material deleterious to plant growth. Contractor shall apply herbicide to soil as recommended by manufacturer.
9. Contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities and other obstructions and coordinate with owner's representative in writing prior to initiating operations.
10. Landscape Contractor shall locate and verify all underground utilities and obtain As-Built information prior to digging. Drawings were prepared according to the best information available at the time. Contractor shall notify owner's representative in writing within seven (7) calendar days of notice to proceed with any discrepancies.
11. For Field Grown material, all biodegradable burlap shall be untied and pulled down on the ball. Wire baskets and other non-biodegradable material attached to plants shall be removed prior to planting. Care shall be taken not to break or disturb rootball of plants.
12. For Container Grown material, remove container, shave rootball and cut circling roots as per the latest edition of Florida Grades and Standards Appendix A Best Management Practices.
13. All plants shall be watered immediately after planting.
14. All trees and palms shall be staked as shown in the plans. No nail staking permitted. Remove all nursery stakes, supports, braces, tape and labels at time of planting.
15. Typically, shrub and groundcover plantings are shown as mass planting beds. Plants shall be placed on a triangular spacing configuration (staggered spacing). Plant center to center dimensions (O.C.) are listed on the plant list.
16. All trees shall be fertilized at installation with "Agriform Pills", 21 gram size, with a 20-10-5 formulation, (or approved equal), according to manufacturer's recommendations.
17. All palms and other plants shall be fertilized at installation with Florida Atlantic East Coast Fertilizer "Palm Special" 8-2-12 time-release fertilizer (with slow release sulphur) according to manufacturer's recommendations, unless otherwise approved by the Landscape Architect.
18. Cover all planting beds with a minimum of 3" layer of shredded Melaleuca or Eucalyptus mulch, Grade B. Do not use Cypress Mulch. Keep mulch 4" away from trunks.
19. For planting during construction, contractor shall spray down all plants at the end of each day with an approved water source to remove any accumulated dust.
20. Irrigation: A fully automatic, zoned irrigation system, equipped with an approved rain sensor and providing 100% coverage of planted areas with minimum 50% overlap, shall be installed by the Contractor. Adjust irrigation nozzle spray to avoid overspray onto adjacent sidewalks, asphalt paving, and other properties.
21. Tree Protection: Place and maintain protective barriers around the drip line of all trees to be retained on site. These barriers shall be easily visible and sturdily constructed. No heavy equipment or materials shall be stored within the drip line of protected trees. Any trees or palms designated to remain on-site which the City determines to have been damaged during construction shall promptly be replaced with plants of equivalent size and value as required at no cost to the City.
22. Loss of branches 4" or greater due to transport and install are the responsibility of the GC and grounds for immediate rejection by Landscape Architect.
23. All plans with reference to outdoor improvements, such as Civil, MEP, Structural, etc. shall be provided to the Landscape Architect in CAD format for review a minimum of 2 weeks before final Construction Document submission for bidding.

LANDSCAPE LEGEND

Transect Zone: H-40 Lot Area (Acres): 2.1 Lot Area (Square feet) 91,231

	Required/ Allowed	Provided
PERVIOUS SPACE		
A. Square feet of required Pervious Space, as indicated on site plan: Required 20% of Lot Area	18,246 sf	16,465 sf (1,800 sf provided on Parcel 19)
LAWN AREA		
A. Maximum lawn area (sod) permitted = 60 % x 18,246 s.f.	10,948sf	4,252 sf
TREES		
A. Number of trees required per net lot acre (1 tree per 1,000 sf)	92	73 (19 trees donated to Tree Fund)
B. Number of Florida Friendly Trees required (40% of 93 provided trees)	38	63
C. Number of Native Trees required (50% of 93 provided trees)	47	61
D. Street Trees (One shade tree / palm per every 20 linear feet of street frontage) 610 linear feet along **Collins Ave** / 20 =	31	28 (3 trees donated to Tree Fund)
150 linear feet along **93rd St** / 20 =	8	8
150 linear feet along **94th St** / 20 =	8	8
0 linear feet along **Harding Ave** / 20 =	0	0
SHRUBS		
A. Number of shrubs required: 10 shrubs per 1,000 sf =	920	3,490
B. Number of Florida Friendly Shrubs required (40% of 920 provided shrubs)	368	2701
C. Number of Native Shrubs required (50% of 920 provided shrubs)	460	2550

DRAWING SYMBOL LEGEND

STEPS
RAMPS
DETAIL MARKER
SECTION MARKER
ENLARGEMENT

LINETYPE LEGEND

PROPERTY LINE — PL
CENTER LINE — ℄
LIMIT OF WORK LINE
MATCH LINE
OVERHEADIABOVE — ABV
OVERHEAD WIRE — OW
ROOT BARRIER

ABBREVIATIONS

ABOV. Above
ASPH. Asphalt
BLDG. Building
CL Center Line
Conc. Concrete
DN Down
F.F.E. Finish Floor Elevation
max. Maximum
min. Minimum
ML Monument Line
PL Property Line
PLNT Planting Area
QNTY Quantity
SDWK Sidewalk
T.O.W. Top of Wall
Typ. Typical
UP Up

PLANTING SYMBOL LEGEND

PLANTING AREA
PLANT TAG

NOT FOR CONSTRUCTION
PLANS NOT COMPLETE WITHOUT WRITTEN SPECIFICATIONS

PROJECT
9300 Collins Ave
9300 Collins Ave, Surfside, FL 33154

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AR0014444 | LA0000866

KEY PLAN

GENERAL NOTES

SEAL & SIGNATURE
REGISTERED LANDSCAPE ARCHITECT BARRY R. MILLER LA 0000866 STATE OF FLORIDA

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
C	ISSUED FOR SITE PLAN REVISIONS	11-MAR-2024
D	ISSUED FOR SITE PLAN REVISIONS	13-SEP-2024

SHEET NAME
GENERAL NOTES & LANDSCAPE LEGEND

SHEET NO.
L-01

PROJECT NO. 2303
DATE 13-OCT-2023
SCALE As shown on drawing

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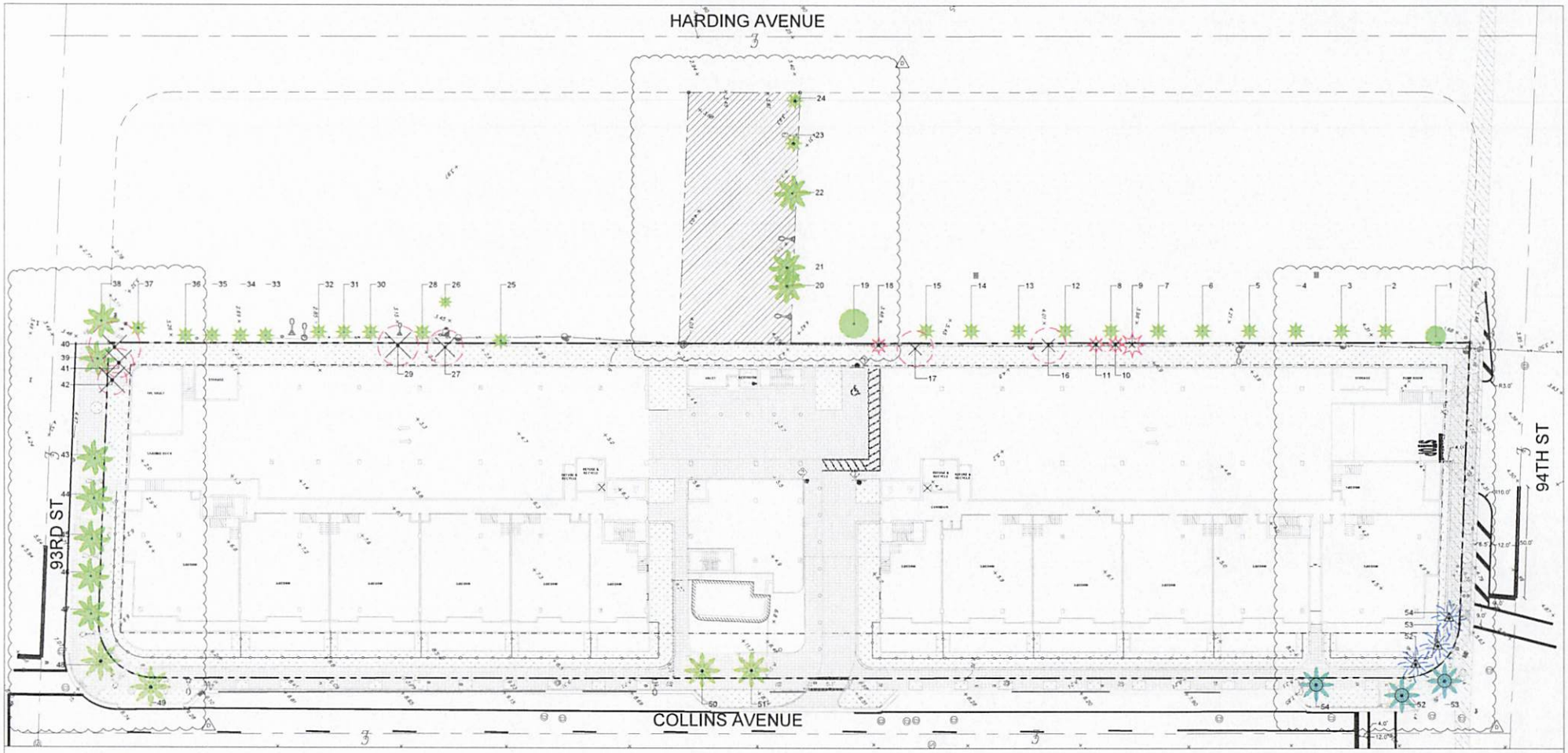

DRAWING SYMBOL LEGEND

- STEPS
- RAMPS
- DETAIL MARKER
- SECTION MARKER
- ENLARGEMENT
- 15 HARDSCAPE TAG

PLANTING SYMBOL LEGEND

- PLANTING AREA
- PLANT TAG

LINETYPE LEGEND

- PROPERTY LINE — PL —
- SETBACK LINE
- CENTER LINE — ℄ —
- MATCH LINE
- OVERHEAD/ABOVE — ABV —
- OVERHEAD WIRE — OW — OW —
- ROOT BARRIER

TREES/PALMS TO BE PRESERVED

TREES/PALMS TO BE TRANSPLANTED TO A NEW LOCATION

TREES/PALMS TO BE RELOCATED

TREES/PALMS TO BE REMOVED

SCALE: 1" = 20'-0"

NOT FOR CONSTRUCTION
PLANS NOT COMPLETE WITHOUT WRITTEN SPECIFICATIONS

PROJECT
9300 Collins Ave
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KEY PLAN

GENERAL NOTES

SEAL & SIGNATURE
REGISTERED LANDSCAPE ARCHITECT
BARRY R. MILLER
LA 0000866
STATE OF FLORIDA

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	04-DEC-2023
C	ISSUED FOR SITE PLAN REVISIONS	11-MAR-2024
D	ISSUED FOR SITE PLAN REVISIONS	28-AUG-2024

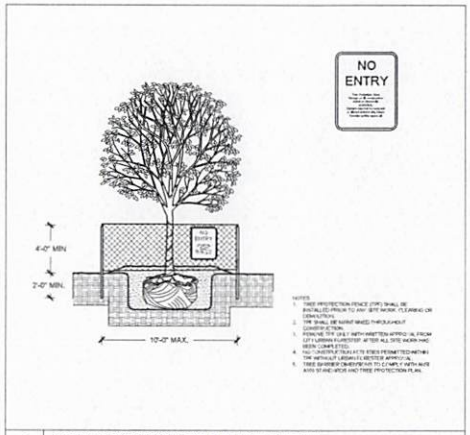
SHEET NAME
TREE MANAGEMENT PLAN

SHEET NO.
L-02

PROJECT NO. 2303
DATE 13-OCT-2023
SCALE As shown on drawing

#	COMMON NAME	BOTANICAL NAME	CONDITION	COMMENTS	PRESERVE	TRANSPLANT *	REMOVE TREES (CANOPY)	REMOVE PALMS (CANOPY)	NO MITIGATION	TRUNK DBH (IN)	TREE HT. (FT.)	CANOPY DIAM. (FT.)
1	Gumbo Limbo	*Bursera simaruba*	Good	Not part of this project						5	17	9
2	Christmas Palm	*Adonidia merrillii*	Fair	Not part of this project						4.5, 4.5	14	8
3	Christmas Palm	*Adonidia merrillii*	Fair	Not part of this project						5, 4.5	14	8
4	Christmas Palm	*Adonidia merrillii*	Fair	Not part of this project						4.75, 4.75	14	8
5	Christmas Palm	*Adonidia merrillii*	Fair	Not part of this project						4.5, 4.5	14	8
6	Christmas Palm	*Adonidia merrillii*	Fair	Not part of this project						4.5, 4.5	14	8
7	Christmas Palm	*Adonidia merrillii*	Fair	Not part of this project						4.5, 4.5	14	8
8	Christmas Palm	*Adonidia merrillii*	Fair		1					4.5, 4.5	14	8
9	Christmas Palm	*Adonidia merrillii*	Fair					452		7, 4.5, 2, 2	20	12
10	Sabal Palm	*Sabal palmetto*	Good					201		14	24	8
11	Sabal Palm	*Sabal palmetto*	Good					201		14	25	8
12	Christmas Palm	*Adonidia merrillii*	Fair	Not part of this project						5, 4.5	16	8
13	Christmas Palm	*Adonidia merrillii*	Fair	Not part of this project						4.5, 4	13	8
14	Christmas Palm	*Adonidia merrillii*	Fair	Not part of this project						5, 4	13	8
15	Christmas Palm	*Adonidia merrillii*	Fair	Not part of this project						3, 4.5	13	8
16	Schefflera	*Schefflera actinophylla*	Fair						8	8	22	15
17	Beautyleaf	*Calophyllum inophyllum*	Fair				616			10	23	14
18	Sabal Palm	*Sabal palmetto*	Good					201		14	12	8
19	Gumbo Limbo	*Bursera simaruba*	Good	Not part of this project						7	12	13
20	Coconut Palm	*Cocos nucifera*	Good		1					15	32	16
21	Coconut Palm	*Cocos nucifera*	Good		1					15	28	16
22	Coconut Palm	*Cocos nucifera*	Good		1					10	23	16
23	Sabal Palm	*Sabal palmetto*	Good		1					17	22	8
24	Sabal Palm	*Sabal palmetto*	Good		1					17	16	8
25	Sabal Palm	*Sabal palmetto*	Good		1					10	22	8
26	Thrinax Palm	*Thrinax radiata*	Good	Not part of this project						5	17	6
27	Strangler Fig	*Ficus aurea*	Fair				804			12	24	16
28	Christmas Palm	*Adonidia merrillii*	Fair	Not part of this project						5, 5, 5	16	8
29	Strangler Fig	*Ficus aurea*	Poor				1018			16	23	18
30	Christmas Palm	*Adonidia merrillii*	Fair	Not part of this project						5, 5, 5	16	8
31	Christmas Palm	*Adonidia merrillii*	Fair	Not part of this project						5, 5, 5	15	8
32	Christmas Palm	*Adonidia merrillii*	Fair	Not part of this project						4, 4, 4	14	8
33	Christmas Palm	*Adonidia merrillii*	Fair	Not part of this project						4, 4, 4	14	8
34	Christmas Palm	*Adonidia merrillii*	Fair	Not part of this project						4, 4, 4	14	8
35	Christmas Palm	*Adonidia merrillii*	Fair	Not part of this project						4, 4, 4	14	8
36	Christmas Palm	*Adonidia merrillii*	Fair	Not part of this project						4, 4, 4	14	8
37	Sabal Palm	*Sabal palmetto*	Good	Not part of this project						14	23	8
38	Coconut Palm	*Cocos nucifera*	Fair		1					10	37	16
39	Coconut Palm	*Cocos nucifera*	Good		1					11	28	16
40	Weeping Fig	*Ficus benjamina*	Fair				1662			15	25	23
41	Weeping Fig	*Ficus benjamina*	Fair				531			15	23	13
42	Weeping Fig	*Ficus benjamina*	Fair				531			12	23	13
43	Coconut Palm	*Cocos nucifera*	Fair		1					8	32	16
44	Coconut Palm	*Cocos nucifera*	Fair		1					9	32	16
45	Coconut Palm	*Cocos nucifera*	Good		1					9	24	16
46	Coconut Palm	*Cocos nucifera*	Good		1					8	29	16
47	Coconut Palm	*Cocos nucifera*	Good		1					8	30	16
48	Date Palm	*Phoenix dactylifera*	Good		1					18	36	18
49	Date Palm	*Phoenix dactylifera*	Fair		1					18	40	18
50	Royal Palm	*Roystonea regia*	Fair		1					14	37	16
51	Royal Palm	*Roystonea regia*	Fair		1					15	37	16
52	Date Palm	*Phoenix dactylifera*	Good			1				17	39	18
53	Date Palm	*Phoenix dactylifera*	Good			1				17	34	18
54	Date Palm	*Phoenix dactylifera*	Good			1				17	32	18
TREE MITIGATION QUANTITY					18	3	5,162	1,056	8			6,217

TREE MITIGATION CHART							
19 Trees Required at 12' HT overall or 31 Trees Required at 8' HT overall or 46 Trees Required at 6' HT overall as per Miami Dade County Code Sec 24-49							
*See Tree Disposition Chart for Requirement Calculations							
PROPOSED: 2" DBH : On Ground Level							
QTY	SCIENTIFIC NAME	COMMON NAM	DBH (IN)	HT (FT)	SP (FT)	CREDIT	TOTAL CREDIT
14	*Lysiloma latisiliqua*	Wild Tamarind	4	14' - 16'	8' - 9'	500	7000
TOTAL					TOTAL CANOPY SQUARE FT PROVIDED		7000
14	9,057 SF OF CANOPY REQUIRED						



1 TREE PROTECTION FENCE DETAIL
SCALE: NTS

Transplanted Trees	**3**
CANOPY (sq ft) of Trees to Mitigate	**5,162**
CANOPY (sq ft) of Palms to Mitigate	**1,056**
TOTAL CANOPY TO MITIGATE	**6,217**

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KEY PLAN

GENERAL NOTES

SEAL & SIGNATURE
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BARRY R. MILLER
LA 0000866
STATE OF FLORIDA

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SHEET NAME
TREE MANAGEMENT SCHEDULE

SHEET NO.
L-03

PROJECT NO.	2303
DATE	13-OCT-2023
SCALE	As shown on drawing

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SCALE: 1" = 20'-0"

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KEY PLAN

GENERAL NOTES

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BARRY R. MILLER
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STATE OF FLORIDA

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C	ISSUED FOR SITE PLAN REVISIONS	11-MAR-2024
D	ISSUED FOR SITE PLAN REVISIONS	26-AUG-2024

SHEET NAME
SITE PLAN

SHEET NO.
L-04

PROJECT NO. 2303
DATE 13-OCT-2023
SCALE As shown on drawing

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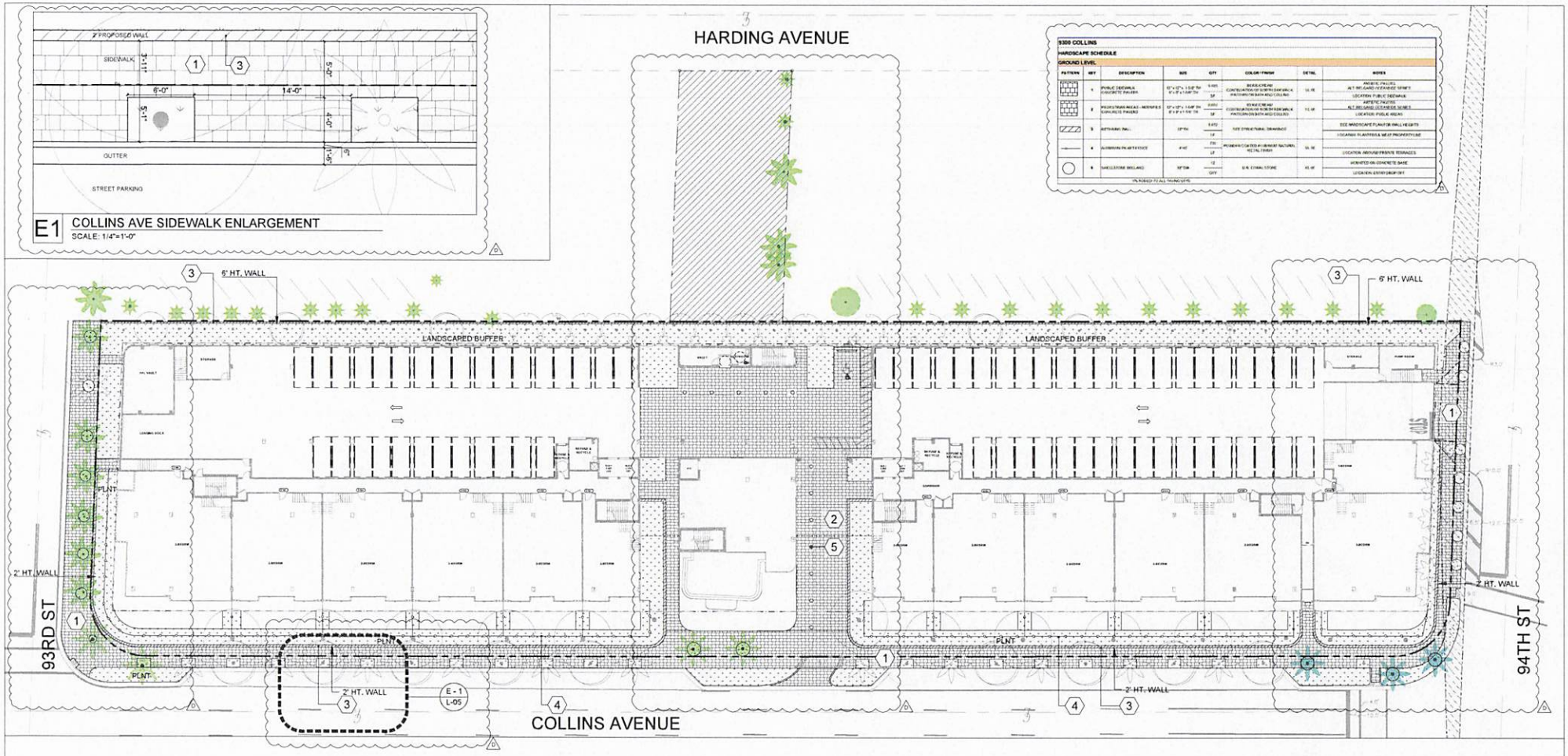
E1 COLLINS AVE SIDEWALK ENLARGEMENT
SCALE: 1/4"=1'-0"



9300 COLLINS

HARDSCAPE SCHEDULE

GROUND LEVEL

PATTERN	KEY	DESCRIPTION	SIZE	QTY	COLOR/FINISH	DETAIL	NOTES
	1	PUBLIC SIDEWALK CONCRETE PAVERS	12" x 12" x 1-1/2" Tk 6" x 6" x 1-1/2" Tk	1,425 SF	BEIGE/CREAM CONTRACTOR TO SUBMIT SIDEWALK PATTERN ON BATH AND COLLINS	1/L-06	PROBITEC PAVERS ALT BRICKED / EXPANSE SERIES LOCATION: PUBLIC SIDEWALK
	2	PEDESTRIAN AREAS - INTERIOR CONCRETE PAVERS	12" x 12" x 1-1/2" Tk 6" x 6" x 1-1/2" Tk	2,000 SF	BEIGE/CREAM CONTRACTOR TO SUBMIT SIDEWALK PATTERN ON BATH AND COLLINS	1/L-06	APPETIC PAVERS ALT BRICKED / EXPANSE SERIES LOCATION: PUBLIC AREAS
	3	RETAINING WALL	12" Tk	1,470 LF	SEE STRUCTURAL DRAWINGS		SEE HARDSCAPE PLAN FOR WALL HEIGHTS LOCATION: PLANTERS & WEST PROPERTY LINE
	4	ALUMINUM PICKET FENCE	4' HT	730 LF	POWDER COATED ALUMINUM NATURAL METAL FINISH	5/L-06	LOCATION: AROUND PRIVATE TERRACES
	5	BOULDERS BROLAND	12" Dia	12 QTY	G.R. CORAL STONE	4/L-06	MOUNTED ON CONCRETE BASE LOCATION: ENTRY DROP OFF

*PLANTED TO ALL MUNICIPITY

DRAWING SYMBOL LEGEND
- STEPS
- RAMPS
- DETAIL MARKER
- SECTION MARKER
- ENLARGEMENT
- HARDSCAPE TAG

PLANTING SYMBOL LEGEND
- PLANTING AREA
- PLANT TAG
- SOIL CELL BOUNDARY
- SOIL CELL

LINETYPE LEGEND
- PROPERTY LINE — PL
- SETBACK LINE
- CENTER LINE
- MATCH LINE
- OVERHEAD/ABOVE — ABV
- OVERHEAD WIRE — OW
- ROOT BARRIER

TREES/PALMS TO BE PRESERVED

TREES/PALMS TO BE TRANSPLANTED TO A NEW LOCATION

SCALE: 1" = 20'-0"

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KEY PLAN

GENERAL NOTES

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BARRY R. MILLER
LA 0000866
STATE OF FLORIDA

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D	ISSUED FOR SITE PLAN REVISIONS	28-AUG-2024

SHEET NAME
HARDSCAPE PLAN
LEVEL 1

SHEET NO.
L-05

PROJECT NO. 2303
DATE 13-OCT-2023
SCALE As shown on drawing

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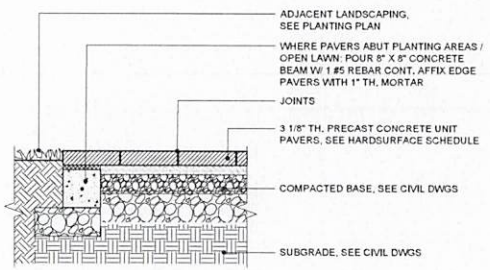
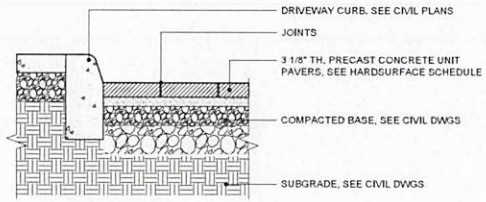
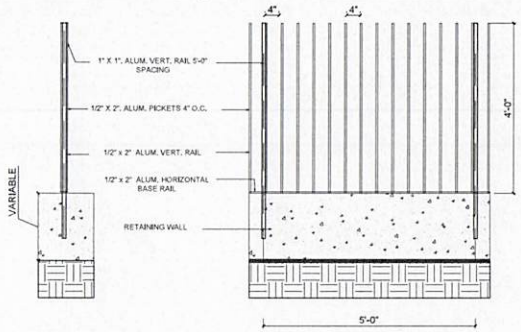


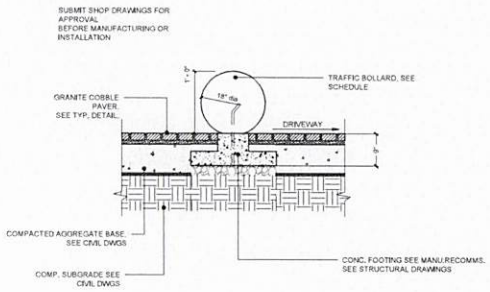
1 CONCRETE PAVERS, TYP.
SCALE 1"=1'-0"



2 VEHICULAR PERMEABLE PAVERS, TYP.
SCALE: 1"=1'-0"



3 FENCE, TYP.
SCALE: 3/4"=1'-0"



4 BOLLARD, TYP.
SCALE: 3/4"=1'-0"

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KEY PLAN

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STATE OF FLORIDA

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D	ISSUED FOR SITE PLAN REVISIONS	26-AUG-2024

SHEET NAME
HARDSCAPE DETAIL

SHEET NO.
L-06

PROJECT NO. 2303
DATE 13-OCT-2023
SCALE As shown on drawing

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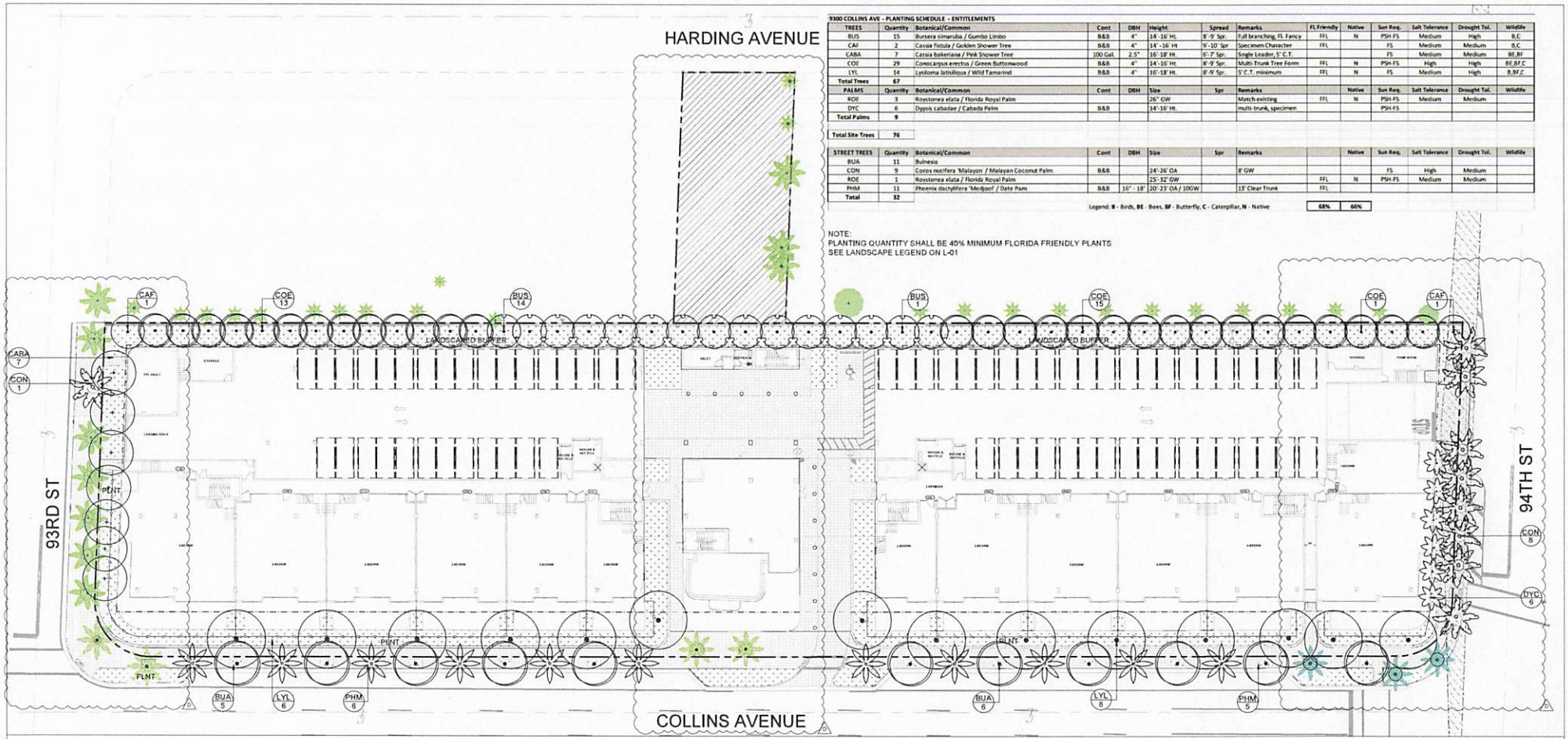

9300 COLLINS AVE - PLANTING SCHEDULE - ENTITLEMENTS													
TREES	Quantity	Botanical/Common	Cont	DBH	Height	Spread	Remarks	FL Friendly	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
BUS	15	Bursera simaruba / Gumbo Limbo	B&B	4"	14'-16' Ht.	8'-9' Spr.	Full branching, FL Fancy	FFL	N	PSH-FS	Medium	High	B,C
CAF	2	Cassia fistula / Golden Shower Tree	B&B	4"	14'-16' Ht	9'-10' Spr	Specimen Character	FFL		FS	Medium	Medium	B,C
CABA	7	Cassia bakeriana / Pink Shower Tree	100 Gal.	2.5"	16'-18' Ht.	6'-7' Spr.	Single Leader, 5' C.T.			FS	Medium	Medium	BE,BF
COE	29	Conocarpus erectus / Green Buttonwood	B&B	4"	14'-16' Ht.	8'-9' Spr.	Multi-Trunk Tree Form	FFL	N	PSH-FS	High	High	BE,BF,C
LYL	14	Lysiloma latisiliqua / Wild Tamarind	B&B	4"	16'-18' Ht.	8'-9' Spr.	5' C.T. minimum	FFL	N	FS	Medium	High	B,BF,C
Total Trees	67												
PALMS	Quantity	Botanical/Common	Cont	DBH	Size	Spr	Remarks		Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
ROE	3	Roystonea elata / Florida Royal Palm			26" GW		Match existing	FFL	N	PSH-FS	Medium	Medium	
DYC	6	Dypsis cabadae / Cabada Palm	B&B		14'-16' Ht.		multi-trunk, specimen			PSH-FS			
Total Palms	9												
Total Site Trees	76												
STREET TREES	Quantity	Botanical/Common	Cont	DBH	Size	Spr	Remarks		Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
BUA	11	Bulnesia											
CON	9	Cocos nucifera 'Malayan' / Malayan Coconut Palm	B&B		24'-26' OA		8' GW			FS	High	Medium	
ROE	1	Roystonea elata / Florida Royal Palm			25'-32' GW			FFL	N	PSH-FS	Medium	Medium	
PHM	11	Phoenix dactylifera 'Medjool' / Date Pam	B&B	16" - 18"	20'-23' OA / 10GW		13' Clear Trunk	FFL					
Total	32												
							Legend: B - Birds, BE - Bees, BF - Butterfly, C - Caterpillar, N - Native	68%	66%				

NOTE:
PLANTING QUANTITY SHALL BE 40% MINIMUM FLORIDA FRIENDLY PLANTS
SEE LANDSCAPE LEGEND ON L-01

DRAWING SYMBOL LEGEND
- STEPS
- RAMPS
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- SECTION MARKER
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TREES/PALMS TO BE PRESERVED

TREES/PALMS TO BE TRANSPLANTED TO A NEW LOCATION

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AR0014444 | LA0000866

KEY PLAN

GENERAL NOTES

SEAL & SIGNATURE
REGISTERED LANDSCAPE ARCHITECT
BARRY R. MILLER
LA 0000866
STATE OF FLORIDA

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
C	ISSUED FOR SITE PLAN REVISIONS	11-MAR-2024
D	ISSUED FOR SITE PLAN REVISIONS	26-AUG-2024

SHEET NAME
PLANTING PLAN
CANOPY LEVEL 1

SHEET NO.
L-07

PROJECT NO. 2303
DATE 13-OCT-2023
SCALE As shown on drawing

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SHADE TREES

Lysiloma latisiliqua
Wild Tamarind

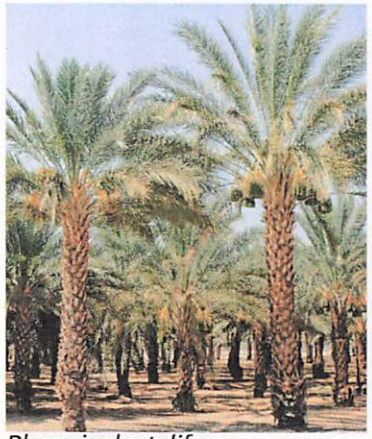
Conocarpus erectus
Green Buttonwood

ACCENT TREES

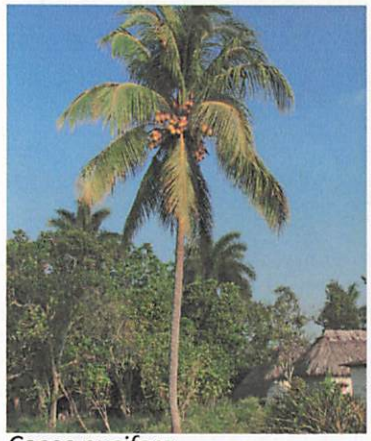
Cassia surattensis
Glossy Shower Tree

Cassia bakeriana
Pink Shower Tree

STREET PALMS



Phoenix dactylifera
Date Palms



Cocos nucifera
Coconut Palms

Roystonea elata
Florida Royal Palm

ALTERNATE BUFFER PALMS

Dypsis lutescens
Areca Palms

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STATE OF FLORIDA

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SHEET NAME
PLANTING IMAGES CANOPY

SHEET NO.
L-08

PROJECT NO.	2303
DATE	13-OCT-2023
SCALE	As shown on drawing

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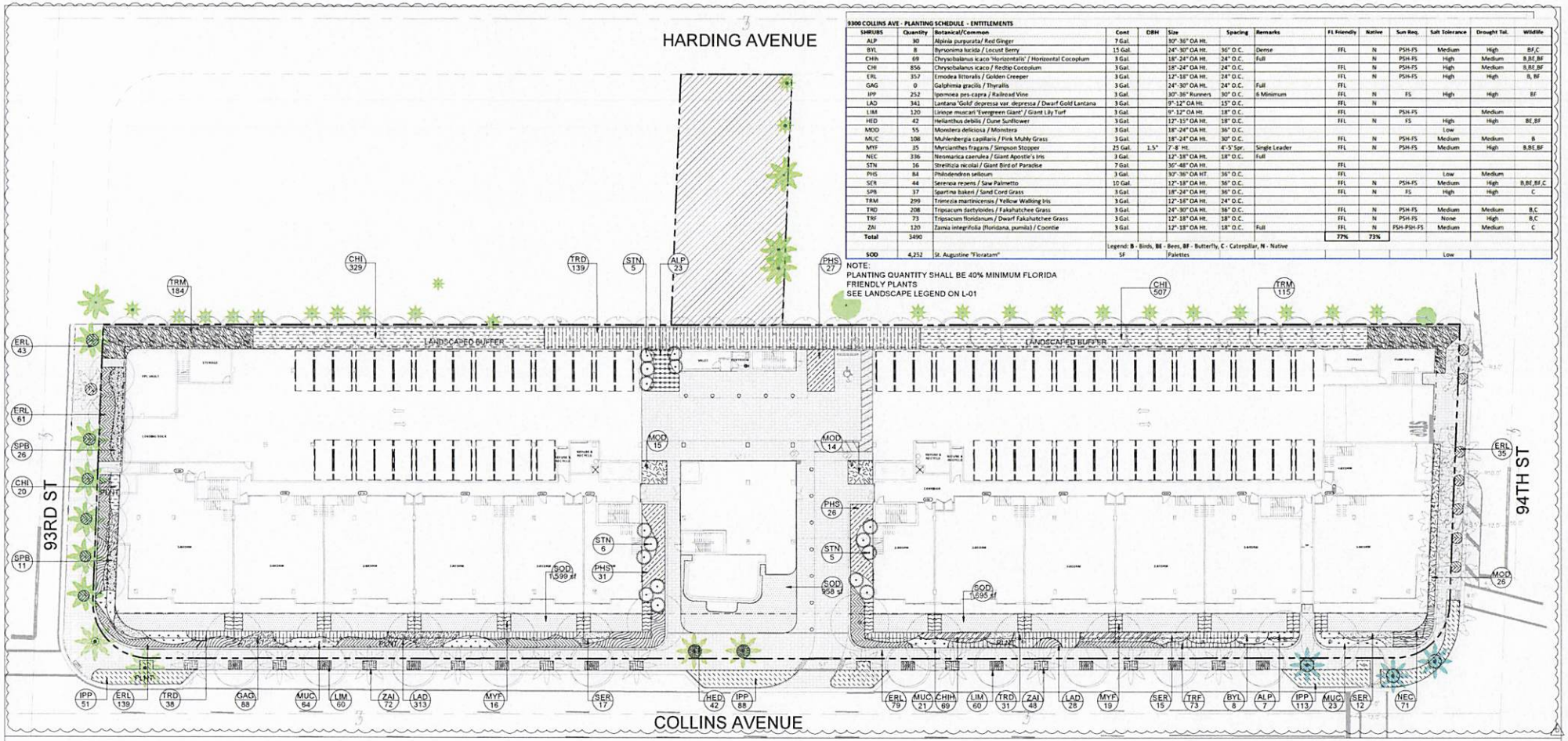

9300 COLLINS AVE - PLANTING SCHEDULE - ENTITLEMENTS													
SHRUBS	Quantity	Botanical/Common	Cont	DBH	Size	Spacing	Remarks	FL Friendly	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
ALP	30	Alpinia purpurata/ Red Ginger	7 Gal.		30"-36" OA Ht.								
BYL	8	Byrsonima lucida / Locust Berry	15 Gal.		24"-30" OA Ht.	36" O.C.	Dense	FFL	N	PSH-FS	Medium	High	BF,C
CHIh	69	Chrysobalanus icaco 'Horizontalis' / Horizontal Cocoplum	3 Gal.		18"-24" OA Ht.	24" O.C.	Full		N	PSH-FS	High	Medium	B,BE,BF
CHI	856	Chrysobalanus icaco / Redtip Cocoplum	3 Gal.		18"-24" OA Ht.	24" O.C.		FFL	N	PSH-FS	High	Medium	B,BE,BF
ERL	357	Ernodea littoralis / Golden Creeper	3 Gal.		12"-18" OA Ht.	24" O.C.		FFL	N	PSH-FS	High	High	B, BF
GAG	0	Galphimia gracilis / Thryalis	3 Gal.		24"-30" OA Ht.	24" O.C.	Full	FFL					
IPP	252	Ipomoea pes-capra / Railroad Vine	3 Gal.		30"-36" Runners	30" O.C.	6 Minimum	FFL	N	FS	High	High	BF
LAD	341	Lantana 'Gold' depressa var. depressa / Dwarf Gold Lantana	3 Gal.		9"-12" OA Ht.	15" O.C.		FFL	N				
LIM	120	Liriope muscari 'Evergreen Giant' / Giant Lily Turf	3 Gal.		9"-12" OA Ht.	18" O.C.		FFL		PSH-FS		Medium	
HED	42	Helianthus debilis / Dune Sunflower	3 Gal.		12"-15" OA Ht.	18" O.C.		FFL	N	FS	High	High	BE,BF
MOD	55	Monstera deliciosa / Monstera	3 Gal.		18"-24" OA Ht.	36" O.C.					Low		
MUC	108	Muhlenbergia capillaris / Pink Muhly Grass	3 Gal.		18"-24" OA Ht.	30" O.C.		FFL	N	PSH-FS	Medium	Medium	B
MYF	35	Myrcianthes fragans / Simpson Stopper	25 Gal.	1.5"	7'-8' Ht.	4'-5' Spr.	Single Leader	FFL	N	PSH-FS	Medium	High	B,BE,BF
NEC	336	Neomarica caerulea / Giant Apostle's Iris	3 Gal.		12"-18" OA Ht.	18" O.C.	Full						
STN	16	Strelitzia nicolai / Giant Bird of Paradise	7 Gal.		36"-48" OA Ht.			FFL					
PHS	84	Philodendron selloum	3 Gal.		30"-36" OA HT.	36" O.C.		FFL			Low	Medium	
SER	44	Serenoa repens / Saw Palmetto	10 Gal.		12"-18" OA Ht.	36" O.C.		FFL	N	PSH-FS	Medium	High	B,BE,BF,C
SPB	37	Spartina bakeri / Sand Cord Grass	3 Gal.		18"-24" OA Ht.	36" O.C.		FFL	N	FS	High	High	C
TRM	299	Trimezia martinicensis / Yellow Walking Iris	3 Gal.		12"-18" OA Ht.	24" O.C.							
TRD	208	Tripsacum dactyloides / Fakahatchee Grass	3 Gal.		24"-30" OA Ht.	36" O.C.		FFL	N	PSH-FS	Medium	Medium	B,C
TRF	73	Tripsacum floridanum / Dwarf Fakahatchee Grass	3 Gal.		12"-18" OA Ht.	18" O.C.		FFL	N	PSH-FS	None	High	B,C
ZAI	120	Zamia integrifolia (floridana, pumila) / Coontie	3 Gal.		12"-18" OA Ht.	18" O.C.	Full	FFL	N	PSH-PSH-FS	Medium	Medium	C
Total	3490							77%	73%				
			Legend: B - Birds, BE - Bees, BF - Butterfly, C - Caterpillar, N - Native										
SOD	4,252	St. Augustine "Floratam"	SF		Palettes						Low		

NOTE:
PLANTING QUANTITY SHALL BE 40% MINIMUM FLORIDA FRIENDLY PLANTS
SEE LANDSCAPE LEGEND ON L-01

DRAWING SYMBOL LEGEND
- STEPS
- RAMPS
- DETAIL MARKER
- SECTION MARKER
- ENLARGEMENT
- 15 HARDSCAPE TAG

PLANTING SYMBOL LEGEND
- PLANTING AREA
- PLANT TAG

LINETYPE LEGEND
- PROPERTY LINE — PL —
- SETBACK LINE
- CENTER LINE — ℄ —
- MATCH LINE
- OVERHEAD/ABOVE — ABV —
- OVERHEAD WIRE
- ROOT BARRIER

TREES/PALMS TO BE PRESERVED

TREES/PALMS TO BE TRANSPLANTED TO A NEW LOCATION

SCALE: 1" = 20'-0"

NOT FOR CONSTRUCTION
PLANS NOT COMPLETE WITHOUT WRITTEN SPECIFICATIONS

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KEY PLAN

GENERAL NOTES

SEAL & SIGNATURE
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BARRY R. MILLER
LA 0000866
STATE OF FLORIDA

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SHEET NAME
PLANTING PLAN UNDERSTORY LEVEL 1

SHEET NO.
L-09

PROJECT NO.	2303
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BUFFER SHRUBS

Simpson Stopper
Myrcianthes fragrans

Wild Cinnamon
Canella winterana

Fakahatchee Grass
Tripsacum dactyloides

Pink Muhly Grass
Muhlenbergis capillaris

Cocoplum
Chrysobalanus icaco 'horizontal'

Saw palmetto
Serenoa repens

FLOWERING SHRUBS

Indian Blanket Flower
Gaillardia pulchella

Lantana
Lantana camara

Firebush
Hamelia patens

Spider Lily
Hymenocallis latifolia

Thryallis
Galphimia gracilis

HEDGE SHRUBS

Jamaican Caper
Capparis cynoph

Beach-creeper
Ernodea littoralis

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SHEET NAME
PLANTING IMAGES UNDERSTORY

SHEET NO.
L-10

PROJECT NO. 2303
DATE 13-OCT-2023
SCALE As shown on drawing

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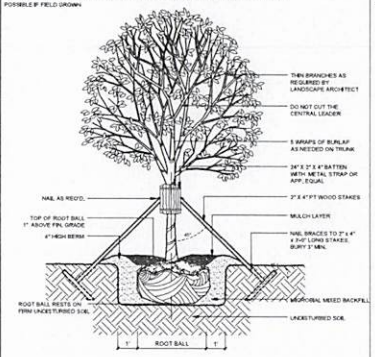
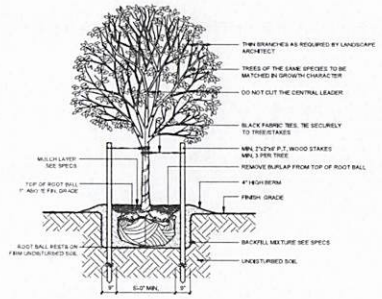
NOTE:
* TRIPLE GUYING AND TRIANGULAR PLACEMENT.
* REMOVE ALL NURSERY STAKES, SUPPORTS,BRACES, TAPE AND LABELS AT TIME OF PLANTING
* KEEP MULCH 3"x4" AWAY FROM TRUNK
* REMOVE CONTAINER AND CUT CIRCLING ROOTS IF CONTAINER-GROWN, OR AS MUCH BURLAP AS POSSIBLE IF FIELD GROWN.



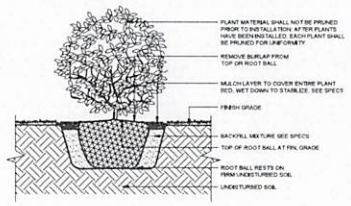
1 TYPICAL DETAIL: LARGE TREE PLANTING & STAKING
SCALE: NTS

NOTE:
* REMOVE ALL NURSERY STAKES, SUPPORTS, BRACES, TAPE AND LABELS AT TIME OF PLANTING
* KEEP MULCH 3"x4" AWAY FROM TRUNK
* REMOVE CONTAINER AND CUT CIRCLING ROOTS IF CONTAINER-GROWN, OR AS MUCH BURLAP AS POSSIBLE IF FIELD GROWN.

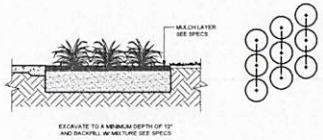


2 TYPICAL DETAIL: SMALL TREE PLANTING & STAKING
SCALE: NTS

NOTE:
* REMOVE ALL NURSERY STAKES, SUPPORTS, BRACES, TAPE AND LABELS AT TIME OF PLANTING
* KEEP MULCH 3"x4" AWAY FROM TRUNK
* REMOVE CONTAINER AND CUT CIRCLING ROOTS IF CONTAINER-GROWN, OR AS MUCH BURLAP AS POSSIBLE IF FIELD GROWN.



3 TYPICAL DETAIL: SHRUB PLANTING
SCALE: NTS

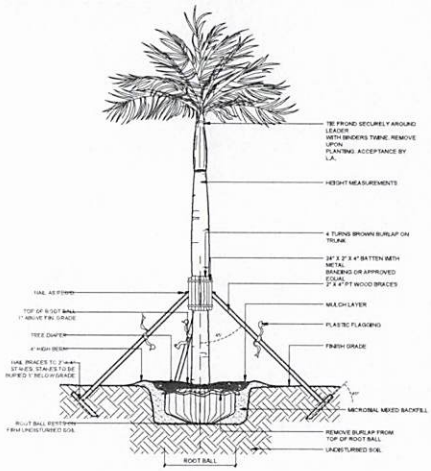


4 TYPICAL DETAIL: GROUNDCOVER AND SPACING
SCALE: NTS

A four (4") to twelve inch (12") Sod Soil Blanket to be installed beneath all Sod areas. 30% clean, coarse, sharp, Lake Wales Silica Sand (alternate FDOT #8 coarse silica sand) and 10% Everglades Muck. The sod soil blanket shall be natural, friable, and free from rocks larger than ½" diameter, weeds, stumps, plant tissue, litter, toxic substances, or any other deleterious materials.

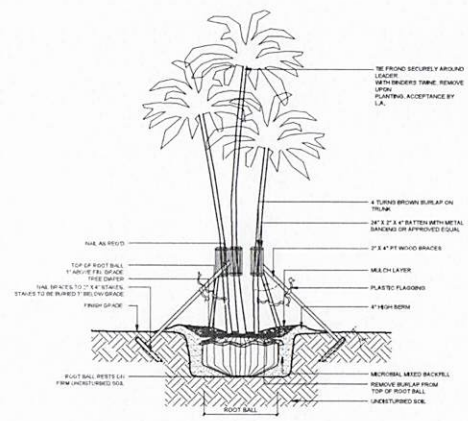
5 TYPICAL DETAIL: SOD
SCALE: NTS

NOTE:
* REMOVE ALL NURSERY STAKES, SUPPORTS,BRACES, TAPE AND LABELS AT TIME OF PLANTING
* KEEP MULCH 3"x4" AWAY FROM TRUNK
* REMOVE CONTAINER AND CUT CIRCLING ROOTS IF CONTAINER-GROWN, OR AS MUCH BURLAP AS POSSIBLE IF FIELD GROWN.

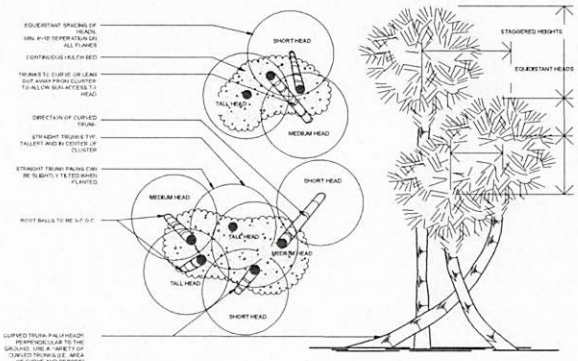


6 TYPICAL DETAIL: LARGE PALM PLANTING & STAKING
SCALE: NTS

NOTE:
* REMOVE ALL NURSERY STAKES, SUPPORTS,BRACES, TAPE AND LABELS AT TIME OF PLANTING
* KEEP MULCH 3"x4" AWAY FROM TRUNK
* REMOVE CONTAINER AND CUT CIRCLING ROOTS IF CONTAINER-GROWN, OR AS MUCH BURLAP AS POSSIBLE IF FIELD GROWN.



7 TYPICAL DETAIL: MULTI-TRUNK PALM PLANTING & STAKING
SCALE: NTS



8 TYPICAL DETAIL: SABAL PALM LAYOUT
SCALE: NTS

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SHEET NAME
PLANTING DETAILS

SHEET NO.
L-11

PROJECT NO.	2303
DATE	13-OCT-2023
SCALE	As shown on drawing

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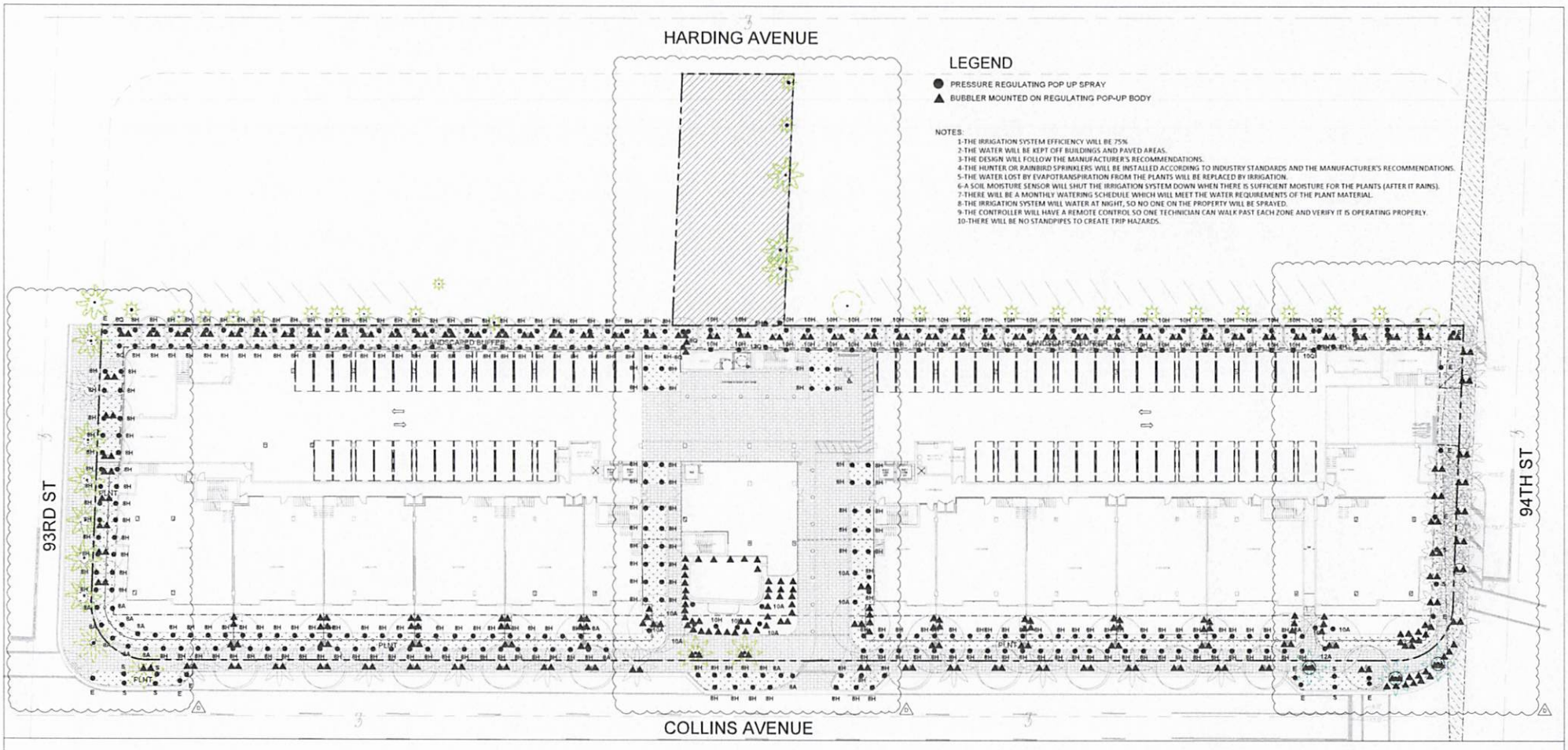

LEGEND

- PRESSURE REGULATING POP UP SPRAY
- BUBBLER MOUNTED ON REGULATING POP-UP BODY

NOTES:

1-THE IRRIGATION SYSTEM EFFICIENCY WILL BE 75%.
2-THE WATER WILL BE KEPT OFF BUILDINGS AND PAVED AREAS.
3-THE DESIGN WILL FOLLOW THE MANUFACTURER'S RECOMMENDATIONS.
4-THE HUNTER OR RAINBIRD SPRINKLERS WILL BE INSTALLED ACCORDING TO INDUSTRY STANDARDS AND THE MANUFACTURER'S RECOMMENDATIONS.
5-THE WATER LOST BY EVAPOTRANSPIRATION FROM THE PLANTS WILL BE REPLACED BY IRRIGATION.
6-A SOIL MOISTURE SENSOR WILL SHUT THE IRRIGATION SYSTEM DOWN WHEN THERE IS SUFFICIENT MOISTURE FOR THE PLANTS (AFTER IT RAINS).
7-THERE WILL BE A MONTHLY WATERING SCHEDULE WHICH WILL MEET THE WATER REQUIREMENTS OF THE PLANT MATERIAL.
8-THE IRRIGATION SYSTEM WILL WATER AT NIGHT, SO NO ONE ON THE PROPERTY WILL BE SPRAYED.
9-THE CONTROLLER WILL HAVE A REMOTE CONTROL SO ONE TECHNICIAN CAN WALK PAST EACH ZONE AND VERIFY IT IS OPERATING PROPERLY.
10-THERE WILL BE NO STANDPIPES TO CREATE TRIP HAZARDS.

DRAWING SYMBOL LEGEND

- STEPS
- RAMPS
- DETAIL MARKER
- SECTION MARKER
- ENLARGEMENT
- 15 HARDSCAPE TAG

PLANTING SYMBOL LEGEND

- PLANTING AREA
- PLANT TAG

LINETYPE LEGEND

- PROPERTY LINE
- SETBACK LINE
- CENTER LINE
- MATCH LINE
- OVERHEAD/ABOVE
- OVERHEAD WIRE
- ROOT BARRIER

TREES/PALMS TO BE PRESERVED

TREES/PALMS TO BE TRANSPLANTED TO A NEW LOCATION

SCALE: 1" = 20'-0"

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SHEET NAME
IRRIGATION PLAN
LEVEL 1

SHEET NO.
L-12

PROJECT NO.	2303
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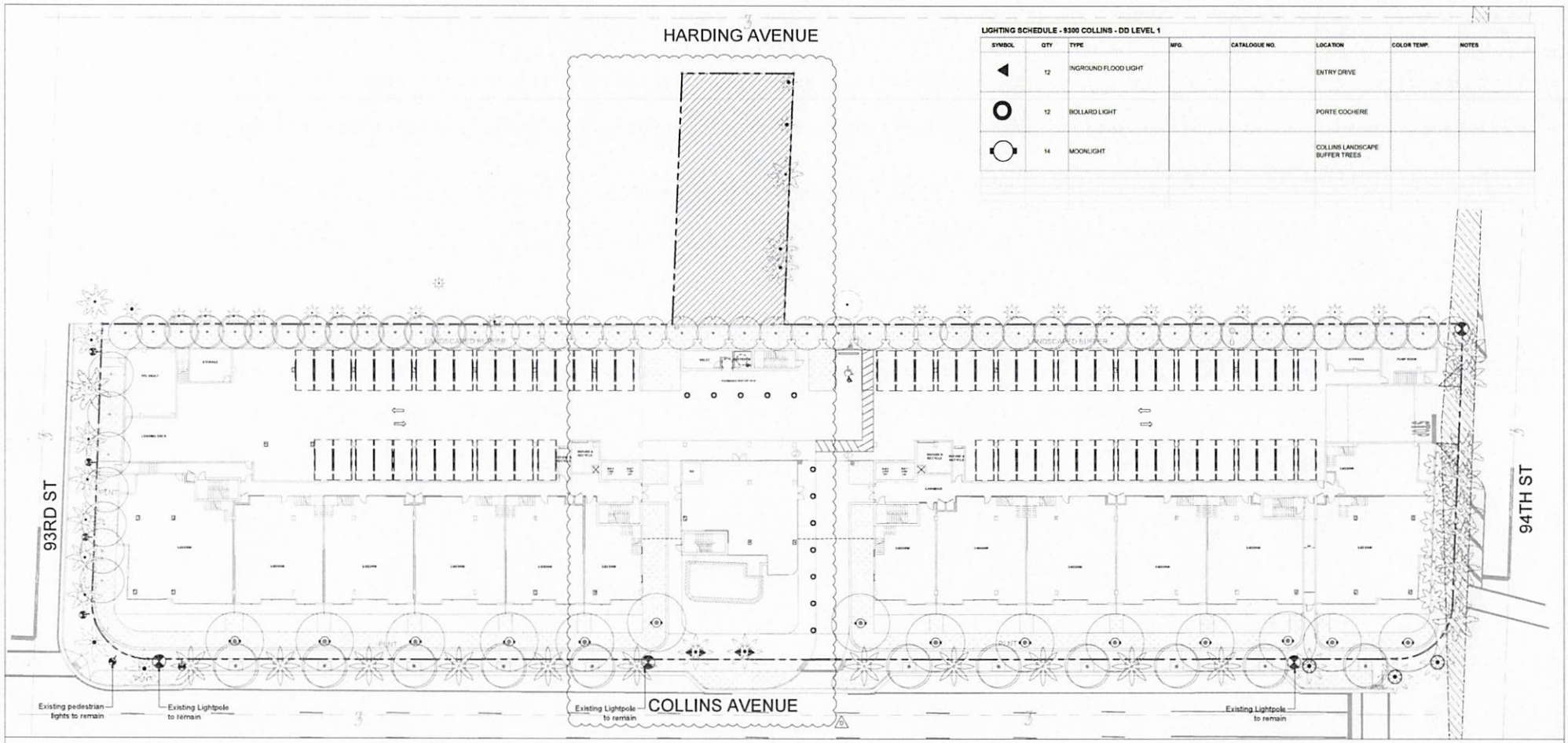

LIGHTING SCHEDULE - 9300 COLLINS - DD LEVEL 1

SYMBOL	QTY	TYPE	MFG.	CATALOGUE NO.	LOCATION	COLOR TEMP.	NOTES
◀	12	INGROUND FLOOD LIGHT			ENTRY DRIVE		
O	12	BOLLARD LIGHT			PORTE COCHERE		
⬡	14	MOONLIGHT			COLLINS LANDSCAPE BUFFER TREES		

DRAWING SYMBOL LEGEND

- STEPS
- RAMPS
- DETAIL MARKER
- SECTION MARKER
- ENLARGEMENT
- 15 HARDSCAPE TAG

PLANTING SYMBOL LEGEND

- PLANTING AREA
- PLANT TAG

LINETYPE LEGEND

- PROPERTY LINE — PL
- SETBACK LINE
- CENTER LINE — ℄
- MATCH LINE
- OVERHEAD/ABOVE — ABV
- OVERHEAD WIRE — OW
- ROOT BARRIER

TREES/PALMS TO BE PRESERVED

TREES/PALMS TO BE TRANSPLANTED TO A NEW LOCATION

SCALE: 1" = 20'-0"

NOT FOR CONSTRUCTION
PLANS NOT COMPLETE WITHOUT WRITTEN SPECIFICATIONS

PROJECT
9300 Collins Ave
9300 Collins Ave, Surfside, FL 33154

CLIENT
KUSHNER
9300 COLLINS OWNER LLC C/O KUSHNER
767 FIFTH AVENUE, 50 FL, NEW YORK, NEW YORK 10153
T +1 212 527 7000
WWW.KUSHNER.COM

DEVELOPMENT & CONSTRUCTION MANAGER

ARCHITECT
PALMA
JO PALMA + PARTNERS CORPORATION
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T +1 312 496 3117
INFO@PALMA.GLOBAL

CONSULTANT
savinomiller DESIGN STUDIO
LANDSCAPE ARCHITECTURE | URBAN DESIGN | ARCHITECTURE
12347 N.E. 6TH AVENUE #4 | NORTH MIAMI, FLORIDA | 33161
T. 305.893.8301 | F. 305.893.8303 | WWW.SAVINOMILLER.COM
AR-0014444 | LA0000866

KEY PLAN

GENERAL NOTES

SEAL & SIGNATURE
REGISTERED LANDSCAPE ARCHITECT BARRY R. MILLER LA 0000866 STATE OF FLORIDA

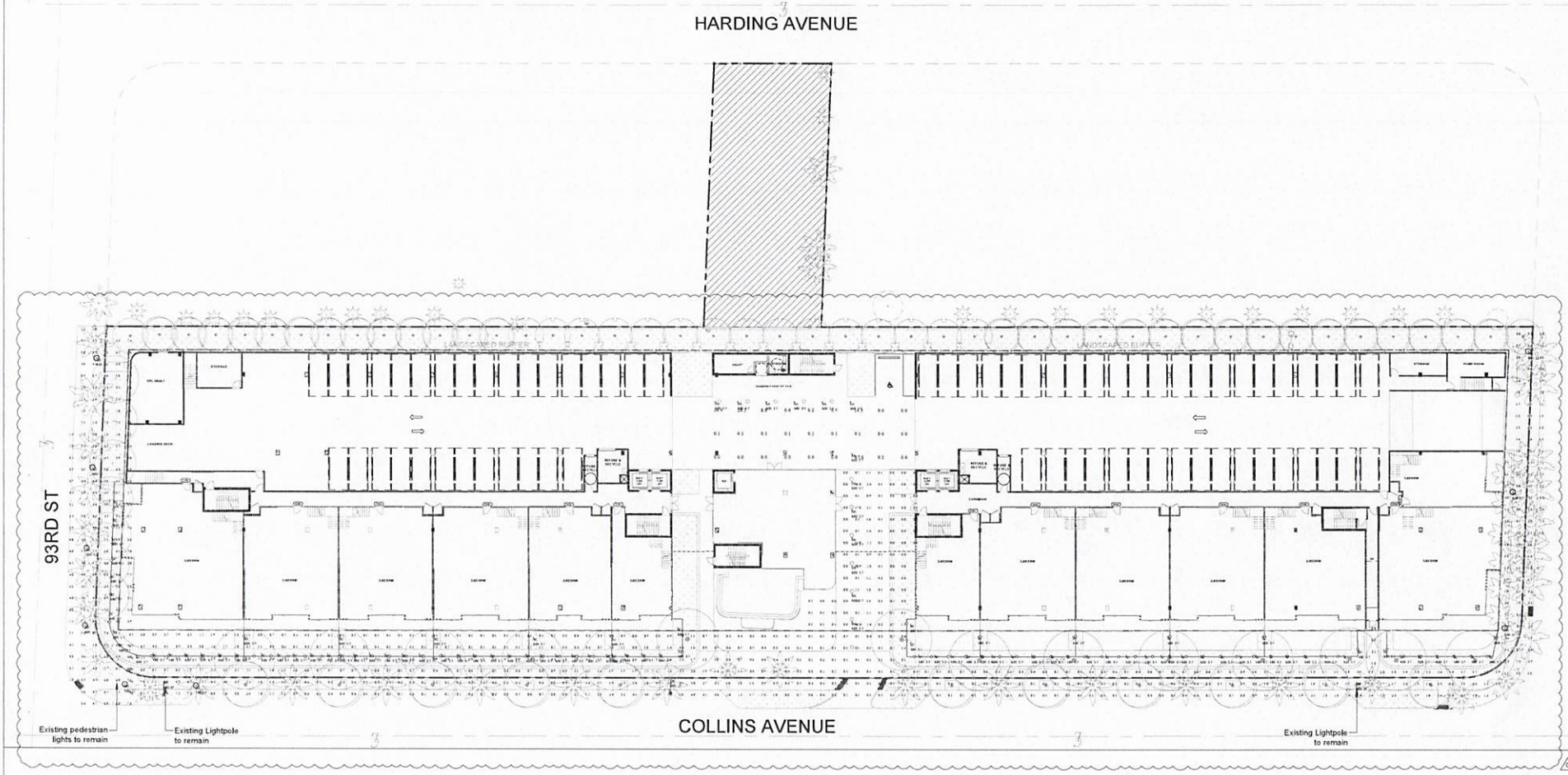
NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	06-DEC-2023
C	ISSUED FOR SITE PLAN REVISIONS	11-MAR-2024
D	ISSUED FOR SITE PLAN REVISIONS	26-AUG-2024

SHEET NAME
LIGHTING PLAN LEVEL 1

SHEET NO.
L-13

PROJECT NO. 2303
DATE 13-OCT-2023
SCALE As shown on drawing

© Copyright JO PALMA + PARTNERS CORPORATION



Luminaire Schedule: 9300 COLLINS (SITE REV1)								
Symbol	Qty	Label	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
	3	20	[illegible]	1.000	4870	55	165
	5	28	[illegible]	1.000	1770	36	179
	11	5A	[illegible]	1.000	496	11	121
	16	27	[illegible]	0.900	130	7.00	104.1

Calculation Summary								
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	Calc Type
[illegible]	Fc	4.74	19.5	1.0	3.00	9.40	Illuminance
[illegible]	Fc	1.47	4.4	0.2	7.35	1.47	Illuminance
[illegible]	Fc	1.58	41.7	0.0	39.6	39.6	Illuminance

SCALE: 1" = 20'-0"

NOT FOR CONSTRUCTION
PLANS NOT COMPLETE WITHOUT
WRITTEN SPECIFICATIONS

PROJECT
9300 Collins Ave
9300 Collins Ave, Surfside, FL 33154

CLIENT
KUSHNER
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LANDSCAPE ARCHITECTURE | URBAN DESIGN | ARCHITECTURE
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T. 305.945.3042 | F. 305.945.4041 | WWW.SAVINOMILLER.COM
ARCHITECTURE | LANDSCAPE

KEY PLAN

GENERAL NOTES

SEAL & SIGNATURE
REGISTERED LANDSCAPE ARCHITECT
BARRY R. MILLER
LA 0000866
STATE OF FLORIDA

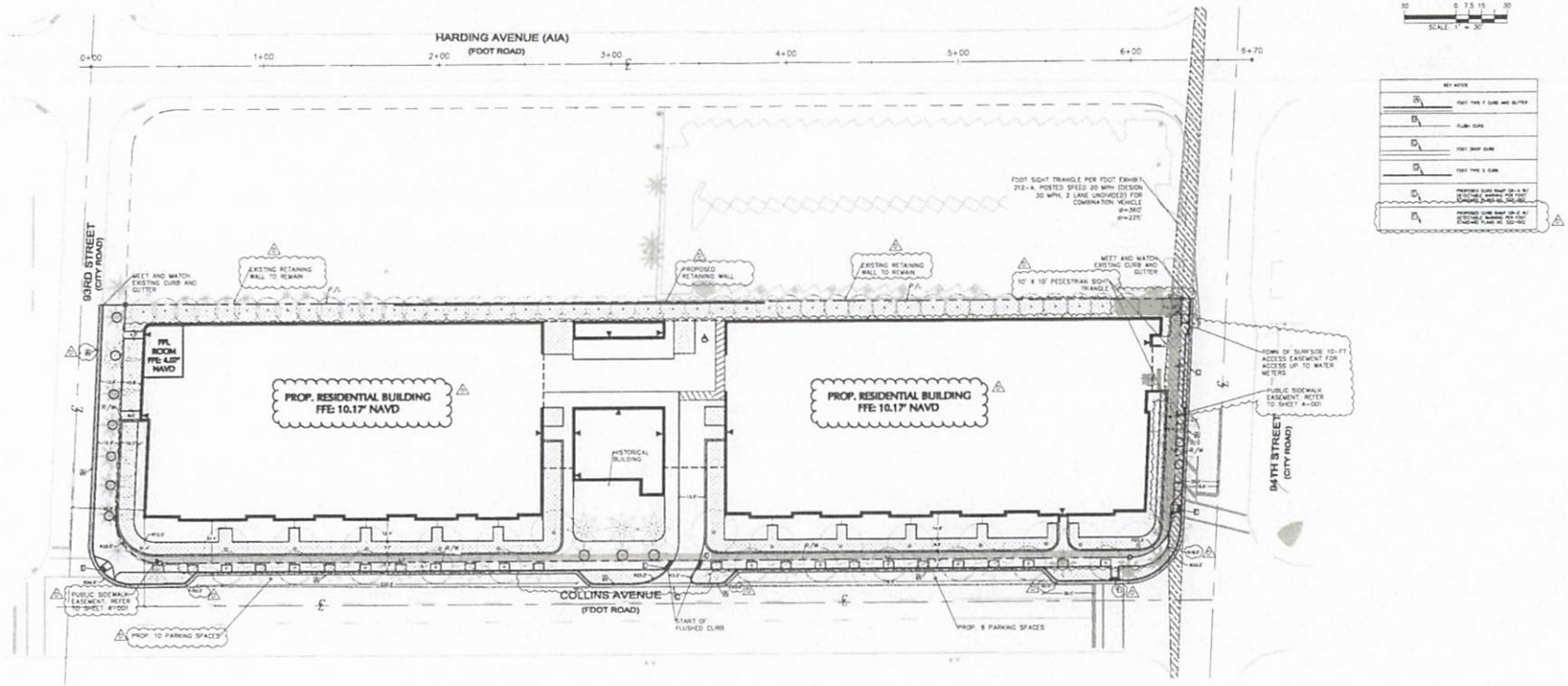
NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
C	ISSUED FOR SITE PLAN REVISIONS	11-MAR-2024
D	ISSUED FOR SITE PLAN REVISIONS	26-AUG-2024

SHEET NAME
LIGHTING LEVEL 1 PHOTOMETRICS

SHEET NO.
L-15

PROJECT NO. 2303
DATE 13-OCT-2023
SCALE As shown on drawing

© Copyright JO PALMA + PARTNERS CORPORATION



PROJECT

9300 COLLINS AVE

9300 COLLINS AVE., SURFSIDE, FL 33154

CLIENT

KUSHNER

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DEVELOPMENT & CONSTRUCTION MANAGER

MOSS

ARCHITECT

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CONSULTANT

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Langan Engineering and Environmental Services, Inc.
1221 Brickell Ave, Suite 1800
Miami, FL 33131
T. 786 264 7200 F. 786 264 7201 www.langan.com
FL CERTIFICATE OF AUTHORIZATION NO. 0000806 LB 6617 CA 0818

KEY PLAN

GENERAL NOTES

SEAL & SIGNATURE

LEONARDO RODRIGUEZ LICENSE No. 54858 STATE OF FLORIDA PROFESSIONAL ENGINEER

SIGNATURE DATE SIGNED
LEONARDO RODRIGUEZ
PROFESSIONAL ENGINEER FL Lic. No. 54858

NO	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
B	ISSUED FOR SITE PLAN REVISIONS	29-DEC-2023
D	ISSUED FOR SITE PLAN REVISIONS	28-AUG-2024

NOT FOR CONSTRUCTION

SHEET NAME

SITE PLAN

SHEET NO.

C-300

PROJECT NO	300329201
DATE	13-OCT-2023
SCALE	1" = 30'-0"

Date 8/29/2024 Time 12:53 User gianiano Style Table Langan.stb Layout C-300 Drawing Date 300329201.DS01.CS101.DI01

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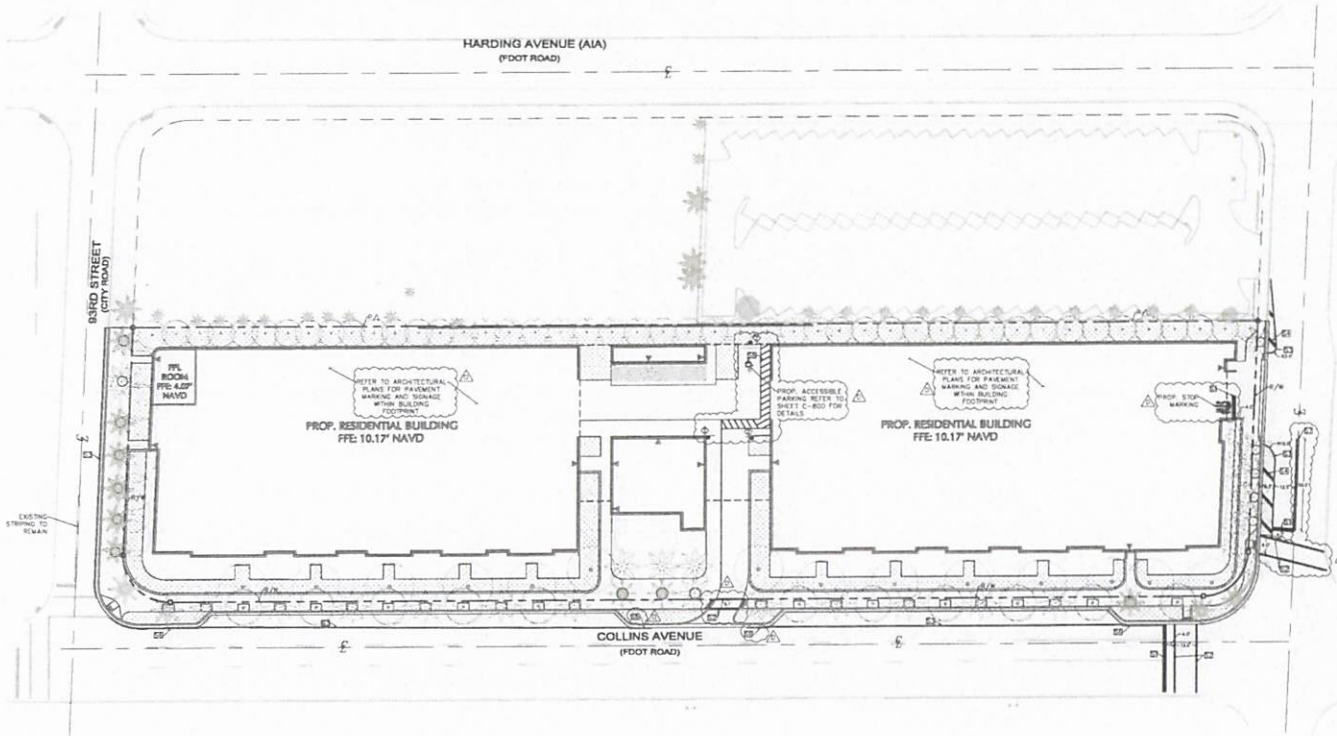

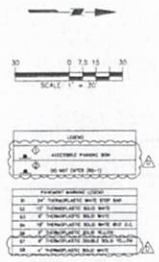

PROJECT
9300 COLLINS AVE
9300 COLLINS AVE, SURFSIDE, FL 33154

CLIENT
KUSHNER
9300 COLLINS OWNER LLC C/O KUSHNER
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DEVELOPMENT & CONSTRUCTION MANAGER
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1221 Brickell Ave, Suite 1800
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T. 786 264 7200 F. 786 264 7201 www.langan.com
FL CERTIFICATE OF AUTHORIZATION NO. 0000006 LB 1705 LB7180

KEY PLAN

GENERAL NOTES

SEAL & SIGNATURE
LEONARDO RODRIGUEZ No. 54858 STATE OF FLORIDA PROFESSIONAL ENGINEER
SIGNATURE DATE SIGNED
LEONARDO RODRIGUEZ
PROFESSIONAL ENGINEER FL Lic. No. 54858

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
B	ISSUED FOR SITE PLAN REVISIONS	29-DEC-2023
D	ISSUED FOR SITE PLAN REVISIONS	26-AUG-2024

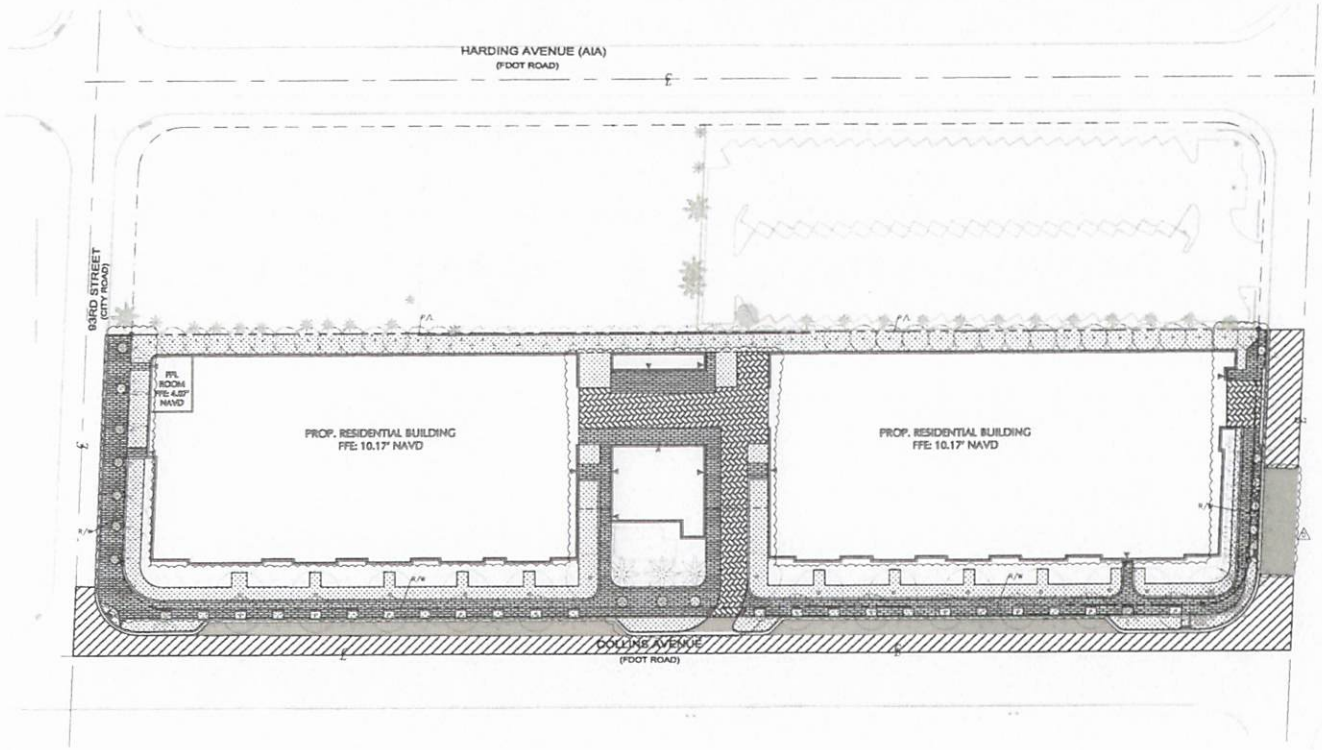
NOT FOR CONSTRUCTION

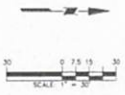
SHEET NAME
PAVEMENT MARKING AND SIGNAGE PLAN

SHEET NO.
C-301

PROJECT NO.	300329201
DATE	13-OCT-2023
SCALE	1" = 30'-0"

Date: 8/26/24 Time: 12:59 User: gerardo Style Table: Langan.stb Layout: C-301 D:\Langan\JO PALMA + PARTNERS CORPORATION





VEHICULAR PAVERS

1. PAVERS. REFER TO LANDSCAPE ARCHITECT PLANS FOR PAVERS SPECIFICATIONS, MATERIALS, AND PATTERNS
2. 1" MORTAR SETTING BED
3. 6" 4000 PSI CONCRETE WITH WWM AND EDGE RE-BAR REINFORCEMENT
4. 6" LIMEROCK BASE MIN. LBR 100, COMPACTED 98% MAX. DENSITY PER AASHTO T-180
5. 12" STABILIZED SUBGRADE MIN. LBR 40, COMPACTED TO 95% MAX. DENSITY PER AASHTO T-180

PEDESTRIAN PAVERS (SAND-SET)

1. PAVERS. REFER TO LANDSCAPE ARCHITECT PLANS FOR PAVERS SPECIFICATIONS, MATERIALS, AND PATTERNS
2. 1" SAND SETTING BED
3. 6" LIMEROCK BASE MIN. LBR 100, COMPACTED 98% MAX. DENSITY PER AASHTO T-180
4. 12" STABILIZED SUBGRADE MIN. LBR 40, COMPACTED TO 95% MAX. DENSITY PER AASHTO T-180

ASPHALT SECTION

1. 2" SP-12.5 TRAFFIC GROUP C AND FINAL LIFT SHALL BE 1" FC-9.5 WITH POLYMER/RUBBER MIX
2. 6" LIMEROCK BASE MIN. LBR 100, COMPACTED 100% MAX. DENSITY PER AASHTO T-180
3. 12" STABILIZED SUBGRADE MIN. LBR 40, COMPACTED TO 98% MAX. DENSITY PER AASHTO T-180

LEGEND

- PROP. ASPHALT PAVEMENT
- PROP. CONCRETE SIDEWALK
- MILL AND RESURFACING
- LANDSCAPE (REFER TO LANDSCAPE PLANS FOR DETAILS AND SPECIFICATIONS)
- PEDESTRIAN PAVERS (SAND-SET) (REFER TO LANDSCAPE PLANS FOR DETAILS AND SPECIFICATIONS)
- VEHICULAR PAVERS (REFER TO LANDSCAPE PLANS FOR DETAILS AND SPECIFICATIONS)

NOTES:

1. ALL SIDEWALKS SHALL BE 6" THICK CONCRETE WITH BROOM FINISH AND MUST COMPLY WITH THE REQUIREMENTS OF MIAMI-DADE COUNTY PUBLIC WORKS MANUAL SECTION 145.
2. MILL A MINIMUM OF 1" AND RESURFACE AS NEEDED TO MATCH EXISTING GRADES. RESURFACING SHALL CONSIST OF A MINIMUM OF 1" FRICTION COURSE FC-9.5 RUBBER (TRAFFIC LEVEL C).
3. CONTRACTOR SHALL ADJUST ALL CASTINGS TO MATCH FINISH GRADE.

PROJECT
9300 COLLINS AVE
9300 COLLINS AVE, SURFSIDE, FL 33154

CLIENT
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DEVELOPMENT & CONSTRUCTION MANAGER
MOSS

ARCHITECT
PALMA
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1221 Brickell Ave, Suite 1800
Miami, FL 33131
T. 786.264.7200 F. 786.264.7201 www.langan.com
FL CERTIFICATE OF AUTHORIZATION NO. 0000001 LB#1754 MKW

KEY PLAN

GENERAL NOTES

SEAL & SIGNATURE
LEONARDO RODRIGUEZ LICENSE No. 54858 STATE OF FLORIDA PROFESSIONAL ENGINEER
SIGNATURE DATE SIGNED
LEONARDO RODRIGUEZ
PROFESSIONAL ENGINEER FL Lic. No. 54858

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
B	ISSUED FOR SITE PLAN REVISIONS	29-DEC-2023
D	ISSUED FOR SITE PLAN REVISIONS	28-AUG-2024

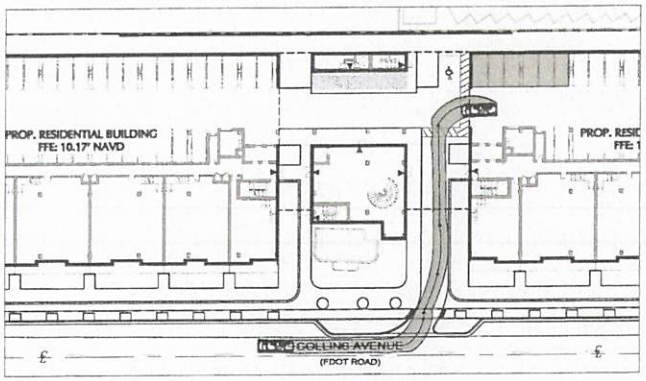
NOT FOR CONSTRUCTION

SHEET NAME
PAVING PLAN

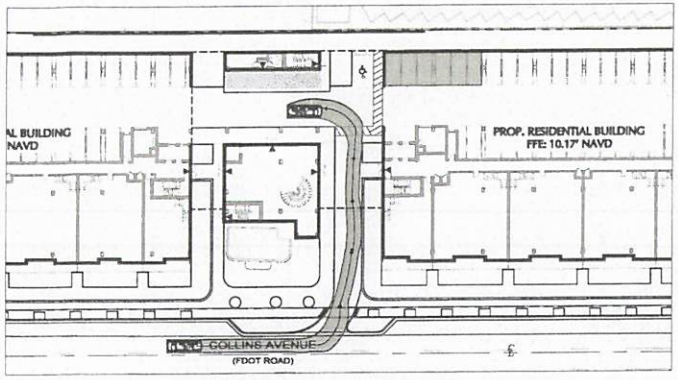
SHEET NO.
C-302

PROJECT NO.	300329201
DATE	13-OCT-2023
SCALE	1" = 30'-0"

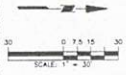
Date: 5/28/2024 Time: 12:56 User: jgarrison Style Table: Langan.stb Layout: C-302 © Copyright JO PALMA + PARTNERS CORPORATION

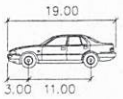


PASSENGER VEHICLE INGRESS MOVEMENT



PASSENGER VEHICLE EGRESS MOVEMENT

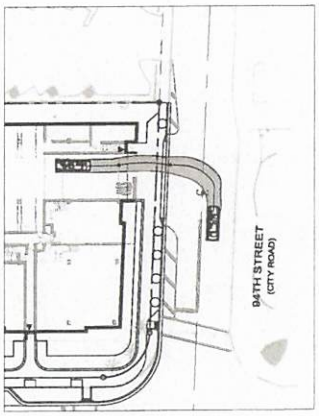




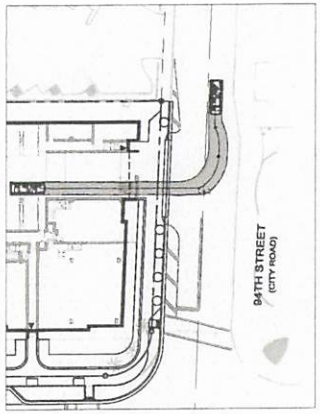
P

	feet
Width	: 7.00
Track	: 6.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.6

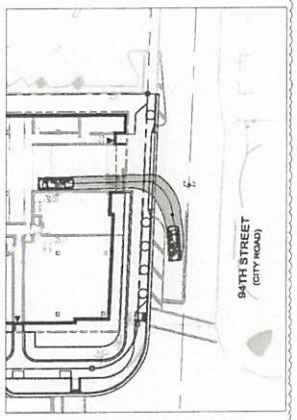
PASSENGER VEHICLE INGRESS MOVEMENT



PASSENGER VEHICLE INGRESS MOVEMENT



PASSENGER VEHICLE EGRESS MOVEMENT



PASSENGER VEHICLE EGRESS MOVEMENT

PROJECT
9300 COLLINS AVE
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CLIENT
KUSHNER
9300 COLLINS OWNER LLC C/O KUSHNER
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DEVELOPMENT & CONSTRUCTION MANAGER
MOSS

ARCHITECT
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Miami, FL 33131
T. 786.264.7200 F. 786.264.7201 www.langan.com
FL CER OF COA AUTHORIZATION NO. 0000061/LB6735/LB6749

KEY PLAN

GENERAL NOTES

SEAL & SIGNATURE
LEONARDO RODRIGUEZ LICENSE No. 54858 STATE OF FLORIDA PROFESSIONAL ENGINEER
SIGNATURE DATE SIGNED
LEONARDO RODRIGUEZ
PROFESSIONAL ENGINEER FL Lic. No. 54858

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
D	ISSUED FOR SITE PLAN REVISIONS	28-AUG-2024

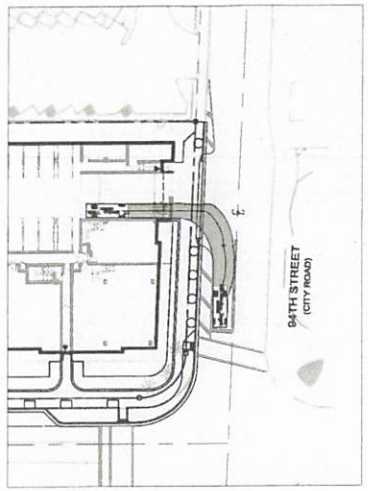
NOT FOR CONSTRUCTION

SHEET NAME
PASSENGER VEHICLE CIRCULATION PLAN

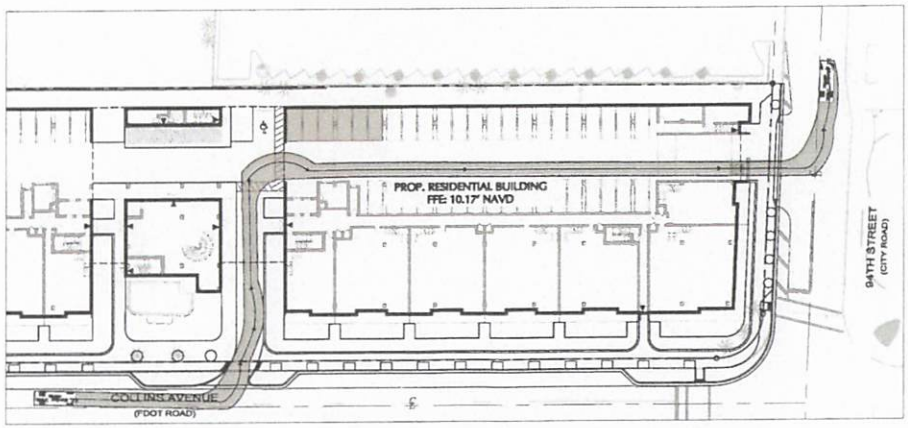
SHEET NO.
C-310

PROJECT NO.	30032901
DATE	13-OCT-2023
SCALE	1" = 30'-0"

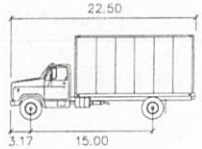
Date 8/28/2024 Time 12:59 User gianrano Style Table Langan.stb Layout C-310 Document Code 30032901-0501-CS101-0102 ©Langan & Palma + Partners Corporation



23 MOVING EGRESS MOVEMENT



23 MOVING INGRESS AND EGRESS MOVEMENT



23' Moving Truck

	feet
Width	: 7.67
Track	: 7.00
Lock to Lock Time	: 6.0
Steering Angle	: 40.0

PROJECT
9300 COLLINS AVE
9300 COLLINS AVE, SURFSIDE, FL 33154

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DEVELOPMENT & CONSTRUCTION MANAGER
MOSS

ARCHITECT
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FL CERTIFICATE OF AUTHORIZATION NO. 00000476 LB 1795 (MIA)

KEY PLAN

GENERAL NOTES

SEAL & SIGNATURE
LICENSED PROFESSIONAL ENGINEER No. 54858 STATE OF FLORIDA
SIGNATURE DATE SIGNED
LEONARDO RODRIGUEZ
PROFESSIONAL ENGINEER FL Lic. No. 54858

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
D	ISSUED FOR SITE PLAN REVISIONS	26-AUG-2024

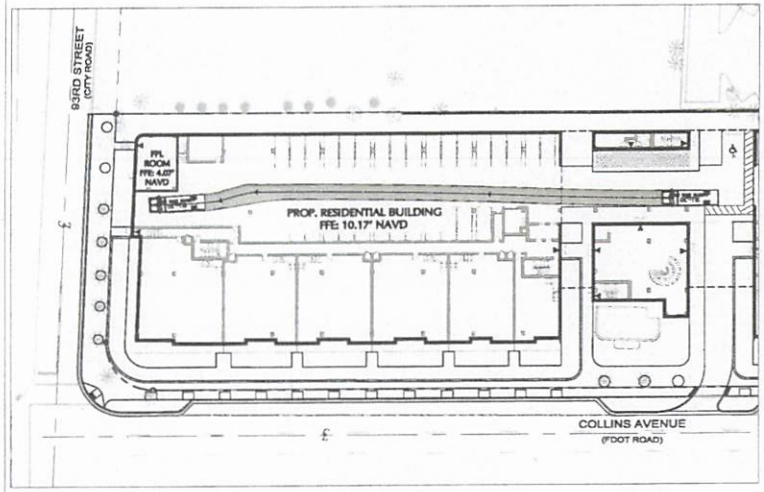
NOT FOR CONSTRUCTION

SHEET NAME
MOVING TRUCK CIRCULATION PLAN

SHEET NO.
C-311

PROJECT NO.	300329201
DATE	13-OCT-2023
SCALE	1" = 30'-0"

Date: 8/26/2024 Time: 12:59 User: gsantana1 Style Table: Langan.stb Layout: C-311 D ©Copyright JO PALMA + PARTNERS CORPORATION



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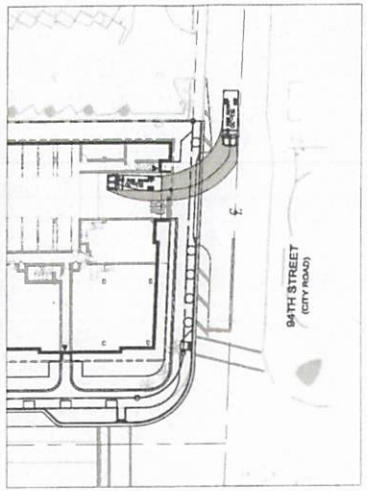
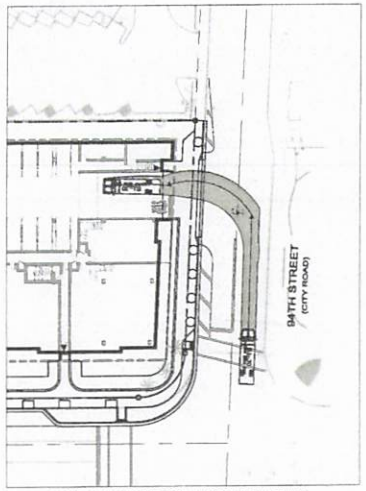
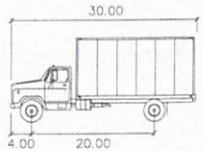


SU30 INGRESS MOVEMENT

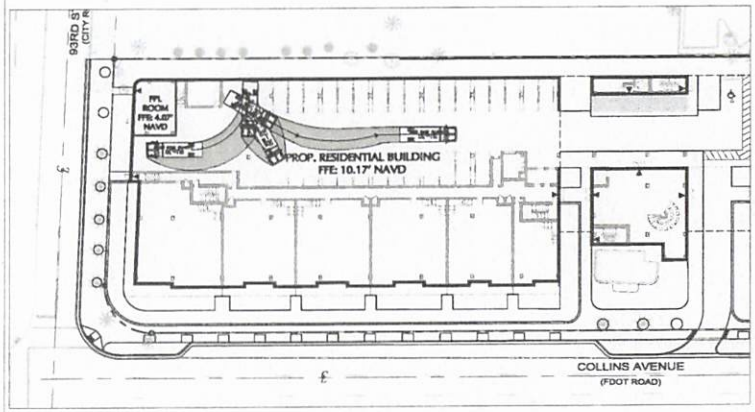


SU30 INGRESS MOVEMENT

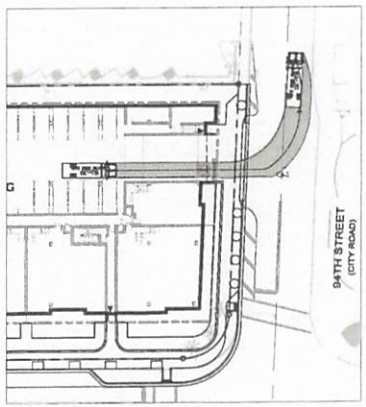


SU-30

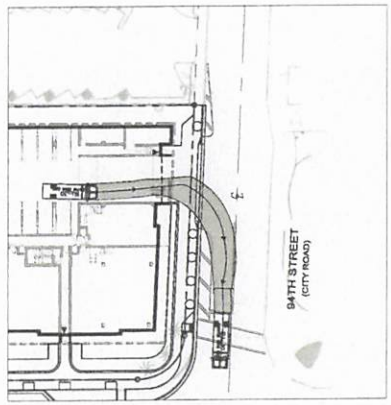
	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8



SU30 ENGRESS MOVEMENT



SU30 EGRESS MOVEMENT



SU30 EGRESS MOVEMENT

PROJECT
9300 COLLINS AVE
9300 COLLINS AVE, SURFSIDE, FL 33154

CLIENT
KUSHNER
9300 COLLINS OWNER LLC C/O KUSHNER
767 FIFTH AVENUE, 50 FL, NEW YORK, NEW YORK 10153
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DEVELOPMENT & CONSTRUCTION MANAGER
MOSS

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FL CERTIFICATE OF AUTHORIZATION NO. 00000114 MTD LMFW

KEY PLAN

GENERAL NOTES

SEAL & SIGNATURE
LEONARDO RODRIGUEZ LICENSE No. 54858 STATE OF FLORIDA PROFESSIONAL ENGINEER
SIGNATURE DATE SIGNED
LEONARDO RODRIGUEZ
PROFESSIONAL ENGINEER FL Lic. No. 54858

NO.	DESCRIPTION	DATE
D	ISSUED FOR SITE PLAN REVISIONS	28-AUG-2024

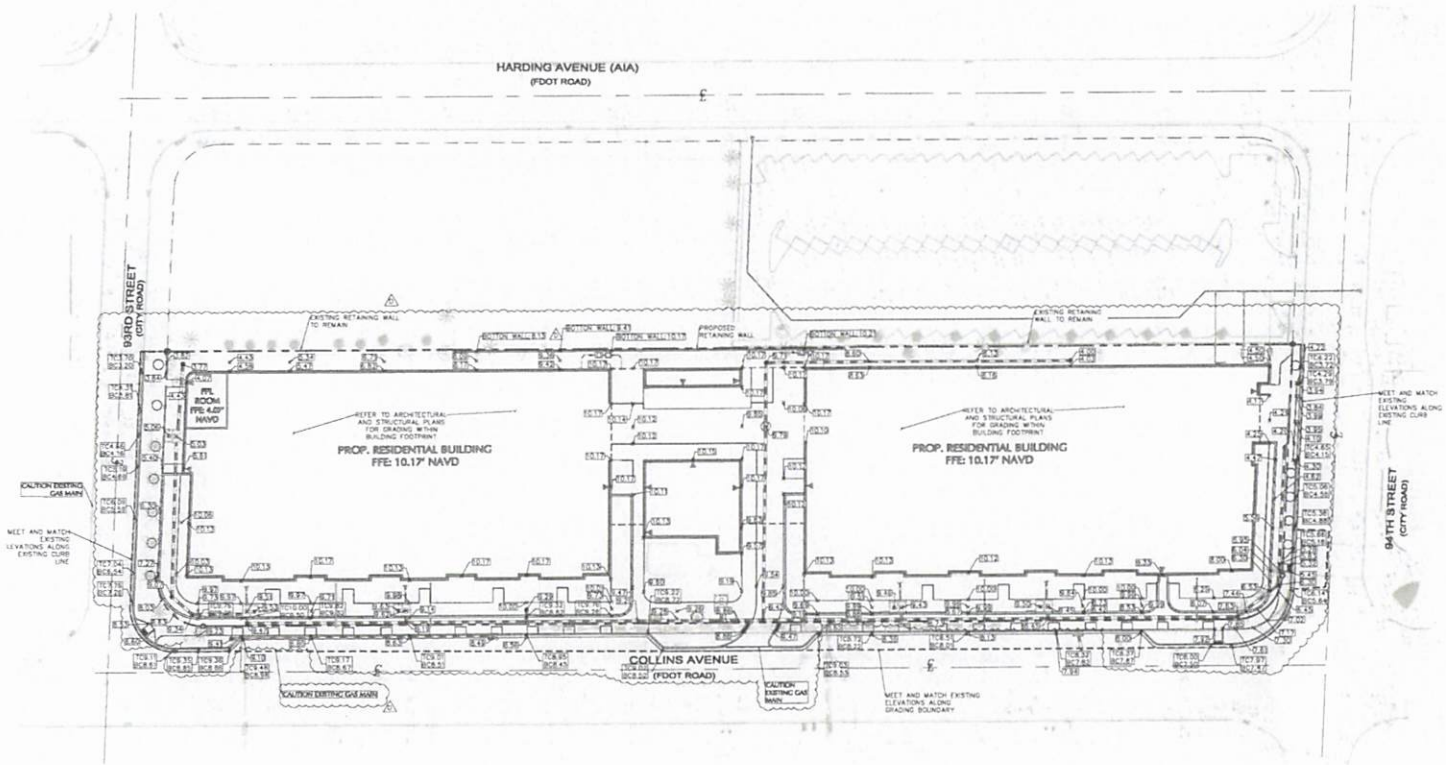
NOT FOR CONSTRUCTION

SHEET NAME
SU-30 CIRCULATION PLAN

SHEET NO.
C-312

PROJECT NO.	300329201
DATE	13-OCT-2023
SCALE	1" = 30'-0"

Date: 5/30/24 Time: 12:59 User: gerrero Style Table: Langan.stb Layout: C-312 D © Copyright JO PALMA + PARTNERS CORPORATION



EXISTING UTILITIES LEGEND
EXISTING COMMUNICATION LINE
EXISTING OVERHANG LINE
EXISTING DRAINAGE
EXISTING SANITARY SEWER LINE
EXISTING WATER LINE
EXISTING GAS LINE
EXISTING ELECTRICAL DUCT BANK
PROPOSED UTILITIES LEGEND
PROPOSED WATER LINE
PROPOSED SANITARY SEWER LINE
PROPOSED ELECTRICAL DUCT BANK
PROPOSED GAS MAIN
PROPOSED DRAINAGE PIPE
PROPOSED DRAINAGE STRUCTURE
BASEMENT

NOTES:

1. ALL ELEVATIONS SHOWN ARE BASED ON THE NAVD88 DATUM UNLESS OTHERWISE NOTED.
2. GRADING SHALL BE IN ACCORDANCE WITH ADA STANDARDS FOR ACCESSIBLE DESIGN (LAST EDITION).

PROJECT
9300 COLLINS AVE
9300 COLLINS AVE, SURFSIDE, FL 33154

CLIENT
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KEY PLAN

GENERAL NOTES

SEAL & SIGNATURE
LEONARDO RODRIGUEZ LICENSE No. 54858 STATE OF FLORIDA PROFESSIONAL ENGINEER
SIGNATURE DATE SIGNED
LEONARDO RODRIGUEZ
PROFESSIONAL ENGINEER FL Lic. No. 54858

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
B	ISSUED FOR SITE PLAN REVISIONS	29-DEC-2023
D	ISSUED FOR SITE PLAN REVISIONS	28-AUG-2024

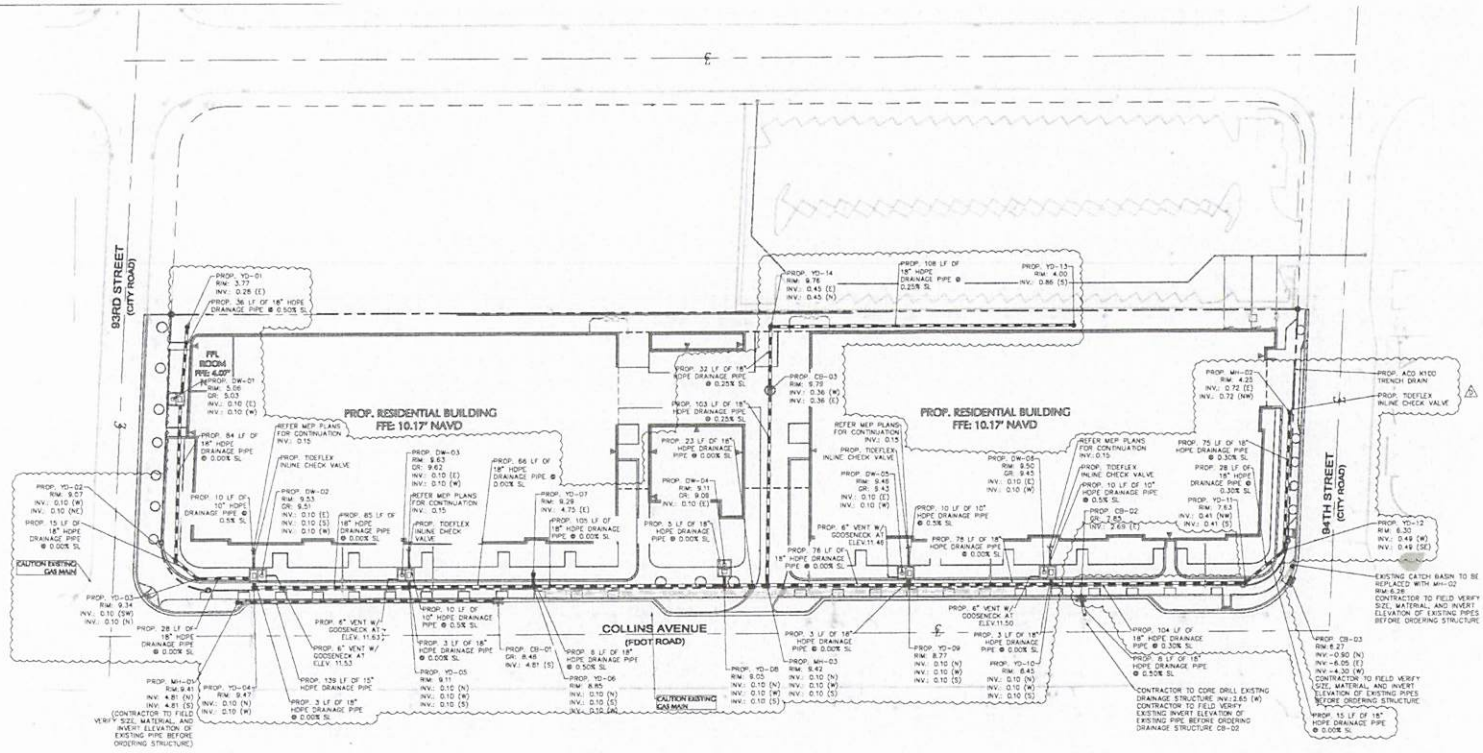
NOT FOR CONSTRUCTION

SHEET NAME
GRADING PLAN

SHEET NO.
C-400

PROJECT NO.	300329201
DATE	13-OCT-2023
SCALE	1" = 30'-0"

Date: 5/30/2024 Time: 13:00 User: gserrano Style Table: Langan.stb Layout: C-400 D:\Users\JO PALMA + PARTNERS CORPORATION



EXISTING UTILITIES LEGEND
EXISTING COMMUNICATION LINE
EXISTING OVERHANG LINE
EXISTING DRAINAGE
EXISTING SANITARY SEWER LINE
EXISTING WATER LINE
EXISTING GAS LINE
EXISTING ELECTRICAL DUCT BANK
PROPOSED UTILITIES LEGEND
PROPOSED WATER LINE
PROPOSED SANITARY SEWER LINE
PROPOSED ELECTRICAL DUCT BANK
PROPOSED GAS MAIN
PROPOSED DRAINAGE PIPE
PROPOSED DRAINAGE STRUCTURE
BASEMENT

NOTES:

1. ALL ELEVATIONS SHOWN ARE BASED ON THE NAVD88 DATUM UNLESS OTHERWISE NOTED.
2. CONTRACTOR TO FIELD VERIFY EXISTING INVERT ELEVATIONS BEFORE ORDERING STRUCTURES.
3. CONTRACTOR SHALL CLEAN ALL EXISTING AND PROPOSED DRAINAGE PIPES BEFORE DEMOBILIZING.
4. CONTRACTOR SHALL REDEVELOP ALL DRAINAGE WELLS BEFORE DEMOBILIZING AND REPORT TO THE ENGINEER OF RECORD THE SPECIFIC CAPACITY OF THE DRAINAGE WELL.
5. PROPOSED WELLS WITH EXISTING CASING CONTRACTOR SHALL PROVIDE WELL BOX AND INTERCONNECT WITH PROPOSED STORMWATER MANAGEMENT SYSTEM AS SHOWN ON THIS PLAN.

PROJECT
9300 COLLINS AVE
9300 COLLINS AVE, SURFSIDE, FL 33154

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KEY PLAN

GENERAL NOTES

SEAL & SIGNATURE
LEONARDO RODRIGUEZ LICENSE No. 54858 STATE OF FLORIDA PROFESSIONAL ENGINEER
SIGNATURE DATE SIGNED
LEONARDO RODRIGUEZ
PROFESSIONAL ENGINEER FL Lic. No. 54858

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
B	ISSUED FOR SITE PLAN REVISIONS	29-DEC-2023
D	ISSUED FOR SITE PLAN REVISIONS	26-AUG-2024

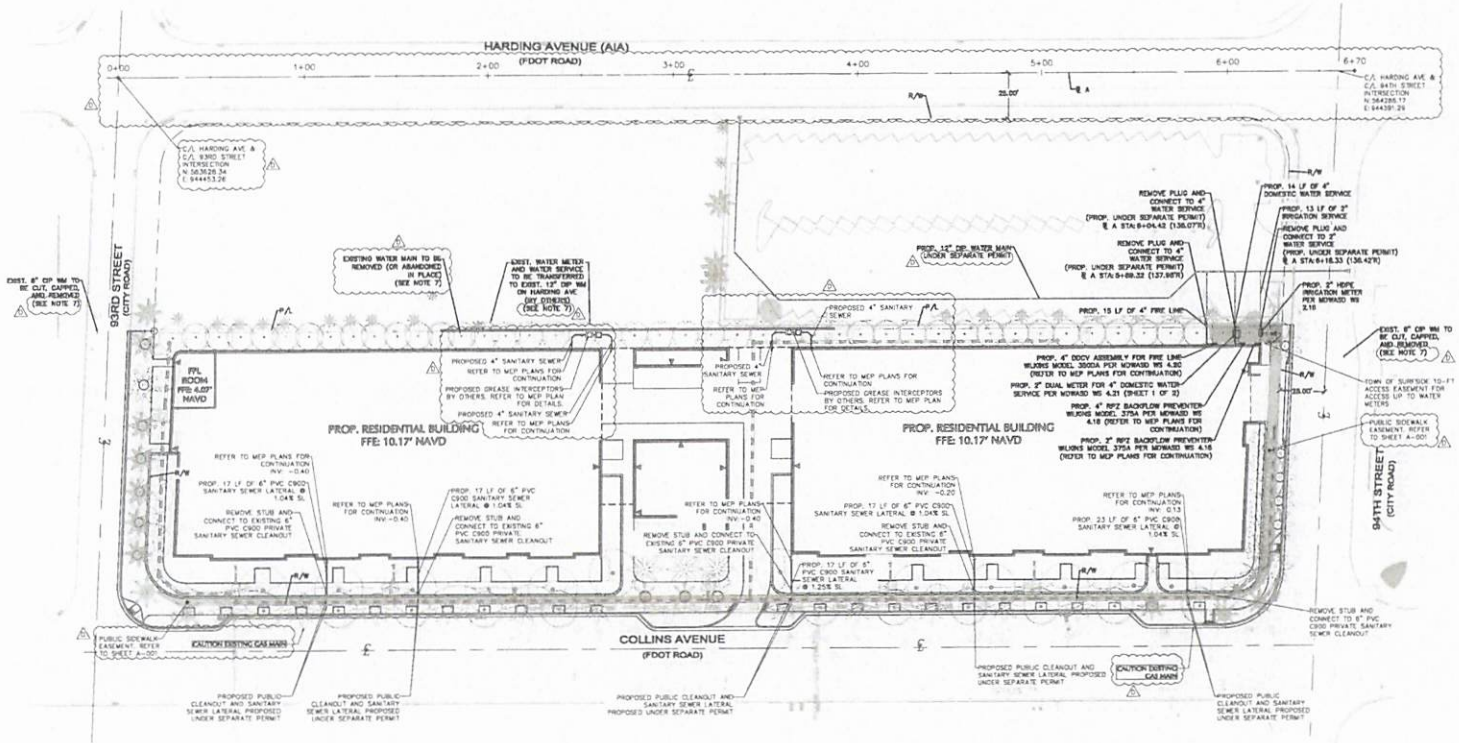
NOT FOR CONSTRUCTION

SHEET NAME
DRAINAGE PLAN

SHEET NO
C-401

PROJECT NO	300329201
DATE	13-OCT-2023
SCALE	1" = 30'-0"

Date: 8/29/2024 Time: 13:06 User: gaetano Style Table: Langan.stb Layout: C-401 © Copyright JO PALMA + PARTNERS CORPORATION



SCALE: 1" = 30'

EXISTING UTILITIES LEGEND
EXISTING COMMUNICATION LINE
EXISTING OVERHANG LINE
EXISTING DRAINAGE
EXISTING SANITARY SEWER LINE
EXISTING WATER LINE
EXISTING GAS LINE
EXISTING ELECTRICAL DUCT BANK
PROPOSED UTILITIES LEGEND
PROPOSED WATER LINE
PROPOSED SANITARY SEWER LINE
PROPOSED ELECTRICAL DUCT BANK
PROPOSED GAS MAIN
PROPOSED DRAINAGE PIPE
PROPOSED DRAINAGE STRUCTURE

NOTES:

1. ALL ELEVATIONS SHOWN ARE BASED ON THE NAVD88 DATUM UNLESS OTHERWISE NOTED.
2. SALTWATER INTRUSION AREA: ALL PROPOSED SUPPORTS AND FITTINGS SHALL BE ZINC COATED AND HAVE POLYETHYLENE ENCASEMENT PER MDWASD A-9.5.
3. ALL DEFLECTIONS SHALL BE 2.5° MAX.
4. CONTRACTOR SHALL COORDINATE WITH HOTWIRE AND BREEZELINE AND ANY OTHER UTILITY PROVIDER WITH INFRASTRUCTURE WITHIN THE PROJECT AREA, FOR EXACT LOCATION AND SIZE OF EXISTING COMMUNICATION LINES.
5. CONTRACTOR SHALL COORDINATE WITH TECO FOR EXACT LOCATION AND SIZE OF EXISTING GAS MAINS AND SERVICES.
6. CONTRACTOR SHALL COORDINATE WITH FP&L FOR LOCATION AND SIZE OF EXISTING AND PROPOSED FP&L DUCT BANKS AND SERVICES.
7. EXISTING 6" WATER MAIN TO BE REMOVED (OR ABANDONED IN PLACE) ONLY AFTER WATER SERVICES FOR SINGLE FAMILY HOMES ON 9333 HARDING AVENUE AND 9325 HARDING AVENUE HAVE BEEN TRANSFERRED (BY OTHERS) TO THE EXISTING 12" WATER MAIN ON HARDING AVENUE.

PROJECT

9300 COLLINS AVE

9300 COLLINS AVE. SURFSIDE, FL 33154

CLIENT

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KEY PLAN

GENERAL NOTES

SEAL & SIGNATURE

LEONARDO RODRIGUEZ LICENSE No. 54858 STATE OF FLORIDA PROFESSIONAL ENGINEER

SIGNATURE DATE SIGNED
LEONARDO RODRIGUEZ
PROFESSIONAL ENGINEER FL Lic. No. 54858

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
B	ISSUED FOR SITE PLAN REVISIONS	29-DEC-2023
D	ISSUED FOR SITE PLAN REVISIONS	28-AUG-2024

NOT FOR CONSTRUCTION

SHEET NAME

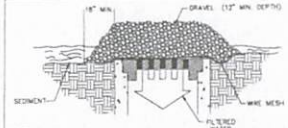
UTILITY PLAN

SHEET NO

C-500

PROJECT NO.	300329201
DATE	13-OCT-2023
SCALE	1" = 30'-0"

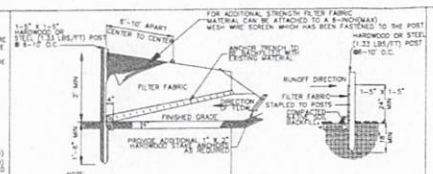
Date 8/28/2024 Time 12:00 User gserrano Style Table Langan.stb Layout C-500 D © Copyright JO PALMA + PARTNERS CORPORATION



SPECIFIC APPLICATION
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES AND UNPROTECTED AREAS.
*- GRAVEL SHALL BE FDOT #3, #357 OR #5 COARSE AGGREGATE.

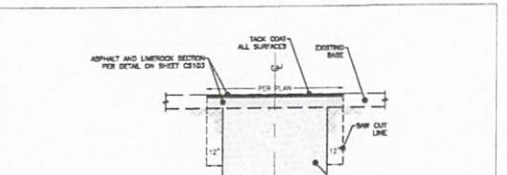
NOTES:
1. WIRE MESH SHALL BE LAID OVER THE DROP INLET SO THAT THE WIRE EXTENDS A MINIMUM OF ONE FOOT (300M) BEYOND EACH SIDE OF THE INLET STRUCTURE. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH ½ INCH (13MM) OPENINGS SHALL BE USED. IF MORE THAN ONE STRIP OF MESH IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED AT LEAST 1FT (300M).
2. FDOT NO. 1 COARSE AGGREGATE (1.5" TO 3.5" STONE) (4-90M) SHALL BE PLACED OVER THE WIRE MESH AS SHOWN. THE DEPTH OF STONE SHALL BE AT LEAST 12 INCHES. OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18" ON ALL SIDES.
3. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONES MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED/
4. THIS FILTERING DEVICE HAS NO OVERFLOW MECHANISM. THEREFORE, PONDING IS LIKELY ESPECIALLY IF SEDIMENT IS NOT REMOVED REGULARLY.
5. ALTERNATE STORM DRAIN INLET PROTECTION METHODS AS SHOWN IN THE FLORIDA EROSION AND SEDIMENT CONTROL INSPECTION'S MANUAL MAY BE USED, IF APPROVED BY THE GOVERNING AGENCIES AND THE ENGINEER OF RECORD.

INLET SEDIMENT FILTER

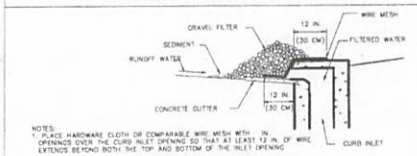


NOTE:
1. IN AREAS WHERE ANCHOR TRENCH CANNOT BE DUG, FABRIC WILL BE LAID ON SURFACE AND COVERED WITH MINIMUM 4" DEPTH OF SOIL.
2. WHEN ATTACHING 2 SILT FENCES TOGETHER, PLACE THE END POST OF THE SECOND FENCE INSIDE THE END POST OF THE FIRST FENCE. ROTATE BOTH POSTS AT LEAST 180 DEGREES IN A CLOCKWISE DIRECTION TO CREATE A TIGHT SEAL. WITH THE FILTER FABRIC DRIVE BOTH POSTS INTO THE GROUND AND BURY THE FLAP.
3. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER

SILT FENCE

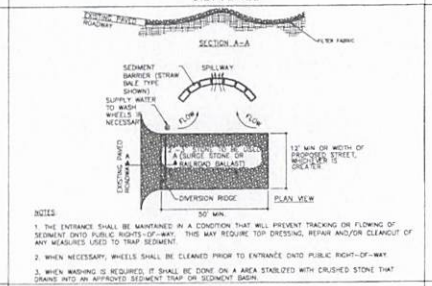


PAVEMENT RESTORATION DETAIL



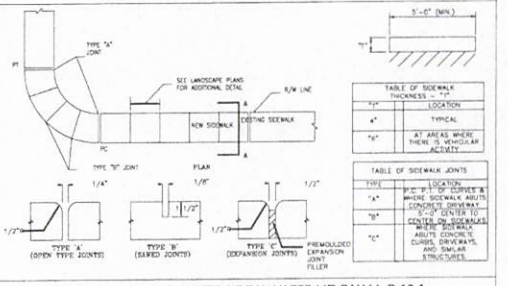
NOTES:
1. PLACE HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH ½ IN. OPENINGS OVER THE CURB INLET OPENING SO THAT AT LEAST 12 IN. OF WIRE EXTENDS BEYOND BOTH THE TOP AND BOTTOM OF THE INLET OPENING.
2. PLACE STONE AGAINST THE WIRE TO ANCHOR THE WIRE AGAINST THE GUTTER AND COVER THE INLET OPENING COMPLETELY. USE 2 TO 3 IN. GRAVEL.
3. MAINTENANCE - INSPECT ONCE EVERY WEEK OR AFTER EVERY STORM EVENT, WHICHEVER COMES FIRST. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT, THE STONES MUST BE PULLED AWAY FROM THE INLET AND CLEANED OR REPLACED.
4. THIS FILTERING DEVICE HAS NO OVERFLOW MECHANISM. THEREFORE, PONDING IS LIKELY ESPECIALLY IF SEDIMENT IS NOT REMOVED REGULARLY.
5. ALTERNATE STORM DRAIN INLET PROTECTION METHODS AS SHOWN IN THE FLORIDA EROSION AND SEDIMENT CONTROL INSPECTION'S MANUAL MAY BE USED, IF APPROVED BY THE GOVERNING AGENCIES AND THE ENGINEER OF RECORD.

CURB INLET PROTECTION

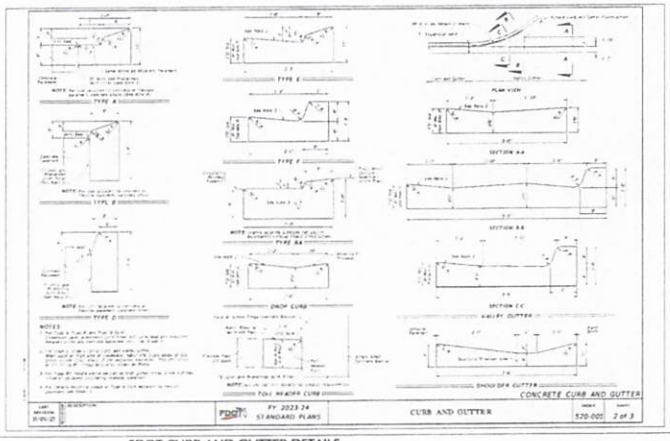


NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

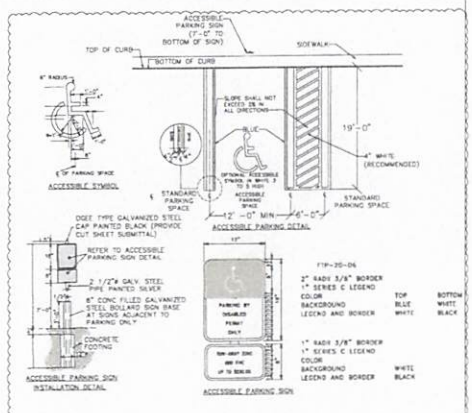
CONSTRUCTION ENTRANCE



STANDARD CONCRETE SIDEWALK PER MD P.W.M. R-13.1



FDOT CURB AND GUTTER DETAILS



ACCESSIBLE PARKING SPACE DETAIL

PROJECT
9300 COLLINS AVE
9300 COLLINS AVE, SURFSIDE, FL 33154

CLIENT
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FL CERTIFICATE OF AUTHORIZATION NO. 00000405, 6671, 6, 6616

KEY PLAN

GENERAL NOTES

SEAL & SIGNATURE
LEONARDO RODRIGUEZ LICENSE No. 54858 STATE OF FLORIDA PROFESSIONAL ENGINEER
SIGNATURE DATE SIGNED
LEONARDO RODRIGUEZ
PROFESSIONAL ENGINEER FL Lic. No. 54858

NO.	DESCRIPTION	DATE
	ISSUED FOR SITE PLAN REVIEW	13-OCT-2023
A	ISSUED FOR SITE PLAN REVISIONS	08-DEC-2023
B	ISSUED FOR SITE PLAN REVISIONS	29-DEC-2023

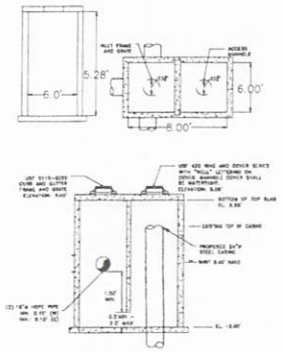
SHEET NAME
DETAILS

SHEET NO.
C-800

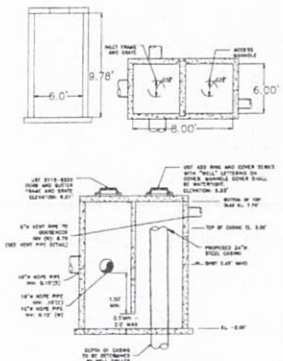
NOT FOR CONSTRUCTION

PROJECT NO.	300329201
DATE	13-OCT-2023
SCALE	1" = 30'-0"

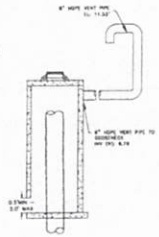
Date: 5/29/2024 Time: 13:01 User: gaertano Style Table: Langan.stb Layout: C-800 © Palma + Partners Corporation



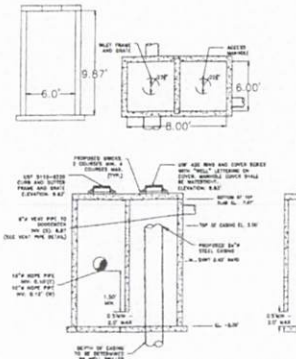
PROPOSED DRAINAGE WELL
DW-01



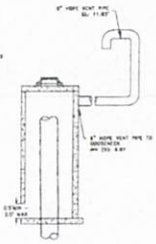
PROPOSED DRAINAGE WELL
DW-02



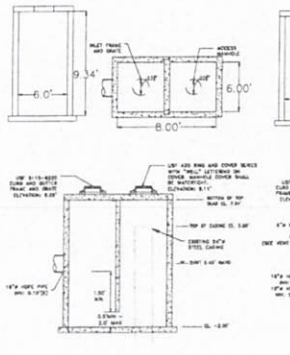
VENT PIPE DETAIL
DW-02



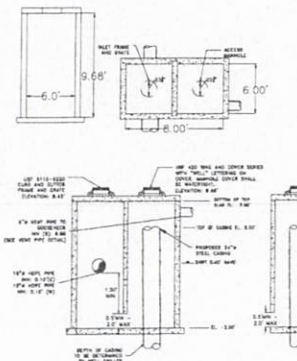
PROPOSED DRAINAGE WELL
DW-03



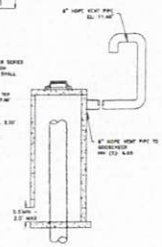
VENT PIPE DETAIL
DW-03



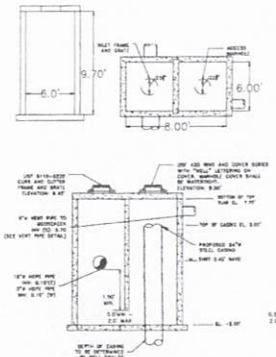
PROPOSED DRAINAGE WELL
DW-04



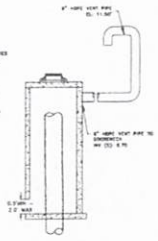
PROPOSED DRAINAGE WELL
DW-05



VENT PIPE DETAIL
DW-05



PROPOSED DRAINAGE WELL
DW-06



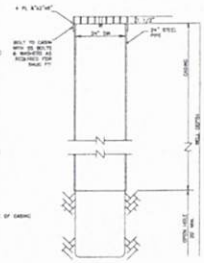
VENT PIPE DETAIL
DW-06

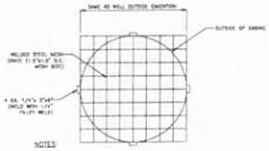
NOTES

1. ELEVATION DATUM: NAVD88 (EXPRESSED IN FEET)

NOTES

1. EACH DRAINAGE WELL SHALL HAVE A MINIMUM CAPACITY OF 550 GPM/ FOOT OF AVAILABLE HEAD.
2. A CERTIFIED WELL DRILLER SHALL DEVELOP THE WELL TO A DEPTH AT WHICH THE WATER CONTAINS A MINIMUM OF 10,000 PPM OF TOTAL DISSOLVED SOLIDS AND 1,500 PPM OF CHLORIDES.
3. WELL DRILLER SHALL SUBMIT SHOP DRAWINGS OF STEEL TEE WITH DETAIL/METHOD FOR FASTENING CAP TO TEE, IF APPLICABLE.
4. WELL DRILLER SHALL OBTAIN A D.E.P. CLASS V GROUP II PERMIT AND PROVIDE THE ENGINEER WITH COPY OF PERMIT.
5. WELL DRILLER SHALL PROVIDE THE ENGINEER WITH CERTIFICATION OF CAPACITY AND COMPLETION OF CONSTRUCTION UPON COMPLETION OF INSTALLATION.
6. CONTRACTOR SHALL PROVIDE A BASE BID FOR THE EXPECTED WELL DEPTH 100' MIN. PROVIDED BY WELL DRILLER, WITH AN ADD/DUCT FOR EVERY FOOT ABOVE OR BELOW THE BASE BID.
7. LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES MAKES NO GUARANTEE TO THE DEPTH OF THE DRAINAGE WELL. THE WELL DRILLER SHALL DETERMINE THE ULTIMATE DEPTH OF THE DRAINAGE WELL BASED ON THE SITE CONDITIONS AND UNDERGROUND GEOLOGY ENCOUNTERED.
8. **CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD BEFORE PROCEEDING TO DRILL IF THE DESIGN DISCHARGE RATE IS NOT ACHIEVED AT THE DEPTH ASSUMED BY THE CONTRACTOR IN THEIR BID.**





NOTES

1. ALL DRAINAGE WELL BOXES SHALL BE PRECASTED WITH INTEGRAL PIPE CONNECTION BOOTS CAPABLE OF ALLOWING 10' OF HORIZONTAL OR VERTICAL DISPLACEMENT OF CONNECTING PIPES.
2. ALL RAIN WATER LEADERS SHALL NOT BE CONNECTED TO THE SITE DRAINAGE SYSTEM UNTIL FULL SETTLEMENT OF THE BUILDING HAS OCCURRED. ALL RAIN WATER LEADERS SHALL NOT BE CONNECTED TO THE WELL SIDE CHAMBER OF THE WELL BOX.
3. SEE DRAINAGE WELL NOTES ON GRADING AND DRAINAGE PLAN.

PROJECT
9300 COLLINS AVE
9300 COLLINS AVE, SURFSIDE, FL 33154

CLIENT
KUSHNER
9300 COLLINS OWNER LLC C/O KUSHNER
767 FIFTH AVENUE, 50 FL, NEW YORK, NEW YORK 10153
T +1 212 527 7000
WWW.KUSHNER.COM

DEVELOPMENT & CONSTRUCTION MANAGER
MOSS

ARCHITECT
PALMA
JO PALMA + PARTNERS CORPORATION
1143 W RUNDELL PLACE, #203, CHICAGO, ILLINOIS 60607
T +1 312 496 3117
INFO@PALMA.GLOBAL

CONSULTANT
LANGAN
Langan Engineering and Environmental Services, Inc.
1221 Brickell Ave, Suite 1800
Miami, FL 33131
T 786 364 1200 F 786 364 1201 www.langan.com
FL CERTIFICATE OF AUTHORIZATION NO. 30006 | LB 1775 | EB 1199

KEY PLAN

GENERAL NOTES

SEAL & SIGNATURE
LEONARDO RODRIGUEZ LICENSE No. 54858 STATE OF FLORIDA PROFESSIONAL ENGINEER
SIGNATURE DATE SIGNED
LEONARDO RODRIGUEZ
PROFESSIONAL ENGINEER FL Lic. No. 54858

NO.	DESCRIPTION	DATE
D	ISSUED FOR SITE PLAN REVISIONS	28-AUG-2024

NOT FOR CONSTRUCTION

SHEET NAME
DRAINAGE WELL DETAILS

SHEET NO.
C-801

PROJECT NO.	300329201
DATE	13-OCT-2023
SCALE	1" = 30'-0"

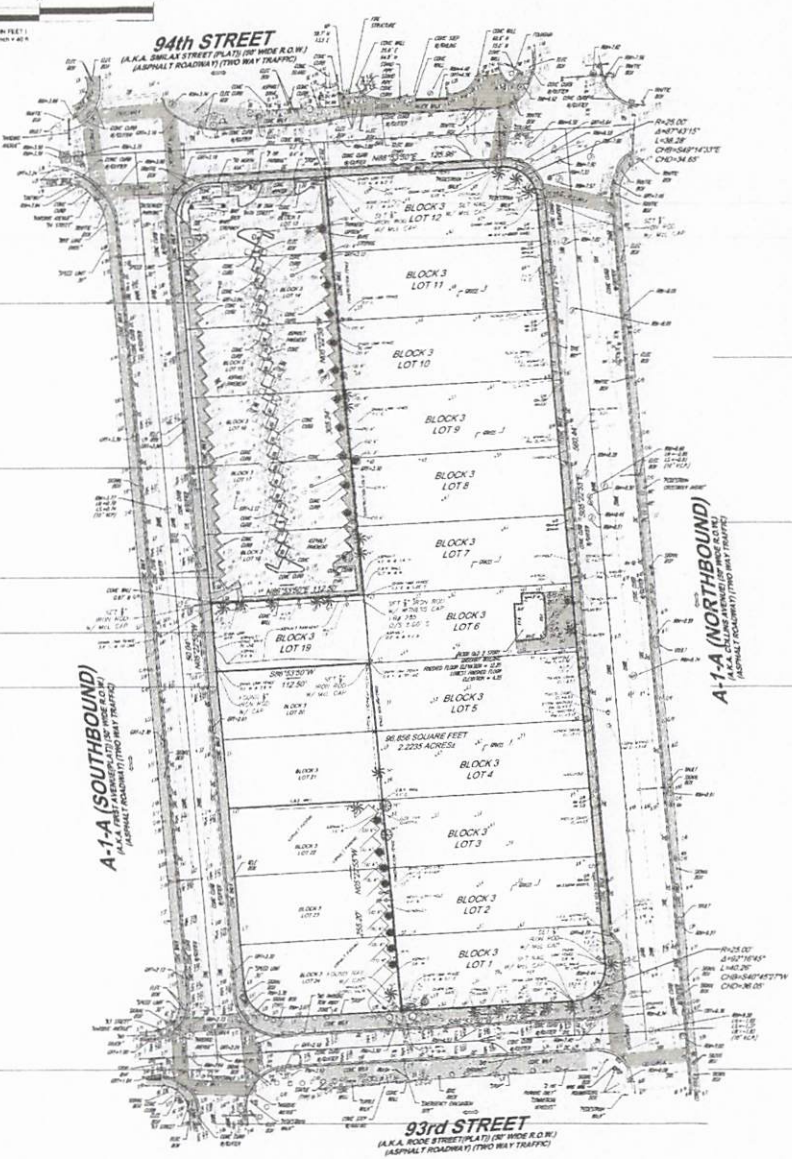
Date 8/28/24 Time 13:01 User geanrod Style Table Langan.stb Layout C-801 © Langan or PALMA + PARTNERS CORPORATION

GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

FLORIDA EAST STATE PLANE COORDINATE SYSTEM (NAD83)



TREE SYMBOLS

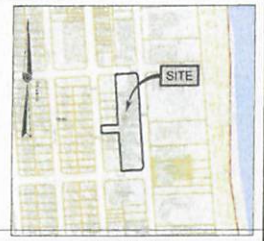
(WIDTH DIAMETER) (D.B.H.)

- SQUARE SYMBOL
- FAN PALM TREE
- CLUSTER OF PALM TREES
- UNKNOWN TREE
- DECIDUOUS TREE & TRUNK SIZE

TITLE NOTES:

THERE ARE NO OTHER EASEMENTS, ROAD RESERVATIONS OR RIGHTS OF WAYS OF RECORD AFFECTING THIS PROPERTY PER CHICAGO TITLE INSURANCE COMPANY COMMITMENT NUMBER 21234731, DATED AUGUST 3, 2023, AT 11:00PM.

4. INTENTIONALLY DELETED.
5. INTENTIONALLY DELETED.
6. RIGHT OF WAY RESERVATION AS CONTAINED IN WARRANTY DEED RECORDED SEPTEMBER 2, 1921 IN DEED BOOK 717, PAGE 288, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA AFFECTS THIS PROPERTY AS TO USE AND LOT 18 TO BE USED FOR RESIDENTIAL PROPERTIES ONLY.
7. INTENTIONALLY DELETED
8. INTENTIONALLY DELETED
9. INTENTIONALLY DELETED
10. INTENTIONALLY DELETED.
11. UNITY OF TITLE RECORDED NOVEMBER 20, 2017 IN OFFICIAL RECORDS BOOK 30782, PAGE 2750, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA AFFECTS THIS PROPERTY AND IS NOW BE CONSIDERED ONE PLOT.
12. INTENTIONALLY DELETED
13. INTENTIONALLY DELETED
14. COVENANT OF RESTRICTIONS RECORDED OCTOBER 7, 2015 IN OFFICIAL RECORDS BOOK 31535, PAGE 1965 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA AFFECTS THIS PROPERTY (NOTHING PLOTTABLE).
15. UNDERGROUND EASEMENT GRANTED TO FLORIDA POWER & LIGHT COMPANY, RECORDED MAY 7, 2020 IN OFFICIAL RECORDS BOOK 31925, PAGE 3813 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA MAY AFFECT THIS PROPERTY (NO EXHIBIT "A" ATTACHED TO DOCUMENT).
17. INFORMATIONAL NOTE: RESOLUTION NO. R-505-90 AUTHORIZING A REVISED INTERLOCAL AGREEMENT FOR CURBSIDE COLLECTION SERVICE OF RECYCLABLE MATERIALS, RECORDED SEPTEMBER 21, 1990, IN OFFICIAL RECORDS BOOK 14713, AT PAGE 1922, AS CONFIRMED BY INTERLOCAL AGREEMENT FOR INCLUSION IN COUNTY CURBSIDE RECYCLING PROGRAM RECORDED DECEMBER 27, 1990, IN OFFICIAL RECORDS BOOK 14838, PAGE 1192 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA AFFECTS THIS PROPERTY (NOT A SURVEY MATTER).
20. COVENANT OF RESTRICTIONS PER O.R. 33343, PAGE 2336, D.C.R., AFFECTS THIS PROPERTY, NOTHING PLOTTABLE.
21. ASSIGNMENT PER O.R. 33695, PAGE 743 D.C.R., AFFECTS THIS PROPERTY, NOT A SURVEY MATTER.
22. FINANCIAL STATEMENT PER O.R. 33695, PAGE 757 D.C.R., AFFECTS THIS PROPERTY, NOT A SURVEY MATTER.



VICINITY MAP
(F. 5600 Collins Avenue, Surfside, FL 33154)
NOT TO SCALE

LEGEND

A = CENTRAL ANGLE (DELTA)
A/C = AIR CONDITIONING
AKA = AS KNOWN AS
A.L.P. = ALUMINUM LIGHT POLE
A.L.T.A. = AMERICAN LAND TITLE ASSOCIATION
AVG. = AVERAGE
B.C.L. = BASE LINE
B.C.P.M. = BROWARD COUNTY METRICS
B.F.P. = BACK FLOW PREVENTOR
BLD. = BUILDING
B.L. = BASE LINE
C.A.T.V. = CABLE TV TERMINAL OR BOX
CALC. = CALCULATED
C.B.S. = CONCRETE, BLOCK AND STUCCO
C = CENTERLINE OF RIGHT OF WAY
CH = CHORD
CH.BRG. = CHORD BEARING
C.C.L.L. = COASTAL LIVING PROTECTION CONTROL LINE
C.L.F. = CHAIN LINE FENCE
C.L.P. = CONCRETE LIGHT POLE
C.P.P. = CONCRETE POWER LIGHT POLE
C.P.R. = CONCRETE POWER POLE
CO = COMPANY
CONC. = CONCRETE
C.O. = CLEAN OUT
D.B. = DEED BOOK
(DESC. = DESCRIPTION FROM FORMER DESCRIPTION
DIA. = DIAMETER
E.B.H. = DIAMETER AT BREAST HEIGHT
ELEC. = ELECTRIC
ELEV. = ELEVATION
F. = FIRST
F.H. = FIRE HYDRANT
F.D.O.T. = FLORIDA DEPARTMENT OF TRANSPORTATION
F.P.L. = FLORIDA POWER AND LIGHT CO.
F.C.M. = FIRST CAST IRON MARKER
H.H. = HAND HOLE
I.C.V. = IRRIGATION CONTROL VALVE
INV. = INVERT
P.A. = LICENSE BUSINESS
M = MAGNET
M.D.C.R. = MIAMI-DADE COUNTY RECORDS
MEAS. = FIELD MEASURE
= HYDRANT
= WATER VALVE
= CLEAN OUT
= POLE
= UTILITY POLE
= SANITARY MANHOLE
= INLET
= STORM MANHOLE
= FLORIDA POWER
= SOUTHERN BELL
= MAIL BOX
= SIGN
= DECIDUOUS TREE AND PALM TREE
= GAS VALVE
M.H. = MEAN HIGH WATER
MISC. = MISCELLANEOUS
M.L.P. = METAL LIGHT POLE
M = MORE AND LESS
N.A.D = NATIONAL GEODETIC SURVEY
NGS = NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
NGVD = NATIONAL GEODETIC VERTICAL DATUM (1929)
NAVD = NORTH AMERICA VERTICAL DATUM (1988)
N.S.V.D. = NORTH SPRINGS IMPROVEMENT DISTRICT
NO. = NUMBER
O.B.B. = OFFICIAL RECORDS BOOK
O.F.F. = OFFSET
O.H. = OVERHEAD UTILITY LINES
PG. = PAGE
P.B. = PLAT BOOK
P.B.C.R. = PALM BEACH COUNTY RECORDS
P.C. = POINT OF CURVE
P.C.D. = POLLUTION CONTROL DEVICE
P.I. = POINT OF INTERSECTION
P.I.V. = POST INDICATOR VALVE
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
P.O.T. = POINT OF REVERSE CURVE
P.R.M. = PERMANENT REFERENCE MONUMENT
R = RADIUS
R.C.P. = REINFORCED CONCRETE PIPE
R/W = RIGHT OF WAY
S.B.T. = SOUTHERN BELL TELEPHONE
S.V. = SIAMESE VALVE
S.W.M. = STANDARD HIGH WATER UNIT
S.T.L. = SURVEY TIE LINE
T = TANGENT
TH. BRG. = TANGENT BEARING
W.M. = WATER METER
W.V. = WATER VALVE
W.F.F. = WITH FACE OF BUILDING
W.F.C. = WET FACE OF CAP
W.L.P. = WOOD STREET LIGHT POLE
W.P.L.P. = WOOD POWER STREET LIGHT POLE
W.P.P. = WOOD POWER POLE
W/ BLU. CAP = WITH MCLAUGHLIN ENGINEERING CO. CAP
W/W.I. = WITH WITNESS CAP # 285
= SOLID WHITE LINE
= DASHED WHITE LINE
= SOLID YELLOW LINE
= DOUBLE YELLOW LINE
TYP. = TYPICAL
T.L. = TELEPHONE
E.O.P. = EDGE OF PAVEMENT
P.I. = DEPRESSED INLET
= LIGHT
= STREET LIGHT
= BOLLARD
= SIGNS (ANY)
= TELEPHONE MANHOLE
= WATER METER
= DETACHABLE WARNING ROD
= HANDICAP
= IRRIGATION CONTROL VALVE
= WATER METER

SURVEY DESCRIPTION:

LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12 AND 19, BLOCK 3, ALTOS DEL MAR NO. 5, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 92, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SAID LANDS SITUATE, LYING AND BEING IN THE TOWN OF SURFSIDE, MIAMI-DADE COUNTY, FLORIDA AND CONTAINING 96,856 SQUARE FEET OR 2.2235 ACRES, MORE OR LESS.

NOTES:

1. PROPERTY KNOWN AS LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12 & 19, BLOCK 3, ALTOS DEL MAR NO. 5, PLAT BOOK 8, PAGE 92, MIAMI-DADE COUNTY, FLORIDA.
2. AREA: 96,856 SQUARE FEET OR 2.2235 ACRES, MORE OR LESS.
3. UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATIONS IS TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.
4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY CLIENT, A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES FL, LLC, AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
6. THIS PROPERTY LIES IN FLOOD ZONE "AE", ELEV 4.0 PER FLOOD INSURANCE RATE MAP NO. 12086C0163 L, DATED: SEPTEMBER 11, 2009, COMMUNITY PANEL NO. 120639.
7. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
8. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) BASED ON MIAMI-DADE COUNTY ENGINEERING DEPARTMENT BENCH-MARK # T-343, ELEVATION = 11.36' (NAVD88).
9. BEARINGS SHOWN HEREON REFER TO THE NORTH AMERICAN DATUM OF 1983 (NAD83) FLORIDA EAST ZONE (901), STATE PLANE COORDINATE SYSTEM, TRANSVERSE MERCATOR PROJECTION AND REFERENCE THE WEST RIGHT OF WAY LINE OF COLLINS AVENUE, AS S01°23'51"E.
10. THIS SURVEY MAP AND/OR REPORT OR THE COPIES HEREOF ARE NOT VALID WITHOUT THE RAISED IMPRESSION OR PDF OF DIGITAL SEAL OF A FLORIDA LICENSED SURVEYOR AND MAP PER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

REFERENCES:

1. MAP ENTITLED "PLAT OF ALTOS DEL MAR NO. 5, PLAT BOOK 8, PAGE 92, MIAMI-DADE COUNTY RECORDS.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP NO. 12086C0163 L, DATED: SEPTEMBER 11, 2009, COMMUNITY PANEL NO. 120639.

TITLE NOTES:

TO:

5333 COLLINS OWNER LLC, A DELAWARE LIMITED LIABILITY COMPANY;

FURF 10 LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS SUCCESSORS AND/OR ASSIGNS;

CHICAGO TITLE INSURANCE COMPANY;

GRAUBARD, TRAURIG, P.A.;

ADAMS GALLIMAR, P.A.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(A), 8, 9, 11(A)(B) TO VISIBLE UTILITIES ONLY, 14. (IF ANY OR OBSERVED), 17(NONE OBSERVED), 18 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON AUGUST 8, 2023.

ADDITIONAL TREES ADDED THIS 30TH DAY OF SEPTEMBER, 2023.

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, MEETS THE "STANDARDS OF PRACTICE" AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17 OF FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Digitally signed by Jerald A McLaughlin
Date: 2024.09.12 14:19:59 -04'00'
(INTENTIONALLY RAISED IMPRESSION OR PDF OF DIGITAL SEAL)

09/12/2024
DATE

JERALD A. McLAUGHLIN
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER #LS5269
FLORIDA CERTIFICATE OF AUTHORIZATION LB-8137

Rev	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
A	ADDITIONAL INFORMATION ADDED	E.O	RDR	JAM	09/12/2024
A	ADDITIONAL INFORMATION ADDED	E.O	RDR	JAM	09/07/2024
E	REVISED SANITARY PARTIES TO SURVEY	NA	RDR	JAM	09/06/2024
F	CONVERT DRAWING TO MASTER	NA	P.V.	JAM	10/23/2024
C	ADDITIONAL INFORMATION ADDED	E.M	P.V./RDR	JAM	11/19/2023

FIELD DATE	08-08-2023
F.V. BOOK NO	419
F.V. PAGE NO	10
FIELD CREW	F.V./K.S./R.S
DRAWN	RDR, P.V.

BOUNDARY & TOPOGRAPHIC SURVEY

KUSHNER REALTY ACQUISITIONS, LLC

9300 COLLINS AVENUE
BLOCK 3, LOTS 1-12 & 19
TOWN OF SURFSIDE, MIAMI-DADE COUNTY
STATE OF FLORIDA

CONTROL POINT ASSOCIATES INC PC
(780 NW 44TH STREET, SUITE 440
FT. LAUDERDALE, FL 33309)
(954) 567-7900
WWW.CPASURVEYS.COM

RESEARCHED	APPROVED	DATE	SCALE	FILE NO.	DWG. NO.
JST	JAM/PLS	09-12-2024	1" = 40'	S-230276-00	1 OF 1

CONTROL POINT ASSOCIATES, INC. - ALL RIGHTS RESERVED