



**Town of Surfside
PLANNING & ZONING BOARD
AGENDA**

January 31, 2019 – 6:00 p.m.

Town Hall Commission Chambers –
9293 Harding Ave, 2nd Floor, Surfside, FL 33154

Rule 7.05 Decorum. Any person making impertinent or slanderous remarks or who becomes boisterous while addressing the commission shall be barred from further appearance before the commission by the presiding officer, unless permission to continue or again address the commission is granted by the majority vote of the commission members present. No clapping, applauding, heckling or verbal outbursts in support or opposition to a speaker or his or her remarks shall be permitted. Signs or placards may be disallowed in the commission chamber by the presiding officer. Persons exiting the commission chambers shall do so quietly.

Any person who received compensation, remuneration or expenses for conducting lobbying activities is required to register as a lobbyist with the Town Clerk prior to engaging in lobbying activities per Town Code Sec. 2-235. "Lobbyist" specifically includes the principal, as defined in this section, as well as any agent, officer or employee of a principal, regardless of whether such lobbying activities fall within the normal scope of employment of such agent, officer or employee. The term "lobbyist" specifically excludes any person who only appears as a representative of a not-for-profit community-based organization for the purpose of requesting a grant without special compensation or reimbursement for the appearance; and any person who only appears as a representative of a neighborhood, homeowners or condominium association without compensation for the appearance, whether direct or indirect or contingent, to express support of or opposition to any item.

Per Miami Dade County Fire Marshal, the Commission Chambers has a maximum capacity of 99 people. Once reached this capacity, people will be asked to watch the meeting from the first floor.

1. Call to Order/Roll Call

2. Town Commission Liaison Report – Vice Mayor Gielchinsky

3. Approval of Minutes – November 29, 2018

4. Applications:

- A. 225 95th Street** - The applicant is requesting one (1) illuminated wall sign for the Chai Wok business.
- B. 9588 Harding Avenue** - The applicant is requesting one (1) illuminated wall sign and logo for the BD Design business.
- C. 9049 Carlyle Avenue** - The applicant is requesting to substantially renovate an existing house and add a rear addition with a partial second floor.
- D. 1116 88th Street** - The applicant is requesting to renovate an existing house and add additional square footage on both the first and second floors of the house.
- E. 8927 Byron Avenue** - The applicant is requesting to demolish a portion of the existing house and substantially renovate and add additional square footage.

5. Quasi-Judicial Items:

Please be advised that the following items on the Agenda are Quasi-Judicial in nature. If you wish to object or comment upon an item, please complete a Public Speaker's Card indicating the Agenda item number on which you would like to comment. You must be sworn in before addressing the Board and you may be subject to cross-examination. If you refuse to submit to cross-examination, the Board will not consider your comments in its final deliberation. Please also disclose any Ex-Parte communications you may have had with any Board member. Board members must also do the same.

- A. 8851 Harding Avenue - 18 Unit Multifamily Building, Site Plan & Loading Space Size Variance**

6. Discussion Items:

- A. Freeboard and Height Discussion**
- B. Future Agenda Items**
- C. Planning and Zoning Board Liaison to the Sustainability and Resiliency Committee - Verbal**

7. Adjournment

THIS MEETING IS OPEN TO THE PUBLIC. IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT OF 1990, ALL PERSONS THAT ARE DISABLED; WHO NEED SPECIAL ACCOMMODATIONS TO PARTICIPATE IN THIS MEETING BECAUSE OF THAT DISABILITY SHOULD CONTACT THE OFFICE OF THE TOWN CLERK AT 305-861-4863 EXT. 226 NO LATER THAN FOUR DAYS PRIOR TO SUCH PROCEEDING.

IN ACCORDANCE WITH THE PROVISIONS OF SECTION 286.0105, FLORIDA STATUTES, ANYONE WISHING TO APPEAL ANY DECISION MADE BY THE TOWN OF SURFSIDE COMMISSION, WITH RESPECT TO ANY MATTER CONSIDERED AT THIS MEETING OR HEARING, WILL NEED A RECORD OF THE PROCEEDINGS AND FOR SUCH PURPOSE, MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE WHICH RECORD SHALL INCLUDE THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

AGENDA ITEMS MAY BE VIEWED AT THE OFFICE OF THE TOWN CLERK, TOWN OF SURFSIDE TOWN HALL, 9293 HARDING AVENUE. ANYONE WISHING TO OBTAIN A COPY OF ANY AGENDA ITEM SHOULD CONTACT THE TOWN CLERK AT 305-861-4863. A COMPLETE AGENDA PACKET IS ALSO AVAILABLE ON THE TOWN WEBSITE AT www.townofsurfsidefl.gov.

TWO OR MORE MEMBERS OF TOWN COMMISSION OR OTHER TOWN BOARDS MAY ATTEND AND PARTICIPATE AT THIS MEETING.

THESE MEETINGS MAY BE CONDUCTED BY MEANS OF OR IN CONJUNCTION WITH COMMUNICATIONS MEDIA TECHNOLOGY, SPECIFICALLY, A TELEPHONE CONFERENCE CALL. THE LOCATION 9293 HARDING AVENUE, SURFSIDE, FL 33154, WHICH IS OPEN TO THE PUBLIC, SHALL SERVE AS AN ACCESS POINT FOR SUCH COMMUNICATION.



**Town of Surfside
PLANNING & ZONING BOARD
MINUTES**

November 29, 2018 – 6:00 p.m.
Town Hall Commission Chambers –
9293 Harding Ave, 2nd Floor, Surfside, FL 33154

1. Call to Order/Roll Call

The Planning & Zoning Board meeting was called to order by Chair Lecour at 6:00 p.m.

Present were Chair Lindsay Lecour, Vice Chair Judith Frankel, Board Member Peter Glynn, Board Member Brian Roller, and Alternate Member Rochel Kramer.

Board Member Jorge Garcia arrived at 6:04 p.m. and Alternate Member Marina Gershanovich arrived at 6:45 p.m.

Also present were Vice Mayor Gielchinsky, Town Manager Guillermo Olmedillo, Town Planner Sarah Sinatra Gould, Town Attorney Kathy Mehaffey and Building Official Ross Prieto.

2. Town Commission Liaison Report – Vice Mayor Gielchinsky
The Vice Mayor did not provide a report.

3. Approval of Minutes – October 25, 2018
Vice Chair Frankel made a motion to approve the minutes as written. The motion was seconded by Board Member Glynn and all voted in favor.

4. Applications:

A. 400 92nd Street – The applicant is requesting to convert their garage to approximately 318 square feet of additional living space.

Town Planner Sinatra Gould introduced the item and stated that the applicant is requesting to convert their garage to add approximately 318 square feet of additional space. Staff stated that they have reviewed the application and they are providing the additional window as requested and they will add additional landscaping.

Staff recommends approval with the conditions of the applicant adding the landscaping along the base of the previous garage door are per Town Code requirements.

Board Member Roller made a motion to approve as recommended. The motion was seconded by Board Member Glynn and all voted in favor.

Board Member Jorge Garcia arrived at this time.

5. Quasi-Judicial Items:

Please be advised that the following items on the Agenda are Quasi-Judicial in nature. If you wish to object or comment upon an item, please complete a Public Speaker's Card indicating the Agenda item number on which you would like to comment. You must be sworn in before addressing the Board and you may be subject to cross-examination. If you refuse to submit to cross-examination, the Board will not consider your comments in its final deliberation. Please also disclose any Ex-Parte communications you may have had with any Board member. Board members must also do the same.

A. 9300 Collins Avenue Site Plan & Conditional Use

Chair Lecour read the process and rulings of a quasi-judicial hearing.

Deputy Clerk Riera confirmed that compliance with the advertising notice requirements had been met. Town Attorney Mehaffey asked the Planning and Zoning Board if anyone had ex-parte communications with the Applicant or any objector. Hearing none, Deputy Clerk Riera swore in anyone who wished to speak on the item.

Town Planner Sinatra Gould introduced the item and gave a presentation on the item. Recommendation is once the Planning & Zoning Board approves the application it will go before the Town Commission with the following recommendation from staff:

- All applicable conditions of approval included in Resolution 17-Z-2418
- The applicant's voluntary proffer to contribute \$272,000 to the Town to be paid prior to the issuance of the first building permit.
- The rooftop pools and deck hours shall be limited from dawn to dusk.
- The applicant shall enter into an agreement recorded in the public records at the expense of the owner, which shall run with the land and shall bind the heirs, successors and assigns of said owner and provide 24-hour valet service.

Neisen Kasdin of Akerman LLP, provided a presentation of the project.

Bennett Brooks of Brooks Acoustics Company spoke regarding the noise/sound concerns emanating from the property and they did an engineering analysis from the roof/deck and gave the presentation of their findings.

Discussion and questions ensued among the Board and Mr. Brooks regarding the decibel levels.

Sherry Gutierrez of Arquitectonica, provided a presentation of the project.

Discussion and questions ensued among the Board and Ms. Gutierrez regarding the landscaping on the project.

Alternate member Gershanovich arrived at 6:45 p.m.

Chair Lindsay Lecour opened the floor to public comments and the following spoke:

- George Kousoulas
- Victor May
- Alan Yarkin

- Tricia Fowley
- Sasha Plutno
- Ellen Abramson
- Steven Dunn
- Michael Dranoff
- Mitchell Feldman
- Ben Jacobson
- Mandy Davenport
- Yuri Fridman

Mr. Kasdin responded to some of the comments made by the public speakers.

Chair Lindsay Lecour closed the floor to public comments.

Discussion among Board Member Glynn and Mr. Kasdin ensued regarding what the hours of the music being played, the number of feet from the road to the loading dock and the size of the delivery trucks.

Discussion ensued among the Board and Town Planner Sinatra Gould regarding the noise conditions.

Building Official Ross Prieto answered the Board's questions regarding the noise ordinance and hours.

Board Member Glynn would like the music to stop at dusk.

Vice Chair Frankel also has a concern with sound and the open area.

Discussion continued among the Board members and Mr. Kasdan regarding the noise and the use of the garden, the banquet hall, landscaping, including the roof. and the square footage requirements for occupancy.

Town Manager Olmedillo addressed the Board regarding the occupancy requirements and density level.

Town Planner Sinatra Gould read the language in the Code under the Noise Ordinance.

After some discussion, Chair Lecour stated the following conditions as discussed by the Board:

- Limiting use of the pool from 7:00 am to 7:00 p.m.
- Limiting music at the pool and garden from 11:00 a.m. to 7:00 p.m.
- Prohibiting live music
- Minimum 10-foot landscape buffer within a year on the north and south side of the park parcel
- Sound policy to be equal to that of the Grand Beach and Marriott
- Signed agreement with the adjacent neighbors

- Staff to do an occupancy analysis comparable to other hotels in the 33154-zip code area.
- Landscaping and/or water feature in central circular courtyard

To answer Mr. Kasdin’s question regarding live music, the Board would be in favor of the use of unamplified music between the hours of 11:00 a.m. to 7:00 p.m.

Board Member Glynn made a motion to approve with the recommendation by staff and conditions. The motion was seconded by Vice Chair Frankel. The motion carried 5-0 on roll call vote.

6. Local Planning Agency Items:

A. Corner Lot Fences

AN ORDINANCE OF THE TOWN OF SURFSIDE, FLORIDA AMENDING SECTION 90-56.5 “MODIFICATION OF SECONDARY FRONTAGE FENCE AND ORNAMENTAL WALL REGULATIONS” OF “CHAPTER 90 ZONING” OF THE TOWN OF SURFSIDE CODE OF ORDINANCES TO ADDRESS FENCE AND SHRUB REQUIREMENTS IN THE H30A AND H30B ZONING DISTRICTS; PROVIDING FOR REPEAL OF CONFLICTING PROVISIONS; PROVIDING FOR SEVERABILITY; PROVIDING FOR INCLUSION IN THE CODE; AND PROVIDING FOR AN EFFECTIVE DATE.

Deputy Town Clerk Riera read the title of the ordinance.

Chair Lecour opened the floor to public participation and hearing none she closed the floor to public participation.

Board Member Glynn made a motion to approve. The motion was seconded by Board Member Roller. The motion carried 5-0 on roll call vote.

B. Reasonable Accommodation Procedure

AN ORDINANCE OF THE TOWN OF SURFSIDE, FLORIDA CREATING SECTION 90-100 “REASONABLE ACCOMMODATION PROCEDURES” OF “CHAPTER 90 ZONING” OF THE TOWN OF SURFSIDE CODE OF ORDINANCES TO PROVIDE REASONABLE ACCOMMODATION PROCEDURES FOR DISABLED PERSONS UNDER THE FAIR HOUSING ACT AND AMERICANS WITH DISABILITIES ACT; PROVIDING FOR REPEAL OF CONFLICTING PROVISIONS; PROVIDING FOR SEVERABILITY; PROVIDING FOR INCLUSION IN THE CODE; AND PROVIDING FOR AN EFFECTIVE DATE.

Deputy Town Clerk Riera read the title of the ordinance.

Town Attorney Mehaffey introduced the item.

Vice Chair Frankel made a motion to approve. The motion was seconded by Board Member Glynn. The motion carried 5-0 on roll call vote.

7. Discussion Items:

A. Landscape & Drainage Requirement for Single Family – Verbal Update from Ross Prieto, Building Official

Building Official Prieto provided an overview of the landscape and drainage requirements and some discussed ensued on the item.

B. Widening of Sidewalks on Collins Avenue (A1A)

Town Planner Sinatra Gould provided an overview of the project.

Chair Lecour opened the floor to public comments and the following spoke:

- Ellen Abramson

Chair Lecour closed the floor to public comments.

C. Freeboard & Height Discussion

Sarah Sinatra Gould, Town Planner gave an overview of this item.

This item was deferred to the next meeting on January 31, 2019.

D. Future Agenda Items

Town Manager Olmedillo explained what an impact fee is and how it works.

Chair Lecour requested staff to compile an analysis and verbal update on impact fees and occupancy fees for the January 2019 meeting.

Board Member Glynn asked Town Manager Olmedillo if he had an update on the walkability plan and Town Manager Olmedillo advised that he has a meeting next week with the University of Miami.

8. Adjournment

There being no further business to discuss before the Planning & Zoning Board, Vice Chair Frankel made a motion to adjourn at 9:18 p.m. Board Member Roller seconded the motion and all voted in favor.

Accepted this _____ day of _____, 2018

Attest:

Chair Lindsay Lecour

Sandra Novoa, MMC
Town Clerk



MEMORANDUM

To: Planning and Zoning Board
 Thru: Guillermo Olmedillo, Town Manager
 From: Sarah Sinatra Gould, AICP, Town Planner
 CC: Kathy Mehaffey, Town Attorney
 Date: January 31, 2019
 Re: 225 95th Street – Chai Wok

The subject property is located at 225 95th Street and is within the SD-B40 zoning district. The applicant is requesting one (1) illuminated wall sign for the Chai Wok business. The applicant is proposing a channel letter sign.

Staff has reviewed the current application for consideration by the Planning and Zoning Board. In this report, Staff presents the following:

- Applicable Zoning Code regulations, along with the results of the review
- Staff Findings

STANDARDS / RESULTS

Town of Surfside Zoning Code, Applicable Requirements

Sec. 90-73

Signs	Permitted	Proposed
Area	25 square feet	10.5 square feet
Location	With the exception of theater marquees and V-box signs, no sign shall be erected so that any portion thereof shall project over a dedicated street or sidewalk or so that any portion thereof shall project more than five feet from any main building wall.	Sign does not project over the sidewalk or street.



<p>Offset</p>	<p>Signs shall be off-set from the wall a minimum of one quarter inch to a maximum of two inches to permit water to flow down the wall face.</p>	<p>Letters are proposed to be flush (See findings below)</p>
<p>Illumination</p>	<p>All signage, lettering, logos or trademarks shall be required to be lit with white illumination from dusk to dawn. The illumination may be either internal illumination or external illumination, however, all walls below the sign shall be illuminated with white wall wash LED lighting. It shall be located and directed solely at the sign. The light source shall not be visible from or cast into the right-of-way, or cause glare hazards to pedestrians, motorists, or adjacent properties.</p>	<p>LED illuminated channel letters are proposed</p>

FINDINGS

Staff finds the application meets the Code subject to the following:

- 1) Proposed sign shall be off-set from the wall a minimum of one quarter inch to a maximum of two inches to permit rain water to flow down the wall face;
- 2) The wall face shall be reconditioned and painted as necessary.

Font : CUSTOMER DESIGNER

CHAI WOK

	A	B	C	D	E	F	Sq. Ft. (B x C)
SP-FL-246	18"	84"	n/a	n/a	n/a	n/a	105"

Face Color : Red Trim Cap : Bronze Return : Bronze Type Letters : Helvetica Logo : 3m Full Img.

Channel letters illuminated by led's 4500K White



DRAWING MAKE BY:
SERGIOS signs & graphics
Landscape signs services

Client:
CHAI WOK

Client's Location:
225 95TH ST
SURFSIDE, FL, 33154

Sales Rep: Sergio

Project Manager: rocio

PM Approval:

Date: 10/20/2018

Drawn by: sergio cameroa

CONTRACT INFORMATION

Mesa Brothers Inc

Scale: 1/8" = 1'-0"

Work Order#:

Sign Description:

Qty & Unit:

UNDERWRITERS LABORATORIES, INC.

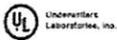
LABORATORY NO. 100

Primary wires provided by customer. Sign voltage listed on sign type.

THIS IS AN ORIGINAL UNPUBLISHED DOCUMENT. CREATED BY SERGIOS, IT IS SUBJECT TO OUR POLICY. FURTHER USE IN CONNECTION WITH A PRODUCT BEING MARKETED FOR SALE BY SERGIOS, IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

Customer Approval:

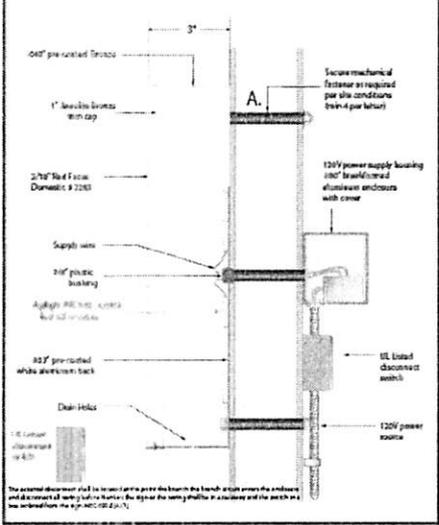
Aluminum Panel Cross Sections (Shown for Dual-Color Film)



Sign components to be in strict compliance with all UL standards.
Sign must be installed in accordance with requirements of article 600 of National Electrical code and/or applicable local codes.

ELECTRICAL INFORMATION SIGN PER NEC BOOK

Letter Section Detail



INSTALL

A. TYPE OF SCREWS TO BE USED DEPENDS ON TYPE OF WALL

CONCRETE WALL	STUCCO AND BRICK WALL	ALUMINUM PANEL WALL
1" Tapcons Fasteners (min 4)	2" Tapcons Fasteners (min 4) 2" Filips Wood Screws (min 4)	2" Filips Wood Screws (min 4)

B. Penetration to the wall min 1" 7/8 (SEE SECTION "A" TYPE OF SCREW)

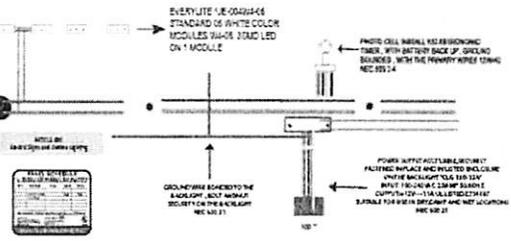
C. #8 Bi-Metal Self-Drilling Fasteners (min 4 per power supply box).

Masonry Fastening System S/14, 2" ELG486 American Fasteners, Stucco And Wood Wall We Use Filips Wood Screw 2" (Min 4 Per letter)

E. #8 Bi-Metal Self-Drilling Fasteners (2 pos).

F. Disconnected switch 20v, attached to the aluminum can Back Section, one more of the front section attached to the letter "LOGO" on letter "S", NEC 400.6

elevation@westside



AERIAL PICTURE LOCATION SIGN



225 95TH ST, SURFSIDE, FL 33154

- 001 Wiring:** All signs and lighting systems... (text continues)
- 002 Electrical:** All signs and lighting systems... (text continues)
- 003 Wiring:** All signs and lighting systems... (text continues)
- 004 Electrical:** All signs and lighting systems... (text continues)
- 005 Wiring:** All signs and lighting systems... (text continues)
- 006 Electrical:** All signs and lighting systems... (text continues)
- 007 Wiring:** All signs and lighting systems... (text continues)
- 008 Electrical:** All signs and lighting systems... (text continues)

ENGINEERING SEAL
VICTOR CERON PE
PE 63023 CIVIL

IN ACCORDANCE WITH:
FBC 2017, ASC7-10 (3 SEC GUST)
V= 175MPH, H=25ft, EXPOSURE C,
Pressures: +50psf, -50psf

8883 Fontainebleau Blvd # 105
Miami, FL 33172
Ph 786 282 5292



MEMORANDUM

To: Planning and Zoning Board
 Thru: Guillermo Olmedillo, Town Manager
 From: Sarah Sinatra Gould, AICP, Town Planner
 CC: Kathy Mehaffey, Town Attorney
 Date: January 31, 2019
 Re: 9588 Harding Avenue – BD Design

The subject property is located at 9588 Harding Avenue and is within the SD-B40 zoning district. The applicant is requesting one (1) illuminated wall sign and logo for the BD Design business. The applicant is proposing a reverse channel letter sign and logo.

Staff has reviewed the current application for consideration by the Planning and Zoning Board. In this report, Staff presents the following:

- Applicable Zoning Code regulations, along with the results of the review
- Staff Findings

STANDARDS / RESULTS

Town of Surfside Zoning Code, Applicable Requirements

Sec. 90-73

Signs	Permitted	Proposed
Area	27 square feet	26.8 square feet
Location	With the exception of theater marquees and V-box signs, no sign shall be erected so that any portion thereof shall project over a dedicated street or sidewalk or so that any portion thereof shall project more than five feet from any main building wall.	Sign does not project over the sidewalk or street.



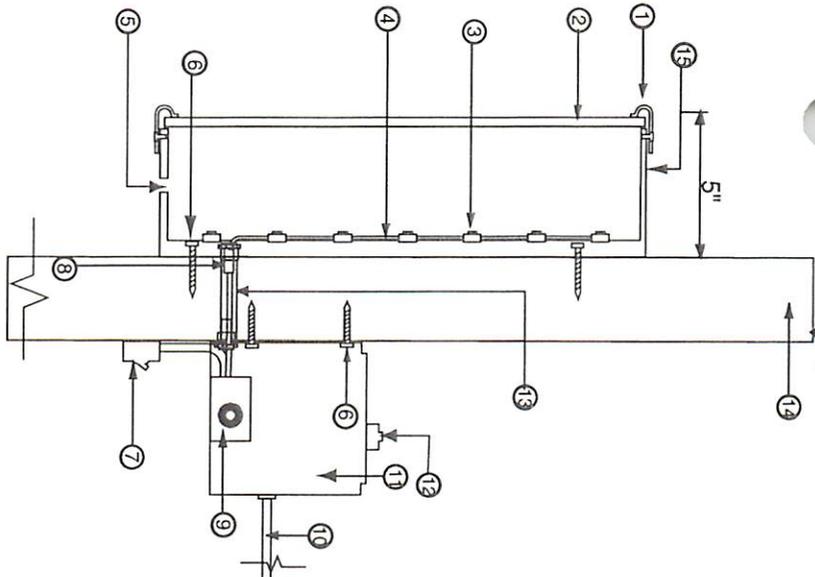
<p>Offset</p>	<p>Signs shall be off-set from the wall a minimum of one quarter inch to a maximum of two inches to permit water to flow down the wall face.</p>	<p>Letters are proposed to be offset by 1 inch</p>
<p>Illumination</p>	<p>All signage, lettering, logos or trademarks shall be required to be lit with white illumination from dusk to dawn. The illumination may be either internal illumination or external illumination, however, all walls below the sign shall be illuminated with white wall wash LED lighting. It shall be located and directed solely at the sign. The light source shall not be visible from or cast into the right-of-way, or cause glare hazards to pedestrians, motorists, or adjacent properties.</p>	<p>LED illuminated reverse channel letters and logo are proposed</p>

FINDINGS

Staff finds the application meets the Code subject to the following:

- 1) The wall face shall be reconditioned and painted as necessary.

TYPICAL SECTION OF CHANNEL LETTER W/ LED.



- 1 TRIM OR JEWELITE 1" ATTACHED WITH METHALIN & HEX SCREWS #8 (ALUMINUM TYPE) MINIMUM 4 PER LETTER.
- 2 PLASTIC FACE 1/8" ACRYLIC WITH TRANSLUCID VINYL OVER
- 3 LED SELF SUPPORTED, ATTACHED W/ 3M VHB BY MANUFACTURER SUGGESTED SYSTEM AS PER NEC 600-4
- 4 18 AWG2C CONDUCTORS (FOR INTERIOR AND EXTERIOR CONNECTIONS) (SEE ELECTRICAL SPECIFICATIONS)
- 5 DRAIN HOLES 1/4" DIAMETER APPROXIMATELY ONE EVERY 2'.
- 6 3/16" TAPCONS X 1.25" EMBED TO CBS OR CONCRETE. MIN (4) TOTAL
- 7 1-20 amp LOCKABLE WEATHERPROOF SWITCH WILL SUBSTITUTE EXTERIOR DISCONNECT SWITCH NEC 110-3 (B), 600-4, 600-6
- 8 PORCELAIN CONNECTORS INT / EXT 2 PER LETTER
- 9 TRANSFORMER (SEE ELECTRICAL SPECIFICATIONS)
- 10 EXISTENT MAIN DEDICATED LINE TO PRIMARY BY OTHERS AS PER NEC 600-21. SUPPLYING NOT OTHER LOAD
- 11 METAL TRANSFORMER BOX (GALVANIZED)
- 12 1-20 amp DISCONNECT SWITCH NEC 110-3 (B), 600-4, 600-6 — EXTERNAL DISCONNECT WILL BE LOCATED ON WALL, AT THE POINT THE BRANCH CIRCUIT ENTERS THE ENCLOSURE AND DISCONNECT ALL WIRING BEFORE IT ENTERS THE SIGN
- 13 METAL CONDUIT WITH INTERNAL LISTED FLEX CONDUIT 1/2" W/ GTO, SECONDARY WIRE LETTER TO LETTER & TRANSFORMER LEADS
- 14 CONCRETE WALL
- 15 0.040 ALUMINUM BACK & RETURN W/ SILICONE SEALANT.

ELECTRICAL SPECIFICATIONS

- 12.0 VDC POWER SUPPLY AS FOLLOWING:
- 60 WATTS/5 AMPS -INPUT 120 VOLTS THRU 277 (SUITABLE FOR WEB LOCATIONS)
- 100 WATTS/8.4 AMPS -INPUT 120 VOLTS THRU 277 (SUITABLE FOR WEB LOCATIONS)
- SECONDARY WIRE TYPE PAIGE PLUS LED CABLE 18 AWG2C CONDUCTOR, PVS JACKETED, NEG TYPE POWER LIMITED TRAY CABLE (PLTC) WITH UL LISTING. USED FOR LETTER TO LETTER UP TO 15', SUPPLY LOAD UP TO 50'.
- POWER SUPPLY GROUND FAULT PROTECTED 600-238, MANUFACTURER OF SECONDARY ELECTRICAL SOURCE "EVERYLITE" PRIMARY: 120V - EACH 5 AMPS. 12 VOLTS, SECONDARY OUTPUT, CLASS 2, POWER SUPPLY LED MARKED AS PER 600.4 (2011) & LISTED A PER 600.3 (2011) SIGN LOAD MIN. CALCULATION AS PER 220.14 (F) NEC LESS THAN 1200 VA MAX & LESS THAN 80%.
- BRANCH CIRCUIT IDENTIFIED AS PER SLOT AVAILABLE ON DEDICATED LINE AS PER PANEL 600.5 (2011) WITH MAX OVERCURRENT PROTECTION OF 20 AMPS.
- GROUNDING BONDING OF SIGN AS PER NEC 600-2
- ALL ELECTRICAL COMPONENTS ARE U.L. LISTED PER NEC 600-4
- NOTE: UNLESS OTHERWISE SPECIFIED: ALL STEEL TO BE ASTM A 36
- ALL BOLTS TO BE A - 307
- ALL WELDING TO BE 1/8" MIN
- #12 WIRE (THHN, THWN) FROM PRIMARY SOURCE ALL ELECTRICAL WIRING AND INSTALLATION SHALL COMPLY WITH THE PROVISIONS OF THE FLORIDA BUILDING CODE 106.6 B 7, 8, 9
- BREAKER 20 AMPS WITH CIRCUIT# PENDING MARK IN THE PANEL AT COMPLETION. FBC 106.6 B 7, 8, 9
- ASTRONOMICAL TYPE TIME CLOCK FBC CHAPTER 13-415.A.B.1.4 OR OTHER SWITCHING DEVICE AS PER FBC CHAPTER 13 AND FBC 106.6 BY OTHERS

Listing mark sign section label shown on each letter as per drawing

Underwriters Laboratories, Inc. LISTED
Electric Sign
No. BK(6 DIGITS)
ONE BOX OF ONE BOX

Note: Code in Effect 2014 NEC FBC 2017, 6th Edition

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**PORTION OF
ILLUMINATED BOX WITH DARK BLUE VINYL & GOLD VINYL OVER
TRIM & RETURN: WHITE
LED: WHITE**

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Designed by:

LABORATORIES, INC. THE

(305) 805-3636

www.advancedmultisign.com

Electrical Contractor License ES-12000622
Work Compensation#76 WEG NCR710
Insurance Policy# 01798534-2

DATE: 11/29/18
DESIGN EXCLUSIVE FOR: BDESIGN
9348 HARDING AVE,
FRONTAGE AREA: 27 SQFT
SIGN AREA: 26.8 SQFT
SCALE: 3/16" = 1'
FILE: 20021 - BDESIGN

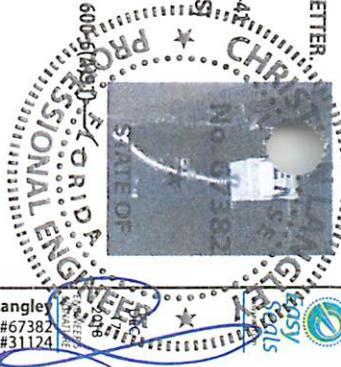
ASCE 7-10 WIND LOADS:
• V=175 mph • Exposure 'D'
• Risk Category 2 Structure

• Sign Height = 30 ft max
• Kzt=1.0, Kd=0.85, G=0.85
• ASD Load Coeff = 0.6

Wall components & cladding:
• Zone 4: ± 51.1 psf
• Zone 5: ± 65.1 psf

1200 N Federal Hwy, #200
Boca Raton, FL 33432
1-888-371-3113

Christian Langley
Florida PE #67382
Cert of Auth #31124



General: Designs in accordance with the requirements of the Florida Building Code (FBC) for use within & outside the High Velocity Hurricane Zone (HVHZ). This engineering certifies only the structural integrity of those systems, components, and/or other construction explicitly specified herein. Electrical notes, details, & specifications are provided by and are the sole responsibility of the manufacturer. The contractor shall be responsible for obtaining all necessary permits and for compliance with all applicable codes, rules, regulations, and ordinances. Steel components shall be coated, painted, or otherwise protected against corrosion per FBC Sec 220.2.222.6. Aluminum components in contact with steel shall be anodized or otherwise protected against corrosion per FBC Sec 220.2.222.6. Aluminum welds shall be 4043 filler alloy. Aluminum extrusions shall be 6063-T5 or stronger. UNDO

Notes: • of embedded in concrete shall be painted or protected as prescribed in ADM-151 (A) or Plastic Independence Speed products. All exposed fasteners shall be 304 or 316 stainless steel. All exposed fasteners shall be 304 or 316 stainless steel. All exposed fasteners shall be 304 or 316 stainless steel. All exposed fasteners shall be 304 or 316 stainless steel.



PICS OF PLAZA

Designed by: **Advanced**
multi-sign
ADVANCED MULTI-SIGN INC.
 (305) 805-3636
www.advancedmultisign.com
 Electrical Contractor License ES-12000622
 Work Compensation #76 WEG NQ8710
 Insurance Policy # 01798534-2

DATE: 11/29/18
 DESIGN EXCLUSIVE FOR: BDESIGN
 95888 HARDING AVE.
 FRONTAGE AREA: 27 SQFT
 SIGN AREA: 26.9 SQFT
 SCALE: 3/16" = 1'
 FILE: 20071 - BDESIGN



DESIGN CALCULATIONS

FOR

BDESIGN WALL-MOUNTED SIGNS

9348 Harding Ave – Surfside
9588

GENERAL NOTES:

1. Design is in accordance with the Florida Building Code 6th Edition (2017) for use within and outside the High Velocity Hurricane Zone (HVHZ).
2. Wind loads have been calculated per the requirements of ASCE 7-10 as shown herein.
3. These engineering calculations pertain only to the structural integrity of those systems, components, and/or other construction explicitly specified herein and/or in accompanying engineering drawings. The existing host structure (if any) is assumed to be in good condition, capable of supporting the loaded system, subject to building department approval. No warranty, either expressed or implied, is contained herein.
4. System components shall be as noted herein. All references to named components and installation shall conform to manufacturer's or industry specifications as summarized herein.
5. Where site conditions deviate from those noted herein, revisions may be required or a separate site-specific engineering evaluation performed.
6. Aluminum components in contact with steel or embedded in concrete shall be protected as prescribed in the 2015 Aluminum Design Manual, Part 1. Steel components in contact with, but not encased in, concrete shall be coated, painted, or otherwise protected against corrosion.
7. Engineer seal affixed hereto validates structural design as shown only. Use of this specification by contractor, et. Al, indemnifies and saves harmless this engineer for all costs & damages including legal fees & appellate fees resulting from deviation from this design.

Index:

Pg 1	Cover
Pg 2	Wind Loads
Pg 3	Anchor Design

Engineer's signature and seal valid
for pages 1 through 3



ASCE 7-10 Design Wind Loads

WALL-MOUNTED SIGNS

Building Specs

V = 175 mph *Basic wind speed*
 Exposure D

ASD Load Combo Coeff: 0.6

Calculations

$\alpha = 11.5$ *3-sec gust speed power law exponent*
 $z_g = 700'$ *Nominal ht. of atmos. boundary layer*
 $G_{cpi} = 0$ *Internal pressure coeff*

K_d = 0.85 *Directionality factor*

K_{zt} = 1.0 *Topographic factor*

A = 10 sq ft *Tributary area*

175 mph - Exp "D"							
WALL-MOUNTED SIGNS							
SIGN HEIGHT	ASD WIND PRESSURES		K _h = K _z	q _z	G _{Cp} (A)	G _{Cp} (S)	
	CENTER (Zone 4)	CORNER (Zone 5)					
15 ft	45.3 psf	57.7 psf	1.03	68.7	-1.10	-1.40	
20 ft	47.6 psf	60.6 psf	1.08	72.2	-1.10	-1.40	
25 ft	49.5 psf	63.0 psf	1.13	75.0	-1.10	-1.40	
30 ft	51.1 psf	65.1 psf	1.16	77.5	-1.10	-1.40	
35 ft	52.5 psf	66.8 psf	1.19	79.6	-1.10	-1.40	
40 ft	53.7 psf	68.4 psf	1.22	81.4	-1.10	-1.40	
45 ft	54.9 psf	69.8 psf	1.25	83.1	-1.10	-1.40	
50 ft	55.9 psf	71.1 psf	1.27	84.6	-1.10	-1.40	
55 ft	56.8 psf	72.3 psf	1.29	86.1	-1.10	-1.40	
60 ft	57.7 psf	73.4 psf	1.31	87.4	-1.10	-1.40	
70 ft	48.5 psf	96.9 psf	1.35	89.7	-0.90	-1.80	
80 ft	49.6 psf	99.2 psf	1.38	91.9	-0.90	-1.80	
90 ft	50.6 psf	101.3 psf	1.41	93.8	-0.90	-1.80	
100 ft	51.6 psf	103.1 psf	1.43	95.5	-0.90	-1.80	
110 ft	52.4 psf	104.9 psf	1.46	97.1	-0.90	-1.80	
120 ft	53.2 psf	106.5 psf	1.48	98.6	-0.90	-1.80	
130 ft	54.0 psf	107.9 psf	1.50	99.9	-0.90	-1.80	
140 ft	54.7 psf	109.3 psf	1.52	101.2	-0.90	-1.80	
150 ft	55.3 psf	110.7 psf	1.54	102.5	-0.90	-1.80	
175 ft	56.8 psf	113.7 psf	1.58	105.3	-0.90	-1.80	
200 ft	58.2 psf	116.3 psf	1.62	107.7	-0.90	-1.80	
250 ft	60.5 psf	120.9 psf	1.68	112.0	-0.90	-1.80	

Wall Sign Anchor Design**Structure Dimensions & Loading**

Design wind pressure: **P = 65.1 psf**

Sign type: **Channel Letter**
Sign size: **A = 5.4 sqft (per letter, critical)**

Wall material: **Masonry (ASTM C90, 1,500 psi min)**
Anchor type/size: **1/4" (#14) Rods with Adhesive**
Ref: **Liquid Nails, 125 psi shear**
Min Embedment: **1.5"**
Min edge dist: **4"** **Min Spacing: 4"**

Anchor tensile capacity: **Tcap = 147.3 lb (per anchor)**

Check Anchors for Pullout

Total Reaction: **Rt = 353 lb ... = P*A (per letter)**
No. of anchors req'd: **n = 2.4 anchors per letter ... = Rt/cap**

Total anchors required: 3 anchors per letter

**OK, critical letter size shown.
Use min (3) studs per letter, balanced.**



MEMORANDUM

To: Planning and Zoning Board

Thru: Guillermo Olmedillo, Town Manager

From: Sarah Sinatra Gould, AICP, Town Planner

CC: Kathy Mehaffey, Town Attorney

Date: January 31, 2019

Re: 9049 Carlyle Avenue– Renovation and Addition

The property is located at 9049 Carlyle Avenue, within the H30B zoning. The applicant is requesting to substantially renovate an existing house and add a rear addition with a partial second floor. The proposed residence will be a 3,374 square foot structure. The design of the proposed house includes an interior open-aired courtyard. The applicant is also proposing a new driveway, fencing, and a rear yard fountain.



Staff has reviewed the current application for consideration by the Planning and Zoning Board. In this report Staff presents the following:

- Applicable Zoning Code regulations, along with the results of the review
- Applicable Design Guideline standards, along with the results of the review
- Staff Findings

STANDARDS / RESULTS

Town of Surfside Zoning Code, Applicable Requirements

Sec. 42.92 Lowest Floor Elevation

Residential	Required Lowest Floor	Proposed
Single-Family Residential	Base Flood +2	Existing – Pending review by the Building Official

Sec. 90.43 Maximum building heights

Height	Required Maximum	Proposed
H30B	30 feet	27.96 to tie beam, roof pitch at 3:12

Sec. 90-45. Setbacks

<i>H30B</i> UPPER STORY FLOOR AREA IS LESS THAN 50% OF FIRST STORY FLOOR AREA	Required	Proposed
<i>Maximum Lot Coverage</i>	40%	40%
FIRST STORY		
Primary Frontage	Minimum 20 feet	20 feet
Interior side (lots equal to or less than 50 feet in width)	Minimum 5 feet	North side: 5 feet South side: 7.4 feet
Secondary Frontage	Minimum 10 feet	N/A
Rear	Minimum 20 feet	20 feet
UPPER STORY		
Primary frontage	Minimum 20 feet/Average 22.5 feet	> 22.5 feet
Interior side (lots equal to or less than 50 feet in width)	Minimum 5 feet	North side: 5 feet South side: 7.4 feet
Secondary Frontage	Minimum 10 feet/Average 12.5 feet	N/A
Rear	Minimum 20 feet/Average n/a	33 feet four inches

Sec. 90.49 Lot standards

Lot Standards H30B	Required	Proposed
Minimum Lot width	50 feet	50 feet
Minimum lot area	5,600 square feet	5,625 square feet
Maximum lot coverage	40%	40%
Pervious area	35% (minimum)	41.35%

Sec. 90.50 Architecture and roof decks

	Required	Proposed
Unique Elevation	A unique elevation from the main buildings of the adjacent two (2) homes shall be created through the modulation of at least three (3) of the following architectural features: (a)Length, width and massing of the structure; (b)Number of stories; (c)Façade materials; (d)Porches and other similar articulation of the front façade; (e)Number and location of doors and windows; and (f)Roof style and pitch.	The proposed home will feature different lengths, widths and massing, is proposing a partial second floor on the rear of the house and will be using different roof styles and pitches which will be different than the neighboring homes which are one story homes.
Wall openings	10% for all elevations	Proposed renovation and addition includes windows and doors. All elevations are 10% or greater for wall openings.
Roof Material	(a) Clay Tile; (b) White concrete tile; (c) Solid color cement tile which color is impregnated with the same color intensity throughout, provided said color if granted approval by the Board; (d)Architecturally embellished metal if granted approval by the Board; or (e)Other Florida Building Code approved roof material(s) if granted approval by the Board.	Existing clay tile roof to remain and new clay tile roof is proposed for addition.

Sec. 90.56 Fences, walls and hedges

	Required	Proposed
Fence	Fences in the front are only permitted with the Planning and Zoning Board's approval.	4-foot fence is proposed with columns (2-foot masonry wall with 2-foot metal picket fencing between columns. Entry gates.

Sec. 90-56.4 Front yard and corner yard fences and ornamental walls—Table.

Frontage	Maximum Height (Feet)	Maximum Opacity (Percent)	Proposed
50 feet	4 feet	All wall and fence surfaces above two (2) feet measured from grade shall maintain a maximum opacity of fifty (50) percent	2-foot metal picket fence is proposed above 2 feet with opacity less than 50%.

Sec. 90.61.1 Paving in front and rear yards in H30 and H40 Districts

Paving Yards	Required	Proposed
Front setback permeability	50% minimum	> 50%
Front yard landscaped	30% minimum	> 30%
Rear yard landscaped	20% minimum	> 20%
Number of Curb Cuts	One minimum	one
Curb Cut side set back	5 feet minimum	5 feet
Curb cut width	18 feet width maximum	17.3 feet
Driveway Materials	Limited to the following 1. Pavers 2. Color and texture treated concrete, including stamped concrete 3. Painted concrete shall not be permitted. 4. Asphalt shall not be permitted.	Pavers

Sec. 90-77 Off-Street Parking Requirements

Required	Minimum Space Requirements	Proposed
Single-family	2 spaces	2 spaces are provided.

Town of Surfside Adopted Residential Design Guidelines
Building Massing

Required	Proposed
Building forms should be varied enough to avoid monotony and to avoid pyramidal massing and should be compatible with surrounding houses.	Consistent

Decorative Features

Required	Proposed
Decorative features should be stylistically consistent throughout the entire building.	Consistent.

Overall Architectural Style

Required	Proposed
The overall style of each house should be consistent on all sides of the building, as well as among all portions of the roof.	Consistent.

Wall Materials and Finishes

Required	Proposed
The same material should be used on all building elevations unless multiple materials are a legitimate expression of the particular style.	Consistent

Roof Materials, Types, and Slopes

Required	Proposed
Roof types and slopes should be generally the same over all parts of a single building.	Consistent
Restricted materials for roofs are pre-determined in the Town's Building Code, which restricts roofing materials to: 1. Clay tile; 2. White concrete tile; 3. Solid color cement tile which color is impregnated with the same color intensity throughout, provided said color is first approved by the planning and zoning board; and 4. Metal.	Existing clay tile roof to remain and new clay tile roof is proposed for addition.

Windows and Trims

Required	Proposed
Window styles should always be consistent among all elevations of a building.	Consistent.
Frame materials should never vary on a single building.	No variation.
Window, door and eave trim should be consistent on all elevations of the house	Consistent.

FINDINGS

Staff finds the application meets the Code subject to the following:

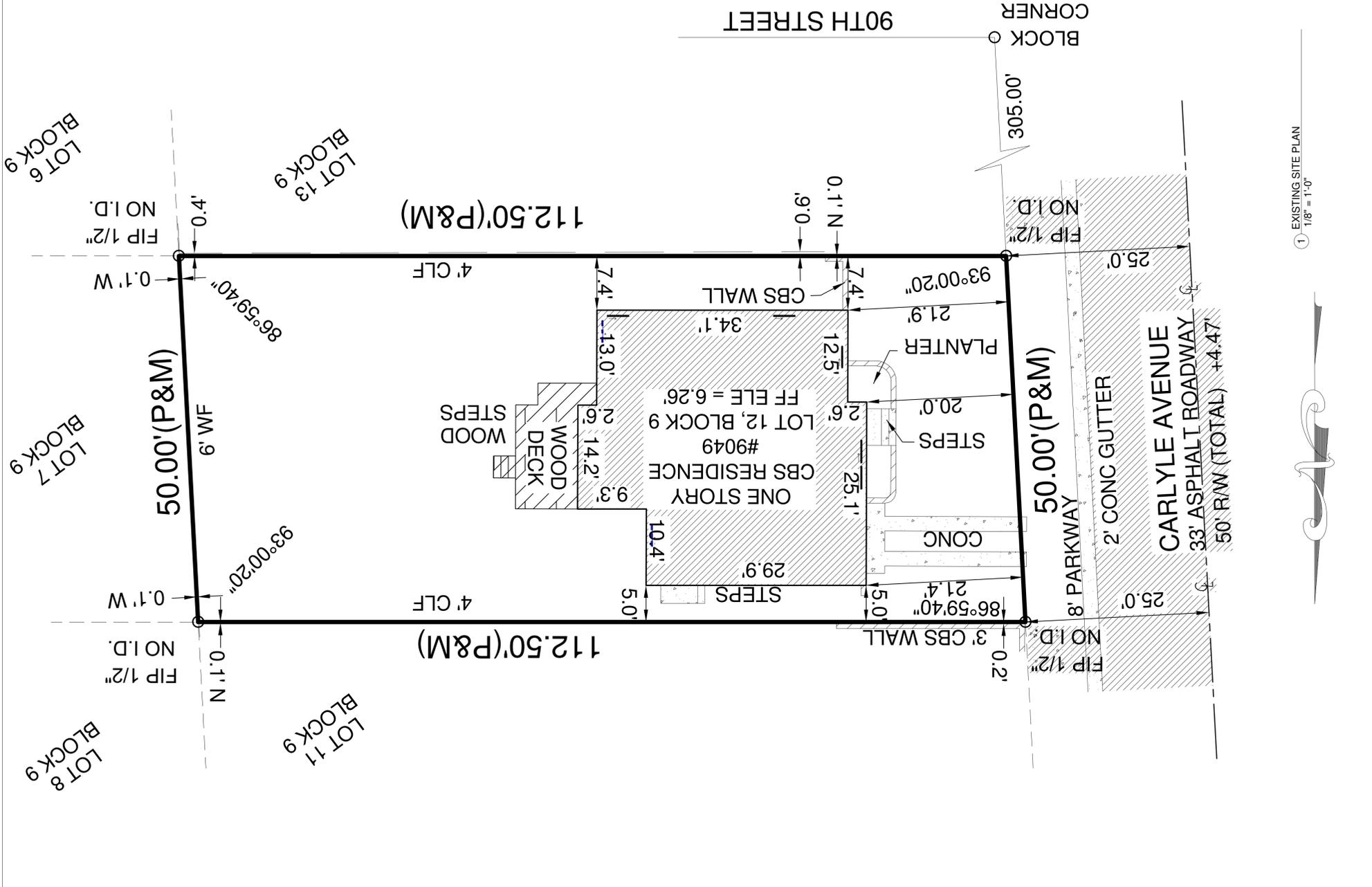
1. An 18-foot x 18-foot driveway shall be provided;
2. At time of Building Permit, the FFE will need to be verified and approved by the Building Official.

DESIGN REVIEW BOARD METING

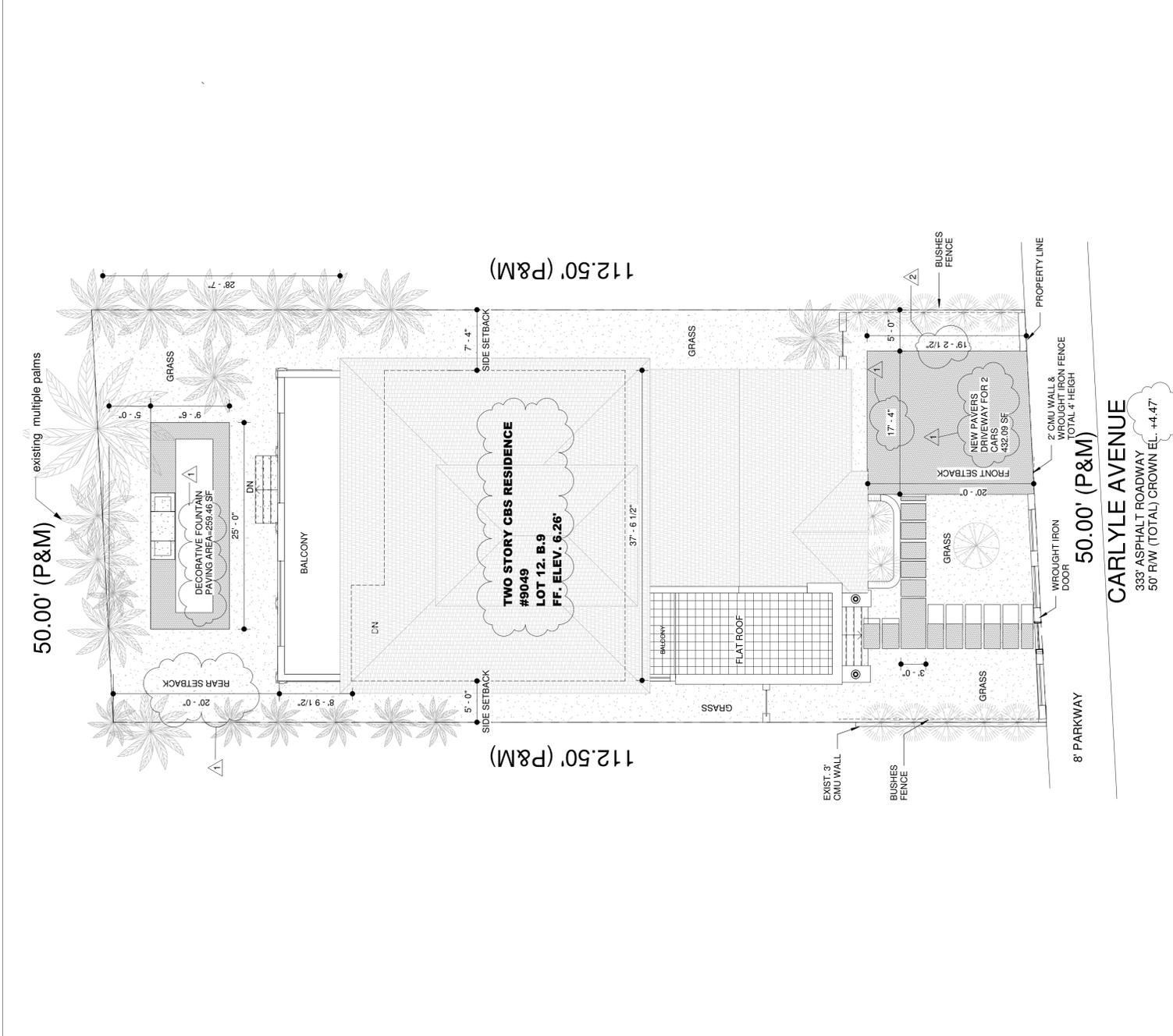
January 17, 2018.

Proof of Notification To **Adjoining Property Owners** for: 9049 Carlyle Ave Surfside, FL 33154 for oncoming meting January 31 2019 at 6:00 PM.





1 EXISTING SITE PLAN
1/8" = 1'-0"



2 PROPOSED SITE PLAN
1/8" = 1'-0"

(SEE PLAN CALCULATION ON PAGE A102)

AREAS	CHART	PROV.	REQUIRED
LOT AREA	: 5,625	SF	
FIRST FLOOR		SF	
EXISTING FIRST FLOOR AREA	: 1,314	SF	
ADDITIONAL FIRST FLOOR AREA	: 936	SF	
TOTAL NEW FIRST FLOOR AREA	: 2,249.74	SF	39.98%
SECOND FLOOR		SF	
NEW ADDITIONAL AREA	: 1,124.73	SF	50%
TOTAL NEW HOUSE AREA	: 3,374.47	SF	
OTHER AREAS			
ENTRY CANOPY	: 84.49	SF	
TERRACE 1ST FLOOR	: 282.82	SF	
FRONT YARD PAVING AREA RATIO	: 432.09	SF	38.78% (432 SF)
BACK YARD PAVING AREA RATIO	: 259.46	SF	24.93% (259.46)
PERVIOUS AREA	: 5,625	SF of LOT AREA	(3,288.65 IN PERVIOUS AREA) = 2,336.4 SF OF PERVIOUS AREA = 41.53% > 35%

CLIENT NAME AND ADDRESS:
JOSEPH SARTIANO
 9049 CARLYLE AVENUE SURFSIDE FL 333154
 PROJECT:
SARTIANO'S RESIDENCE

ORLANDO CASTRO
 ARCHITECT
 AR98530
 ADDRESS: 9039 WEST
 PLANTATION FL 33322
 PH: (954) 474-0220
 EMAIL: america.gcs@hotmail.com

JOB NUMBER: 2018-0004
 DATE: 04-15-2018
 DRAWN BY: Orlando C.
 CHECKED BY: J.J.C.
 REVISIONS
 1: 12-17-18
 2: 12-27-18
 EXISTING AND NEW SITE

SHEET
 A100
 OF
 ARCHITECT

THIS PLAN IS THE PROPERTY OF JOSEPH SARTIANO ARCHITECTS AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION RETRIEVAL SYSTEM, WITHOUT THE WRITTEN APPROVAL OF JOSEPH SARTIANO ARCHITECTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONDITIONS PRECEDED ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SEARED DIMENSIONS. THE ENGINEER PROVIDES PROFESSIONAL SERVICES AND ASSUMES NO LIABILITY FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURE OR SYSTEM.

CLIENT NAME AND ADDRESS:
JOSEPH SARTIANO
 9049 CARLYLE AVENUE SURFSIDE FL 333154
 PROJECT:
SARTIANO'S RESIDENCE

ORLANDO CASTRO
 ARCHITECT
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1: 12-17-18
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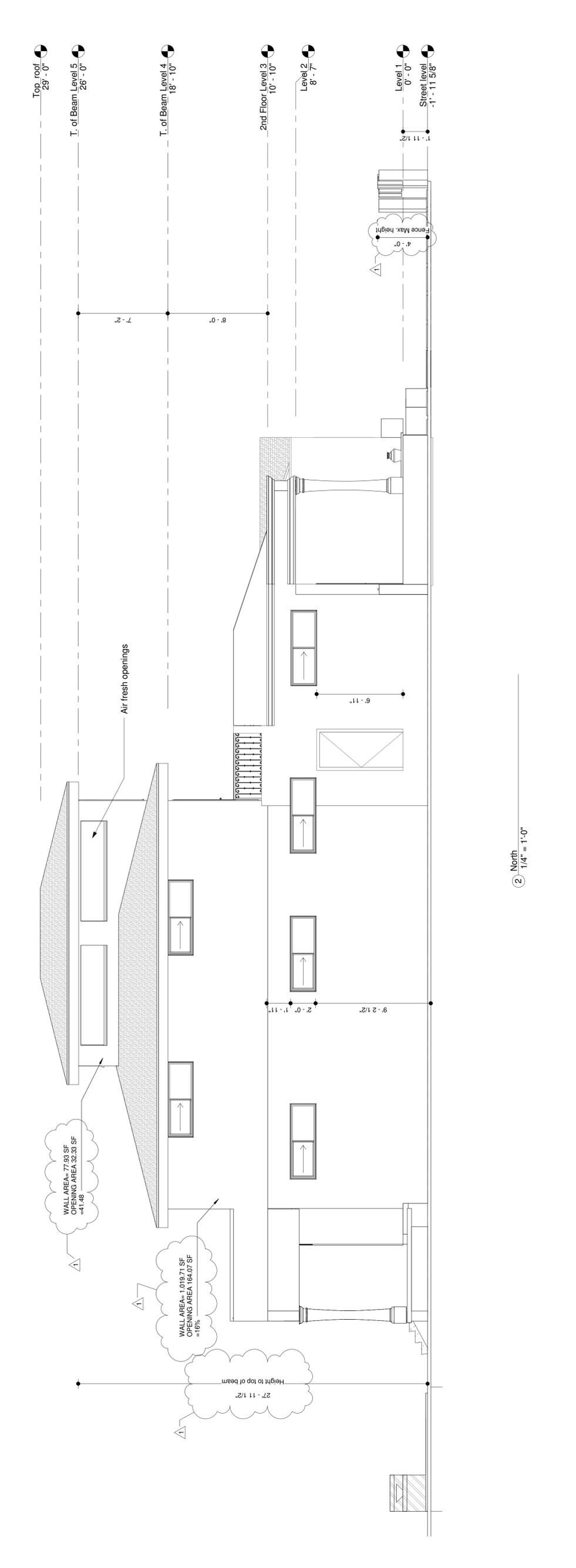
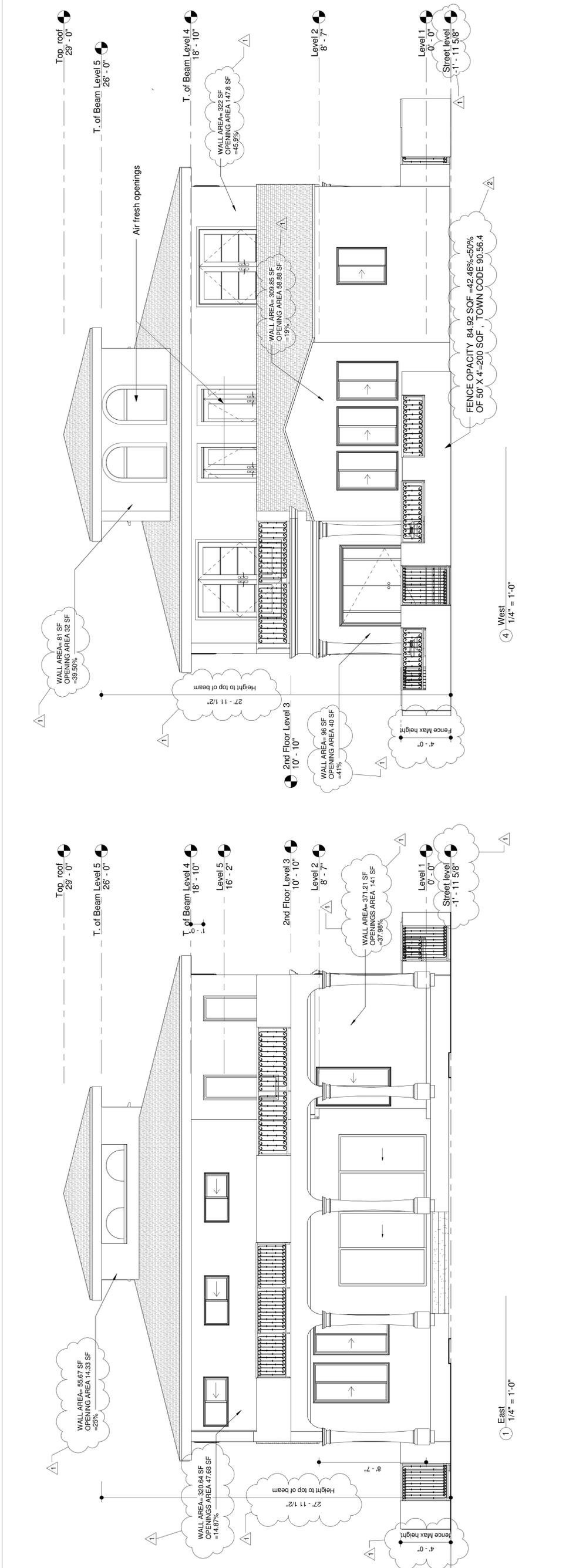
PROPOSED FACADES

SHEET

A103

OF

ARCHITECT



CLIENT NAME AND ADDRESS:
JOSEPH SARTIANO
 9049 CARLYLE AVENUE SURFSIDE FL 33314
 PROJECT:
SARTIANO'S RESIDENCE

ORLANDO CASTRO
 ARCHITECT.
 AR98530
 ADDRESS: 9039 WEST
 PLANTATION FL 33322
 PH: (954) 474-0220
 EMAIL: america.gcs@hotmail.com

JOB NUMBER: 2018-0004
 DATE: 04-15-2018
 DRAWN BY: Orlando C.
 CHECKED BY: J.J.C.

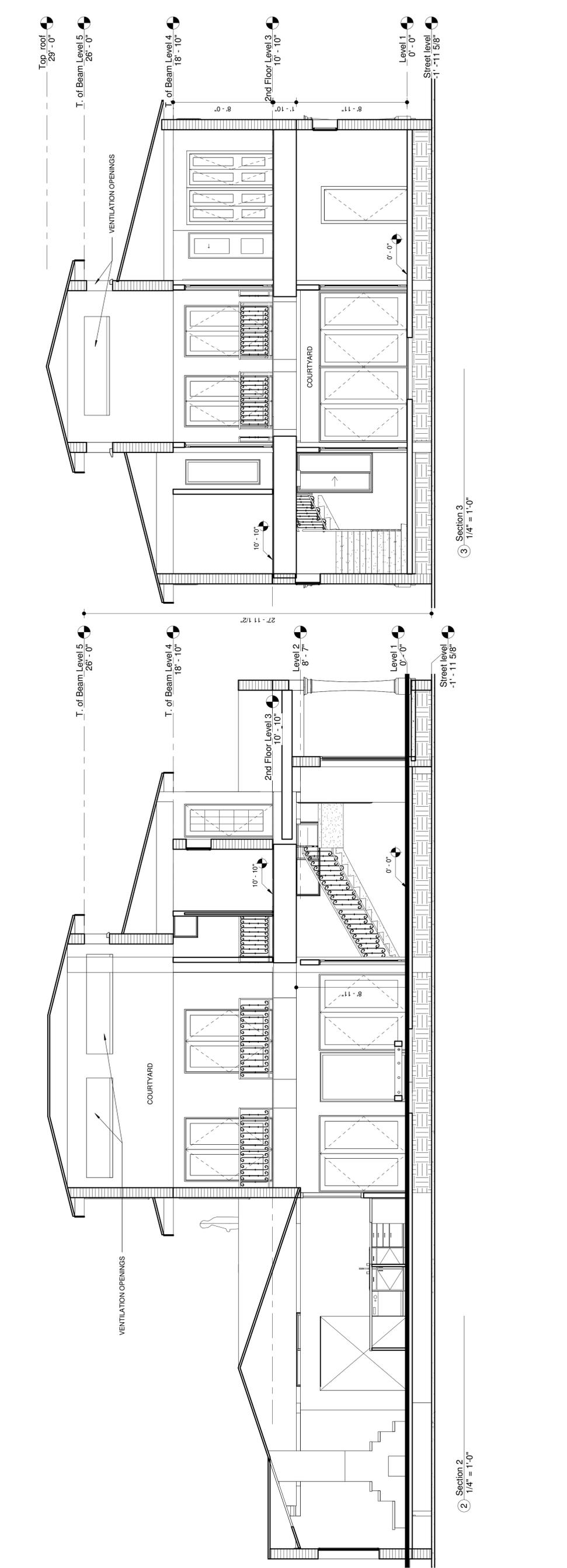
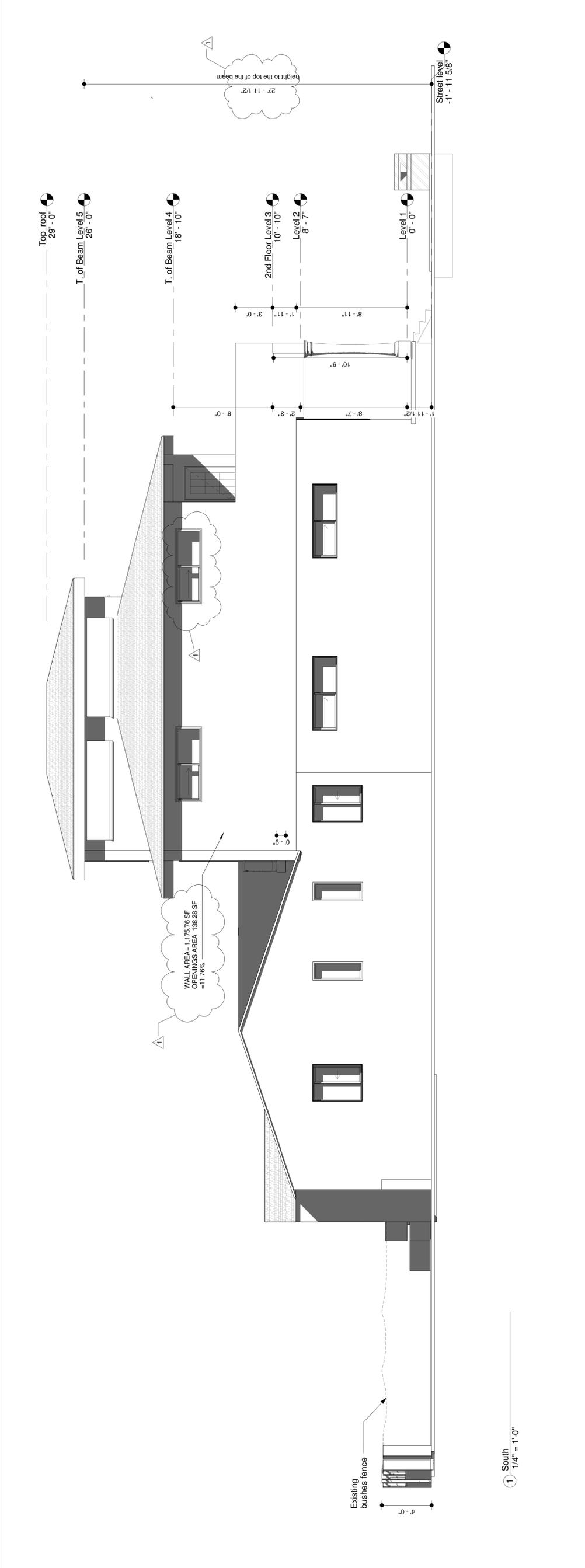
REVISIONS

- 1:12-17-18
- 2: 12-27-18

BUILDING SECTIONS /FACADES

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A104
0 F

ARCHITECT

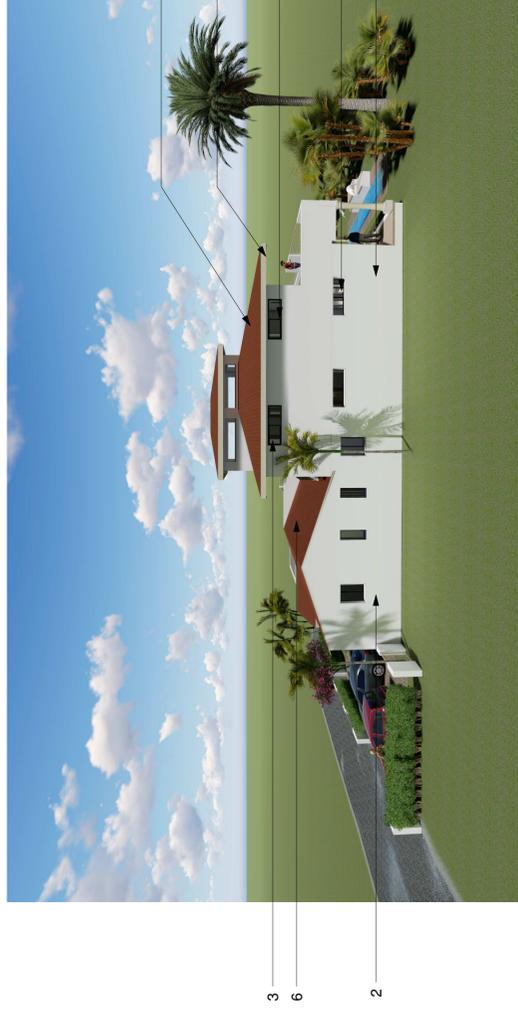




WEST FACADE W/ FENCE



EAST FACADE



SOUTH FACADE



NORT FACADE



EAST FACADA CLOSE UP



EAST FACADA

EXTERIOR MATERIALS & TEXTURES SCHEDULE

1	CMU FINISH 1" SMOOTH STUCCO PAINTED W/EXTERIOR LATEX WHITE COLOR
2	EXISTING STUCCO PAINTED W/EXTERIOR LATEX WHITE COLOR
3	WINDOWS: DARK BRONZE ALUMINUM W/GLASS SINGLE TINTING
4	EXTERIOR LATEX PAINT CREAM COLOR APPLIED ON WOOD FACIAS
5	ALUMINUM RAILING W/ BLACK POWDER COATED PAINT
6	NATURAL CLAY SPANISH TILE ROOF (EXISTING) TO REMAIN
7	NEW NATURAL CLAY SPANISH TILE ROOF TO MATCH EXISTING COLOR AND TEXTURE
8	NATURAL WOOD ENTRY DOOR BROWN COLOR, MATCH WINDOWS COLOR
9	ALUMINUM W/WO GLASSED DOORS BROWN COLOR
10	POLYURETHANE WRAP FOR COLUMNS CREAM COLOR

CLIENT NAME AND ADDRESS:
JOSEPH SARTIANO
 9049 CARLYLE AVENUE SURFSIDE FL 333154
 PROJECT:
SARTIANO'S RESIDENCE

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 ARCHITECT.
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JOB NUMBER: 2018-0004
 DATE: 04-15-2018
 DRAWN BY: Orlando C.
 CHECKED BY: J.J.C.

REVISIONS

1: 12-17-18
 2: 12-27-18

PROPOSED EXTERIOR PAINT, TEXTURE, AND MATERIALS

SHEET
A105

0 F

ARCHITECT

THIS DOCUMENT AND ITS CONTENTS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION RETRIEVAL SYSTEM, WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONDITIONS REFERENCED ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER RE-ARDED DIMENSIONS. THE ENGINEER, ARCHITECT, AND CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ASSUMES ALL LIABILITY FOR THE



MEMORANDUM

To: Planning and Zoning Board

Thru: Guillermo Olmedillo, Town Manager

From: Sarah Sinatra Gould, AICP, Town Planner

CC: Kathy Mehaffey, Town Attorney

Date: January 31, 2019

Re: 1116 88th Street – Renovation and Addition

The property is located at 1116 88th Street, within the H30A zoning. The applicant is requesting to renovate an existing house and add additional square footage on both the first and second floors of the house. The proposed residence will be a 4,596 square foot structure. The applicant is also proposing a new driveway and carport, an entrance gazebo and new fencing along the front property line.



Staff has reviewed the current application for consideration by the Planning and Zoning Board. In this report Staff presents the following:

- Applicable Zoning Code regulations, along with the results of the review
- Applicable Design Guideline standards, along with the results of the review
- Staff Findings

STANDARDS / RESULTS

Town of Surfside Zoning Code, Applicable Requirements

Sec. 42.92 Lowest Floor Elevation

Residential	Lowest Floor	Proposed
Single-Family Residential	Base Flood +2	Existing – Pending review by the Building Official

Sec. 90.43 Maximum building heights

Height	Required Maximum	Proposed
H30A	30 feet	23.18 feet

Sec. 90-45. Setbacks

<i>H30A UPPER STORY FLOOR AREA IS 65% to 80% OF FIRST STORY FLOOR AREA</i>	Required <i>Max. 80%</i>	Proposed <i>80%</i>
<i>Maximum Lot Coverage</i>	40%	22.5%
FIRST STORY		
Primary Frontage	Minimum 20 feet	Existing - 34.9 feet
Interior side (lots greater than 50 feet in width)	10% of Frontage (60.05 feet = 6.05 feet)	Existing - 5.0 feet Proposed – 6.05 feet
Secondary Frontage	Minimum 10 feet	Existing - 13.42 feet
Rear	Minimum 20 feet	Existing - > 20 feet
UPPER STORY		
Primary frontage	Minimum 20 feet/Average 30 feet	Existing - 34.9 feet
Interior side (lots greater than 50 feet in width)	Minimum 10% of Frontage (60.05 feet = 6.05 feet)/ Average 20% of Frontage (60.05 feet = 12.1 feet)	Existing – 5.0 feet Proposed – 12.1 feet
Secondary Frontage	Minimum 10 feet/Average 20 feet	Existing - > 20 feet
Rear	Minimum 20 feet/Average n/a	Existing - > 20 feet

Sec. 90.49 Lot standards

Lot Standards H30B	Required	Proposed
Minimum Lot width	50 feet	60.05 feet
Minimum lot area	8,000 square feet	11,567 square feet
Maximum lot coverage	40%	22.5%
Pervious area	35% (minimum)	50.2%

Sec. 90.50 Architecture and roof decks

	Required	Proposed
Unique Elevation	A unique elevation from the main buildings of the adjacent two (2) homes shall be created through the modulation of at least three (3) of the following architectural features: (a)Length, width and massing of the structure; (b)Number of stories; (c)Façade materials; (d)Porches and other similar articulation of the front façade; (e)Number and location of doors and windows; and (f)Roof style and pitch.	The proposed home will have unique elevations from neighboring houses and utilizes different façade materials. The front and secondary side façade utilizes a porch and a varying location for doors and windows.
Wall openings	10% for all elevations; No need loss of wall openings for additions	Proposed renovation and addition includes windows and doors. All elevations are 10% or greater for wall openings.
Roof Material	(a) Clay Tile; (b) White concrete tile; (c) Solid color cement tile which color is impregnated with the same color intensity throughout, provided said color if granted approval by the Board; (d)Architecturally embellished metal if granted approval by the Board; or (e)Other Florida Building Code approved roof material(s) if granted approval by the Board.	Clay tile and existing and proposed flat roof is being utilized

Sec. 90.56 Fences, walls and hedges

	Required	Proposed
Fence	Fences in the front are only permitted with the Planning and Zoning Board's approval.	4.5-foot columns with 2-foot masonry wall with 2.5-foot metal picket fencing between columns. Entry gates.

Sec. 90-56.4 Front yard and corner yard fences and ornamental walls—Table.

Frontage	Maximum Height (Feet)	Maximum Opacity (Percent)	Proposed
60.05 feet	4.5 feet	All wall and fence surfaces above two (2) feet measured from grade shall maintain a maximum opacity of fifty (50) percent	2.5-foot metal picket fence is proposed above 2 feet with opacity less than 50%. Top of gates and lights on columns extend above 4.5 feet (See Findings below)

Sec. 90.58 Carport canopies

	Required	Proposed
Carport canopies	<p>Size Maximum: 20 feet x 20 feet; Height Maximum: 10 feet; Side openings Minimum: 6.25 feet; Setbacks: - Primary Front/Secondary Front: 2 feet; - Rear: 5 feet; - interior Side: 5 feet; - Rear of Street Curb: 7 feet;</p> <p>Area under canopy must be entirely paved with approved material.</p>	<p>Size: 20 feet x 20 feet; Height: 10 feet; Side openings: Entirely open; Setbacks: - Primary Front: 8.2 feet - Rear: >5 feet - Interior Side: >5 feet - Rear of Street Curb: >7 feet</p> <p>Concrete pavers with grass spacers proposed</p>

Sec. 90.61.1 Paving in front and rear yards in H30 and H40 Districts

Paving Yards	Required	Proposed
Front setback permeability	50% minimum	> 50%
Front yard landscaped	30% minimum	> 30%
Rear yard landscaped	20% minimum	> 20%
Number of Curb Cuts	One minimum	one
Curb Cut side set back	5 feet minimum	5 feet
Curb cut width	18 feet width maximum	Existing is 22.0 feet Proposed driveway is 12.67 at property line.
Driveway Materials	Limited to the following 1. Pavers 2. Color and texture treated concrete, including stamped concrete 3. Painted concrete shall not be permitted. 4. Asphalt shall not be permitted.	Concrete pavers with grass spacers

Sec. 90-77 Off-Street Parking Requirements

Required	Minimum Space Requirements	Proposed
Single-family	2 spaces	2 spaces are provided.

Town of Surfside Adopted Residential Design Guidelines

Building Massing

Required	Proposed
Building forms should be varied enough to avoid monotony and to avoid pyramidal massing and should be compatible with surrounding houses.	Consistent

Decorative Features

Required	Proposed
Decorative features should be stylistically consistent throughout the entire building.	Consistent.

Overall Architectural Style

Required	Proposed
The overall style of each house should be consistent on all sides of the building, as well as among all portions of the roof.	Consistent.

Wall Materials and Finishes

Required	Proposed
The same material should be used on all building elevations unless multiple materials are a legitimate expression of the particular style.	Consistent

Roof Materials, Types, and Slopes

Required	Proposed
Roof types and slopes should be generally the same over all parts of a single building.	Consistent
Restricted materials for roofs are pre-determined in the Town's Building Code, which restricts roofing materials to: 1. Clay tile; 2. White concrete tile; 3. Solid color cement tile which color is impregnated with the same color intensity throughout, provided said color is first	Clay tile and existing and proposed flat roof is being utilized

approved by the planning and zoning board; and 4. Metal.	
--	--

Windows and Trims

Required	Proposed
Window styles should always be consistent among all elevations of a building.	Consistent.
Frame materials should never vary on a single building.	No variation.
Window, door and eave trim should be consistent on all elevations of the house	Consistent.

FINDINGS

Staff finds the application meets the Code subject to the following:

1. At time of Building Permit, the FFE will need to be verified and approved by the Building Official;
2. Light fixtures on fence columns and top of gates need to meet the 4.5-foot maximum height allowed for a fence in the front yard.

DRAWN
M.C.
CHECKED
A.R.
DATE
November 7, 2018
SCALE
SEE PLAN
JOB NO.

INSPIRATION IMAGERY

REVISIONS:

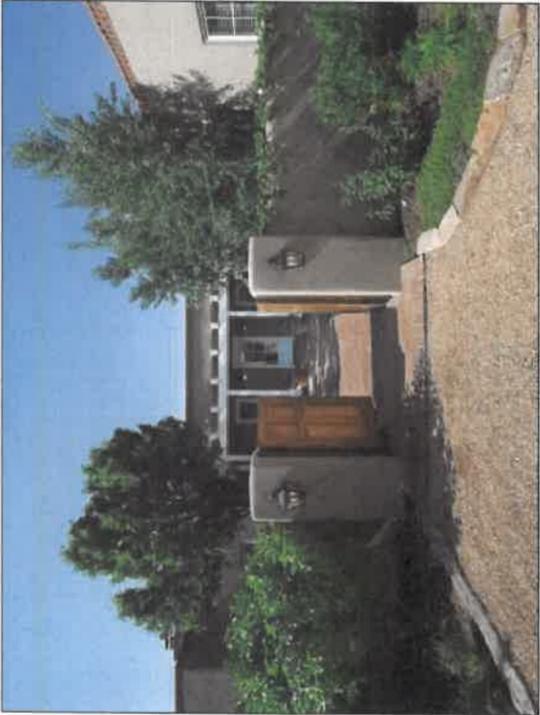
ALBERT I. RODRIGUEZ
FLORIDA REGISTERED ARCHITECT
AR No. 16282

Residential Level 2 Remodeling and Addition:
1116 88th Street
Surfside, Florida 33154

DALIMA
STUDIO
ARCHITECTURE

1825 PONDIC DE LEON BLVD.
SUITE 100
CORAL GABLES, FLORIDA 33134
(305) 742-4688
dalima@dalimastudio.com

NOTE:
THE ABOVE DRAWINGS, NOTES AND SPECIFICATIONS
SHALL BE USED IN CONJUNCTION WITH THE
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PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND
RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF DALIMA STUDIO.

FRONT YARD PERVIOUS AREA ANALYSIS:
 FRONT YARD: 60.50' LOT WIDTH X 20' REQUIRED FRONT YARD SETBACK = 1,210 S.F.
 MIN. REQUIRED PERVIOUS AREA = 50% OF FRONT YARD AREA = 1,210 S.F. X 50% = 605 S.F. MIN. PERVIOUS AREA REQUIRED
 MIN. PERVIOUS AREA PROVIDED = 605 S.F.
 PERVIOUS AREA PROVIDED = 614 S.F. (0.K.)

EXISTING WATER METER TO REMAIN (TYP.)
 LANDSCAPED AREA
 NEW 24" LOW MASONRY GARDEN WALL WITH STUCCO FINISH AND 3" METAL PICKET FENCING FOR ALL ENCLOSURES & REQUIRED FRONT YARD ENCLOSURES & REQUIRED FRONT YARD

EXISTING ASPHALT TO REMAIN

NEW WOOD WRAPPED STEEL POST (TYP.)

NEW CORAL ROCK PAVED WALKWAY (TYP.)

NEW WOOD WRAPPED STEEL POST (TYP.)

NEW 24" LOW MASONRY GARDEN WALL WITH STUCCO FINISH AND 3" METAL PICKET FENCING FOR ALL ENCLOSURES & REQUIRED FRONT YARD

NOTE: THE ARCHITECT'S RESPONSIBILITY IS TO PREPARE AND SEAL THESE PLANS FOR THE SALE OF LAND. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS.

DALIM A
S T U D I O
A R C H I T E C T U R E

1825 POWELL BLVD., SUITE 100
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 (305) 774-0888
 EMAIL: info@dalimastudio.com
 ©2018 Dalim Studio Architecture

Residential Level 2 Remodeling and Addition:
The Schott Family Residence
 1116 88th Street
 Surfside, Florida 33154

ALBERT I. RODRIGUEZ
 FLORIDA REGISTERED ARCHITECT
 AR No. 16282

REVISIONS:

ENLARGED PROPOSED FRONT AREA (PLAN)

DRAWN: C.C.
 CHECKED: A.R.
 DATE: January 7, 2019
 SCALE: SEE PLAN
 JOB NO.:
 SHEET

A101
 OF SHEETS

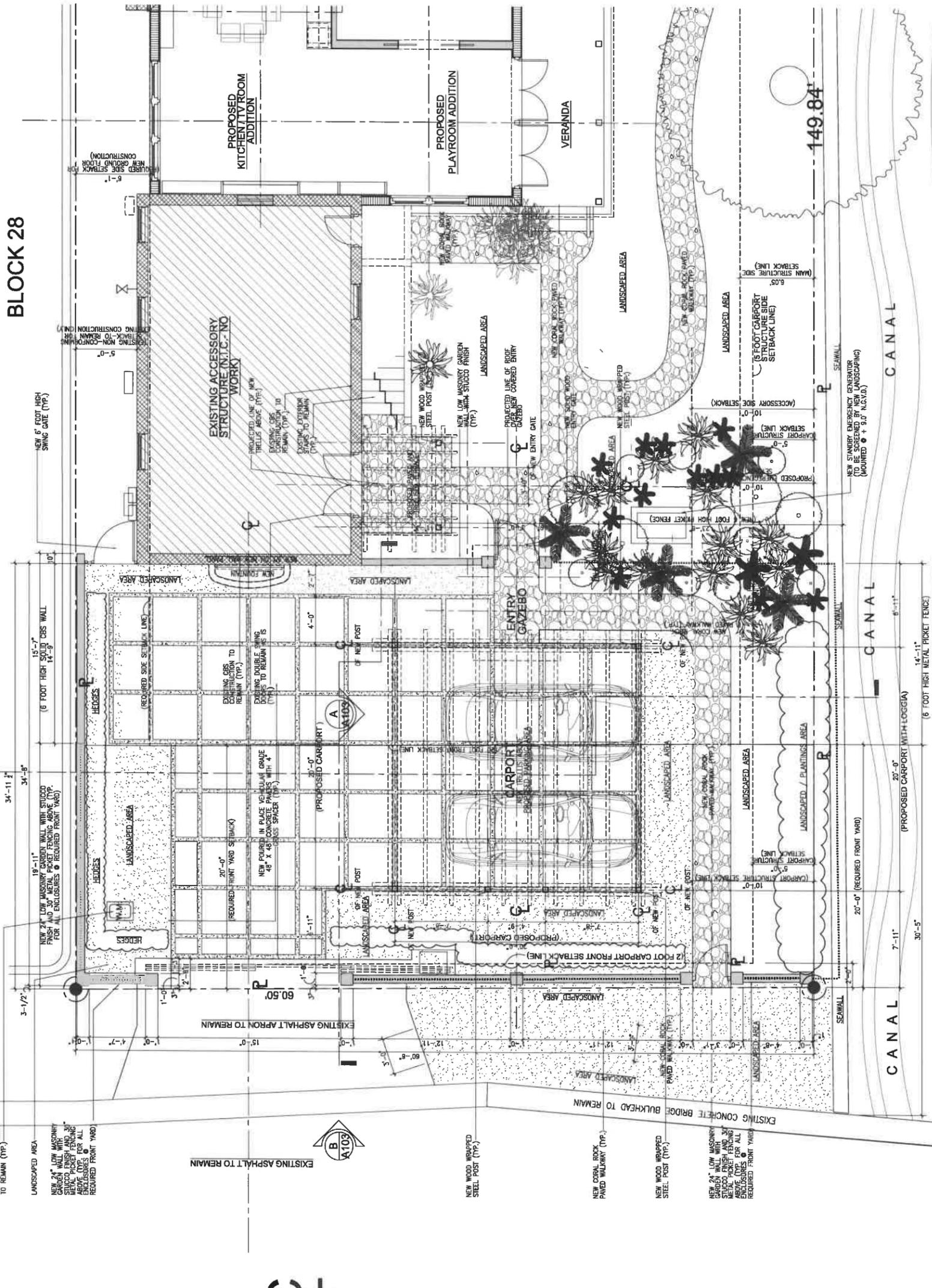
ADJACENT LOT (N.I.C.)
LOT-2
BLOCK 28

B
A102

B
A103

1
A101

ENLARGED PROPOSED (FRONT) DRIVEWAY AREA
 1/4" = 1'-0"





MEMORANDUM

To: Planning and Zoning Board

Thru: Guillermo Olmedillo, Town Manager

From: Sarah Sinatra Gould, AICP, Town Planner

CC: Kathy Mehaffey, Town Attorney

Date: January 31, 2019

Re: 8927 Byron Avenue– Renovation and Addition

The property is located at 8927 Byron Avenue, within the H30B zoning. The applicant is requesting to demolish a portion of the existing house and substantially renovate and add additional square footage. The proposed residence will be a 2,017 square foot structure. The applicant is also proposing a new driveway and rear terrace and loggia. The Board approved a previous design for the applicant and property in December 2017. The previous approval included a second floor addition which is now removed.



Staff has reviewed the current application for consideration by the Planning and Zoning Board. In this report Staff presents the following:

- Applicable Zoning Code regulations, along with the results of the review
- Applicable Design Guideline standards, along with the results of the review
- Staff Findings

STANDARDS / RESULTS

Town of Surfside Zoning Code, Applicable Requirements

Sec. 42.92 Lowest Floor Elevation

Residential	Required Lowest Floor	Proposed
Single-Family Residential	Base Flood +2	Existing - Pending review of Building Official

Sec. 90.43 Maximum building heights

Height	Required Maximum	Proposed
H30B	30 feet	16.90 feet

Sec. 90-45. Setbacks

Setbacks	Required	Proposed
Primary Frontage	Minimum 20 feet	20.0 feet
Interior side (lots equal to or less than 50 feet in width)	Minimum 5 feet	5.0 feet
Rear	Minimum 20 feet	20.33 feet

Sec. 90.49 Lot standards

Lot Standards H30B	Required	Proposed
Minimum Lot width	50 feet	50 feet
Minimum lot area	5,600 square feet	5,625 square feet
Maximum lot coverage	40%	36%
Pervious area	35% (minimum)	36.0%

Sec. 90.50 Architecture and roof decks

	Required	Proposed
Unique Elevation	A unique elevation from the main buildings of the adjacent two (2) homes shall be created through the modulation of at least three (3) of the following architectural features: (a)Length, width and massing of the structure; (b)Number of stories; (c)Façade materials; (d)Porches and other similar articulation of the front façade; (e)Number and location of doors and windows; and	The entire house will be renovated and additional square footage will be added. A flat roof is proposed. The adjacent two (2) homes are one-story with angled or sloping roof lines. The proposed modern architectural style and coral stone cladding is unique to the property.

	(f)Roof style and pitch.	
Wall openings	10% for all elevations; zero percent net loss of wall openings on additions.	Proposed renovation and addition includes windows and doors. Applicant needs to supply verification of no net loss for north side of structure.
Roof Material	(a) Clay Tile; (b) White concrete tile; (c) Solid color cement tile which color is impregnated with the same color intensity throughout, provided said color if granted approval by the Board; (d)Architecturally embellished metal if granted approval by the Board; or (e)Other Florida Building Code approved roof material(s) if granted approval by the Board.	A flat roof is proposed for the structure which must be approved by the Planning and Zoning Board

Sec. 90.61.1 Paving in front and rear yards in H30 and H40 Districts

Paving Yards	Required	Proposed
Front setback permeability	50% minimum	> 50%
Front yard landscaped	30% minimum	> 30%
Rear yard landscaped	20% minimum	> 20%
Number of Curb Cuts	One minimum	One
Curb Cut side set back	5 feet minimum	5 feet
Curb cut width	18 feet width maximum	18 feet
Driveway Materials	Limited to the following 1. Pavers 2. Color and texture treated concrete, including stamped concrete 3. Painted concrete shall not be permitted. 4. Asphalt shall not be permitted.	Concrete Panels

Sec. 90-77 Off-Street Parking Requirements

Required	Minimum Space Requirements	Proposed
Single-family	2 spaces	2 spaces are provided.

Town of Surfside Adopted Residential Design Guidelines
Building Massing

Required	Proposed
Building forms should be varied enough to avoid monotony and to avoid pyramidal massing and should be compatible with surrounding houses.	Consistent

Decorative Features

Required	Proposed
Decorative features should be stylistically consistent throughout the entire building.	Consistent.

Overall Architectural Style

Required	Proposed
The overall style of each house should be consistent on all sides of the building, as well as among all portions of the roof.	Consistent.

Wall Materials and Finishes

Required	Proposed
The same material should be used on all building elevations unless multiple materials are a legitimate expression of the particular style.	Consistent

Roof Materials, Types, and Slopes

Required	Proposed
Roof types and slopes should be generally the same over all parts of a single building.	Consistent
Restricted materials for roofs are pre-determined in the Town's Building Code, which restricts roofing materials to: 1. Clay tile; 2. White concrete tile; 3. Solid color cement tile which color is impregnated with the same color intensity throughout, provided said color is first approved by the planning and zoning board; and 4. Metal.	A flat roof is proposed for the structure which must be approved by the Planning and Zoning Board

Windows and Trims

Required	Proposed
Window styles should always be consistent among all elevations of a building.	Consistent.
Frame materials should never vary on a single building.	No variation.

Window, door and eave trim should be consistent on all elevations of the house	Consistent.
--	-------------

FINDINGS

Staff finds the application meets the Code subject to the following:

1. At time of Building Permit, the Crown of Road spot elevation needs to be verified on the property survey;
2. At time of Building Permit, the FFE will need to be verified and approved by the Building Official;
3. The applicant verifying no net loss of wall openings on the north side of the structure;
3. Flat roof must be approved by the Planning and Zoning Board.



785 TAYLOR CANAL ROAD
MIAMI, FLORIDA 33144
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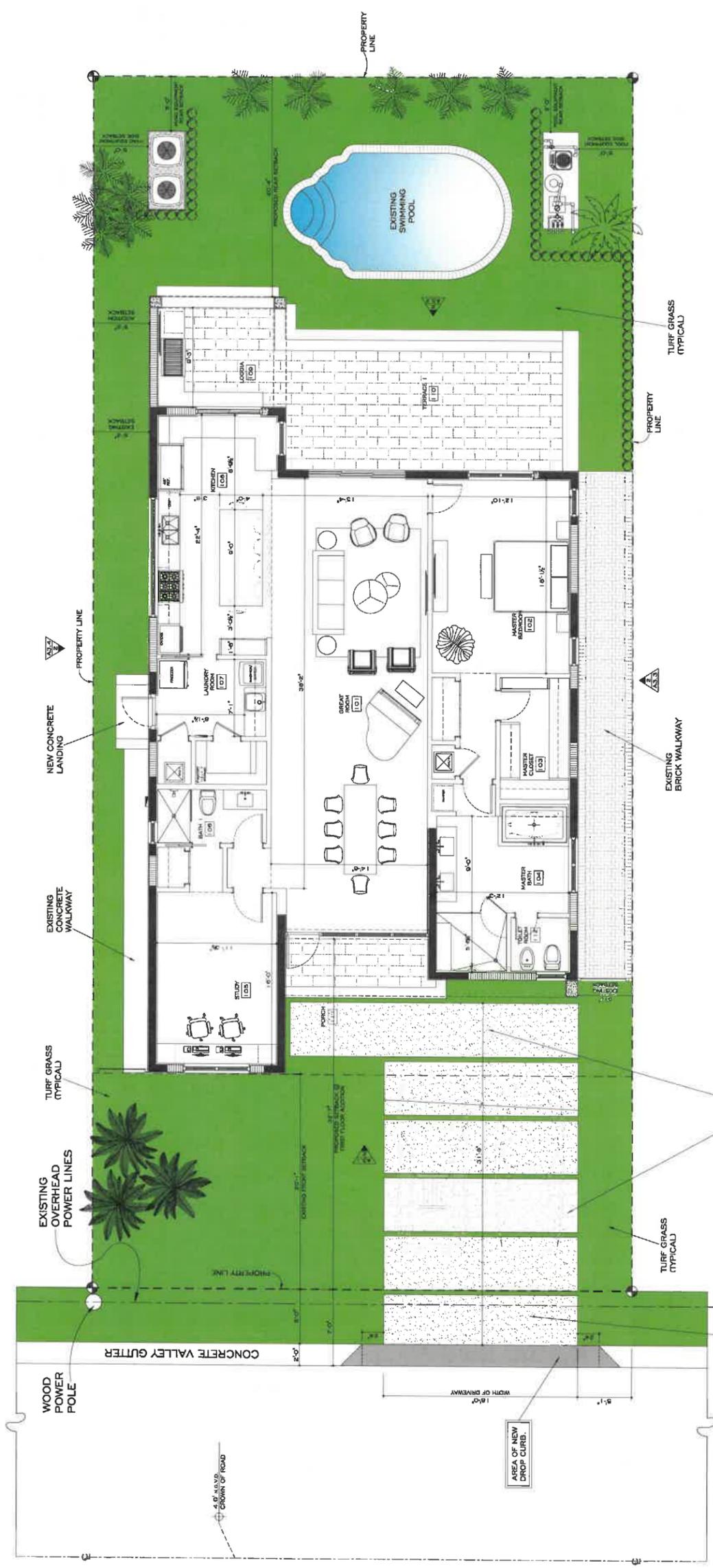
SRJL
ROGER CHAVARRIA P.E.
CIVIL ENGINEER
FL. LIC. # 9712
DATE:

SENDELOWICZ VILLALBA
RESIDENCE REMODELING
6927 BYRON AVENUE SURFSIDE, FL 33154

REVISIONS

712A2.1P
JANUARY 2019
SDVL-1712

A2.1



NEW REINFORCED CONCRETE DRIVEWAY & WALKWAY TO BE POURED WITH 3000 P.S.I. CONCRETE @ 6" THICK IN AREAS LOCATED WITHIN RIGHT-OF-WAY. CONTRACTOR SHALL CONCRETE @ 4" THICK IN AREAS LOCATED AT THE EXISTING CONCRETE VALLEY GUTTER WITH THE DEPARTMENT OF PUBLIC WORKS.

NEW REINFORCED CONCRETE DRIVEWAY & WALKWAY TO BE POURED WITH 3000 P.S.I. CONCRETE @ 6" THICK IN AREAS LOCATED WITHIN RIGHT-OF-WAY. CONTRACTOR SHALL CONCRETE @ 4" THICK IN AREAS LOCATED AT THE EXISTING CONCRETE VALLEY GUTTER WITH THE DEPARTMENT OF PUBLIC WORKS.

PROPOSED FIRST FLOOR / SITE PLAN
SCALE: 3/16" = 1'-0"



HIGHEST POINT OF BUILDING ABOVE CROWN-OF-ROAD ± 17'-10.75"

BUILDING DATA (SQ. FT.)

ZONING	H30B	8'
BASE FLOOD ELEVATION	5,600	
NET LOT AREA	11,871	
AREA OF EXISTING HOUSE	1,146	
AREA OF GROUND FLOOR ADDITION	1,468	
TOTAL PROPOSED HOUSE AREA	2,017	
AREA OF ENCLOSED GROUND FLOOR (FOOTPRINT)	2,017	
AREA OF DRIVEWAY	493	
AREA OF OPEN TERRACES/POOL/WALKWAYS	851	
AREA OF GROUND FLOOR TERRACE (WITH COVERING ABOVE)	22.3	
TOTAL IMPERVIOUS AREA	3,584	
TOTAL PERVIOUS AREA	2,016	

ZONING LEGEND

AREA	NET LOT AREA	MAX. RATIO ALLOWED	MIN. RATIO REQUIRED	RATIO
BUILDING FOOTPRINT	2,017	5,600	40%	36.02%
TOTAL FLOOR AREA	2,017	5,600		36.02%
PERVIOUS AREA	2,016	5,600	35%	36%

SETBACKS

MINIMUM REQUIRED	EXISTING STRUCTURE	1 ST FLOOR ADDITION
FRONT	20'-0"	32'-7"
SIDE	5'-0"	5'-2"
SIDE	5'-0"	5'-1"
REAR	20'-0"	30'-7"

FRONTIARD COMPOSITION

COMPOSITION	TOTAL	MINIMUM REQUIRED
FRONTIARD	1,000	337
PERVIOUS	337	33.7%
MAX. RATIO ALLOWED	50%	



780 TAMPAKE CANAL ROAD
MIAMI, FLORIDA 33144
PH: 305-293-9274
FAX: 305-293-3883



SEAL

ROGER CHAVARRIA, P.E.
CIVIL ENGINEER
P.L.C. # 50712

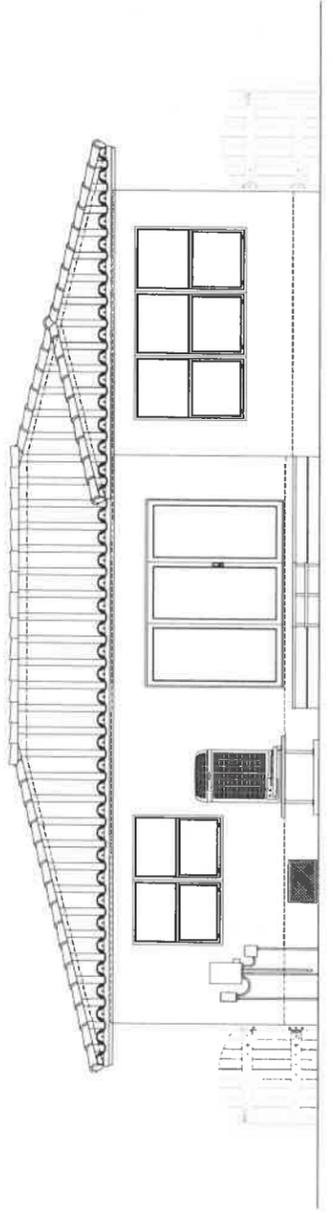
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SENDEROWICZ VILLALBA
RESIDENCE REMODELING
6927 BYRON AVENUE SURFSIDE, FL 33154

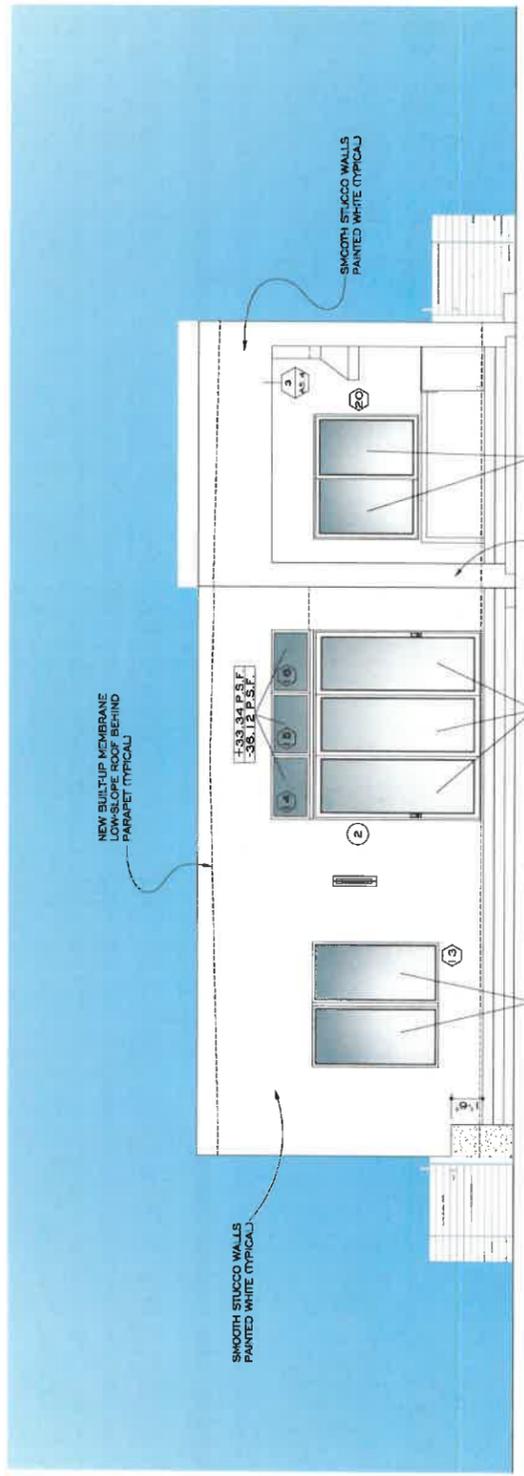
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71 2A3.2E
JANUARY 2019
SDVL-1712

A3.2



EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

- +13'-0" TOP OF PARAPET
- +12'-0" TOP OF BEAM & ROOF STRUCTURE
- +10'-0" BOTTOM OF BEAM AT LOGGIA
- 0'-0" (8.28' M.S.V.) EXISTING & PROPOSED FLOOR FINISH ELEVATION
- 0'-1" TERRACE LEVEL

- +1'-0" TOP OF TRANSOM WINDOWS
- +8'-0" TOP OF WINDOW
- 0'-0" (8.28' M.S.V.) EXISTING & PROPOSED FLOOR FINISH ELEVATION

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SEAL:
ROGER CHAVARRIA, P.E.
CIVIL ENGINEER
FL LIC. # 29212
DATE:

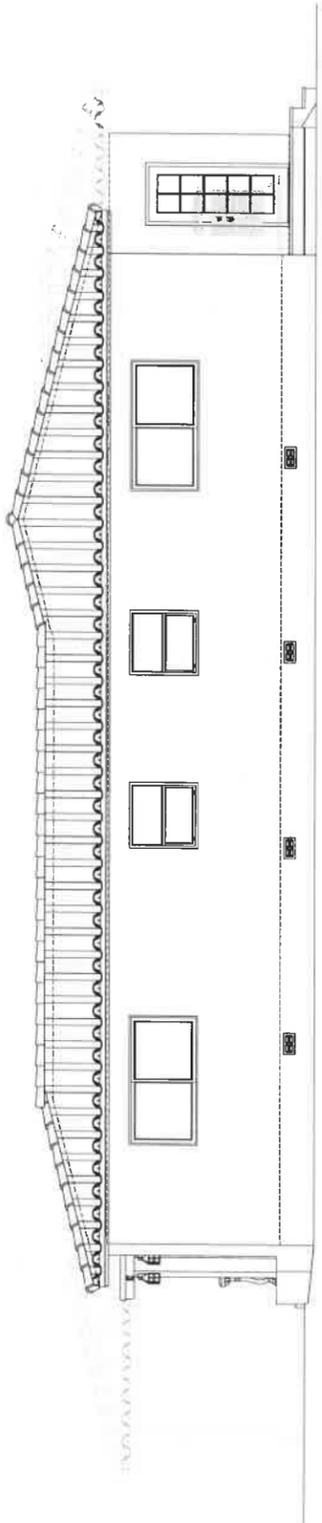
SENDEROWICZ VILLALBA
RESIDENCE REMODELING
8927 BYRON AVENUE SURFSIDE, FL 33154

NO.	REVISIONS

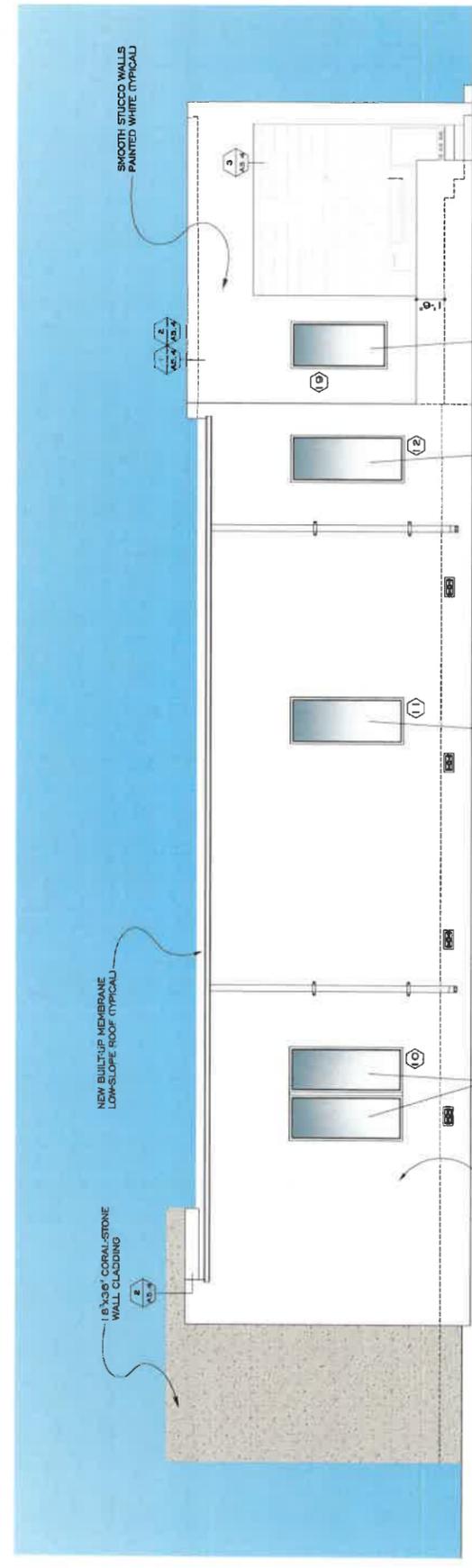
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JANUARY 2019
SDVL-1712

A3.3

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, NOTES, AND CONDITIONS OF ALL EXISTING STRUCTURES AND UTILITIES PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN ALL NECESSARY RECORDS AND AS-BUILT DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN ALL NECESSARY RECORDS AND AS-BUILT DRAWINGS.



1
A3.3
EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2
A3.3
PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

- +1.3'-0" (+1.6' @ 0.75' ABOVE CROWN OF ROAD)
TOP OF PARAPET
- +1.2'-0" (+1.5' @ 0.75' ABOVE CROWN OF ROAD)
TOP OF THE BEAM & ROOF STRUCTURE
- +8'-0"
TOP OF WINDOWS
- 0'-0" (8.25' ABOVE)
EXISTING & PROPOSED FLOOR FINISH ELEVATION
- 1'-4.25" (6.93' ABOVE)
ADJACENT GRADE
- 3'-4.75" (4.9' ABOVE)
EXISTING CROWN OF ROAD
- +1.3'-0" TOP OF PARAPET
- +1.2'-0" TOP OF THE BEAM & ROOF STRUCTURE
- +1.0'-0" BOTTOM OF BEAM AT LOGGIA
- 0'-0" (8.25' ABOVE)
EXISTING & PROPOSED FLOOR FINISH ELEVATION
- 0'-1.5" TERRACE LEVEL
- +32.43 P.S.F. -35.24 P.S.F.
- +32.43 P.S.F. -35.24 P.S.F.
- +32.43 P.S.F. -35.24 P.S.F.
- +31.00 P.S.F. -34.00 P.S.F.
- EXISTING FACADE TO BE PATCHED WITH STUCCO AS REQUIRED



CA 22874

780 TAMMING CANAL ROAD
MIAMI, FLORIDA 33141
PH: 305-226-3874
FAC: 305-258-3863

ENGINEERING



SEAL

ROGER CHAVIRA, P.E.
CIVIL ENGINEER
FL. LIC. # 59712

DATE

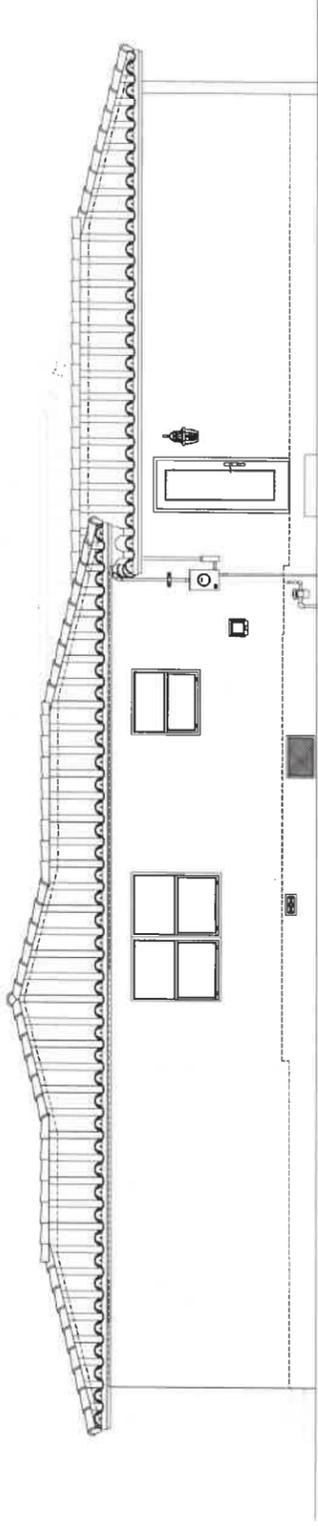
SENDEROWICZ VILLALBA
RESIDENCE REMODELING
8927 BYRON AVENUE SURFSIDE, FL 33154

REVISIONS

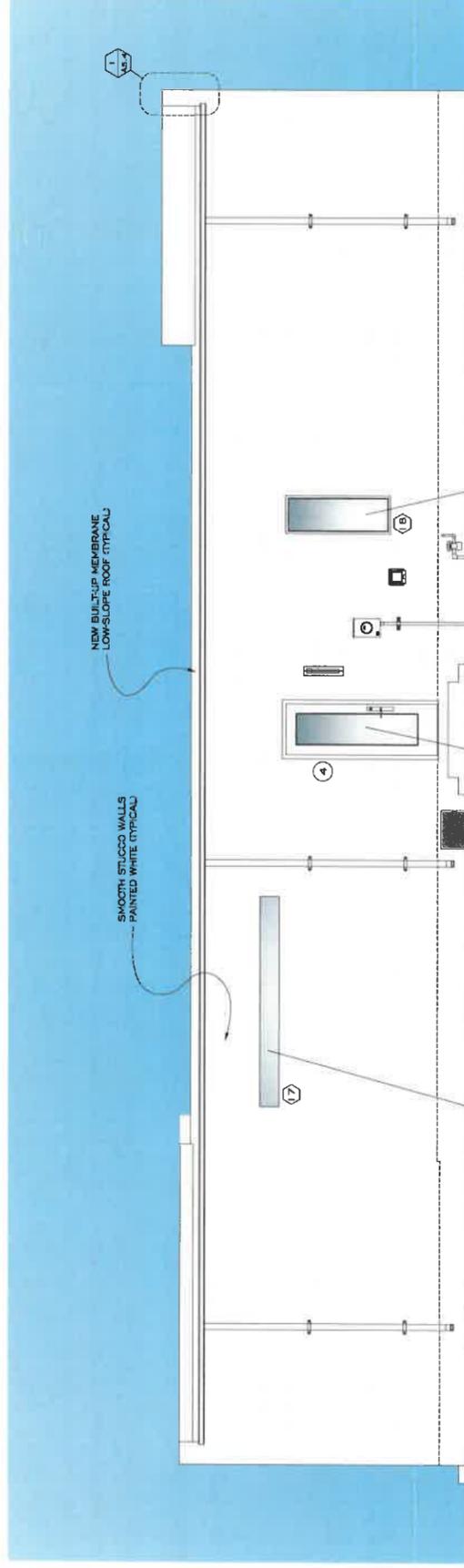
DATE: 7/12/2019
DRAWN BY: J. L. BROWN
CHECKED BY: R. CHAVIRA
PROJECT NO.: 19-001
SHEET NO.: 1 OF 1
SCALE: AS SHOWN
NOTES: ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL FINISHES ARE TO BE SUPPLIED BY THE CONTRACTOR. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

7/12/2019
JANUARY 2019
SDVL-1712

A3.4



1
A3.4
EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



- +13'-6" TOP OF PARAPET
- +12'-6" TOP OF TIE BEAM & ROOF STRUCTURE
- +9'-4" TOP OF WINDOW # 17
- 0'-0" (8.29' max) EXISTING & PROPOSED FIRST FLOOR FINISH ELEVATION
- 0'-1 1/2" TERRACE LEVEL

- +14'-6" (+17'-0.75' ABOVE EXISTING ROAD) TOP OF PARAPET
- +12'-6" (+15'-0.75' ABOVE EXISTING ROAD) TOP OF TIE BEAM & ROOF STRUCTURE
- +8'-3" TOP OF DOOR # 4
- +8'-0" TOP OF WINDOW # 18
- 0'-0" (8.29' max) EXISTING & PROPOSED FIRST FLOOR FINISH ELEVATION
- +1'-4.25" (6.93' max) ADJACENT GRADE
- +3'-4.75" (4.91' max) EXISTING CROWN OF ROAD

- +33.18 P.S.F. -34.85 P.S.F.
- +32.14 P.S.F. -34.85 P.S.F.
- +33.18 P.S.F. -35.97 P.S.F.
- +33.18 P.S.F. -35.97 P.S.F.

2
A3.4
PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



Town of Surfside

Planning & Zoning Communication

Agenda Date: January 31, 2019

From: Guillermo Olmedillo, Town Manager
Sarah Sinatra Gould, AICP, Town Planner

Table of Contents:

1. Site Plan Report
2. Variance Report
3. Applications
4. Site Plan Package

REQUEST:

The applicant, Juan David R.A., architect with JCD Architect, Inc., on behalf of 8851 Harding, LLC, is proposing an 18 unit apartment building at 8851 Harding Avenue, with a general location on the east side of Harding Avenue north of 88th Street. The total gross acreage is 0.42 acres and is within the H30C zoning district. The proposed development consists of 18 apartment units with 32 parking spaces within a garage.

The application was originally submitted in January 2015. Three initial development review group (DRG) meetings were held with the applicant to address technical review comments. An additional DRG meeting was held on March 26, 2018 to discuss this application and a final DRG meeting was held on November 29, 2018.

The total gross acreage of the site is 0.42 of an acre, which would permit 33 dwelling units. The code requires a 15% reduction in density for aggregated properties, meaning, if a property is split between more than one site and the owner wants the benefit of amalgamating that property, the property will be subject to a 15% overall density reduction. This results in the permitted density of 28 units. The applicant is only requesting 18 units. The property has seven (7) dwelling units (one (1) single-family unit and six (6) apartment units) currently on the site. The proposed site plan will demolish those existing seven (7) units, therefore adding eleven (11) new units to the Town. Overall the project requires a variance from Town Code requirements for a loading space size and vertical clearance.

Variance

The project requires variance approval for loading space size and clearance. Town Code Section 90-84.1 requires the project to have a loading space with a minimum size of 12 feet by

30 feet with vertical clearance of 14.5 feet. The applicant is proposing a loading space of 12 feet by 25 feet with a vertical clearance of 12 feet.

Staff Findings: Staff finds that the application meets the requirements of the zoning code apart from the loading space size and vertical clearance. The applicant has provided justification to request a variance for this item.

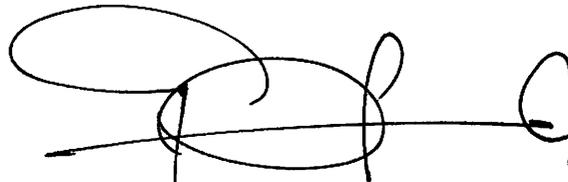
Budget Impact: Mitigation fees are required to be paid to the Miami-Dade School Board as well as water and sewer connection fees.

Growth Impact: The property has a maximum density permitted of 28 units. The applicant is proposing 18 apartment units which will replace a single-family residence and a six (6) unit apartment building which will result in a net increase of eleven (11) units.

Staff Impact: There has been no impact to staff other than the work necessary to review the project. The applicant has funded the review through the cost recovery process and the building permit review will be funded through the building permit fees.



Sarah Sinatra Gould, AICP, Town Planner



Guillermo Olmedillo, Town Manager

SITE PLAN REPORT

SITE PLAN INFORMATION:

Address	8851 Harding Avenue
General Location	East side of Harding Avenue, North of 88 th Street
Property Size	TOTAL: 0.42 gross acres
Zoning District	H30C
Adjacent Zoning Districts	H30C to the north H40 to the east H30C to the south H30B to the West
Future Land Use	Moderate High Density Residential
Density Permitted	79 dwelling units per acre X .42 of acre TOTAL PERMITTED= 33 dwelling units X15% reduction = 28
Density Proposed	TOTAL PROPOSED: 18 dwelling units
Number of parking spaces	TOTAL Provided: 32 spaces TOTAL Required: 32 spaces

ZONING CODE, APPLICABLE REQUIREMENTS

Sec. 90.42

Minimum Unit Sizes	Minimum Required	Proposed
One-bedroom	800 square feet	896 to 1,007 square feet
Two-bedroom	950 square feet	1,128 to 1,410 square feet

Sec. 90.43

Maximum Building Heights	Maximum Required	Proposed
H30C	30 feet maximum	29.71 feet

Sec. 90.44

Modification of Height	Maximum Permitted	Proposed	Must be of high architectural quality integral to the design of the building
H30C	3 ft. 10% of roof area	3 feet, 3.18% of roof area	The mechanical equipment, elevator shaft and parapet walls meet these criteria.

Sec. 90.45(b)

Minimum Required Setbacks		Proposed
Front	20 feet	20 feet
Side	15 feet	15 feet
Rear	10 feet	10 feet

Sec. 90.47 Yards generally, allowable projections

Required	Proposed
Every part of a required yard shall be open to the sky, except ordinary projections of sills, cornices, roof eaves and ornamental features may project not more than 24 inches into any required yard.	No projection proposed beyond setback lines
Unenclosed balconies may extend into a required primary (front) and secondary (corner) setback not more than five feet, and may extend into a required rear and interior side setback not more two and one-half feet.	Front balconies extend 5 feet Side and rear balconies extend 2.5 feet
Unenclosed building entrance porches, platforms, stairs or paved terraces, not covered by a roof or canopy, and which do not extend above the level of the grade or entrance floor of the building, may extend or project into the required front or side yard no more than six feet and the encroachments shall not provide less than a 24-inch setback to the property line.	Front and side terraces extend 5 feet or less with greater than 24-inch setback to property line

Sec. 90.49

Lot Standards	Required	Proposed
Minimum Lot width	50 feet	155 Feet
Minimum Pervious area	20%	20.1%

Sec. 90.50.1(2)

Architecture	Required	Proposed
All elevations for new structures and multi-story additions (additions greater than fifteen (15) feet in height)	Minimum of 10% wall openings including windows, doors or transitional spaces defined by porches, porticoes or colonnades.	Project meets or exceed 10% wall openings

Roof materials are limited as follows:	<ul style="list-style-type: none"> a. Clay Tile; or b. White concrete tile; or c. Solid color cement tile which color is impregnated with the same color intensity throughout, provided said color if granted approval by the Planning and Zoning Board; d. Architecturally embellished metal if granted approval by the Planning and Zoning Board; or e. Other Florida Building Code approved roof material(s) if granted approval by the Planning and Zoning Board. 	A Florida Building Code Flat roof is proposed which requires Board Approval.
--	--	--

Sec. 90.51(1)

Maximum frontage of buildings	Required	Proposed
H30C	For every 50 feet, a minimum 3 foot change in wall plane.	Met through multiple building articulations

Sec. 90.61.1

Paving in front and rear yards in H30	Required	Proposed
Front setbacks, amount that may be paved with any type of material that is not readily permeable by rainwater and groundwater.	Maximum 50% paved	33%
Front Yard Landscaping	Minimum 30%	33%
Rear Yard Landscaping	Minimum 20%	20%

Sec. 90.67.2

	Required	Proposed
Underground utilities	All utilities including telephone, cable, and electrical systems shall be installed underground.	The lines will be installed underground.

Sec. 90.77(c)

Off-Street Parking	Minimum Required	Proposed
	32 Spaces	32 Spaces

Sec. 90.83

Off-Street Loading	Minimum Required	Proposed
Multifamily building 20,000 – 100,000 square feet	1 Loading Space	1 Loading Space; variance needed for size and vertical clearance

Sec. 90.91

Vegetative Provisions	Minimum Required	Proposed
Xeriscape in pervious area	40%	Meets the minimum 40% requirement

Sec. 90.91.2

Buffers	Application meets or exceeds all requirements.
Landscape buffer adjacent to streets and abutting properties	

Sec. 90.93

Open Space	Application meets or exceeds all requirements.
Landscaping along all buildings and structures, shrubs and trees required in open space	

VARIANCE REPORT

Request / Background

Code Section 90-82 requires multifamily buildings with 20,000 sf to 100,000 sf to supply one (1) loading space. The proposed apartment building is 24,945 sf which therefore requires one (1) loading space. Code Section 90-84.1 requires the loading space to be a minimum size of 12 feet in width, 30 feet in depth and 14.5 feet of vertical clearance. FDOT denied the applicant's request for a second curb cut for the property which would have allowed for a loading space access point. As a solution, the applicant has located the required loading space inside of the parking garage. The loading space is 12 feet in width, 25 feet in depth and has 12 feet of vertical clearance. The loading space depth is limited by drive aisle width requirements and maneuverability and the vertical clearance is limited by the garage ceiling height.

Variance Criteria

(1) Special conditions and circumstances exist which are peculiar to the land, structure, or building involved, and which are not applicable to other lands, structures, or buildings in the same zoning district;

Staff Response: The applicant is required to have a 12 foot wide, 30 foot deep loading zone. The size of the site would require a second curb cut to locate this space outside of the garage. However, due to the location of the site on Harding Avenue, FDOT did not approve a second curb cut. The solution is to provide a loading zone inside the building but reduce the size to 12 foot wide, 25 feet deep. The size of the property coupled with the denial of a second curb cut by FDOT make this property unique.

(2) The special conditions and circumstances do not result from the actions of the applicant or a prior owner of the property;

Staff Response: The applicant has attempted to modify the building and site. The code limitations have constrained the site further. FDOT will not permit a second curb cut, therefore the actions are not the result of the property owner.

(3) Literal interpretation of the provisions of the Town Code deprives the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Town Code and results in unnecessary and undue hardship on the applicant;

Staff Response: Literal interpretation of the Town Code would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district since FDOT did not approve of a second curb cut which is needed for a loading space that would be able to meet the size and vertical clearance requirements of the Town Code.

(4) The hardship has not been deliberately or knowingly created or suffered to establish a use or structure which is not otherwise consistent with the Town of Surfside Comprehensive Plan or the Town Code;

Staff Response: The applicant has indicated in their variance hardship letter that they did not deliberately or knowingly create the situation resulting in the need for a variance.

(5) An applicant's desire or ability to achieve greater financial return or maximum financial return from his property does not constitute hardship;

Staff Response: The applicant has indicated in their variance hardship letter that greater financial return is not a factor in their hardship. FDOT denial of a second curb cut is the reason for the hardship and reason for the variance.

(6) Granting the variance application conveys the same treatment to the applicant as to the owner of other lands, buildings, or structures in the same zoning district;

Staff Response: Granting the variance allows the applicant and proposed project to have a loading space which other buildings and properties are required to have in the same zoning district resulting in the same treatment.

(7) The requested variance is the minimum variance that makes possible the reasonable use of the land, building, or structure; and

Staff Response: The requested variance is the minimum variance necessary to allow the applicant and proposed project to have an off-street loading space for trucks and delivery vehicles. The proposed space will be 25 feet in length instead of 30 feet in length.

(8) The requested variance is in harmony with the general intent and purpose of the Town of Surfside Comprehensive Plan and the Town Code, is not injurious to the neighborhood or otherwise detrimental to the public safety and welfare, is compatible with the neighborhood, and will not substantially diminish or impair property values within the neighborhood.

Staff Response: The requested variance is in harmony with the Town's Comprehensive Plan and is not injurious to the neighborhood or otherwise detrimental to the public safety and welfare of the neighborhood and will not diminish or impact neighborhood property values. The proposed loading space is off-street and inside of the parking garage.

Finding

Staff finds that the variance request did not result from the actions of the applicant but rather the denial of a second curb cut from FDOT. The loading space depth is limited by drive aisle width and maneuverability requirements.

APPLICATIONS



DRB Meeting	___/___/20__
Application / Plans Due	___/___/20__

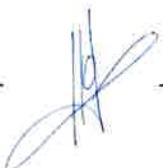
TOWN OF SURFSIDE
MULTI-FAMILY AND NON-RESIDENTIAL SITE-PLAN APPLICATION

A complete submittal includes all items on the "Multifamily and Non-Residential Site-Plan Application Submission Checklist" document as well as completing this application in full. The owner and agent must sign the application with the appropriate supplemental documentation attached. Please print legibly in ink or type on this application form.

<u>PROJECT INFORMATION ↓</u>	
OWNER'S NAME	8851 Harding Ave LLC.
PHONE / FAX	
AGENT'S NAME	Hugo Frascarolli
ADDRESS	8851 Harding Ave. Surfside Fl 33154
PHONE / FAX	
PROPERTY ADDRESS	8851 Harding Ave. Surfside Fl 33154
ZONING CATEGORY	Multifamily
DESCRIPTION OF PROPOSED WORK	New 2 Story Multifamily Building with 24,945 square feet. Including 18 Apartments and 32 underground parking spaces.

<u>INTERNAL USE ONLY</u>			
Date Submitted	_____	Project Number	_____
Report Completed	_____	Date	_____
Fee Paid	\$ _____		

<u>ZONING STANDARDS</u>	Required	Provided
Plot Size	_____	_____
Setbacks (F/R/S)	_____ _____ _____	_____ _____ _____
Lot Coverage	_____	_____
Height	_____	_____
Pervious Area	_____	_____

SIGNATURE OF OWNER  _____ DATE February 06, 2018
 SIGNATURE OF AGENT  _____ DATE 02/06/18



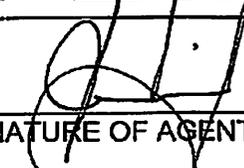
**TOWN OF SURFSIDE
GENERAL VARIANCE APPLICATION**

A complete submittal includes all items on the "Submission Checklist for General Variance Application" document as well as completing this application in full. The owner and agent must sign the application with the appropriate supplemental documentation attached. Please print legibly in ink or type on this application form.

<u>PROJECT INFORMATION</u>	
OWNER'S NAME	8851 HARDING, LLC.
PHONE / FAX	(305) 285-4343 / (305) 285-4330
AGENT'S NAME	Juan C David
ADDRESS	1385 Coral Way Suite 404
PHONE / FAX	(305) 285-4343
PROPERTY ADDRESS	8851 & 8873 HARDING AVE Surfside, FL 33154-3418
ZONING CATEGORY	H30-C
DESCRIPTION OF VARIANCE REQUESTED (please use separate sheet)	SEE SEPARATE SHEET ATTACHED

<u>INTERNAL USE ONLY</u>	
Date Submitted	Project Number
Report Completed	Date
Comments	

<u>ZONING STANDARDS</u>	Required	Provided
Lot Coverage	80% = 14,720 SF	(56)% 10,390
Dimension of yards	20' front & 10' Rear	
Setbacks (F/R/S)	20'/10'/16'	20'/10'/16'
Parking	39	42
Loading	1	Variance requested
Pervious Area	Front 960SF/Rear 318SF	Front 1,045 SF/ Rear 319 SF


2-7-2018

2/7/18
 SIGNATURE OF OWNER DATE SIGNATURE OF AGENT DATE



**TOWN OF SURFSIDE
SUBMISSION CHECKLIST
GENERAL VARIANCE APPLICATION**

Project Name HARDING APARTMENTS Project Number 08-1763.18
Review Date 02.07.18

SUBMITTAL REQUIREMENTS FOR REVIEW (Permit clerk shall initial if item has been submitted):

- Completed "General Variance Application" form
- Statements of ownership and control of the property, executed and sworn to by the owner or owners of one hundred (100) percent of the property described in the application, or by tenant or tenants with the owners' written, sworn consent, or by duly authorized agents evidenced by a written power of attorney if the agent is not a member of the Florida Bar.
- The written consent of all utilities and/or easement holders if the proposed work encroaches into any easements N/A.
- Survey less than one (1) year old (including owner's affidavit that no changes have occurred since the date of the survey). A survey over one (1) year is sufficient as long as the property has not changed ownership and the owner provides an affidavit that no changes change occurred since the date of the survey.
- Recent photographs of the subject property and all abutting, diagonal and fronting properties visible from the street. (to be provided prior to Design Review Board Meeting)
- Site Plan (Minimum scale of 1" = 20').
 - ✓ Ten (10) full sized sets of complete design development drawings (24" x 36" sheets) signed and sealed 5 SETS REQUESTED BY MS. SARAH SINATRA
 - ✓ Eight (8) reduced sized copies of the plans (11" x 17" sheets) (to be provided prior to Design Review Board Meeting) 10 SUBMITTED

Please show / provide the following:

- Tabulations of total square footage, lot coverage, setbacks and acreage
- Entire parcel(s) with dimensions and lot size in square feet
- Existing and proposed buildings with square footage
- Buildings to be removed
- Setbacks
- Dimensions and locations of all existing and proposed right-of-ways, easements and street frontage, including sidewalks, curb and gutter and planting strips
- All existing and proposed site improvements, including, but not limited to, all utilities, retaining walls, fences, decks and patios, driveways and sidewalks, signs, parking areas, and erosion control features
- Location of all existing and proposed trees, vegetation, palms and note tree species
- Locations and dimensions of parking spaces and lot layout



- A map indicating the general location of the property.
- Written Narrative of request that addresses each of the following standards of review:**
 1. Special conditions and circumstances exist which are peculiar to the land, structure, or building involved, and which are not applicable to other lands, structures, or buildings in the same zoning district;
 2. The special conditions and circumstances do not result from the actions of the applicant or a prior owner of the property;
 3. Literal interpretation of the provisions of the Town Code deprives the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Town Code and results in unnecessary and undue hardship on the applicant;
 4. The hardship has not been deliberately or knowingly created or suffered to establish a use or structure which is not otherwise consistent with the Town of Surfside Comprehensive Plan or the Town Code;
 5. An applicant's desire or ability to achieve greater financial return or maximum financial return from his property does not constitute hardship;
 6. Granting the variance application conveys the same treatment to the applicant as to the owner of other lands, buildings, or structures in the same zoning district;
 7. The requested variance is the minimum variance that makes possible the reasonable use of the land, building, or structure; and
 8. The requested variance is in harmony with the general intent and purpose of the Town of Surfside Comprehensive Plan and the Town Code, is not injurious to the neighborhood or otherwise detrimental to the public safety and welfare, is compatible with the neighborhood, and will not substantially diminish or impair property values within the neighborhood.
- Such additional data, maps, plans, or statements as the Town may require to fully describe and evaluate the particular proposed plan.

SECURITY FEATURES INCLUDE TRUE WATER MARK PAPER HEAT SENSITIVE COIN AND FINGER PRINT

1998
63-751/631 10631

DATE 2/5/18

\$ 5000.00

DOLLARS

Mr. Onid

MP

Security Features Included

Details on Back


JCD ARCHITECT, INC.
 428 W. 43RD ST.
 MIAMI BEACH, FL 33140

PAY TO THE ORDER OF Tawn of Surfside

Five Thousand Dollars

FOR Varina 8851 Harding Ave
#001-000-880-9010


 WPAHS Bank of Florida
 FALLHOV
 www.fallhov.com


 THE GREAT SEAL OF THE STATE OF FLORIDA
 1845

TOWN OF SURFSIDE
9293 Harding Ave.
SURFSIDE, FL 33154

Receipt # 143217

RECEIVED OF DD WALT WALKER DATE 2/21/18
Five Thousand Dollars DOLLARS \$ 5000.00
Surfside Beach

- HOW PAID
- CASH
 - CHECK
 - CHECK # 1000
 - MONEY ORDER
 - CREDIT CARD
 - EXECUTIVE
 - POLICE
 - PARK & RECREATION
 - OTHER

BY _____
THANK YOU

SURFSIDE APTS -8851-8873 HARDING AVE.

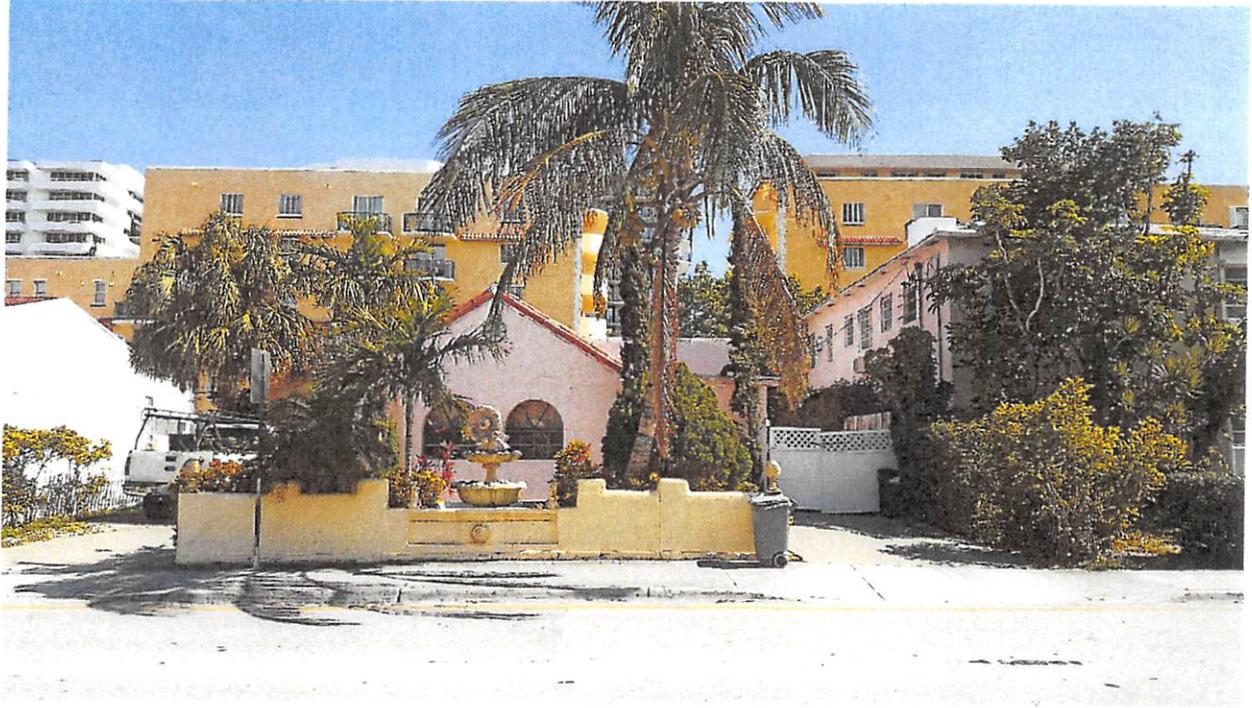


PROPERTY TO THE NORTH

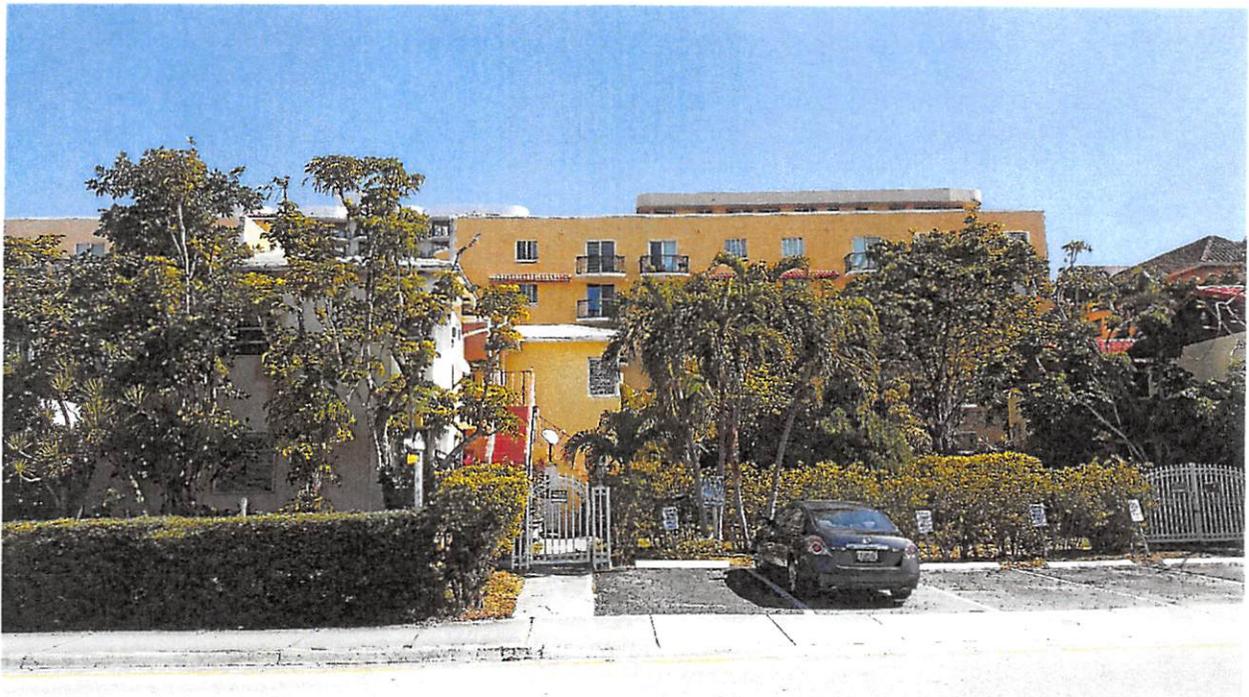


PROPERTY TO THE SOUTH

SURFSIDE APTS -8851-8873 HARDING AVE.

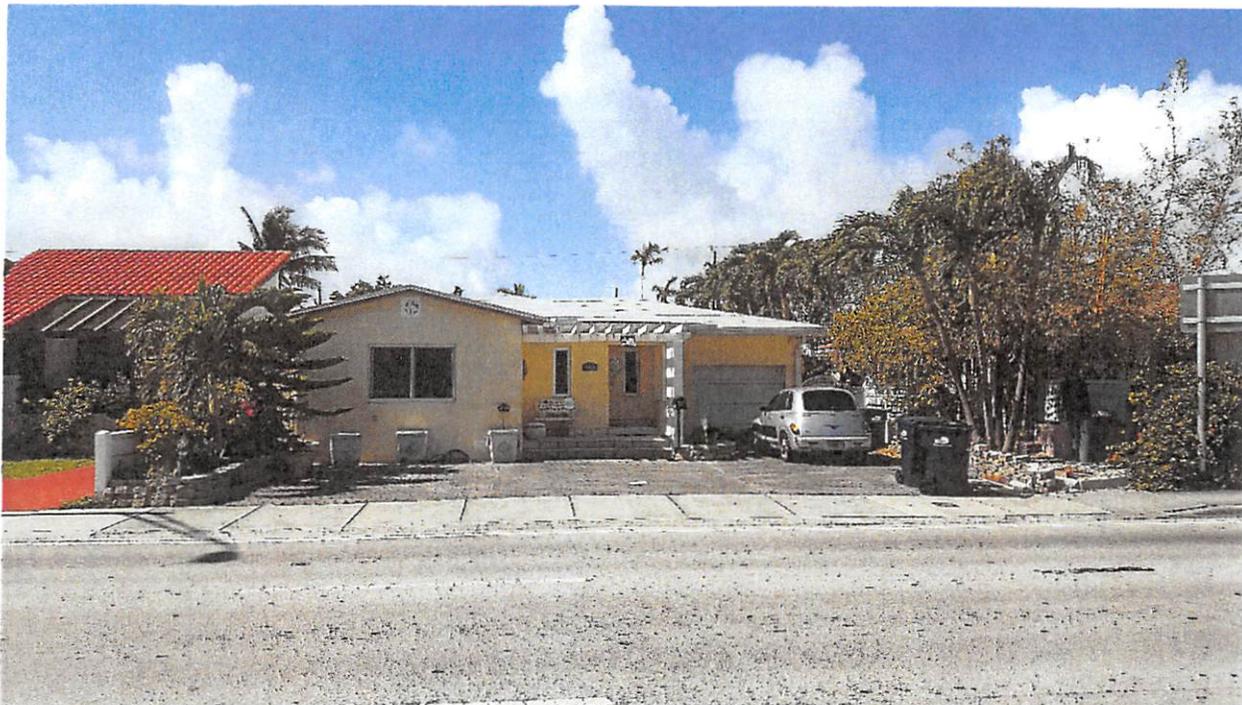


LOT 3 OF SUBJECT PROPERTY (1 OF 3 LOTS)



LOT 4 & 5 OF SUBJECT PROPERTY (2 & 3 OF 3 LOTS)

SURFSIDE APTS -8851-8873 HARDING AVE.

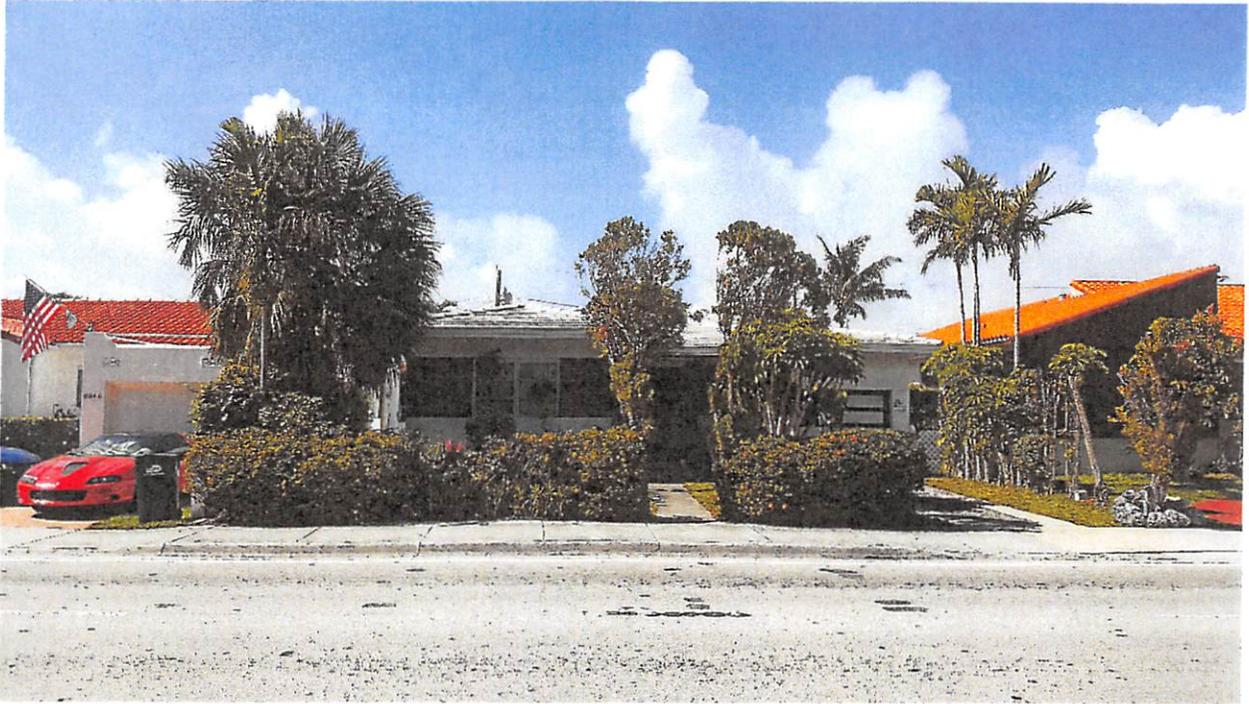


PROPERTY TO THE NORTHWEST (ACROSS THE STREET)



PROPERTY TO THE WEST (ACROSS THE STREET)

SURFSIDE APTS -8851-8873 HARDING AVE.



PROPERTY TO THE WEST (ACROSS THE STREET)



PROPERTY TO THE WEST (ACROSS THE STREET)

SURFSIDE APTS -8851-8873 HARDING AVE.



PROPERTY TO THE SOUTHWEST (ACROSS THE STREET)

1385 CORAL WAY SU # 404
MIAMI, FL 33145

TEL. # (305)285-4343
FAX # (305)285-4330

February 6, 2018

Town of Surfside
Department of Planning & Zoning
1700 Convention Dr
Miami Beach, FL 33140

Owner: 8851 Harding, LLC
Address: 8851 & 8873 Harding Avenue –Process# 08-1763.18
Miami Beach, FL 33139

“HARDSHIP LETTER”

The undersigned **Juan C. David RA # 15344** –Architect of record for the above property, certifies herein that the property in question presents several conditions that can be considered as hardships to develop said Property.

The Variance being requested is the Loading Parking per Town of Surfside Section 90.84 standard that cannot be placed on ground level per FDOT letter submitted on March 2, 2016, that prohibits a 2nd. curb cut (Site entrance) on Harding Ave. therefore we propose:

A Variance to place Loading Space inside the underground Garage with 12’x25’x 12’ height Clearance in lieu of the required 12’x30’x14’ height clearance.

Because of the above conditions I certify:

- 1- That those conditions and circumstances are not applicable to other lands, structures or buildings in the same district. DOT didn’t approve a second curb-cut that would have allowed for a full Loading parking on ground per Town of Surfside regulations;
- 2- We submitted to the Town of Surfside a letter from DOT with the disapproval of a second curb-cut; therefore this special condition do not result from the actions of the Applicant, and that the granting of the Variance will not confer the applicant any special privilege;
- 3- That literal interpretation of providing a full Loading Dock inside the basement by these regulations will deprive the applicant of common rights enjoyed by other properties in the same zoning district, and will constitute unnecessary and undue hardship on the applicant;
- 4- The hardship is the inability to provide the “loading space” at ground level per DOT regulations, and has not been deliberately or knowingly created or suffered to establish a use or structure which is not otherwise consistent with the Town of Surfside Comprehensive Plan or the Town Code;

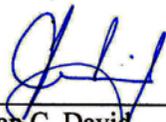
Cont/...

- 5- The inability to properly locate the “loading space” is due to DOT regulations, and not the owner’s desire on a greater return or financial interest.
- 6- Granting the variance application for a “smaller loading space” in the underground garage of this small scale building conveys the same treatment to the applicant as to the owner of other lands, buildings, or structures in the same zoning district;
- 7- That this variance for a “smaller” loading space inside the underground garage will grant the minimum and reasonable use of the land and of the building structure giving the confined underground space.
- 8- That the granting of this Variance for a “smaller” loading space -inside the underground Garage-, is consistent with the comprehensive plan, in that a “loading space” is being provided per regulations, and it’s not detrimental or injurious to the public and safety of the neighborhood and does not diminish or impair the property values for the neighborhood.

It is for the above mentioned reasons we respectfully request the Zoning Director to grant this variance based on the Hardships stated herein, and that this Variance will be in compliance with the FBC and with Town of Surfside regulations, and it can be considered safe and sound by the Town of Surfside.

Should you have any question or need additional information, please do not hesitate to contact me.

Sincerely,



Juan C. David
PRES.
LEED AP. RA # 00015344

Tel.# (786) 443-6750

Cc/ File
8851 Harding, Llc.

Florida Department of Transportation

RICK SCOTT
GOVERNOR

1000 NW 111 Avenue
Miami, Florida 33172

JIM BOXER
SECRETARY

March 2, 2016

Juan David

SUBJECT: *Pre-application meeting letter for the proposed driveway located at 8851 Harding Ave. State Rd A1A, Section 87060-001*

Dear Mr. David:

This is to acknowledge the outcome of the subject meeting dated March 2, 2016 as well as other informal discussions. **This review is advisory in nature only, and the results are non-binding on the Department and the applicant.**

Based on the "FDOT Access Management" classification criteria, State Road A1A (Harding Ave.), and 88 Street within the vicinity of subject location is class 7 roadway. This classification requires a minimum distance of 125' between two access points. The proposed driveways seem not to meet the minimum required spacing.

The proposed subject development will require an access permit to construct a new driveway as well as a drainage permit from the Department. Any other changes or work, related to the property within the Department's Right-of-Way, may require other permits from the Department accordingly.

The initial processing of the permit applications may take up to 30 days, in which this office will inform the applicant of any required additional information.

This review letter does not constitute preliminary or final Department's approval of the proposed site plan. Additionally, these preliminary comments may only be valid until such time as the site or roadway characteristics change. All plans shall comply with the Department's standards and specifications for design and construction.

Please include a copy of this letter with your permit application package. If you have any further questions, please feel free to contact me at (305) 470-5371.

Sincerely,


Ali Khalilhamadi, P.E., PTOE
Assistant District Permits Engineer

cc: Section File (87060)



Town of Surfside Planning & Zoning Communication

Agenda Date: January 31, 2019

Subject: Freeboard & Height Discussion

From: Sarah Sinatra Gould, AICP, Town Planner

Background: One of the Planning & Zoning Board's (Board) top priorities is to prepare and plan for sea level rise. As properties are being redeveloped, the Board has been concerned with structures having the ability to be elevated to accommodate sea level rise. Over the past two years, the board has asked staff to analyze ways to encourage additional built up ground under a home. The additional built up ground is called "freeboard."

After multiple meetings and discussions, the Town Commission requested that staff provide graphics demonstrating if a two-story structure could be developed by increasing the freeboard by one foot, but not increasing the height. The challenge is that the height cannot be increased without a referendum. Staff prepared language requiring one additional foot of freeboard as well as measuring to the top of the roof beam for a pitched roof. This change allowed the increase of freeboard without the need for a referendum.

Some members of the Planning and Zoning Board have indicated that the additional one foot may not be enough as sea level rise increases. The City of Miami is currently proposing an ordinance with five feet of freeboard. If the Town wishes to undertake a similar ordinance, a referendum will be required to address increases in height required by the increase in freeboard. The Board requested this item be placed on the agenda for discussion along with copies of the recently approved ordinance increases freeboard and revising the method of measuring pitched roofs.

Sarah Sinatra Gould, AICP, Town Planner

Guillermo Olmedillo, Town Manager

ORDINANCE NO. 18-1673

AN ORDINANCE OF THE TOWN COMMISSION OF THE TOWN OF SURFSIDE, FLORIDA AMENDING CHAPTER 90 "ZONING," SECTION 90-2 "DEFINITIONS," TO REVISE THE MEASUREMENT OF ROOF HEIGHT; PROVIDING FOR SEVERABILITY; PROVIDING FOR INCLUSION IN THE CODE; PROVIDING FOR CONFLICTS; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Town of Surfside ("Town") recognizes that changes to the adopted Code of Ordinances are periodically necessary in order to ensure that the Town's regulations are current and consistent with the Town's planning and regulatory needs; and

WHEREAS, the Town has researched and evaluated mechanisms available to encourage pitched roof design for residential structures to maintain a more consistent architectural scheme; and

WHEREAS, the Town recognizes that a pitched roof does not obscure the entire visual plane, but rather takes up only a portion of the spatial volume between the top beam and the roof peak; and

WHEREAS, the Town desires to revise the methodology for measuring the height of pitched roofs to recognize the reduced visual impact and encourage the use of pitched roofs; and

WHEREAS, the Town Commission held its first public hearing on December 13, 2017 having complied with the notice requirements required by Florida Statutes; and

WHEREAS, the Planning and Zoning Board, as the local planning agency for the Town, held its hearing on the proposed amendment on January 25, 2018 with due public notice and input; and

WHEREAS, the Town Commission conducted a second duly noticed public hearing on these regulations as required by law on February 13, 2018; and

WHEREAS, the Town Commission hereby finds and declares that adoption of this Ordinance is in the best interest of the Town.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COMMISSION OF THE TOWN OF SURFSIDE, FLORIDA AS FOLLOWS:

Section 1. Recitals. The foregoing "WHEREAS" clauses are ratified and confirmed as being true and correct and are made a specific part of this Ordinance.

Section 2. Code Amendment. Section 90-2 “Definitions,” of Chapter 90, “Zoning” of the code of the Town of Surfside, Florida is hereby amended as follows:

Sec. 90-2. - Definitions.

For the purpose of this chapter, certain terms and words are hereby defined. For convenience, all defined words and terms are set out in different type.

* * *

Height:

- (1) Flat Roofs: The vertical distance from the ~~grade, which is~~ the average datum or elevation of the crown of the road fronting upon the street serving the lot or building site, to the highest point of the roof.
- (2) Pitched Roofs. The vertical distance from the average datum or elevation of the crown of the road fronting the lot or building site, to the top of the tie beam. A pitched roof shall have a maximum pitch of 4/12.

* * *

Section 3. Severability. If any section, sentence, clause or phrase of this ordinance is held to be invalid or unconstitutional by any court of competent jurisdiction, then said holding shall in no way affect the validity of the remaining portions of this ordinance.

Section 4. Inclusion in the Code. It is the intention of the Town Commission, and it is hereby ordained that the provisions of this Ordinance shall become and made a part of the Town of Surfside Code of Ordinances, that the sections of this Ordinance may be renumbered or re-lettered to accomplish such intentions; and the word “Ordinance” may be changed to “Section” or other appropriate word.

Section 5. Conflicts. Any and all Ordinances and Resolutions or parts of Ordinances or Resolutions in conflict herewith are hereby repealed.

Section 6. Effective Date. This ordinance shall become effective upon adoption.

PASSED AND ADOPTED on first reading this 13th day of December, 2017.

PASSED AND ADOPTED on second reading this 13th day of February, 2018.

On Final Reading Moved by: Commissioner Karukin

On Final Reading Second by: Commissioner Paul

FINAL VOTE ON ADOPTION:

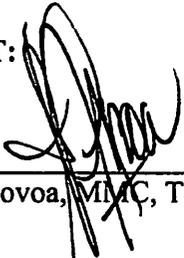
Commissioner Daniel Gielchinsky
Commissioner Michael Karukin
Commissioner Tina Paul
Vice Mayor Barry Cohen
Mayor Daniel Dietch

yes
yes
yes
yes
yes



Daniel Dietch, Mayor

ATTEST:



Sandra Novoa, MMC, Town Clerk

**APPROVED AS TO FORM AND LEGALITY FOR THE USE
AND BENEFIT OF THE TOWN OF SURFSIDE ONLY:**



Weiss Serota Helfman Cole & Bierman, P.L.,
Town Attorney

ORDINANCE NO. 18-1674

AN ORDINANCE OF THE TOWN COMMISSION OF THE TOWN OF SURFSIDE, FLORIDA AMENDING CHAPTER 42 "FLOODS", SECTION 42-92 "SPECIFIC STANDARDS" TO ADDRESS LOWEST FLOOR ELEVATION REQUIREMENTS FOR SINGLE FAMILY RESIDENTIAL STRUCTURES; PROVIDING FOR SEVERABILITY; PROVIDING FOR INCLUSION IN THE CODE; PROVIDING FOR CONFLICTS; AND PROVIDING FOR AN EFFECTIVE DATE.

1 **WHEREAS**, the Town of Surfside ("Town") recognizes that changes to the adopted Code
2 of Ordinances are periodically necessary in order to ensure that the Town's regulations are current
3 and consistent with the Town's planning and regulatory needs; and

4 **WHEREAS**, the Federal Emergency Management Agency ("FEMA") has identified
5 special flood hazard areas within the boundaries of the Town and such areas may be subject to
6 periodic flooding/inundation which may result in the loss of life and property, health and safety
7 hazards; and

8 **WHEREAS**, the Sustainability Committee and Planning and Zoning Board researched
9 and evaluated the impact of rising sea levels and the necessity and ability to increase the lowest
10 floor elevation requirements to reduce flooding of residential structures; and

11 **WHEREAS**, the Town Commission agrees with the recommendations of the
12 Sustainability Committee and Planning and Zoning Board and finds there is a critical need to
13 increase base flood elevations, particularly for single family residential properties, to the extent
14 feasible within the current height limitations of the Town Charter; and

15 **WHEREAS**, the Town Commission held its first public hearing on December 13, 2017
16 having complied with the notice requirements required by Florida Statutes; and

17 **WHEREAS**, the Planning and Zoning Board, as the local planning agency for the Town,
18 held its hearing on the proposed amendment on January 25, 2018 with due public notice and input;
19 and

20 **WHEREAS**, the Town Commission conducted a second duly noticed public hearing on
21 these regulations as required by law on February 13, 2018; and

22 **WHEREAS**, the Town Commission hereby finds and declares that adoption of this
23 Ordinance is in the best interest of the Town.

24
25 **NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COMMISSION OF**
26 **THE TOWN OF SURFSIDE, FLORIDA AS FOLLOWS:**

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PASSED AND ADOPTED on first reading this 13th day of December, 2017.

PASSED AND ADOPTED on second reading this 13th day of February, 2018.

On Final Reading Moved by: Commissioner Paul

On Final Reading Second by: Commissioner Gielchinsky

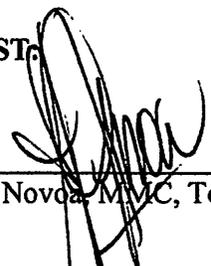
FINAL VOTE ON ADOPTION:

Commissioner Daniel Gielchinsky	<u>yes</u>
Commissioner Michael Karukin	<u>yes</u>
Commissioner Tina Paul	<u>yes</u>
Vice Mayor Barry Cohen	<u>yes</u>
Mayor Daniel Dietch	<u>yes</u>



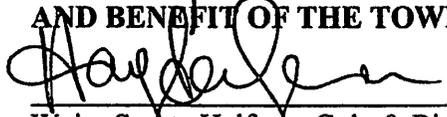
Daniel Dietch, Mayor

ATTEST:



Sandra Novoa, MMC, Town Clerk

**APPROVED AS TO FORM AND LEGALITY FOR THE USE
AND BENEFIT OF THE TOWN OF SURFSIDE ONLY:**



Weiss Serota Helfman Cole & Bierman, P.L.,
Town Attorney

ITEM	OUTCOME	NEXT STEPS	TENTATIVE SCHEDULE	COMPLETE
FUTURE PZ DISCUSSION ITEMS				
Freeboard & Height	PZ requests discussion on additional freeboard & height	Provide prior information to the board to discuss additional freeboard requirements.	January PZ	
Impact fee discussion			Town is requesting a proposal from a consultant to do the impact fee analysis.	
Update to sign code	Need to make revisions to the sign code	Staff to prepare	Future PZ	
Stepback discussion	Commission has requested the PZ board analyze this requirement	Prepare visual and calculation of volume, how much square footage does this equate to	February PZ	
ON FUTURE COMMISSION AGENDA				
Circulation pattern	PZ discussion on pedestrian safety and walkability	Pilot project	Ongoing	Ongoing
Parking needs	Evaluate if parking code requirements are expected to be status quo based on current ride sharing trends or if the need will be reduced		Based on direction from commission	
COMPLETED				
Fences & Hedges in the front of single family residences	Discussion on hedge height in the front	December Commission → 2 nd reading	Fences & Hedges in the front of single family residences	Approved
Landscape Plans	Require landscape plans for large scale renovations (renovations)	Requested Res to attend	November PZ	Res provided details. → No

	affecting more than 50% of the square footage of the house)	meeting to discuss requirements for landscape plans as well as the drainage review process			further action requested.
Sidewalk aesthetics	Prepare discussion item to determine if walkability can be improved.	Prepare graphics depicting 8-ft wide sidewalk & landscape buffer	November PZ	Sidewalk aesthetics	No action
Aggregation of Single Family	Requested by the Town Commission	Discuss limitations on building length relating to single family lots, if aggregated.	August Commission -- First Reading, November second reading		Adopted
Resiliency Strategy	PZ has requested staff to prepare a discussion item was to improve sustainability	Invite Betsy Wheaton from Miami Beach to discuss what improvements Miami Beach has implemented	Future PZ or Sustainability Committee		Move to sustainability

Parking in Single-Family	In-order to increase pervious areas, evaluate if two vehicles on a driveway are needed.			October PZ	No action
Update on business district	Follow up with PZ to notify the board of who is working on strategies & any improvements to the business district	Discussion of reinstating DVAC on October 9 th commission agenda		October PZ	Completed
Ways to increase pervious area of lots	Place on PZ agenda for discussion. Provide PZ with current standards			September PZ	No action
Limitation on building length in H40 & H30C	Revisit building limitations as well as green walls to soften the breaks in the building.	PZ Review. Commission heard on first reading, March 13		April PZ	Completed
H40, H30 & SDB40 Architecturally Significant ordinance	Review with PZ options for architecturally significant ordinance for other zoning districts.	PZ discussion		March PZ	No action
Green Roofs	Requested by the Town Commission			February PZ	No action
Photovoltaic Incentives	Requested by the Town Commission	Discuss requiring solar panels for all residential properties.		February PZ	No action
Driveway	Prepare code modification that limits a driveway so that it does not exceed the front plane of the home.			January Commission	Complete
Give a foot, get a foot relating Sea Level Rise — Flat Roof vs. Pitch roof	Place on agenda for discussion on referendum	Prepare visuals, timeline and cross-section.		February Commission 2 nd reading	Complete

Satellite dishes	Further review by staff	Direction if this is necessary. This issue has not come up as a problem and it is not clear if this is still desired to be regulated.	Satellite dishes	Further review by staff	This issue has not come up as a problem and it is not clear if this is still desired to be regulated.
Commercial waste and recycling container screening	Screening for containers, green screen, vegetation, include pictures from Commissioner Kligman	Draft code amendment			Did not move forward
Driveway material regulations	Modify code to allow stamped concrete and concrete slabs with decorative rock or grass in between	Draft code amendment			Did not move forward
Painting of commercial structures	Town Staff to prepare ordinance	Prepare ordinance for commission			Did not move forward
Residential or commercial wind turbine regulations	Prepare ordinance regulating wind turbines including hurricane precautions, noise regulations, insurance considerations	Direction if this is necessary. This issue has not come up as a problem and it is not clear if this is still desired to be regulated.	Residential or commercial wind turbine regulations	Prepare ordinance regulating wind turbines including hurricane precautions, noise regulations, insurance considerations	This issue has not come up as a problem and it is not clear if this is still desired to be regulated.
Setback for parapet above 30 feet on single family homes	Prepare ordinance to require additional setback	Direction if this is still necessary as	Setback for parapet above 30 feet on single family homes	Prepare ordinance to require	Direction if this is still necessary as

			the code could be modified to encourage pitched roofs.		additional setback	the code could be modified to encourage pitched roofs.
Final Zoning Inspections	Town Manager will analyze	Building performs inspections based on conditions on the plans. Need direction if anything further is necessary	Final Zoning Inspections	Town Manager will analyze	Building performs inspections based on conditions on the plans.	
Requiring noticing for demolition of houses	Research option and place on agenda for discussion				Yes	
Sign Definitions	Modify sign definitions for monument and sign area	Drafted code amendment				
Carpports	Require improved surface on frame	Addressed in Code		September PZ	Yes	
Provide summary on construction hours and noise ordinance	Place update on PZ agenda.			September PZ	Yes	
Workforce housing update				September PZ	Yes	
Add requirement for licensed architect for DRB submittals	Reviewing entire section relating to DRB	Draft code amendment			May Commission Agenda	

Corridor Analysis	Study corridor between Collins & Harding	Prepare code amendments	Work authorization to be approved in NOVEMBER	January Commission	Complete
Single Family Paint Colors	Discussion with the Planning & Zoning Board to determine if a color palette is appropriate for single family homes and what colors/criteria should be included	Place on future Planning and Zoning agenda for discussion	In contract	Will add to Joint Meeting with PZ/Commission.	Complete
Parking Trust Fund	Discussion with the Planning & Zoning Board to provide a cap for payment into the fund	Ordinance on July PZ agenda	In contract	July Commission for 1 st reading, July PZ August Commission for 2 nd reading	Complete
Turtle Lighting	Town Staff to prepare review	No ordinance necessary. Turtle lighting already required in code.	COMPLETE	Turtle Lighting	Town Staff to prepare review
Downtown Color Palette	Discussion with the Planning & Zoning Board to determine if a color palette is appropriate and what colors/criteria should be included	Place on future Planning and Zoning agenda for discussion	In contract	Replaced with repainting of structures.	Complete
Bay Drive & 96 th Street	Open Bay Drive off 96 th Street	Staff will research	Police and Building to research	No change. Police Chief cited safety concerns	COMPLETE
Sign/awning code	Discussed at Joint Meeting	Staff beginning to work on draft	Work Authorization approved	July Commission August Commission	COMPLETE

As-built reviews for residential projects	Discuss increasing canopy in town, street trees, what can be planted in ROW	Research and prepare report for discussion and possible code amendment	In contract	March-PZ	COMPLETE Added a program modification to FY2015 budget
Interpretation of base flood elevation for the H120 district	No change	No further action needed		N/A	COMPLETE
Solar panel regulations	Prepare ordinance regulating solar panels	Draft code amendment	In contract	March-PZ	COMPLETE
Car charging station regulations	Prepare ordinance regulating car charging stations requiring them in new multi-family, research what other communities are doing	Draft code amendment	In contract	December-PZ	COMPLETE
Pyramiding effects of setbacks in the H120 district	No action necessary since Planning and Zoning Board currently reviewing setbacks as part of wall frontage modifications			N/A	
Garage door clarification	Modify code to remove requirement for two separate garage doors	Draft code amendment	In contract	November-PZ	COMPLETE
10% window opening requirement per story	Discussion with the Planning & Zoning Board	Prepare ordinance for commission	In contract	June-PZ	November Commission for first reading
Landscaping in front of converted garage	Determine if landscaping planter is sufficient versus requiring landscaping.	Reviewed code and determined that planter is only permitted in cases where the driveway	In contract	No further modification necessary	Yes

		would be too short.	Draft code amendment	In-contract	Discussed at March meeting.	Commission 1st reading in May. PZ in May
Sheds		Modify ordinance to increase square footage, but reduce height and add landscape requirements.				