



**Town of Surfside  
PLANNING & ZONING BOARD  
AGENDA**

**February 27, 2020 – 6:00 p.m.**

Town Hall Commission Chambers –  
9293 Harding Ave, 2<sup>nd</sup> Floor, Surfside, FL 33154

*Rule 7.05 Decorum. Any person making impertinent or slanderous remarks or who becomes boisterous while addressing the commission shall be barred from further appearance before the commission by the presiding officer, unless permission to continue or again address the commission is granted by the majority vote of the commission members present. No clapping, applauding, heckling or verbal outbursts in support or opposition to a speaker or his or her remarks shall be permitted. Signs or placards may be disallowed in the commission chamber by the presiding officer. Persons exiting the commission chambers shall do so quietly.*

*Any person who received compensation, remuneration or expenses for conducting lobbying activities is required to register as a lobbyist with the Town Clerk prior to engaging in lobbying activities per Town Code Sec. 2-235. "Lobbyist" specifically includes the principal, as defined in this section, as well as any agent, officer or employee of a principal, regardless of whether such lobbying activities fall within the normal scope of employment of such agent, officer or employee. The term "lobbyist" specifically excludes any person who only appears as a representative of a not-for-profit community-based organization for the purpose of requesting a grant without special compensation or reimbursement for the appearance; and any person who only appears as a representative of a neighborhood, homeowners or condominium association without compensation for the appearance, whether direct or indirect or contingent, to express support of or opposition to any item.*

*Per Miami Dade County Fire Marshal, the Commission Chambers has a maximum capacity of 99 people. Once reached this capacity, people will be asked to watch the meeting from the first floor.*

- 1. Call to Order/Roll Call**
- 2. Town Commission Liaison Report – Vice Mayor Gielchinsky**
- 3. Approval of Minutes – January 30, 2020**
- 4. Applications:**
  - A. 9181 Abbott Avenue – New Single-Family Residence**
  - B. 8826 Froude Avenue – New Single-Family Residence**
  - C. 9056 Bay Drive – New Single-Family Residence**
  - D. 1116 88<sup>th</sup> Street – New Single-Family Residence**

- 5. Discussion Items:**
  - A. Single Family Home Regulations**
  - B. Future Agenda Items**
- 6. Adjournment**

---

THIS MEETING IS OPEN TO THE PUBLIC. IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT OF 1990, ALL PERSONS THAT ARE DISABLED; WHO NEED SPECIAL ACCOMMODATIONS TO PARTICIPATE IN THIS MEETING BECAUSE OF THAT DISABILITY SHOULD CONTACT THE OFFICE OF THE TOWN CLERK AT 305-861-4863 EXT. 226 NO LATER THAN FOUR DAYS PRIOR TO SUCH PROCEEDING.

IN ACCORDANCE WITH THE PROVISIONS OF SECTION 286.0105, FLORIDA STATUTES, ANYONE WISHING TO APPEAL ANY DECISION MADE BY THE TOWN OF SURFSIDE COMMISSION, WITH RESPECT TO ANY MATTER CONSIDERED AT THIS MEETING OR HEARING, WILL NEED A RECORD OF THE PROCEEDINGS AND FOR SUCH PURPOSE, MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE WHICH RECORD SHALL INCLUDE THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

AGENDA ITEMS MAY BE VIEWED AT THE OFFICE OF THE TOWN CLERK, TOWN OF SURFSIDE TOWN HALL, 9293 HARDING AVENUE. ANYONE WISHING TO OBTAIN A COPY OF ANY AGENDA ITEM SHOULD CONTACT THE TOWN CLERK AT 305-861-4863. A COMPLETE AGENDA PACKET IS ALSO AVAILABLE ON THE TOWN WEBSITE AT [www.townofsurfsidefl.gov](http://www.townofsurfsidefl.gov).

TWO OR MORE MEMBERS OF THE TOWN COMMISSION OR OTHER TOWN BOARDS MAY ATTEND THIS MEETING.

THESE MEETINGS MAY BE CONDUCTED BY MEANS OF OR IN CONJUNCTION WITH COMMUNICATIONS MEDIA TECHNOLOGY, SPECIFICALLY, A TELEPHONE CONFERENCE CALL. THE LOCATION 9293 HARDING AVENUE, SURFSIDE, FL 33154, WHICH IS OPEN TO THE PUBLIC, SHALL SERVE AS AN ACCESS POINT FOR SUCH COMMUNICATION.



**Town of Surfside  
PLANNING & ZONING BOARD  
MINUTES**

**January 30, 2020 – 6:00 p.m.**

Town Hall Commission Chambers –  
9293 Harding Ave, 2<sup>nd</sup> Floor, Surfside, FL 33154

**1. Call to Order/Roll Call**

Chair Lindsay Lecour called the meeting to order at 6:05 p.m.

**Present:** Chair Lindsay Lecour, Vice Chair Judith Frankel, Board Member Peter Glynn, and Board Member Brian Roller and Board Member Jorge Garcia (arrived at 6:32 p.m.)

**Absent:** Board Member Marina Gershanovich and Board Member Rochel Kramer.

Vice Mayor Gielchinsky arrived at 6:52 pm.

Vice Mayor Gielchinsky left at 7:31 p.m.

**Also, Present:** Town Manager Guillermo Olmedillo, Town Planner Sarah Sinatra, Town Planner Daniel Mantell, Town Attorney Edward Martos and Vice Mayor Daniel Gielchinsky.

Town Attorney Matos confirmed with Deputy Town Clerk Herbello of advertising requirements.

Deputy Town Clerk Herbello confirmed advertising requirements were met.

Town Attorney Matos polled the Board members of the Planning and Zoning Board on the items on the agenda.

Deputy Town Clerk Herbello swore in all public participants that were going to speak on an item.

**2. Town Commission Liaison Report – Vice Mayor Gielchinsky**

Vice Mayor Gielchinsky was not present to give his Liaison Report when the item was called to be heard.

**3. Approval of Minutes – December 12, 2019**

A motion was made by Vice Chair Frankel to approve the December 12, 2019 minutes, seconded by Board Member Glynn. All voted in favor.

#### 4. Applications:

##### A. 400 95<sup>th</sup> Street – Addition

Town Planner Mantell introduced the item stating that the property is located within the H30B zoning. The applicant is requesting the addition of approximately 450 square feet of interior living space. Furthermore, the applicant is also proposing new flooring in the existing living room and replacement of the window in the master bedroom.

Town Planner Mantell stated that Staff has reviewed the current application for consideration by the Planning and Zoning Board. Staff finds that the application meets the Code subject to the following:

- 1) Per code section 90.49, the minimum required pervious area is 35%. Please adjust accordingly.
- 2) Per code section 90.50, all elevations for single story additions to existing structures shall result in a zero percent net loss of wall openings including windows, doors or transitional. It appears that the proposed addition results in a net loss of wall openings on the north elevations. Please adjust accordingly.
- 3) Specify the roof material for the newly proposed roof addition.
- 4) Minor adjustments: Please make sure all provided information in the data section is accurate and consistent with the provided information in the site plan and other sheets. Currently, inconsistencies occur:

##### Sheet SP-1:

- a. Total house area (including addition): The data section states a total of 2,368 SF. This is incorrect.  $1,909 \text{ SF (existing house area)} + 450 \text{ SF (proposed addition area)} = 2,359 \text{ SF}$ . Please adjust accordingly.
- b. The data section states a 38.9' primary front setback while the site plan states a 36'11" primary front setback. Please adjust accordingly and provide a consistent primary front setback.

The following individual spoke on the item:  
Ruben Travieso, architect for the project.

Vice Chair Frankel asked what type of roof the property has.

Mr. Travieso stated it was a flat roof and answered the questions presented by the Board.

A motion was made by Board Member Roller to approve the application with staff conditions, seconded by Board Member Glynn. All voted in favor.

**B. 824 92<sup>nd</sup> Street – Addition**

Town Planner Mantell introduced the item stating that the property is located within the H30B zoning. The applicant is requesting the addition of approximately 176 square feet of interior living space. Furthermore, the applicant is also proposing the interior renovations.

Town Planner Mantell stated that staff has reviewed the current application for consideration by the P&Z Board. Staff finds that the application meets the Code subject to the following:

- 1) Per code section 90.50, all elevations for single story additions to existing structures shall result in a zero percent net loss of wall openings including windows, doors or transitional. It appears that the proposed addition results in a net loss of wall openings on the north, south and east elevations. Please adjust accordingly.
  - a. Furthermore, it appears that the labeling on the elevation sheets is incorrect (sheet A3.01). The south elevation is labeled as the north elevation and the north elevation is labeled as the south elevation. Please adjust this minor oversight accordingly.

The following individual spoke on the item:  
Herman Santana

Vice Chair Frankel asked if the wall openings have been addressed.

Town Planner Mantell stated yes, they have.

A motion was made by Board Member Glynn to approve the application with staff conditions, seconded by Board Member Roller. All voted in favor.

**C. 9181 Abbott Avenue – New Single-Family Home**

Town Attorney Matos polled the Commission and Board Member Roller spoke with Mr. Rose and will be impartial on his vote.

Town Planner Sinatra introduced the item stating that the property is located within the H30B zoning district. The applicant is requesting to build a new 4,997 square foot two-story home. The plans include a new driveway, walkway, pool, deck and terrace. Staff has reviewed the current application for consideration by the P&Z Board.

Town Planner Sinatra stated that staff finds the application does not meet the Code. Staff finds that the applicant has not provided an average side setback on the second floor. Code section 90-48.7 states that second floor balconies or terraces shall not be counted towards the setback, except when the roof line of the balcony meets the average setbacks for the second floor. Therefore, the covered portion of the terrace may not count towards the average side setbacks. The applicant has also counted the entire balcony towards the setback, rather than utilizing a point of measurement, such as where the second wall building terminates. Lastly, each side requires a side setback, it cannot be aggregated to one side of the building.

Town Planner Sinatra further spoke regarding the side setback and conditions agreed upon with the applicant.

Leah Rose, representing the applicant introduced the item and gave the different options stating that Option 1 is what is requesting to be built.

Jeff Rose, representing applicant, spoke regarding the difference of both options and spoke regarding what transpired at the October 24, 2019 meeting.

Town Planner Sinatra stated that Option 1 was the option that staff gave the recommendations and findings.

The following individuals spoke on the item:

George Kousoulas spoke regarding the floorplan submitted by the applicant and explained the setbacks to the Board members.

Chair Lecour asked Town Planner Sinatra regarding the plans submitted and an uncovered balcony and if you do not count the uncovered balcony as part of the setbacks.

Town Planner Sinatra answered Chair Lecour's question and stated that the only setback they have is the blue and yellow hatchback.

Jeff Rose, representing the applicant answered questions made by the Board members regarding the setbacks.

Chair Lecour expressed her concern that the applicants cannot be on the same page as the Town Planner Sinatra. She also stated the way the applicant is interpreting the code is different then what is written in the code.

Town Planner Sinatra stated that it goes against the intent of the code completely and she does not see any side setbacks and has issues with certain items and she expressed those concerns to the applicant.

Board member Roller expressed his concerns as well and asked Town Planner Sinatra regarding her findings on the applicant not providing an average side setback.

Town Planner Sinatra answered Board member Roller's question and they have not provided the average side setback.

After a lengthy discussion between the applicants, Town Planner Sinatra and the Board members regarding the code and the setbacks, and possible suggestions of pulling a portion of the pulled roof, the following motion was made.

Chair Lecour suggested for the applicants to sit with Town Planner Sinatra and come to an agreement with the conditions and recommendations.

A motion was made by Board Member Glynn to defer the item to the February 27, 2020 Planning and Zoning Board Meeting, seconded by Vice Chair Frankel. All voted in favor.

**D. 9025 Dickens Venue – Addition**

Town Planner Mantell introduced the item stating that the property is located within the H30B zoning district. The applicant is requesting to build new additions to the first floor and second floor totaling 862 square feet. The additions include a covered deck, master bedroom, bathroom, closet and balcony.

Town Planner Mantell stated that staff has reviewed the current application for consideration by the Design Review Board and finds the application meets the Code.

The following individual spoke on the item.  
William Archer, architect of the project.

A motion was made by Vice Chair Frankel to approve the application with staff conditions, seconded by Board Member Glynn. All voted in favor.

**E. 9531 Harding Avenue – Sign**

Town Planner Mantell introduced the item and stated that the property is located within the SD-B40 zoning district. The applicant is requesting one (1) Permanent Wall Sign. Town Planner Mantell stated that staff has reviewed the current application for consideration by the Planning and Zoning Board and stated that staff finds the application meets the Code requirements subject to the following condition:

- 1) Currently, the applicant is proposing an illuminated wall sign but does not specify what color illumination is proposed. Per Code section 90-73, sign illumination is limited to white LED.

A motion was made by Board Member Glynn to approve the application with staff conditions, seconded by Vice Chair Frankel. All voted in favor.

**F. 9381 Carlyle Avenue – Addition**

Town Planner Sinatra introduced the item and stated that the property is located within the H30B zoning district. The applicant is requesting to build new additions at the front and rear of the property. The additions include an extension to the rear of the home, paver deck, pool, paver driveway, paver walkway and metal electric gate for the driveway.

Town Planner Sinatra stated that staff has reviewed the current application for consideration by the Design Review Board and finds the application meets the Code with the following conditions met:

- 1) The north elevation does not appear to meet the 10% wall opening coverage minimum. Provide additional details showing that this minimum is met or adjust the plans to meet such minimum.
- 2) All elevations for single story additions to existing structures shall result in a zero percent net loss of wall openings including windows, doors or transitional spaces defined by porches, porticoes or colonnades. Provide the existing elevations showing that no net loss of wall openings is occurring.
- 3) Provide additional details as it relates to the proposed fence in the front yard. In doing so, show that the requirements of code section 90-56.4 are being met.
- 4) Provide additional details as it relates to the new metal electric sliding gate for the driveway. Such gate should be setback from the edge of the street 20' for access purposes.

Condition of approval:

- 1) A fence or ornamental wall may be placed within the front yard or primary corner yard if granted design review approval by the planning and zoning board.

The following individuals spoke on the item:  
James Bryant, representing the applicant.  
Eliana Salzhauer

Chair Lecour stated that if they can make the fence 4 feet with shrubbery and push it back to where it is being recommended and explained to the representative the requirements and design guideline.



Town Attorney Matos spoke regarding the code guidelines on the design and gave the code section.

A motion was made by Board Member Glynn to approve the application with staff conditions, seconded by Vice Chair Frankel. All voted in favor.

#### **G. 9433 Harding Avenue – Sign**

Town Planner Mantell introduced the item and stated that the property is located within the SD-B40 zoning district. The applicant is requesting one (1) Permanent Window Sign for the business of Miami Beach Chocolates.

Town Planner Mantell stated that staff has reviewed the current application for consideration by the Planning & Zoning Board.

Staff recommends deferral:

- 1) Provide the area of the sign. Per code section 90-73, inclusive of logos or trademarks shall not exceed 20 percent of the glass area of the window or door in which the sign is proposed.
- 2) Provide the lettering dimensions. Per code section 90-73, lettering shall not exceed 8 inches in height.
- 3) Provide the lettering materials. Per code section 90-73, acceptable materials include painted gold leaf, silver leaf, silk-screened, cut or polished metal, cut or frosted vinyl, etched glass.

The following individual spoke on the item:  
Eli Schachter, applicant.

A motion was made by Board Member Glynn to approve the application with staff conditions provided the applicant can meet the three conditions provided by staff, seconded by Vice Chair Frankel. All voted in favor.

#### **H. 9565 Harding Avenue – Sign**

Town Planner Mantell introduced the item and stated that the property is located within the SD-B40 zoning district. The applicant is requesting one (1) permanent wall sign, four (4) window signs and one (1) projecting sign. Staff has reviewed the current application for consideration by the Planning and Zoning Board.

Town Planner Mantell stated that staff finds the application meets the Code requirements subject to the following:

- 1) Provide mounting details and illumination details of the wall sign.
- 2) The vertical black wooden sign on the interior of the window is limited to the following acceptable materials - Painted gold leaf, Silver leaf, Silk-screened, Cut or polished metal, Cut or frosted vinyl, Etched glass

Discussion among the Board members, Town Planner Sinatra and Town Planner Mantell took place regarding the illumination and mounting details.

Town Planner Mantell advised the Board to keep the conditions of the illumination and mounting details in order for approval.

A motion was made by Board Member Glynn to approve the application with staff conditions as stated, seconded by Board Member Roller. All voted in favor.

#### **I. 9513 Harding Avenue – Sign**

Town Planner Mantell introduced the item and stated that the property is located within the SD-B40 zoning district. The applicant is requesting one (1) Permanent Wall Sign. Staff has reviewed the current application for consideration by the Planning and Zoning Board.

Town Planner Mantell stated that staff finds the application meets the Code requirements subject to the following;

- 1) Signs shall be off-set from the wall a minimum of one quarter inch to a maximum of two inches to permit rain water to flow down the wall face

#### **Condition of Approval**

- 1) Currently, no illumination is proposed. All signage, lettering, logos or trademarks shall be required to be lit with white illumination from dusk to dawn.

A motion was made by Board Member Glynn to approve the application with staff conditions, seconded by Vice Chair Frankel. All voted in favor.

#### **J. 9481 Bay Drive – Addition**

Town Planner Mantell introduced the item and stated that the property is located within the H30B zoning district. The applicant is requesting a 382 SF addition and 716 SF of interior remodeling to the existing residence including new lighting and receptacles, HVAC, plumbing and new doors and windows.

Town Planner Mantell stated that staff has reviewed the current application for consideration by the Planning & Zoning Board. Staff finds the application meets the Code.

Chair Lecour stated that she spoke with Ms. Barmel and she is able to be impartial.

Vice Chair Frankel asked regarding the location of the air conditioning unit.

Chair Lecour asked regarding the plan for the roof.

A motion was made by Board Member Roller to approve the application, seconded by Board Member Garcia. All voted in favor.

## **5. Quasi – Judicial Hearing Items**

### **A. 9340 Collins Avenue – Site Plan Amendment**

Town Planner Sinatra introduced the item and stated that the agent for the applicant, Neisen Kasdin of Akerman, LLP on behalf of the owner, Eden Surfside, LLC is proposing a site plan amendment to allow for the total demolition and replacement of the façade of the historic building located at 9340 Collins Avenue.

The site plan was originally approved on February 26, 2019 and included preservation of the western 10 feet of the historic building's façade. The applicant has indicated that through the preparation of the construction plans, it was discovered that the façade would be compromised. The applicant has requested a complete demolition and rebuilding of the historic façade to the Miami-Dade Historic Preservation Board (HPB). This request has been granted by HPB and revised certificate of appropriateness and remediation plan have been issued.

The Planning and Zoning Board is requested to provide a recommendation to the Town Commission. Historic preservation is governed by Miami-Dade County; therefore, the staff recommendation is provided by County Staff in a letter to the applicant dated December 23, 2019.

Neisen Kasdan, Esquire, Ackerman LLC, representing the applicant, introduced the item and stated that the jurisdiction of the historical preservation of the historic façade lies with the Miami Dade County Historic Preservation Board.

Gabriel Lamstein, structural engineer for the project, spoke regarding concerns during the inspection of the historical portion of the building, which was performed after demolition.

Chair Lecour asked what the damage was due to the demolition or was it the damage existing prior to the demolition.

Gabriel Lamstein, structural engineer, stated it was from before and had nothing to do with the demolition.

Mark Goldman, project manager, spoke regarding the project and his experience working with historical buildings and stated that the facades are usually held by with termites and this building is not safe due to water intrusion which has rotted out the joints of the building deeming the building unsafe.

The following individuals spoke on the item:

George Kousoulas

Joel Timmy

Eliana Salzhauer

Victor May

Charles Kesl

Marianne Meisheid

Pamela O'Hagan

Clara Diaz-Leal

Michael Dranoff

Neisen Kasdan, Esquire, Ackerman LLC, representing the applicant, responded to the comments made by the public and gave an explanation of what transpired.

Vice Chair Frankel stated that her concern is with the length the owner has owned this property and if they would have known this issue then, which was a year ago, she would have looked at the project differently and felt different about the underground parking. She also stated that what they have here is not the full report that was given to the County and would have liked to have seen the entire report and not the summary. She also asked if they x-ray the grounds and how they determined the strength of the building.

Mr. Kasdan stated that the entire project is not what is before the Board and he stated what they went before the Preservation Board.

Chair Lecour stated that the frustration of the town is that the residents feel they are losing authenticity. She asked if the historic preservation can remain with a replica.

Mr. Kasdan answered Chair Lecour's question and that the part of the building permit has to be accompanied by the building plans to Miami-Dade County's Historic Preservation Board.

Chair Lecour asked Mr. Kasdan if the Historic Preservation Board will issue a certificate stating that the replica plan adequate and approve the replica as historic.

Stephen Chang, Moss Co. spoke regarding the written confirmation from the Historic Preservation Board before the Town issues a Temporary Certificate of Occupancy.

Board member Garcia asked if the historic preservation would be designating the entire structure.

Mr. Kasdan stated that it would be the façade that would be replicated.

Board member Glynn commented on the issues he finds with the structural engineers and feels they are looking for an easy way out and cannot understand how a structural engineer cannot find a solution.

Town Attorney Matos gave clarification of the Miami Dade County Code and the jurisdiction of the Miami Dade County Historic Preservation Board.

Chair Lecour asked what would happen if this project doesn't proceed.

Mr. Kasdan stated that a section of plot of land which includes the façade needs to receive approval from the Miami-Dade County Historic Preservation Board.

Town Attorney Matos explained what would take place if this item is not approved tonight and the development order expires in 2 years but the historic preservation of the historic portion does not expire.

After a lengthy discussion among the Board and Mr. Kasdan regarding the replication of the structure, demolition and the project took place, the following motion was made.

A motion was made by Board Member Glynn to defer the item to the 2/27/2020 P&Z Meeting for the team to revisit preserving the façade or consider implementation the concerns from the public and bring more information to the Board on the project, seconded by Board Member Garcia. All voted in favor.

## **B. 8926 Collins Avenue - Variance**

Town Planner Sinatra introduced the item and stated that the property owner is requesting a variance from the Town of Surfside Zoning Code for the property located at 8926 Collins Avenue. The applicant is requesting approval to allow for the existing Florida Power & Light ("FPL") utility transformers to remain in their current location on site. The current location of the utility transformers encroaches three feet five inches (3'5") into the required 10-foot landscaped buffer area, where only landscape ground cover is permitted.

Town Planner Sinatra stated that accordingly, the Applicant requests the issuance of a general variance permitting a maximum three feet five-inch (3'5") encroachment to allow the two existing pieces of FPL equipment to continue to

occupy approximately 40 square feet of the required 1,500 square-foot landscape buffer along Collins Avenue.

The request is to be granted a variance from *Section 90.91-2(1), Required Buffer Landscaping Adjacent to Streets and Abutting Properties*.

Section 90-36(1)(a) allows for variances from certain code provisions including open spaces. Therefore, the applicant is permitted to apply for a variance from the required landscape buffer.

Town Planner Sinatra stated that the following are the findings:

All of the criteria have not been met; however, the applicant has indicated that FPL has required this transformer and is proposing to mitigate the encroachment by landscape screening. The applicant has indicated that FPL has required the transformer in the existing location but it has not been confirmed that FPL would have required the transformer regardless of the location of the buildings in the approved site plan.

Carli Grimm, Esquire, Bilzin Sumberg, introduced and presented the project.

Board member Glynn asked what color, height and what could be planted along the transformer.

Chair Lecour asked if shrubs are being planted along the transformer.

Carli Grimm, Esquire, Bilzin Sumberg, answered the questions from Board member Glynn.

Chair Lecour asked if there is a way of preventing issuing variances.

Town Planner Sinatra answered Chair Lecour's question and stated that these types of permits are challenging but they will talk to an applicant in the beginning for them to think ahead.

A motion was made by Board Member Glynn to approve the variance, seconded by Board Member Roller. All voted in favor.

## **6. Discussion Items:**

### **A. Future Agenda Items**

Chair Lecour requested for a future agenda item to add the item revising H30A versus H30B and front setbacks and massing as being different in both zoning districts.

**7. Adjournment:**

A motion was made by Board Member Glynn to adjourn the meeting without objection at 9:03 p.m. The motion received a second from Vice Chair Frankel. All voted in favor.

Respectfully submitted,

Accepted this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Lindsay Lecour, Chair

Attest :

\_\_\_\_\_  
Sandra Novoa, MMC  
Town Clerk



## MEMORANDUM

To: Planning and Zoning Board

Thru: Guillermo Olmedillo, Town Manager

From: Sarah Sinatra Gould, AICP, Town Planner

CC: Lillian Arango, Town Attorney

Date: February 27, 2020

Re: 9181 Abbott Avenue – New 2 Story Home

---

The property is located at 9181 Abbott Avenue, within the H30B zoning district. The applicant is requesting to build a new 5,077 square foot two-story home. The plans include a new driveway, walkway, pool, deck and terrace.



Staff has reviewed the current application for consideration by the Planning & Zoning Board. In this report Staff presents the following:

- Applicable Zoning Code regulations, along with the results of the review
- Applicable Design Guideline standards, along with the results of the review
- Staff Recommendation



## STANDARDS / RESULTS

### Town of Surfside Zoning Code, Applicable Requirements

#### **Sec. 42.92 Lowest Floor Elevation**

Residential	Lowest Floor	Proposed
Single-Family Residential	Base Flood +2	10 NGVD

#### **Sec. 90.43 Maximum building heights**

Height	Required Maximum	Proposed
H30B	30 feet	30' from crown of road

#### **Sec. 90-45. Setbacks**

H30A AND H30B UPPER STORY FLOOR AREA IS 65% TO 80% OF FIRST STORY FLOOR AREA	Required	Proposed
<i>Maximum Lot Coverage</i>	40%	40% (2,250/5,625=0.4)
FIRST STORY (UP TO 15 FT IN HEIGHT)		
Primary frontage	Minimum 20 FT	20'
Interior side (Lots less than 50 feet in width)	5 FT	5'
Rear	Minimum 20 FT	20'
UPPER STORY OR WALL PLANES GREATER THAN 15 FT IN HEIGHT		
Primary frontage	Minimum 20 FT / Average 30	Minimum: 20' Average: 33'5"
Interior side (lots equal to or less than 50' in width) – Wall length is equal to or greater than 25% of the lot depth	Minimum 5 FT / Average 10'	<u>North Side</u> Minimum: 5' Average: 12.87'  <u>South Side</u> Minimum: 5' Average: 11.33'
Rear	Minimum 20 FT / Average n/a	20'3"

#### **Sec. 90.49 Lot standards**

Lot Standards H30A	Required	Proposed
Minimum Lot width	50 feet	50 feet
Minimum lot area	8,000 feet	5,625 SF
Maximum lot coverage	40%	40% (2,250/5,625=0.40)

Pervious area	35% (minimum)	36.14% (2,033/5,625=0.3614)

**Sec. 90.50 Architecture and roof decks**

	Required	Proposed
Unique Elevation	A unique elevation from the main buildings of the adjacent two (2) homes shall be created through the modulation of at least three (3) of the following architectural features: (a) Length, width and massing of the structure; (b) Number of stories; (c) Façade materials; (d) Porches and other similar articulation of the front façade; (e) Number and location of doors and windows; and (f) Roof style and pitch.	A unique elevation from the main buildings of the adjacent two (2) homes is created through the modulation of; (a) Length, width and massing of the structure (b) Number of stories (c) Roof style and pitch
Wall openings	10% for all elevations	+10% for all elevations
Roof Material	(a) Clay Tile; (b) White concrete tile; (c) Solid color cement tile which color is impregnated with the same color intensity throughout, provided said color if granted approval by the Design Review Board; (d) Architecturally embellished metal if granted approval by the Design Review Board; or (e) Other Florida Building Code approved roof material(s) if granted approval by the Design Review Board.	Cement Grey tile

**Sec. 90.54 Accessory Structures**

	Required	Proposed
--	----------	----------

<b>Accessory buildings</b>	<p>90-54.2 Accessory swimming pools and decks, open and unenclosed, or covered by a screen enclosure, may occupy a required rear, front, or side setback, subject to the following minimum setbacks:</p> <p>(a) Rear: Five feet.</p> <p>(b) Interior side: Five feet.</p> <p>(c) Primary (front) and secondary (Corner): Ten feet.</p>	<p>(a) 4'11"</p> <p>(b) 5'</p> <p>(c)+10'</p>
----------------------------	--	---

**Sec. 90.61 Paving in front and rear yards in H30 and H40 Districts**

<b>Paving Yards</b>	<b>Required</b>	<b>Proposed</b>
Front setback permeability	50% minimum	>50%
Front yard landscaped	30% minimum	>30%
Rear yard landscaped	20% minimum	>20%
Number of Curb Cuts	One minimum	1
Curb Cut side set back	5 feet minimum	>5 feet
Curb cut width	1 curb cut, not more than 18' in width	1 curb cut 18' in width
Driveway Materials	Limited to the following 1. Pavers 2. Color and texture treated concrete, including stamped concrete 3. Painted concrete shall not be permitted. 4. Asphalt shall not be permitted.	Turf block pavers

**Sec. 90-77 Off-Street Parking Requirements**

<b>Required</b>	<b>Minimum Space Requirements</b>	<b>Proposed</b>
Single-family	2 spaces	+ 2 spaces

**Sec. 90-89.4(6). Street Tree Requirements**

<b>Required</b>	<b>Required</b>	<b>Proposed</b>
Street trees shall be required at one shade tree/palm tree per 20 linear feet of street	2 trees	2 trees

frontage thereof along all public or private street right-of-ways in all zoning districts.		
--	--	--

**Sec. 90-95. Single-family H30A and H30B district landscape requirements.**

Required	Required	Proposed
A minimum of five trees of two different species and 25 shrubs shall be planted per lot.	5 trees, 25 shrubs	6 palms and more than 25 shrubs

**Town of Surfside Adopted Residential Design Guidelines**

***Building Massing***

Required	Proposed
Building forms should be varied enough to avoid monotony and to avoid pyramidal massing and should be compatible with surrounding houses.	Consistent

***Decorative Features***

Required	Proposed
Decorative features should be stylistically consistent throughout the entire building.	Consistent

***Overall Architectural Style***

Required	Proposed
The overall style of each house should be consistent on all sides of the building, as well as among all portions of the roof.	Consistent

***Wall Materials and Finishes***

Required	Proposed
The same material should be used on all building elevations unless multiple materials are a legitimate expression of the particular style.	Consistent

***Roof Materials, Types, and Slopes***

Required	Proposed
Roof types and slopes should be generally the same over all parts of a single building.	The applicant is proposing a pitched roof (4/12 pitch) with small portions being flat

<p>Restricted materials for roofs are pre-determined in the Town's Building Code, which restricts roofing materials to:</p> <ol style="list-style-type: none"> <li>1. Clay tile;</li> <li>2. White concrete tile;</li> <li>3. Solid color cement tile which color is impregnated with the same color intensity throughout, provided said color is first approved by the planning and zoning board; and</li> <li>4. Metal.</li> </ol>	<p>Cement tile</p>
--	--------------------

***Windows and Trims***

<b>Required</b>	<b>Proposed</b>
Window styles should always be consistent among all elevations of a building.	Consistent
Frame materials should never vary on a single building.	Consistent
Window, door and eave trim should be consistent on all elevations of the house	Consistent

**FINDINGS**

Staff finds the application meets the Code.



DRB Meeting	___/___/20__
Application / Plans Due	___/___/20__

**TOWN OF SURFSIDE  
SINGLE-FAMILY and TWO-FAMILY SITE PLAN APPLICATION**

A complete submittal includes all items on the "Single-Family and Two-Family Site Plan Application Submission Checklist" document as well as completing this application in full. The owner and agent must sign the application with the appropriate supplemental documentation attached. Please print legibly in ink or type on this application form.

<b>PROJECT INFORMATION</b>	
OWNER'S NAME	Jeffrey & Leah Rose
PHONE / FAX	305-733-2485
AGENT'S NAME	Jeff Rose
ADDRESS	8851 Frowde Ave, Surfside, FL 33154
PHONE / FAX	305-733-2485
PROPERTY ADDRESS	9181 Abbott Avenue
ZONING CATEGORY	H30B
DESCRIPTION OF PROPOSED WORK	New 2 story single family home

<b>INTERNAL USE ONLY</b>			
Date Submitted	_____	Project Number	_____
Report Completed	_____	Date	_____
Fee Paid	\$ _____		

<b>ZONING STANDARDS</b>	Required			Provided		
Plot Size	5,625			5,625		
Setbacks (F/R/S)	20'0"	20'0"	5'0"	20'0"	20'3"	5'0"
Lot Coverage	40%0			40%0		
Height	30'			30'		
Pervious Area	35%0			35%0		

	2-14-20		2-14-20
SIGNATURE OF OWNER	DATE	SIGNATURE OF AGENT	DATE



**TOWN OF SURFSIDE**  
**SINGLE-FAMILY and TWO-FAMILY SITE PLAN APPLICATION**  
**PLANNING AND ZONING BOARD Rules and Procedures (June 2002)**

The Planning and Zoning Board shall generally meet the last Thursday of each month at 7:00 pm. at Town Hall.

Plans and completed applications (including all supporting documentation) must be submitted to the Building Department at least 21 days prior to the meeting, with the payment of applicable fees (example: \$200.00 for Plan Review for Zoning), at which time they will be considered. Incomplete plans and applications will not be processed.

The applicant or duly authorized agent (per ownership affidavit) must be present at the meeting. If there are no applications for consideration by the Planning and Zoning Board, the monthly meeting may be cancelled at the discretion of the Chairman of the Board.

Please advise the name of the Representative who will attend the hearing on behalf of this application:

*Jeffrey R. Ren*

NAME OF REPRESENTATIVE

*2/17/20*

DATE



**TOWN OF SURFSIDE**  
**SUBMISSION CHECKLIST**  
**SINGLE-FAMILY and TWO-FAMILY SITE PLAN APPLICATION**

Project Name 9161 Abholt Ave

Project Number \_\_\_\_\_

**SUBMITTAL REQUIREMENTS FOR REVIEW:**

- Completed "Single-Family and Two-Family Site Plan Application" form
- Application fee: \$ \_\_\_\_\_ made out to "Town of Surfside"
- Ownership Affidavit
- Survey less than one (1) year old. A survey over one (1) year is sufficient as long as the property has not changed ownership and the owner provides an affidavit that no changes have occurred since the date of the survey.
- Recent photographs, as visible from the street, of the subject property and of the adjacent two (2) homes on each side of the subject property on the same side of street. If the adjacent lot(s) are vacant then the next adjacent home(s) shall be utilized.

**FOR THE FOLLOWING PLEASE PROVIDE:**

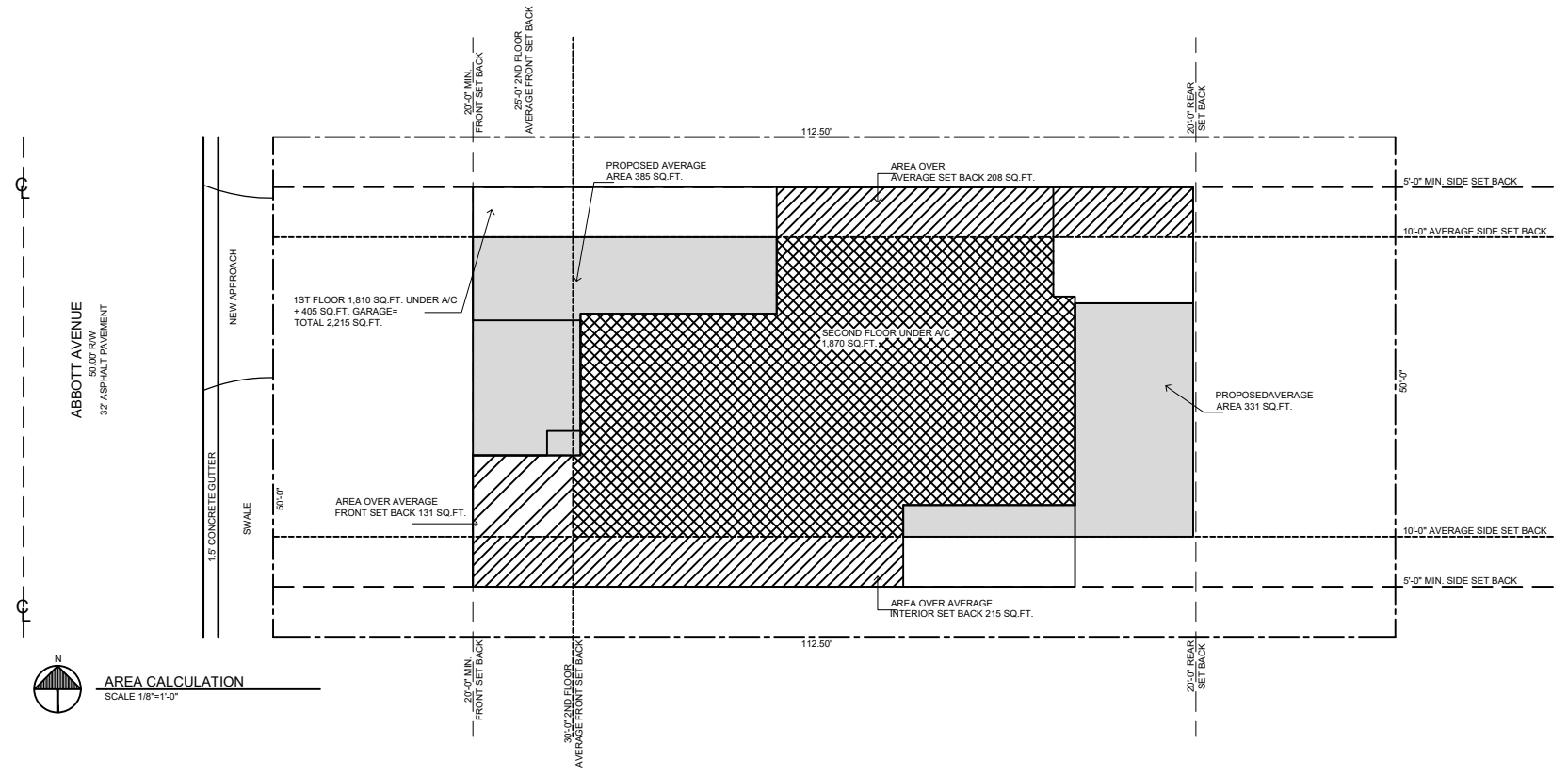
- Two (2) full sized sets (24" x 36" sheets) of complete design development drawings signed and sealed
- One (1) CD, with site plan in PDF format, or other common windows based format.
- Provided prior to Design Review Board Meeting – Fifteen (15) reduced sized sets (11" x 17" sheets) of the complete design development drawings
- Site Plan (Minimum scale of 1" = 20').  
Please show / provide the following:
  - Tabulations of total square footage, lot coverage, setbacks and acreage
  - Entire parcel(s) with dimensions and lot size in square feet
  - Existing and proposed buildings with square footage
  - Buildings to be removed
  - Setbacks
  - Dimensions and locations of all existing and proposed right-of-ways, easements and street frontage, including sidewalks, curb and gutter and planting strips
  - All existing and proposed site improvements, including, but not limited to, all utilities, retaining walls, fences, decks and patios, driveways and sidewalks, signs, parking areas, and erosion control features
  - Location of all existing and proposed trees, vegetation, palms and note tree species
  - Locations and dimensions of parking spaces and lot layout
  - Driveway entrance width and setbacks from property line
- Architectural Elevations (Minimum scale of 1/8" = 1):  
Please show / provide the following:
  - Provide color elevations, showing all material finishes, textures and landscaping for all elevations of the proposed building(s). They should include, at a minimum:
  - All exterior materials, colors and finishes, keyed to samples provided

Cont.

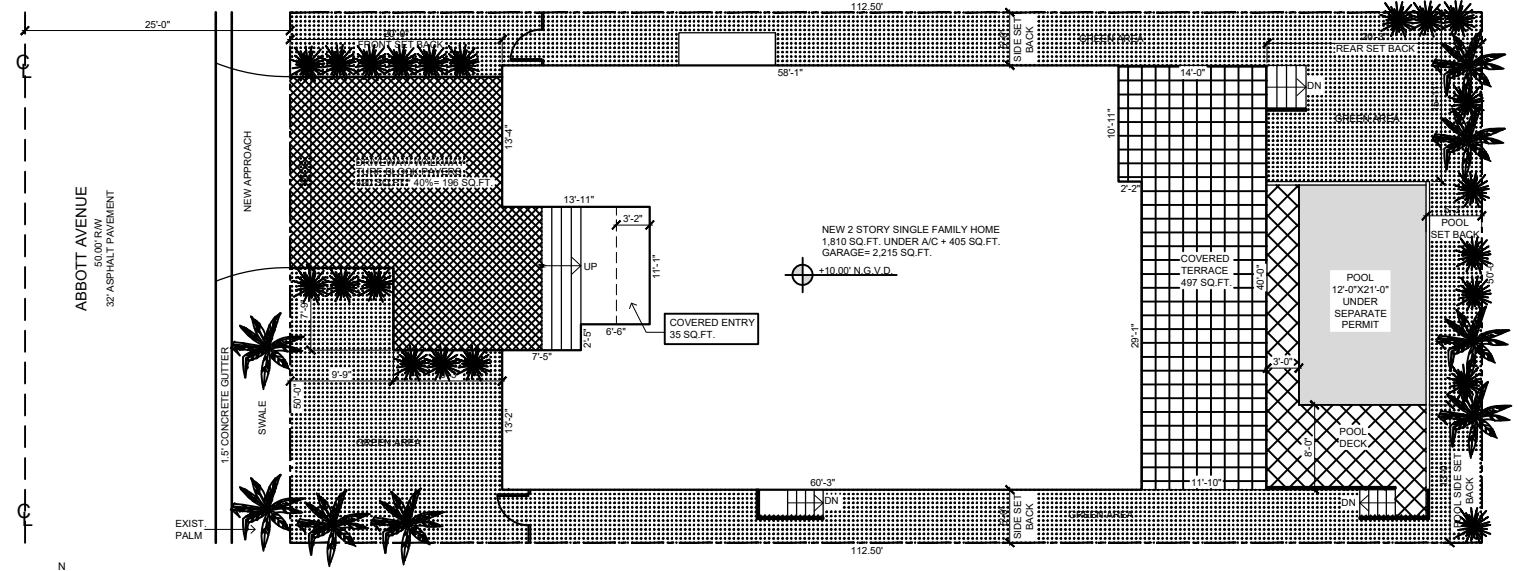




- Roof slopes and materials and color
- Detail of doors, windows, garage doors
- Lighting locations and details
- Dimensions of structure(s) – height, width, and length
- Deck, railing, stairs details including materials, colors, finishes, and decorative details
- Exposed foundation treatment
- Gutters and eaves
- Abutting structure heights
- Provide samples of colors and/or materials mounted on a display board (to be provided prior to Design Review Board Meeting)
- Such additional data, maps, plans, or statements as the Town may require to fully describe and evaluate the particular proposed plan



AREA CALCULATION  
SCALE 1/8"=1'-0"



PROPOSED SITE PLAN  
SCALE 1/8"=1'-0"

**ZONING REQUIREMENTS: H30B**

LOT SIZE: 112.50' X 50' = 5,625 SQ.FT.  
MAX. LOT COVERAGE: 40% (5,625) = 2,250 SQ.FT.

	REQUIRED	PROPOSED
<b>FIRST FLOOR BUILDING SET BACKS:</b>		
FRONT SET BACK	20'-0"	20'-0"
SOUTH SET BACK	5'-0"	5'-0"
NORTH SET BACK	5'-0"	5'-0"
REAR SET BACK	20'-0"	20'-3"
FIRST FLOOR LOT COVERAGE		
FIRST FLOOR AREA + TERRACE	2,250 SQ.FT.	2,250 SQ.FT.
	N/A	2,747 SQ.FT.
<b>SECOND FLOOR BUILDING SET BACKS:</b>		
FRONT SET BACK AVERAGE	30'-0"	33.5'
REAR SET BACK	20'-0"	20'-3"
SOUTH INTERIOR SET BACK AVERAGE	10'-0"	11.33'
NORTH INTERIOR SET BACK AVERAGE	10'-0"	12.07'
UPPER FLOOR AREA UNDER A/C PROPOSED		
UPPER FLOOR AREA + TERRACE	1,870 SQ.FT. (68% OF FIRST FLOOR)	2,110 SQ.FT.
MAX. HEIGHT FROM CROWN OF ROAD		
	2 STORIES 30'-0"	2 STORIES 30'-0"
MIN. PERVIOUS AREA (35% OF 5,625 SQ.FT.)		
	1,969 SQ.FT.	1,971 SQ.FT.
FRONT SET BACK PERMEABILITY (50% OF 1,000 SQ.FT)		
	500 SQ.FT.	706 SQ.FT.

**LANDSCAPING REQUIREMENTS: H30B**

STREET TREES	2	2
LOT TREES	5	6
SHRUBS	25	25

**DRAWING LOG**

1	12-18-19	P & Z BOARD SET
2	02-11-20	P & Z BOARD SET

**NEW SINGLE FAMILY HOME**  
OWNERS: JEFF & LEAH ROSE  
9181 ABBOTT AVENUE  
SURFSIDE, FLORIDA 33154

FL. LIC. N° 14920

**JORGE D. MANTILLA**  
ARCHITECT

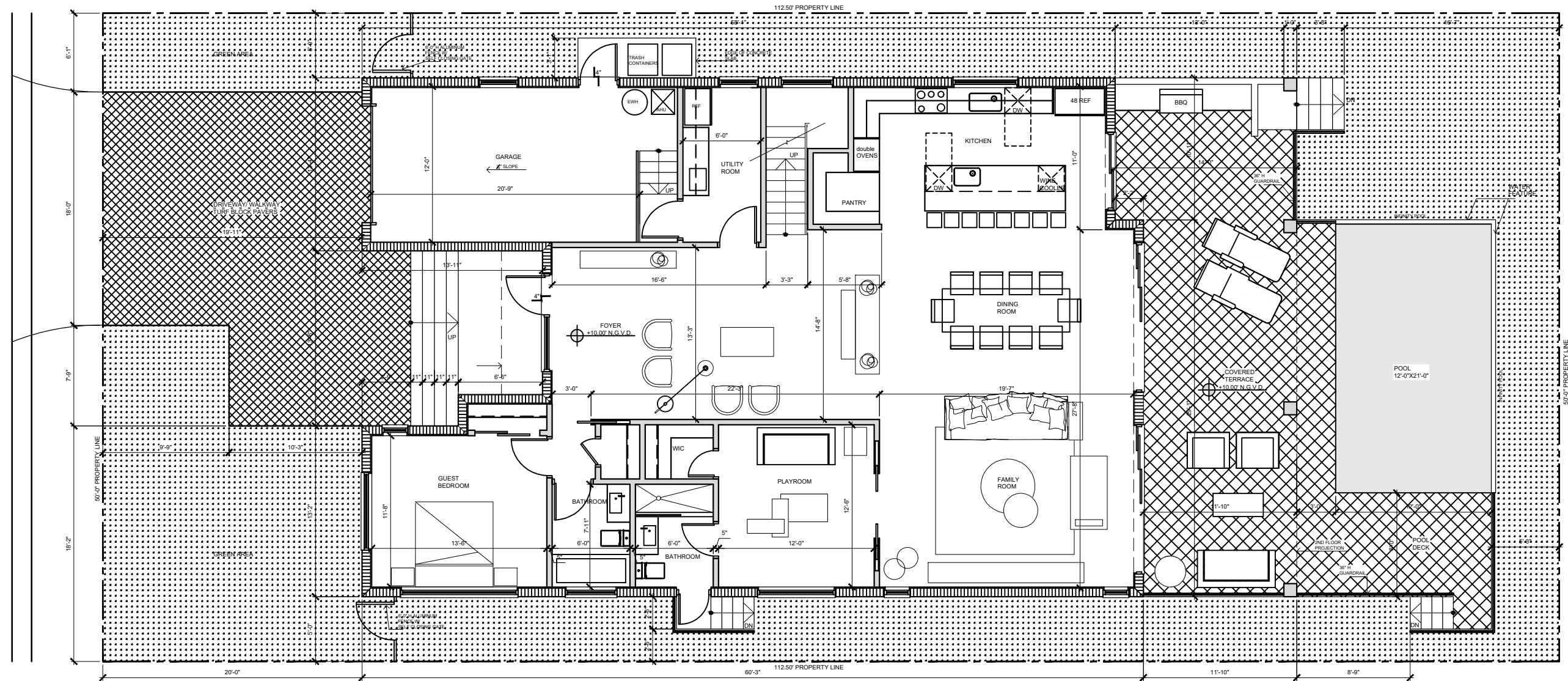
5901 SW 63rd COURT SOUTH MIAMI FLORIDA 33143  
STATE OF FLORIDA LICENSE NO. 14320  
P: (954) 815-4649 E-mail: mantillaarchitect@gmail.com

DRAWN BY: V.V.L.  
REVIEW BY: J.D.M.

SCALE:  
1/4" = 1'-0"

RELEASE DATE:

**A-101**  
SITE PLAN



PROPOSED 1ST FLOOR PLAN  
SCALE 1/4" = 1'-0"

DRAWING LOG

1	12-18-19 P & Z BOARD SET
2	02-11-20 P & Z BOARD SET

NEW SINGLE FAMILY HOME  
OWNERS: JEFF & LEAH ROSE  
9181 ABBOTT AVENUE  
SURFSIDE, FLORIDA 33154

FL. LIC. N° 14320

JORGE D. MANTILLA  
ARCHITECT

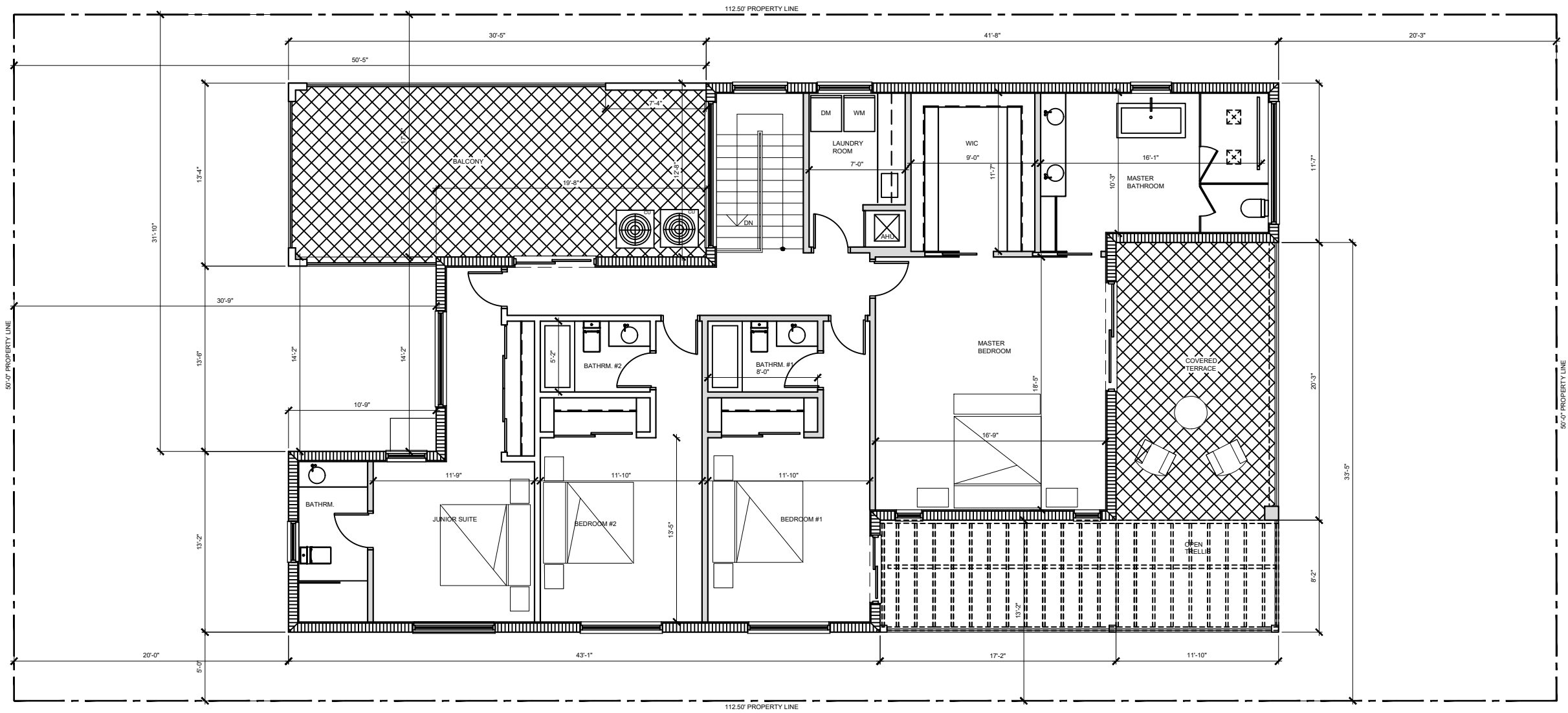
5901 SW 63rd COURT SOUTH MIAMI FLORIDA 33143  
STATE OF FLORIDA LICENSE NO. 14320  
P: (305) 815-4649 E-mail: mantillaarchitect@gmail.com

DRAWN BY: V.V.L.  
REVIEW BY: J.D.M.

SCALE:  
1/4" = 1'-0"

RELEASE DATE:  
12-19-19

A-201  
FIRST FLOOR  
PLAN



PROPOSED 2ND FLOOR PLAN  
SCALE 1/4"=1'-0"

DRAWING LOG

1	12-18-19 P & Z BOARD SET
2	02-11-20 P & Z BOARD SET

NEW SINGLE FAMILY HOME  
OWNERS: JEFF & LEAH ROSE  
9181 ABBOTT AVENUE  
SURFSIDE, FLORIDA 33154

FL. LIC. N° 14320

JORGE D. MANTILLA  
ARCHITECT

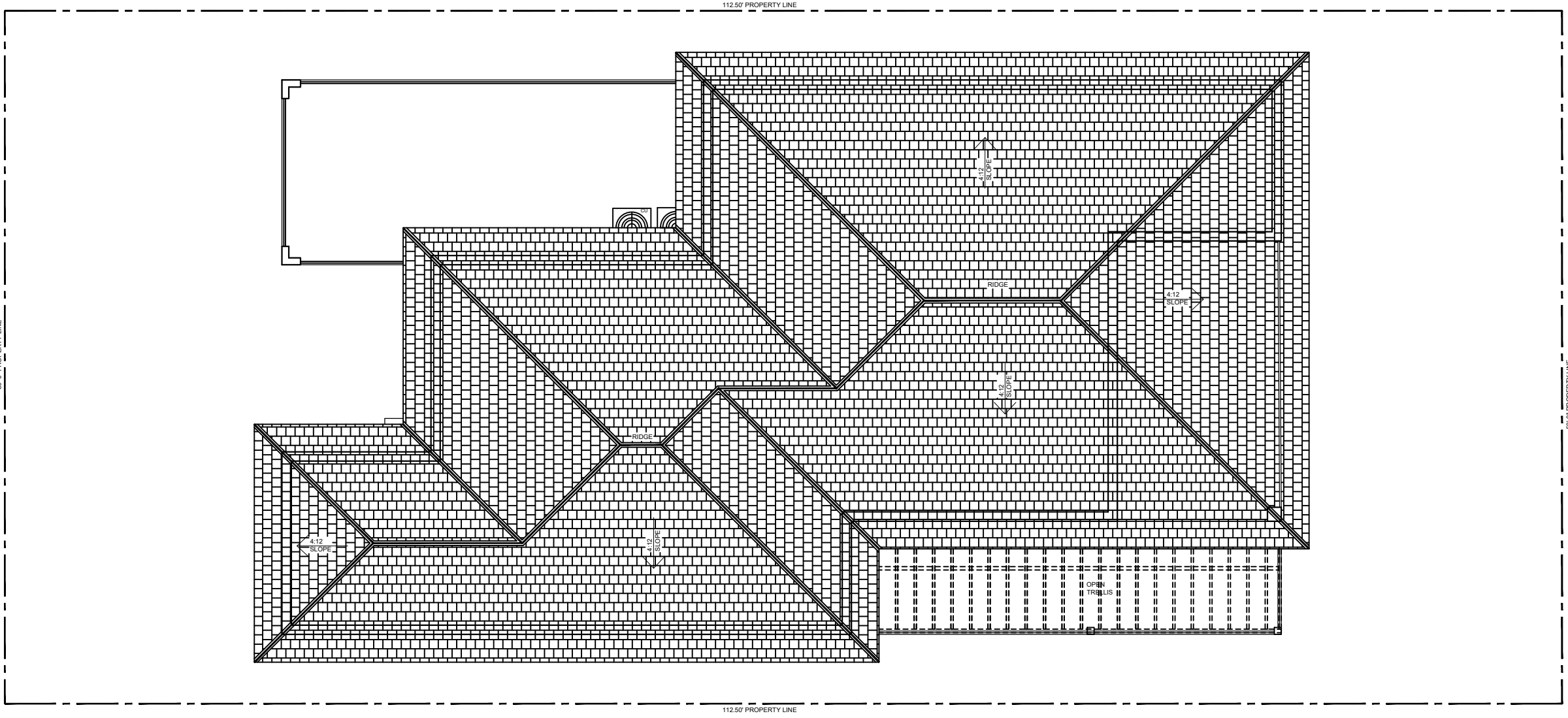
5901 SW 63rd COURT SOUTH MIAMI FLORIDA 33143  
STATE OF FLORIDA LICENSE No. 14320  
P: (305) 815-4649 E-mail: mantillaarchitect@gmail.com

DRAWN BY: V.V.L  
REVIEW BY: J.D.M.

SCALE:  
1/4" = 1'-0"

RELEASE DATE:  
12-19-19

A-202  
SECOND FLOOR  
PLAN




**PROPOSED ROOF PLAN**  
 SCALE 1/4"=1'-0"

DRAWING LOG	
1	12-18-19 P & Z BOARD SET
2	02-11-20 P & Z BOARD SET

**NEW SINGLE FAMILY HOME**  
**OWNERS: JEFF & LEAH ROSE**  
 9181 ABBOTT AVENUE  
 SURFSIDE, FLORIDA 33154

FL. LIC. N° 14920

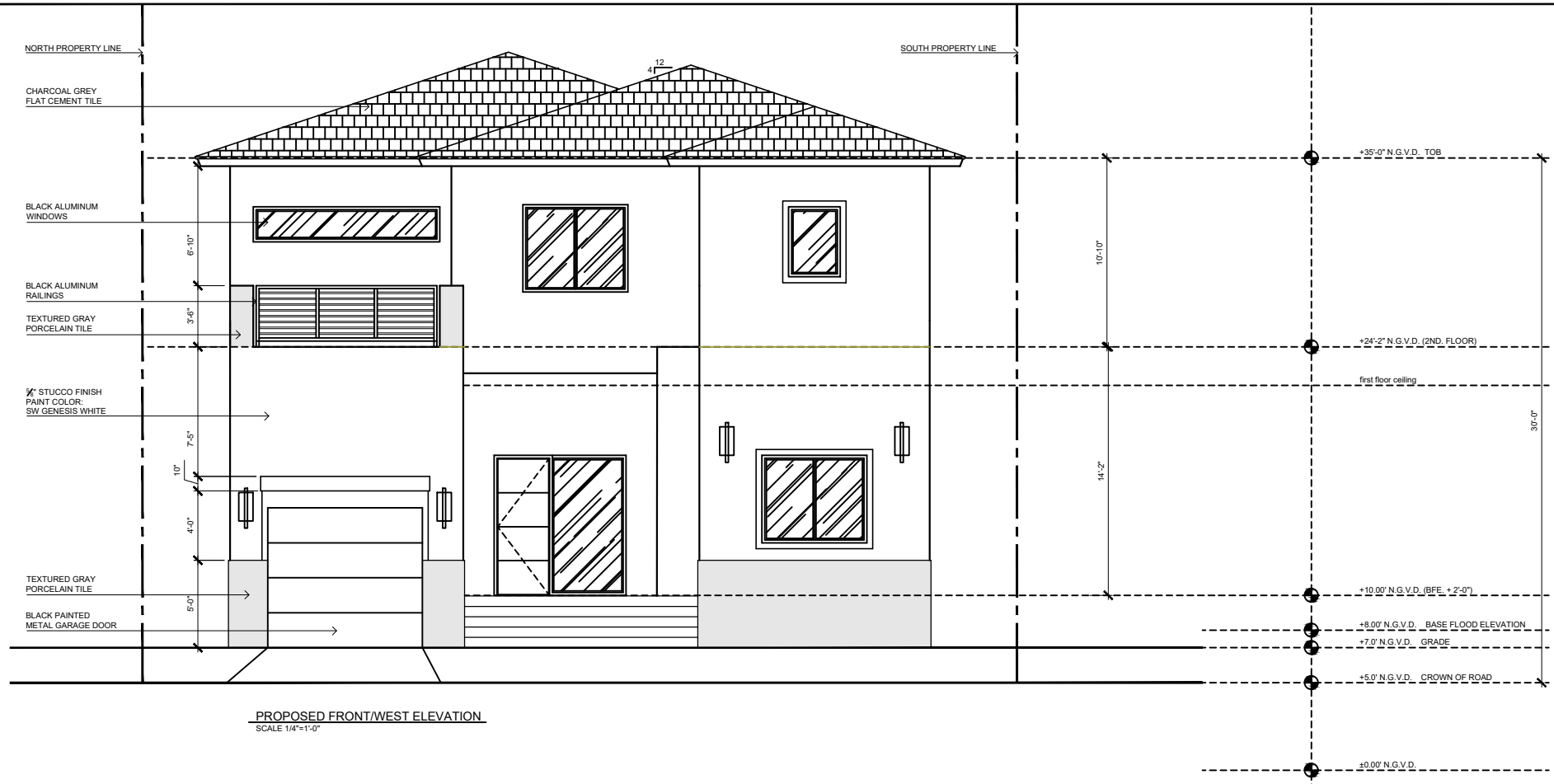
**JORGE D. MANTILLA**  
 ARCHITECT  
5901 SW 63rd COURT SOUTH MIAMI FLORIDA 33143  
 STATE OF FLORIDA LICENSE No. 14320  
 P. (305) 815-4649 E-mail: mantillaarchitect@gmail.com

DRAWN BY: V.V.L  
 REVIEW BY: J.D.M.

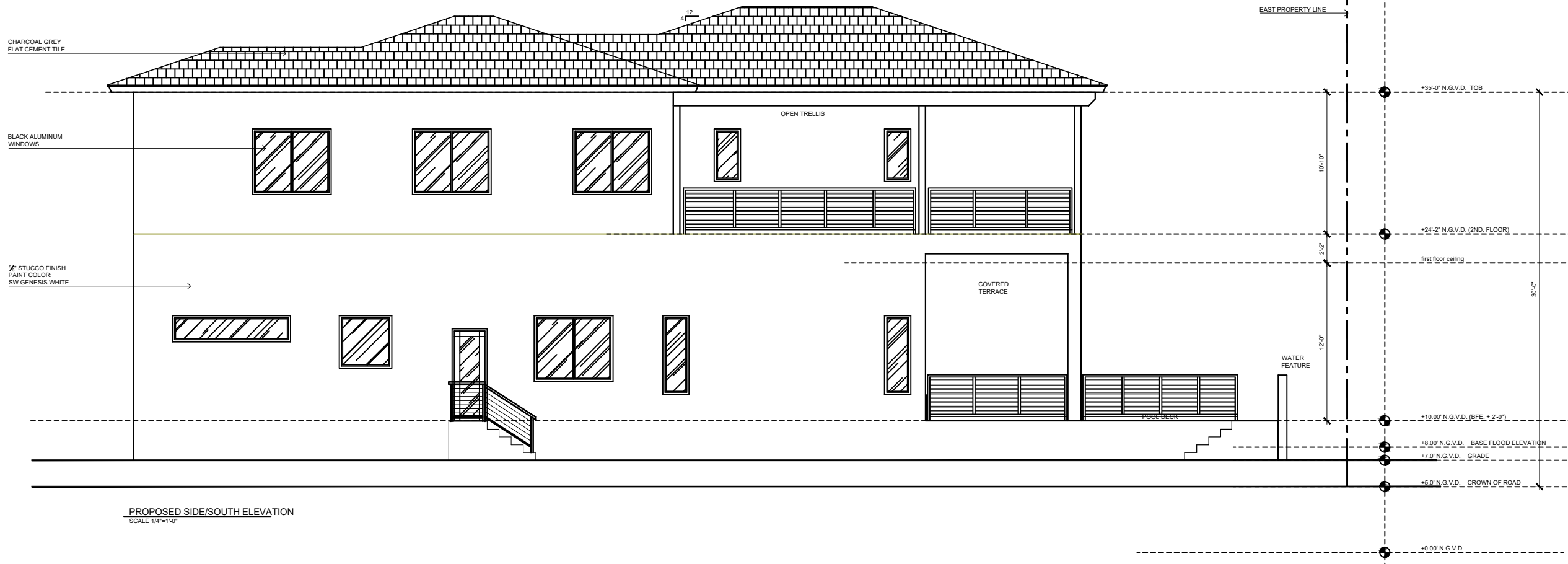
SCALE:  
 1/4" = 1'-0"

RELEASE DATE:  
 12-19-19

**A-203**  
 ROOF PLAN



PROPOSED FRONT/WEST ELEVATION  
SCALE 1/4"=1'-0"



PROPOSED SIDE/SOUTH ELEVATION  
SCALE 1/4"=1'-0"

DRAWING LOG	
1	12-18-19 P & Z BOARD SET
2	02-11-20 P & Z BOARD SET

NEW SINGLE FAMILY HOME  
OWNERS: JEFF & LEAH ROSE  
9181 ABBOTT AVENUE  
SURFSIDE, FLORIDA 33154

FL. LIC. N° 14920

JORGE D. MANTILLA  
ARCHITECT  
5901 SW 63rd COURT SOUTH MIAMI FLORIDA 33143  
STATE OF FLORIDA LICENSE No. 14320  
P: (305) 815-4649 E-mail: mantillaarchitect@gmail.com

DRAWN BY: V.V.L  
REVIEW BY: J.D.M.

SCALE:  
1/4" = 1'-0"

RELEASE DATE:  
12-19-19

**A-301**  
BUILDING  
ELEVATIONS

SOUTH PROPERTY LINE

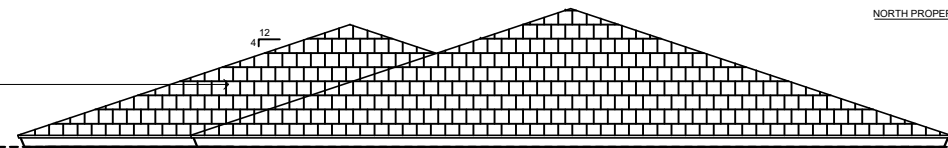
CHARCOAL GREY  
FLAT CEMENT TILE

WOOD TRELLIS

BLACK ALUMINUM  
WINDOWS

BLACK ALUMINUM  
RAILINGS

STUCCO FINISH  
PAINT COLOR:  
SW GENESIS WHITE



PROPOSED REAR ELEVATION  
SCALE 1/4"=1'-0"

NORTH PROPERTY LINE

+35'-0" N.G.V.D. TOB

+24'-2" N.G.V.D. (2ND FLOOR)

+10'-0" N.G.V.D. (BFE, +2'-0")

+8'-0" N.G.V.D. BASE FLOOD ELEVATION

+7'-0" N.G.V.D. GRADE

+5'-0" N.G.V.D. CROWN OF ROAD

+0'-0" N.G.V.D.

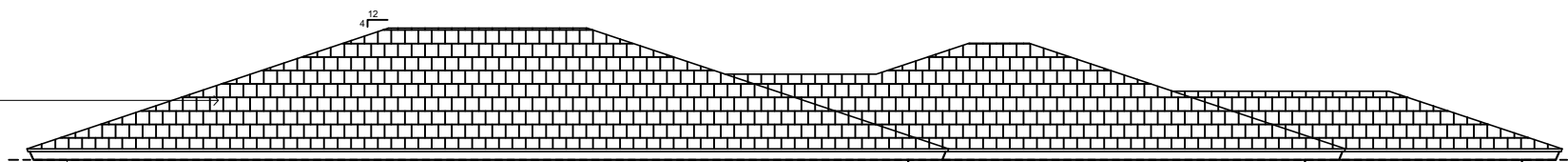
CHARCOAL GREY  
FLAT CEMENT TILE

STUCCO FINISH  
PAINT COLOR:  
SW GENESIS WHITE

BLACK ALUMINUM  
WINDOWS

WATER  
FEATURE

POOL



PROPOSED SIDE/NORTH ELEVATION  
SCALE 1/4"=1'-0"

+35'-0" N.G.V.D. TOB

10'-10"

14'-2"

+24'-2" N.G.V.D. (2ND FLOOR)

+10'-0" N.G.V.D. (BFE, +2'-0")

+8'-0" N.G.V.D. BASE FLOOD ELEVATION

+7'-0" N.G.V.D. GRADE

+5'-0" N.G.V.D. CROWN OF ROAD

+0'-0" N.G.V.D.

DRAWING LOG	
1	12-18-19 P & Z BOARD SET
2	02-11-20 P & Z BOARD SET

NEW SINGLE FAMILY HOME  
OWNERS: JEFF & LEAH ROSE  
9181 ABBOTT AVENUE  
SURFSIDE, FLORIDA 33154

FL. LIC. N° 14320

JORGE D. MANTILLA  
ARCHITECT

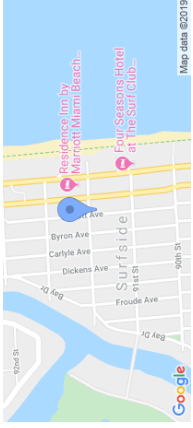
5901 SW 63rd COURT SOUTH MIAMI FLORIDA 33143  
STATE OF FLORIDA LICENSE NO. 14320  
P: (305) 815-4649 E-mail: mantillaarchitect@gmail.com

DRAWN BY: V.V.L  
REVIEW BY: J.D.M.

SCALE:  
1/4" = 1'-0"

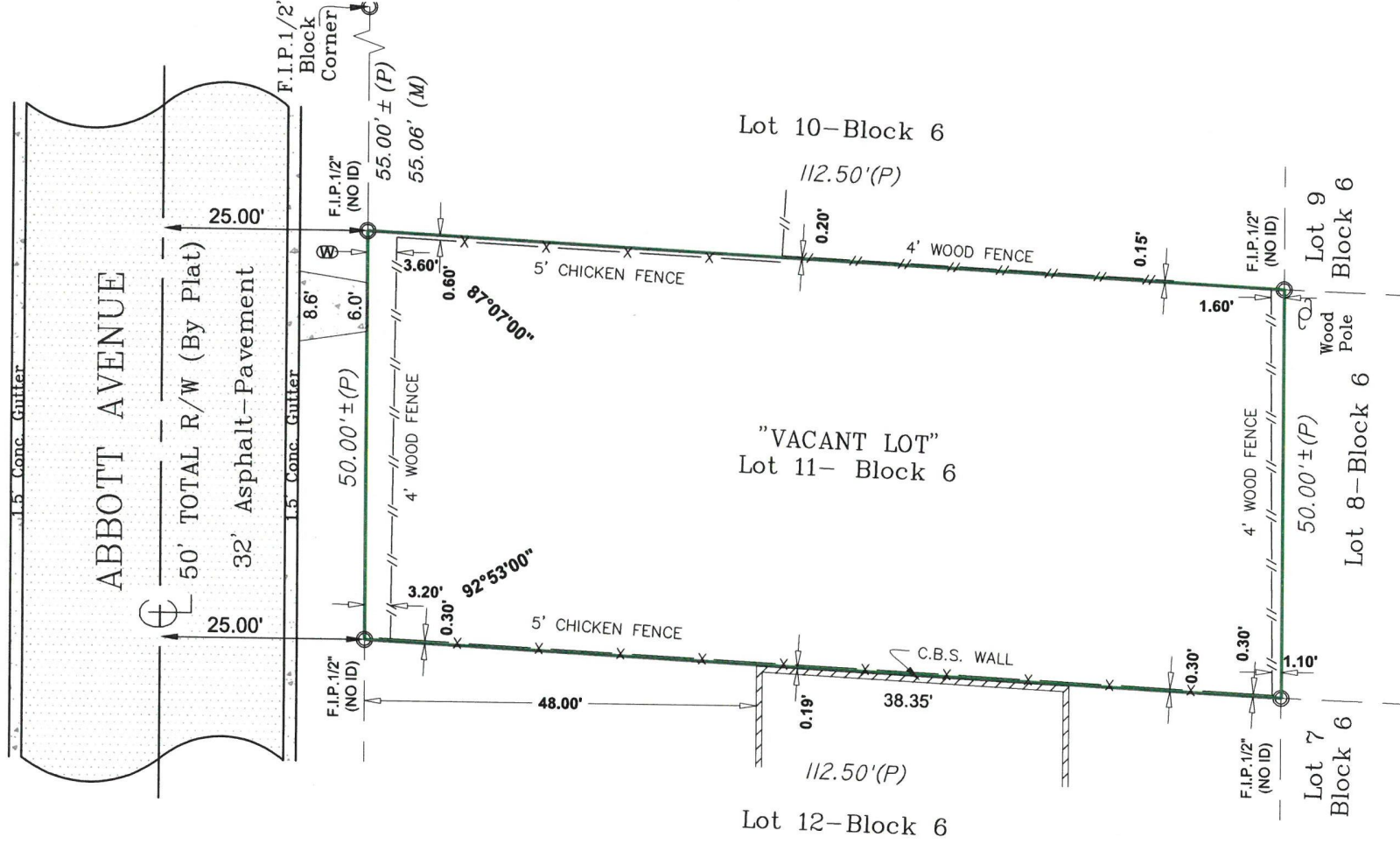
RELEASE DATE:  
12-19-19

A-302  
BUILDING  
ELEVATIONS



Proudly Serving  
the Florida Real  
Estate Community  
for Over 20 Years  
WWW.MELANDSERVICES.COM

This survey shall not be used for construction/permitting purposes without written consent from the land surveyor who has signed and sealed this survey.



Accepted By: \_\_\_\_\_

Property Address:  
9181 Abbott Avenue (Vacant Land)  
Surfside, FLORIDA 33154

Notes: **NO NOTES**

**SURVEYOR'S CERTIFICATION:** I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PERFORMED UNDER MY DIRECTION. THIS COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS (BPLS) AFTER SAID ACT 17-022 THROUGH SA-17-022, FLORIDA ADMINISTRATIVE CODE PURSUANT TO CHAPTER 692, FLORIDA STATUTES.

M.E. Land Surveying, Inc.  
10665 SW 190th Street  
Suite 3110  
Miami, FL 33157  
Phone: (305) 740-3319  
Fax: (305) 669-3190  
L#B: 7989



**SIGNED**  
**EFRAIN LOPEZ**  
**STATE OF FLORIDA**  
**PROFESSIONAL LAND SURVEYOR**

**FOR THE FIRM**  
**STATE OF FLORIDA**  
**P.S.M. No. 6792**

NOT VALID WITHOUT AND AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL AND/OR THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSED SURVEYOR AND MAPPER.



# Surveyor's Legend

PROPERTY LINE	FOUND IRON PIPE / PIN AS NOTED ON PLAT	B.R.	BEARING REFERENCE	TEL.	TELEPHONE FACILITIES
STRUCTURE	CONC. BLOCK WALL	△	CENTRAL ANGLE OR DELTA	U.P.	UTILITY POLE
CHAIN-LINK FENCE OR WIRE FENCE	LB# LICENSE # - BUSINESS	R	RADIUS OR RADIAL	E.U.B.	ELECTRIC UTILITY BOX
WOOD FENCE	LS# LICENSE # - SURVEYOR	RAD.	RADIAL TIE	SEP.	SEPTIC TANK
IRON FENCE	CALC CALCULATED POINT	N.R.	NON RADIAL	D.F.	DRAINFIELD
EASEMENT	SET SET PIN	TYP.	TYPICAL	A/C	AIR CONDITIONER
CENTER LINE	▲ CONTROL POINT	I.R.	IRON ROD	S/W	SIDEWALK
WOOD DECK	■ CONCRETE MONUMENT	I.P.	IRON PIPE	DWY	DRIVEWAY
CONCRETE	⊕ BENCHMARK	N&D	NAIL & DISK	SCR.	SCREEN
ASPHALT	ELEV ELEVATION	PK NAIL	PARKER-KALON NAIL	GAR	GARAGE
BRICK / TILE	P.T. POINT OF TANGENCY	D.H.	DRILL HOLE	ENCL	ENCLOSURE
WATER	P.C. POINT OF CURVATURE	⊙	WELL	N.T.S.	NOT TO SCALE
APPROXIMATE EDGE OF WATER	P.R.M. PERMANENT REFERENCE MONUMENT	⊠	FIRE HYDRANT	F.F.	FINISHED FLOOR
COVERED AREA	P.C.C. POINT OF COMPOUND CURVATURE	M.H.	MANHOLE	T.O.B.	TOP OF BANK
TREE	P.R.C. POINT OF REVERSE CURVATURE	O.H.L.	OVERHEAD LINES	E.O.W.	EDGE OF WATER
POWER POLE	P.O.B. POINT OF BEGINNING	TX	TRANSFORMER	E.O.P	EDGE OF PAVEMENT
CATCH BASIN	P.O.C. POINT OF COMMENCEMENT	CATV	CABLE TV RISER	C.V.G.	CONCRETE VALLEY GUTTER
C.U.E.	P.C.P. PERMANENT CONTROL POINT	W.M.	WATER METER	B.S.L.	BUILDING SETBACK LINE
I.E./E.E.	M FIELD MEASURED	P/E	POOL EQUIPMENT	S.T.L.	SURVEY TIE LINE
U.E.	P PLATTED MEASUREMENT	CONC.	CONCRETE SLAB	☉	CENTER LINE
	D DEED	ESMT	EASEMENT	R/W	RIGHT-OF-WAY
	C CALCULATED	D.E.	DRAINAGE EASEMENT	P.U.E.	PUBLIC UTILITY EASEMENT
	L.M.E. LAKE OR LANDSCAPE MAINT.	L.B.E.	LANDSCAPE BUFFER EASEMENT	C.M.E.	CANAL MAINTENANCE EASEMENT
	R.O.E. ROOF OVERHANG EASEMENT	L.A.E.	LIMITED ACCESS EASEMENT	A.E.	ANCHOR EASEMENT

### Property Address:

9181 Abbott Avenue (Vacant Land)  
Surfside, FLORIDA 33154

### General Notes:

- The Legal Description used to perform this survey was supplied by others. This survey does not determine or is not to imply ownership
- This survey only shows above ground improvements. Underground utilities, footings, or encroachments are not located on this survey map
- If there is a septic tank, well, or drain field on this survey, the location of such items was shown to us by others and the information was not verified.
- Examination of the abstract of title will have to be made to determine recorded instruments, if any, effect this property. The lands shown herein were not abstracted for easement or other recorded encumbrances not shown on the plat
- Wall ties are done to the face of the wall.
- Fence ownership is not determined.
- Bearings referenced to line noted B.R
- Dimensions shown are platted and measured unless otherwise shown.
- No identification found on property corners unless noted.
- Not valid unless sealed with the signing surveyors embossed seal.
- Boundary survey means a drawing and/or graphic representation of the survey work performed in the field. could be drawn at a shown scale and/or not to scale
- Elevations if shown are based upon NGVD 1929 unless otherwise noted
- This is a BOUNDARY SURVEY unless otherwise noted.
- This survey is exclusive for the use of the parties to whom it is certified. The certifications do not extend to any unnamed parties.
- This survey shall not be used for construction/permitting purposes without written consent from the land surveyor who has signed and sealed this survey.

### Flood Information:

Community Number: 120659  
Panel Number: 12086C0163L  
Suffix: L  
Date of Firm Index: 09/11/2009  
Flood Zone: AE  
Base Flood Elevation: 8.0  
Date of Field Work: 10/21/2019  
Date of Completion: 10/22/2019

### Legal Description:

Lot 11, of Block 6, of ALTOS DEL MAR NO. 4 , according to the plat thereof, as recorded in Plat Book 10, Page 63, of the public records of Miami-Dade County, FLORIDA

### Printing Instructions:

While viewing the survey in any PDF Reader, select the File Drop-down and select "Print". Select a color printer, if available; or at least one with 8.5" x 14" (legal) paper.  
Select ALL for Print Range, and the # of copies you would like to print out.  
Under the "Page Scaling" please make sure you have selected "None".  
Do not check the "Auto-rotate and Center" box.  
Check the "Choose Paper size by PDF" checkbox, then click OK to print.

### Certified To:

**Jeffrey R. Rose and Leah R. Rose**  
**Rapid Title Services Company**  
**Old Republic National Title Insurance Company**  
its successors and/or assigns as their interest may appear.

### Please copy below for policy preparation purposes only:

*This policy does not insure against loss or damage by reason of the following exceptions: Any rights, easements, interests, or claims which may exist by reason of, or reflected by, the following facts shown on the survey prepared by Efrain Lopez dated 10/22/2019 bearing Job # B-64194 :*

a. NO NOTES



### M.E. Land Surveying, Inc.

10665 SW 190th Street, Suite 3110 Miami, FL 33157  
Phone: (305) 740-3319  
Fax: (305) 669-3190  
LB#: 7989





## MEMORANDUM

To: Planning and Zoning Board

Thru: Guillermo Olmedillo, Town Manager

From: Sarah Sinatra Gould, AICP, Town Planner

CC: Lillian Arango, Town Attorney

Date: February 27, 2020

Re: 8826 Froude Avenue – New 2 Story Home

---

The property is located at 8826 Froude Avenue, within the H30B zoning district. The applicant is requesting to build a new 3,672 square foot two-story home. The plans include a new driveway, porch, sun deck, pool and pool deck.



Staff has reviewed the current application for consideration by the Planning & Zoning Board. In this report Staff presents the following:

- Applicable Zoning Code regulations, along with the results of the review
- Applicable Design Guideline standards, along with the results of the review
- Staff Findings

## STANDARDS / RESULTS

### Town of Surfside Zoning Code, Applicable Requirements

**Sec. 42.92 Lowest Floor Elevation**

Residential	Lowest Floor	Proposed
Single-Family Residential	Base Flood +2	10

**Sec. 90.43 Maximum building heights**

Height	Required Maximum	Proposed
H30B	30 feet	26'4" from crown of road

**Sec. 90-45. Setbacks**

H30A AND H30B UPPER STORY FLOOR AREA IS 50% TO 64% OF FIRST STORY AREA	Required	Proposed
<i>Maximum Lot Coverage</i>	40%	40% (2,247/5,625=0.399)
<b>FIRST STORY (UP TO 15 FT IN HEIGHT)</b>		
Primary frontage	Minimum 20 FT	20'
Interior side (Lots less than 50 feet in width)	5 FT	5' / 5'9"
Rear	Minimum 20 FT	32'7"
<b>UPPER STORY OR WALL PLANES GREATER THAN 15 FT IN HEIGHT</b>		
Primary frontage	Minimum 20 FT / Average 25	Average is greater than 25'
Interior side (lots equal to or less than 50' in width) – Wall length is equal to or greater than 25% of the lot depth	Minimum 5 FT / Average 7.5'	Average is 10'4"
Rear	Minimum 20 FT / Average n/a	Average us greater than 25'

**Sec. 90-47. – Yards generally, allowable projections**

	Required	Proposed (Resub)
Every part of a required yard shall be open to the sky, except ordinary projections of sills, cornices, roof eaves and ornamental features	May project not more than 24 inches into any required yard	Projections do not extend more than 24" into the required setback

Air conditioning equipment, pool pump or other mechanical equipment may be located in a required rear setback, provided;	<ul style="list-style-type: none"> <li>a. such equipment is at least 15 feet from any other single-family or two-family residence</li> <li>b. shall maintain at least a five-foot setback from the rear and side yards</li> <li>c. is not visible from any street or waterway</li> </ul>	<ul style="list-style-type: none"> <li>a. A/C on 2<sup>nd</sup> floor balcony. Show that the pool equipment is setback at least 15' from your neighboring home.</li> <li>b. &gt;5' setback</li> <li>c. Not visible</li> </ul>
Open, unenclosed building entrance porches, platforms, stairs or paved terraces, not covered by a roof or canopy, and which do not extend above the level of the grade or entrance floor of the building	<ul style="list-style-type: none"> <li>a) May extend or project into the required front or side yard no more than six feet</li> <li>b) and the encroachments shall not provide less than a 24-inch setback to the property line.</li> </ul>	<ul style="list-style-type: none"> <li>A) Does not extend beyond the max 6'</li> <li>B) Does not encroach</li> </ul>

**Sec. 90.49 Lot standards**

Lot Standards H30A	Required	Proposed
Minimum Lot width	50 feet	50 feet
Minimum lot area	8,000 feet	5,625 SF
Maximum lot coverage	40%	40% (2,247/5,625=0.399)
Pervious area	35% (minimum)	35% (2,050/5,625=0.36)

**Sec. 90.50 Architecture and roof decks**

	Required	Proposed
Unique Elevation	<p>A unique elevation from the main buildings of the adjacent two (2) homes shall be created through the modulation of at least three (3) of the following architectural features:</p> <ul style="list-style-type: none"> <li>(a) Length, width and massing of the structure;</li> <li>(b) Number of stories;</li> <li>(c) Façade materials;</li> <li>(d) Porches and other similar articulation of the front façade;</li> <li>(e) Number and location of doors and windows; and</li> <li>(f) Roof style and pitch.</li> </ul>	<p>A unique elevation from the main buildings of the adjacent two (2) homes is created through the modulation of;</p> <ul style="list-style-type: none"> <li>(a) Length, width and massing of the structure</li> <li>(b) Number of stories</li> <li>(c) Roof style and pitch</li> </ul>
Wall openings	10% for all elevations	+10% for all elevations
Roof Material	<ul style="list-style-type: none"> <li>(a) Clay Tile;</li> <li>(b) White concrete tile;</li> </ul>	Standing seam metal roof bronze. Requires

	<p>(c) Solid color cement tile which color is impregnated with the same color intensity throughout, provided said color if granted approval by the Design Review Board;</p> <p>(d) Architecturally embellished metal if granted approval by the Design Review Board; or</p> <p>(e) Other Florida Building Code approved roof material(s) if granted approval by the Design Review Board.</p>	approval by the Design Review Board
--	--	-------------------------------------

**Sec. 90.54 Accessory Structures**

	Required	Proposed
<b>Accessory buildings</b>	<p>90-54.2 Accessory swimming pools and decks, open and unenclosed, or covered by a screen enclosure, may occupy a required rear, front, or side setback, subject to the following minimum setbacks:</p> <p>(a) Rear: Five feet.</p> <p>(b) Interior side: Five feet.</p> <p>(c) Primary (front) and secondary (Corner): Ten feet.</p>	<p>(a) 5'8"</p> <p>(b) 6'</p> <p>(c) +10'</p>

**Sec. 90.56 Fences, walls and hedges**

	Required	Proposed
<b>Fence</b>	<p>90-56.1.A</p> <p>A fence or ornamental wall not more than six feet in height, as measured from grade, may project into or enclose an interior side or rear yard only.</p>	6' proposed

**Sec. 90.61 Paving in front and rear yards in H30 and H40 Districts**

Paving Yards	Required	Proposed
Front setback permeability	50% minimum	>50%

Front yard landscaped	30% minimum	>30%
Rear yard landscaped	20% minimum	>42.2%
Number of Curb Cuts	One minimum	1
Curb Cut side set back	5 feet minimum	>5 feet
Curb cut width	1 curb cut, not more than 18' in width	1 curb cut 11'7" in width
Driveway Materials	Limited to the following 1. Pavers 2. Color and texture treated concrete, including stamped concrete 3. Painted concrete shall not be permitted. 4. Asphalt shall not be permitted.	Concrete paver driveway

**Sec. 90-77 Off-Street Parking Requirements**

Required	Minimum Space Requirements	Proposed
Single-family	2 spaces	+ 2 spaces

**Sec. 90-89.4(6). Street Tree Requirements**

Required	Required	Proposed
Street trees shall be required at one shade tree/palm tree per 20 linear feet of street frontage thereof along all public or private street right-of-ways in all zoning districts.	2 trees	2 trees

**Sec. 90-95. Single-family H30A and H30B district landscape requirements.**

Required	Required	Proposed
A minimum of five trees of two different species and 25 shrubs shall be planted per lot.	5 trees, 25 shrubs	6 palms and more than 25 shrubs

**Town of Surfside Adopted Residential Design Guidelines**

***Building Massing***

Required	Proposed
Building forms should be varied enough to avoid monotony and to avoid pyramidal massing and should be compatible with surrounding houses.	Consistent

***Decorative Features***

Required	Proposed
----------	----------

Decorative features should be stylistically consistent throughout the entire building.	Consistent
--	------------

**Overall Architectural Style**

Required	Proposed
The overall style of each house should be consistent on all sides of the building, as well as among all portions of the roof.	Consistent

**Wall Materials and Finishes**

Required	Proposed
The same material should be used on all building elevations unless multiple materials are a legitimate expression of the particular style.	Consistent

**Roof Materials, Types, and Slopes**

Required	Proposed
Roof types and slopes should be generally the same over all parts of a single building.	The applicant is proposing a pitched roof (4/12 pitch) with small portions being flat
Restricted materials for roofs are pre-determined in the Town's Building Code, which restricts roofing materials to: 1. Clay tile; 2. White concrete tile; 3. Solid color cement tile which color is impregnated with the same color intensity throughout, provided said color is first approved by the planning and zoning board; and 4. Metal.	Standing seam metal roof bronze – requires approval by the Design and Review Board

**Windows and Trims**

Required	Proposed
Window styles should always be consistent among all elevations of a building.	Consistent
Frame materials should never vary on a single building.	Consistent
Window, door and eave trim should be consistent on all elevations of the house	Consistent

**FINDINGS**

Staff finds the application meets the Code.

FEES 20 11:28AM

TOWN OF SURFSIDE



DRB Meeting	02/27/2020
Application / Plans Due	02/06/2020

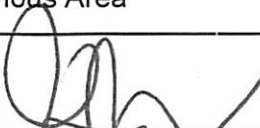
**TOWN OF SURFSIDE  
SINGLE-FAMILY and TWO-FAMILY SITE PLAN APPLICATION**

A complete submittal includes all items on the "Single-Family and Two-Family Site Plan Application Submission Checklist" document as well as completing this application in full. The owner and agent must sign the application with the appropriate supplemental documentation attached. Please print legibly in ink or type on this application form.


<u>PROJECT INFORMATION</u>	
OWNER'S NAME	SURFSIDE 8826 LLC
PHONE / FAX	954-530-4730 / 954-530-1905
AGENT'S NAME	MARCI VARCA
ADDRESS	280 W. HILLSBORO BLVD. DEERFIELD BEACH FL, 33441
PHONE / FAX	954-530-4370 / 954-530-1905
PROPERTY ADDRESS	8826 FROUDE AVE. SURFSIDE 33154
ZONING CATEGORY	RS-2
DESCRIPTION OF PROPOSED WORK	NEW HOME SINGLE FAMILY 2 STORY (REVISED)

<u>INTERNAL USE ONLY</u>		CHK # 1003
Date Submitted	2.5.2020	Project Number
Report Completed	2.6.2020	Date
Fee Paid	\$ 200.00	2.5.2020

<u>ZONING STANDARDS</u>	Required	Provided
Plot Size	5600 #	5600 #
Setbacks (F/R/S)	20'   15'   5'+5'	20'   32'-7"   5'-8" + 5'-9"
Lot Coverage	40% MAX = 2250 SF	2247 SF (39.94%)
Height	30' FROM HIGHEST CROWN OF ROAD	26'-4" TOP OF 2ND FL TIE BEAM
Pervious Area	NO MORE THAN 80% 2050 x .80 = 1640 #	1031 # (45%)

  
SIGNATURE OF OWNER

1-27-2020  
DATE

  
SIGNATURE OF AGENT

1-27-2020  
DATE





**TOWN OF SURFSIDE**  
**SINGLE-FAMILY and TWO-FAMILY SITE PLAN APPLICATION**  
**PLANNING AND ZONING BOARD Rules and Procedures (June 2002)**

The Planning and Zoning Board shall generally meet the last Thursday of each month at 7:00 pm. at Town Hall.

Plans and completed applications (including all supporting documentation) must be submitted to the Building Department at least 21 days prior to the meeting, with the payment of applicable fees (example: \$200.00 for Plan Review for Zoning), at which time they will be considered. Incomplete plans and applications will not be processed.

The applicant or duly authorized agent (per ownership affidavit) must be present at the meeting. If there are no applications for consideration by the Planning and Zoning Board, the monthly meeting may be cancelled at the discretion of the Chairman of the Board.

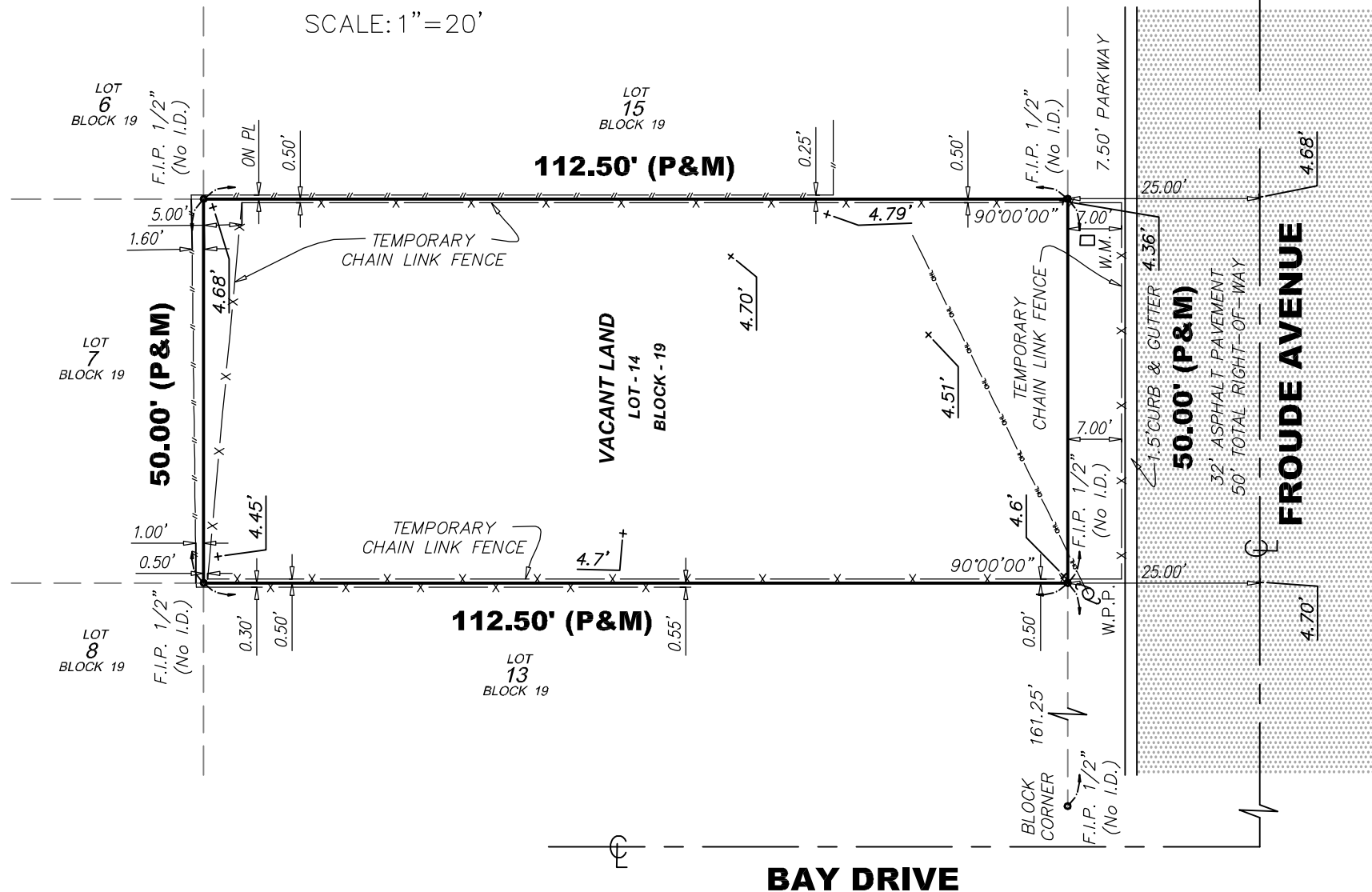
Please advise the name of the Representative who will attend the hearing on behalf of this application:

MARCI VARCA  
NAME OF REPRESENTATIVE

1-27-2020  
DATE



SCALE: 1"=20'



### BOUNDARY SURVEY

#### LEGEND & ABBREVIATIONS:

= CONCRETE	B.C. = BLOCK CORNER	U.E. = UTILITY EASEMENT
= CONC. BLOCK WALL	P = PROPERTY LINE	A.E. = ANCHOR EASEMENT
= WOOD DECK	C = CENTER LINE	D.E. = DRAINAGE EASEMENT
= COVERED AREA	M = MONUMENT LINE	ENCR. = ENCROACHMENT
= ASPHALT	CALC. = CALCULATED	F.F. ELEV. = FINISHED FLOOR ELEVATION
-x-x- = CHAIN LINK FENCE (CLF)	M. = FIELD MEASURED	N.T.S. = NOT TO SCALE
-//-// = WOOD FENCE (WF)	P. = PER PLAT	P.B. = PLAT BOOK
-o-o- = IRON FENCE (IF)	TYP. = TYPICAL	O.R.B. = OFFICIAL RECORD BOOK
A = ARC DISTANCE	P.R.M. = PERMANENT REFERENCE MONUMENT	M.H. = MAN HOLE
L = LENGTH	P.C.P. = PERMANENT CONTROL POINT	C.B.S. = CONCRETE BLOCK STRUCTURE
Δ = CENTRAL ANGLE / DELTA	FD. NAIL = FOUND NAIL	BLDG. = BUILDING
R = RADIUS	FD. D/H = FOUND DRILL HOLE	O.H.L. = OVERHEAD UTILITY LINES
T = TANGENT	FD. 1/2" I.P. = FOUND IRON PIPE 1/2" DIAMETER	TEL. = TELEPHONE FACILITIES
P.T. = POINT OF TANGENCY	C.M. = CONCRETE MONUMENT	
P.C. = POINT OF CURVATURE	W.M. = WATER METER	
P.C.C. = POINT OF COMPOUND CURVE	R/W = RIGHT OF WAY	
C.B. = CATCH BASIN		
CATV = CABLE UTILITY BOX		

P.R.C. = POINT OF REVERSE CURVE	ELEV. = ELEVATION
CH = CHORD	SEC. = SECTION
CH. BRG. = CHORD BEARING	TWS. = TOWNSHIP
B.M. = BENCH MARK	RG. = RANGE
B.R. = BEARING REFERENCE	SWK = SIDEWALK
P.O.A. = POINT OF COMMENCEMENT	
P.O.B. = POINT OF BEGINNING	
T.B.M. = TEMPORARY BENCH MARK	
P.O.B. = POINT OF BEGINNING	
T.B.M. = TEMPORARY BENCH MARK	
FD. I.R. = FOUND IRON REBAR	
FD. P.K.NAIL = FOUND PARKER-KALON NAIL	
P.S.M. = PROFESSIONAL SURVEYOR AND MAPPER	
A/C = AIR CONDITIONER PAD	
TX = TRANSFORMER	
P.P. = POWER POLE	
D.M.E. = DRAINAGE & MAINTENANCE EASEMENT	
+ 0.0' = EXISTING ELEVATION	

ELEV. = ELEVATION  
SEC. = SECTION  
TWS. = TOWNSHIP  
RG. = RANGE  
SWK = SIDEWALK

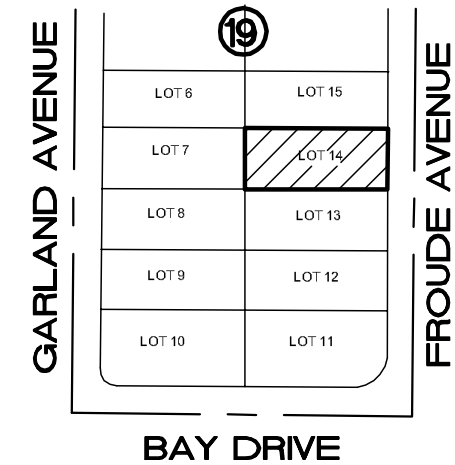
I HEREBY CERTIFY THAT THE SURVEY REPRESENTED THEREON MEETS THE MINIMUM TECHNICAL REQUIREMENTS ADOPTED BY THE STATE OF FLORIDA BOARD OF LAND SURVEYORS PURSUANT TO SECTION 472.027 FLORIDA STATUTES. THERE ARE NO ENCROACHMENTS, OVERLAPS, EASEMENTS APPEARING ON THE PLAT OR VISIBLE EASEMENTS OTHER THAN AS SHOWN HEREON.

ADIS N. NUNEZ  
REGISTERED LAND SURVEYOR  
STATE OF FLORIDA #5924

SINCE 1987  
**BLANCO SURVEYORS INC.**  
Engineers • Land Surveyors • Planners • LB # 0007059  
555 NORTH SHORE DRIVE  
MIAMI BEACH, FL 33141  
Email: blancosurveyorsinc@yahoo.com Fax: (305) 865-7810

FLOOD ZONE: AE	SUFFIX: L	FEMA DATE: 09/11/09	BASE: 8'
PANEL: 0307	COMMUNITY # 120659		
DATE: 2/5/20	SCALE: 1" = 20'	DWN. BY: R.BELLO	JOB No. 20-157

LOCATION MAP  
NOT TO SCALE



PROPERTY ADDRESS: 8826 FROUDE AVE., SURFSIDE, FL. 33154

CERTIFIED TO:  
ROTH LAW, P.A.  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY  
SURFSIDE 8826, LLC

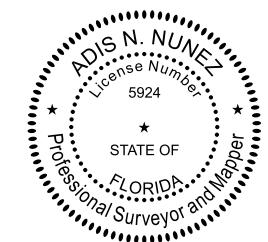
LEGAL DESCRIPTION: LOT 14, BLOCK 19, SECOND AMENDED PLAT OF NORMANDY BEACH, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 16, PAGE 44, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

#### SURVEYOR'S NOTES:

- 1) OWNERSHIP SUBJECT TO OPINION OF TITLE.
- 2) NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- 3) THE SURVEY DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE.
- 4) LEGAL DESCRIPTION PROVIDED BY CLIENT.
- 5) UNDERGROUND ENCROACHMENTS NOT LOCATED.
- 6) ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929.
- 7) OWNERSHIP OF FENCES ARE UNKNOWN.
- 8) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- 9) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK FOR BUILDING AND ZONING INFORMATION.
- 10) EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THIS PROPERTY.
- 11) ELEVATIONS BASED OFF OF BM# Y-313 RESET LOC# 3 220 ELEV. 10.26'

ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.  
BEARINGS WHEN SHOWN ARE REFERRED TO AS ASSUMED VALUE OF SAID PB: 16 PG: 44

NOT VALID UNLESS EMBOSSED WITH  
**SURVEYOR'S SEAL**



**SITE INFORMATION**

CITY OF SURFSIDE FLORIDA

PRIMARY LAND USE-SINGLE FAMILY

BASE FLOOD ELEV. (AH-8.00')

**LEGAL DESCRIPTION**

NORMANDY BEACH 2ND AMENDMENT FLAT, LOT 14 BLOCK 19 IN THE FLAT THEREOF AS RECORDED IN PLAT BOOK 16-44, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.

FOLIO NUMBER 14-2235-005-2960

CONSTRUCTION & OCCUPANCY TYPE

TYPE VB- CONSTRUCTION  
OCCUPANCY TYPE : GROUP R-3  
FLORIDA BUILDING CODE 2011, 6TH EDITION  
FLOOD ZONE : AH-8.00NAVD.

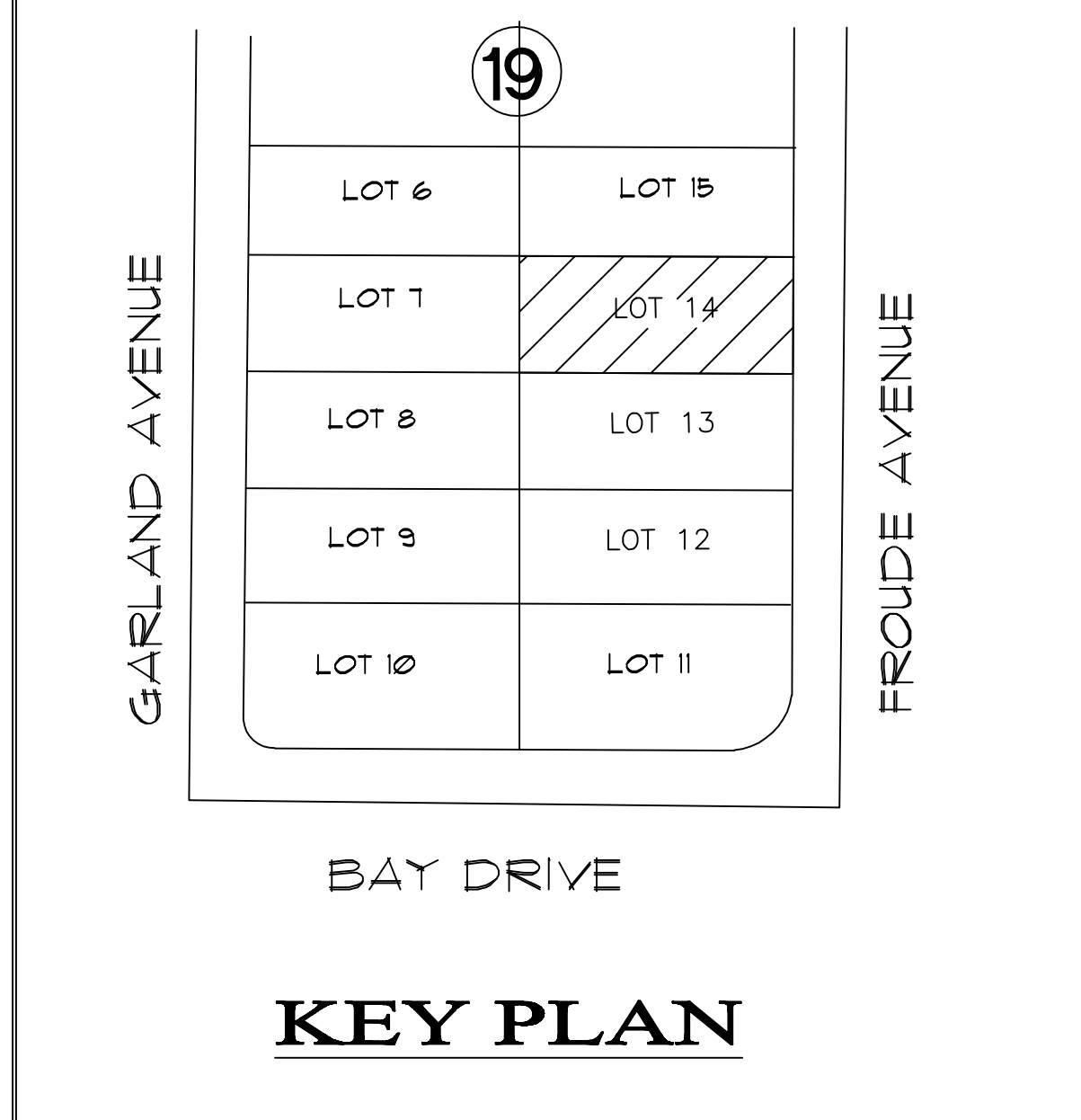
DESCRIPTION	REQUIREMENT	PROVIDED ON SITE
<b>SET BACKS</b>		
FRONT	20'-0" MIN.	20'-0"
SIDE	5'-0"/5'-0" MIN.	5'-8"/5'-9"
REAR	20'-0" MIN.	32'-1"
<b>HEIGHT</b>	30'-0" FROM HIGHEST CROWN OF ROAD	26'-4"
<b>LOT COVERAGE:</b>	40% MAXIMUM 4X 5,625 SF. + 2,250 SF.	2,241 SF. (39.94%)
<b>REAR YARD</b>	50'x20' = 1000 SF. MIN 20% PERVIOUS REQUIRED SEC 92-61	422 SF. ( 42.2%)
<b>LOT CALCULATIONS</b>		
SITE AREA 50' X 12.5'	5,625 SF. (100%)	
BUILDING FOOTPRINT*	2,241 SF. (39.94%)	
POOL AND DECK*	1,041 SF. (18.50%)	
DRIVEWAY	281 SF. (5.10%)	
<b>TOTAL IMPERVIOUS*</b>	3,563 SF. (63.55%)	
<b>TOTAL PERVIOUS *</b>	2,062 SF. (36.45%) PROVIDED MIN 35% REQUIRED	

**LIST OF DRAWINGS:**

- TS1 SITE PLAN
- L1 LANDSCAPE PLAN

**ARCHITECTURAL**

- A1 FIRST FLOOR PLAN
- A2 SECOND FLOOR PLAN
- A3 ELEVATIONS
- A4 ELEVATIONS



**SECOND STORY WALL SETBACK CALCULATIONS**

FRONT YARD: MINIMUM SETBACK 20' / AVERAGE 25'  
SECOND STORY STRUCTURE WIDTH EAST SIDES = 35'-2" MAX  
TOTAL LINEAR FOOTAGE AT FRONT (EAST) FACADE = 35.16' (100%)  
2'-4 1/2" FROM FRONT PROPERTY LINE = 5.62%  
8'-10" @ 31'-0" FROM FRONT PROPERTY LINE = 25.12%  
10'-4" @ 25'-8" FROM FRONT PROPERTY LINE = 29.15%  
14'-1" @ 26'-4" FROM FRONT PROPERTY LINE = 40.09%  
TOTAL = 100%

100% OF FRONT WALL ON SECOND FLOOR IS MORE THAN 25' BACK FROM FRONT PROPERTY LINE

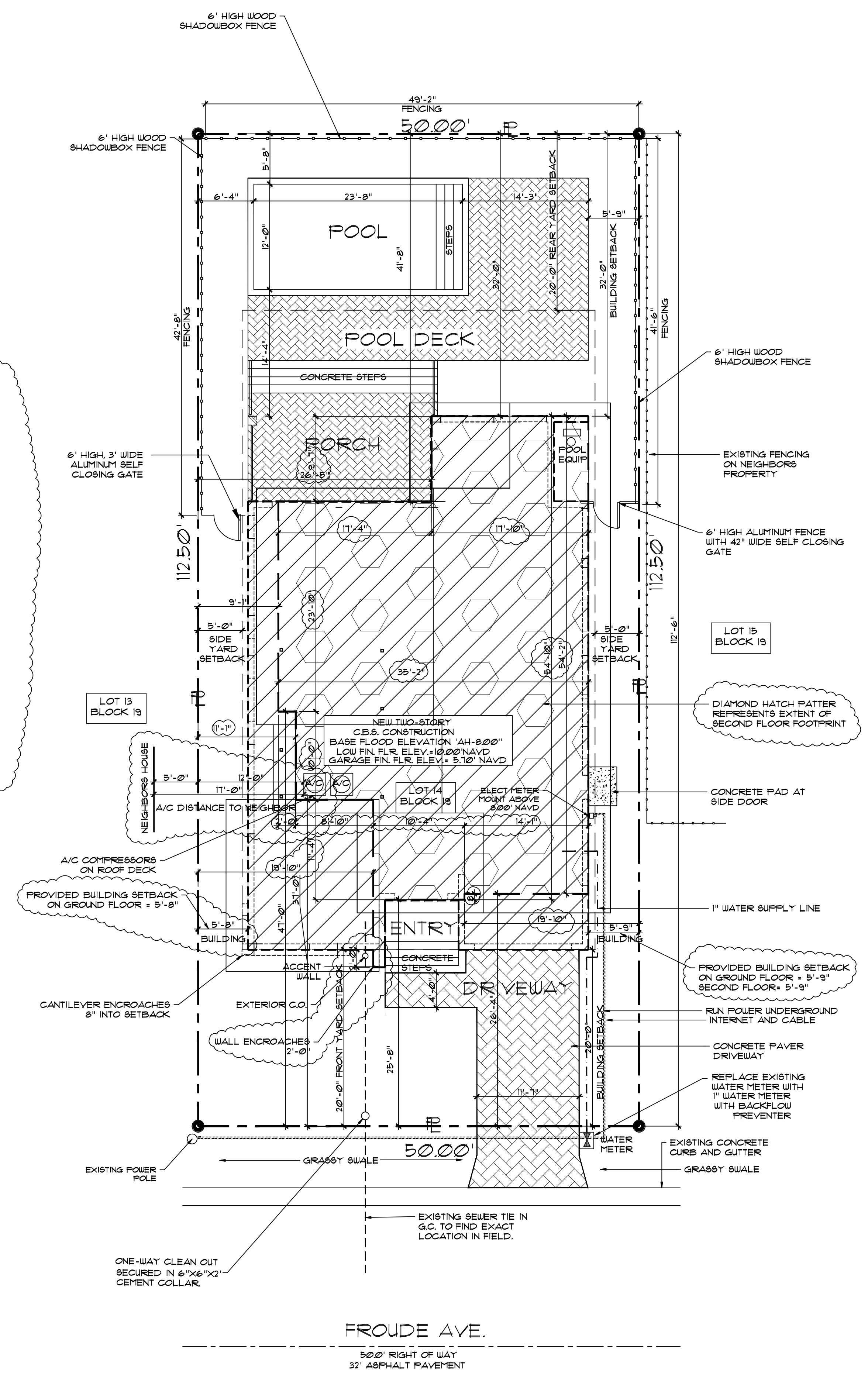
REAR YARD: MINIMUM SETBACK 25'  
SECOND STORY STRUCTURE WIDTH WEST SIDES = 35'-2" MAX  
TOTAL LINEAR FOOTAGE AT REAR (WEST) FACADE = 35.16' (100%)  
11'-10" @ 32' BACK FROM REAR PROPERTY LINE = 50.68%  
17'-4" @ 41'-8" BACK FROM REAR PROPERTY LINE = 49.32%  
100% OF REAR WALL ON SECOND FLOOR IS MORE THAN 25' BACK FROM REAR PROPERTY LINE

INTERIOR SIDE, MIN 5' / AVERAGE SETBACK 15'  
TOTAL BUILDING LENGTH ON NORTH/SOUTH SIDES = 54'-10" X 2 = 109.6' (100%)

**NORTH WALL:**  
5'-2" @ 5'-9" FROM NORTH PROPERTY LINE = 49.1%  
8' @ 19'-10" FROM NORTH PROPERTY LINE = 2%

**SOUTH WALLS:**  
9'-1" @ 26'-5" FROM SOUTH PROPERTY LINE = 8.54%  
23'-10" @ 9'-1" FROM SOUTH PROPERTY LINE = 21.63%  
10'-10" @ 11'-1" FROM SOUTH PROPERTY LINE = 9.18%  
11'-4" @ 19'-10" FROM SOUTH PROPERTY LINE = 10.33%

AVERAGE WALL SETBACK ON SECOND FLOOR = 10'-4"



FROUDE AVE.  
50'0" RIGHT OF WAY  
32' ASPHALT PAVEMENT

**SITE PLAN**  
SCALE: 1/8" = 1'-0"

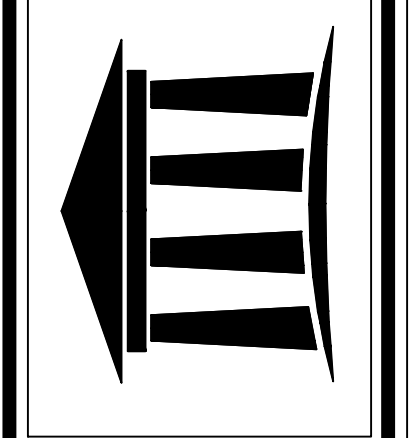
SEAL

ALL SEAL, AMENDMENT, AND PLANS INDICATED OR REPRESENTED BY THIS SEAL ARE THE PROPERTY OF GERALD BELGRAVE DESIGNS, LLC AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF GERALD BELGRAVE DESIGNS, LLC. ANY REPRODUCTION OR COPIING OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF GERALD BELGRAVE DESIGNS, LLC IS STRICTLY PROHIBITED. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

**REVISIONS**

NO.	DATE	REVISION
2-4	2020	FORMAL REVIEW
2-8	2020	STAFF COMMENTS

**GERALD BELGRAVE DESIGNS, LLC**  
Architect - Planner - Interior Designer  
4823 NW 66th Ave. LAUDERHILL, FLORIDA 33319  
Phone (354) 298-2540  
Arch. Reg. No. 15,095



**NEW SINGLE FAMILY RESIDENCE**  
**8826 FROUDE AVE**  
**SURFSIDE, FLORIDA**

2E011	Date: 2-26-2019	Drawn by: JB	Checked: CB
ARCHITECTURE			
Drawing No. TS1			

**BUILDING OCCUPANCY**  
 R3 - OCCUPANCY  
 TYPE VB CONSTRUCTION  
 CODE IN EFFECT - 2011 F.B.C.  
 6th EDITION

**SCOPE OF WORK**  
 NEW 2-STORY RESIDENCE

**WALL SYMBOL LEGEND**

NEW 8" CONCRETE BLOCK WALL, FINISH INTERIOR WITH 1/2" DRYWALL OVER 1x3 FT. WOOD FURRING @ 24" O.C. WITH R-4.1 BETWEEN FINISH EXTERIOR SIDE WITH 5/8" STUCCO, PAINT. USE 1/2" GREENBOARD IN ALL WET AREAS AND 1/2" DURA-ROCK IN SHOWER TO CEILING STUCCO BLOCK WALLS ONLY IN GARAGE.

NEW 4" WOOD STUD INTERIOR BEARING PARTITION, SPACE 2x4 STUDS @ 16" O.C. FINISH WITH 5/8" DRYWALL BOTH SIDES.

NEW METAL STUD PARTITION, USE 25 GA STUDS @ 16" O.C. FINISH WITH 1/2" DRYWALL, USE 1/2" GREENBOARD IN WET AREAS AND 1/2" DURA-ROCK IN SHOWER AREA TO CEILING PAINT, TILE IN SHOWER TO CEILING.

**FIRST FLOOR EXTERIOR DOOR AND WINDOW SCHEDULE**

PK	MARK	MATERIAL	MASONRY OPENING	UNIT TYPE	FRAME	LOCATION	REMARKS	APPROVED PRESSURE POUNDS	REQUIRED PRESSURE POUNDS	PRODUCT APPROVAL	GLASS TYPE LAMP	FASTENER TYPE/SIZE	SPACING EDGE 4 O.C.	YES/NO	NOA*	MILLION BARS	U VALUE	SHADING COEFFICIENT
(A)	1090	METAL	12'x10'0"	DR. GARAGE	METAL	EXTERIOR	FLUSH	xx PPF	446-56 PPF	xx	N/A	1/4" TAPCON	9 8 -	NO				
(B)	PR-3020	METAL	7'4"x10'0"	ENTRY	METAL	EXTERIOR	SINGLE PANE	40-7-BOPSF	49-53 PPF	18.022.11	N/A	1/4" TAPCON	6 10 6	NO			1.02	3.0
(C)	3050	METAL	36-3/4"x36-0"	FIXED	METAL	EXTERIOR	SINGLE PANE	40-7-BOPSF	49-56 PPF	11.018.12	N/A	1/4" TAPCON	3 5 3	NO			1.02	3.0
(D)	10020	METAL	12'0"x24"	FIXED	METAL	EXTERIOR	SINGLE PANE	40-7-BOPSF	49-56 PPF	11.018.12	N/A	1/4" TAPCON	10 2 10	NO			1.02	3.0
(E)	5850	METAL	6'8"x24"	FIXED	METAL	EXTERIOR	SINGLE PANE	40-7-BOPSF	49-57 PPF	11.018.12	N/A	1/4" TAPCON	5 2 5	NO			1.02	3.0
(F)	(41-3080)	METAL	14'0"x36"	FIXED	METAL	EXTERIOR	SINGLE PANE	40-7-BOPSF	49-57 PPF	11.018.12	N/A	1/4" TAPCON	12 8 12	NO			1.02	3.0
(G)	8050	METAL	9'6"x36"	S.G.D.	METAL	EXTERIOR	OX	40-7-BOPSF	49-54 PPF	11.018.12	N/A	1/4" TAPCON	9 8 9	YES			1.02	3.0
(H)	8050	METAL	12'0"x36"	S.G.D.	METAL	EXTERIOR	OX	40-7-BOPSF	49-54 PPF	11.018.12	N/A	1/4" TAPCON	12 8 12	NO			1.02	3.0
(I)	7640	METAL	36-3/4"x12"	CASEMENT	METAL	EXTERIOR	SINGLE PANE	40-7-BOPSF	49-56 PPF	18.016.04	N/A	1/4" TAPCON	3 6 3	NO			1.02	3.0
(J)	3050	METAL	36-3/4"x36"	FIXED	METAL	EXTERIOR	SINGLE PANE	40-7-BOPSF	49-57 PPF	11.018.12	N/A	1/4" TAPCON	3 3 3	NO			1.02	3.0
(K)	3050	METAL	36-3/4"x36"	FIXED	METAL	EXTERIOR	SINGLE PANE	40-7-BOPSF	49-61 PPF	18.016.04	N/A	1/4" TAPCON	3 1 3	YES			1.02	3.0
(L)	3050	METAL	36-3/4"x36"	FIXED	METAL	EXTERIOR	SINGLE PANE	40-7-BOPSF	49-61 PPF	18.016.04	N/A	1/4" TAPCON	3 3 3	YES			1.02	3.0
(M)	3-3020	METAL	11'0"x36"	FIXED	METAL	EXTERIOR	SINGLE PANE	40-7-BOPSF	49-61 PPF	11.018.12	N/A	1/4" TAPCON	9 1 9	YES			1.02	3.0
(N)	3-3050	METAL	FIXED	METAL	EXTERIOR	SINGLE PANE	40-7-BOPSF	49-61 PPF	11.018.12	N/A	1/4" TAPCON	3 8 3	NO					
(O)	2880	METAL	34-1/2"x36"	FIXED	METAL	EXTERIOR	SEE ELEVATIONS	40-7-BOPSF	49-1016 PPF	11.018.12	N/A	1/4" TAPCON	3 2/3 3	YES			1.02	3.0
(P)	2880	METAL	34"x25"x34"	FIXED	METAL	EXTERIOR	SEE ELEVATIONS	40-7-BOPSF	49-1016 PPF	11.018.12	N/A	1/4" TAPCON	3 3 3	YES			1.02	3.0
(Q)	2880	METAL	34"x34"x44"	FIXED	METAL	EXTERIOR	SEE ELEVATIONS	40-7-BOPSF	49-1016 PPF	11.018.12	N/A	1/4" TAPCON	3 3/4 3	YES			1.02	3.0
(R)	2660	METAL	30-3/4"x12"	FIXED	METAL	EXTERIOR	SINGLE PANE	40-7-BOPSF	49-56 PPF	11.018.12	N/A	1/4" TAPCON	3 6 3	NO			1.02	3.0

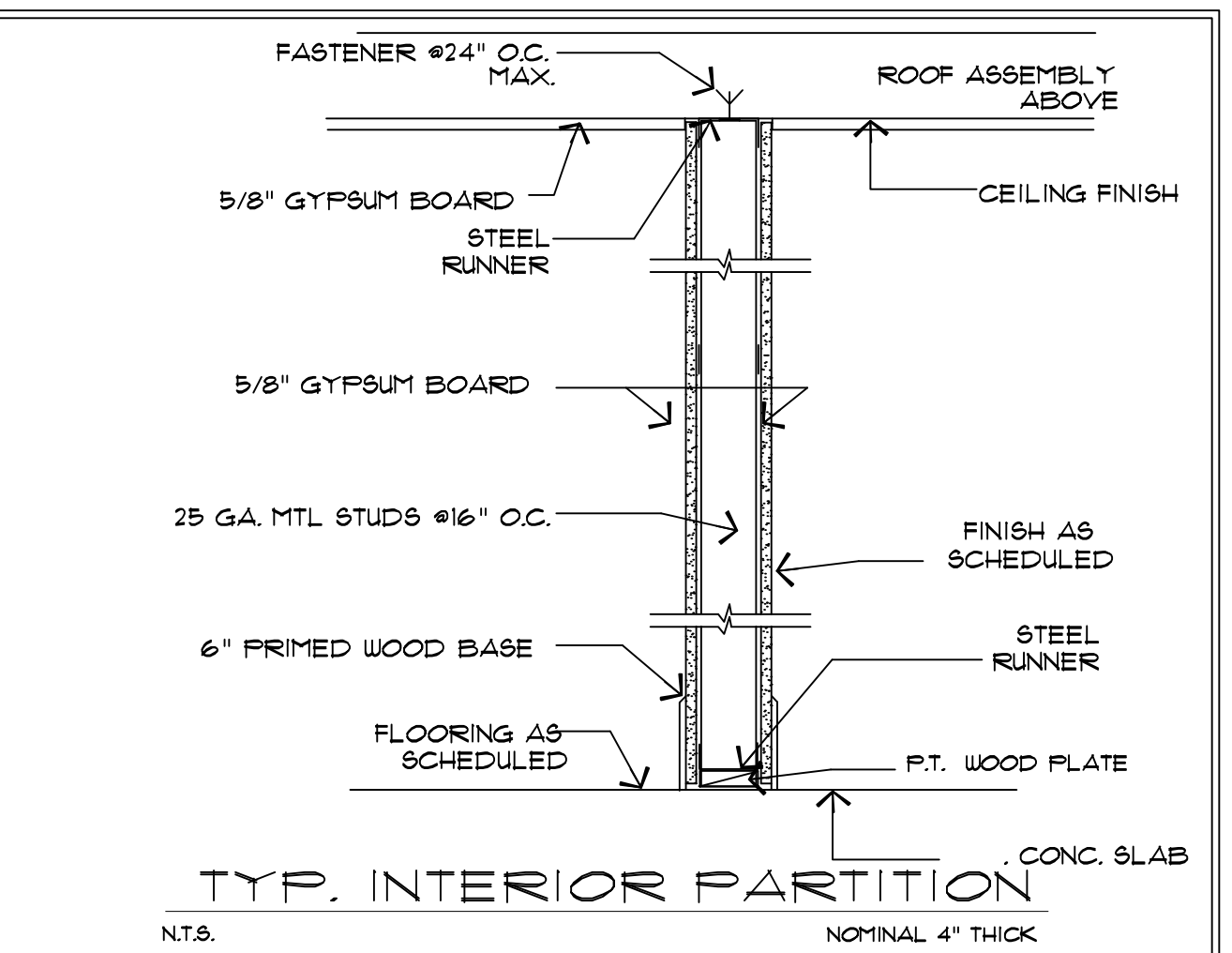
APPROVED PRODUCT APPROVALS FOR EXTERIOR DOORS AND WINDOWS TO BE SUBMITTED WITH PERMIT PLANS. ALL GLASS SHALL BE IMPACT RESISTANT. \*TINTED GREY, UNLESS NOTED OTHERWISE. ALL EXTERIOR DOORS AND WINDOWS BY 25 WINDOW FRAMES TO BE BRONZE. FASTENERS SHALL BE SPACED MIN 6" FROM EDGES AND 1" O.C. THROUGHOUT.

NOTE: VERIFY ALL DOOR AND WINDOW MASONRY OPENINGS PRIOR TO COLUMN PLACEMENT. WINDOW MANUF. TO SIGN-OFF ON ALL MASONRY OPENINGS PRIOR TO INSTALLATION.

**FIRST FLOOR INTERIOR DOOR SCHEDULE**

PK	WIDTH	HEIGHT	THICKNESS	MATERIAL	TYPE	THRESHOLD	LOCK	REMARKS
(1)	2'-8"	8'-0"	1-3/4"	METAL	SWING	METAL	INSULATED, KEYS LOCK, DEAD BOLT	INSULATED DOOR, AUTO CLOSURE, 30 MIN. RATED
(2)	2'-8"	8'-0"	1-3/8"	WHC.	SWING		PASSAGE	SHAKER STYLE
(3)	2'-8"	8'-0"	1-3/8"	WHC.	SWING		PRIVACY LOCK	SHAKER STYLE
(4)	PR-2'-6"	8'-0"	1-3/8"	WHC.	POCKET		PRIVACY LOCK	SHAKER STYLE
(5)	2'-8"	8'-0"	1-3/8"	WHC.	SWING		PASSAGE	
(6)	2'-6"	8'-0"	1-3/8"	WHC.	SWING		PASSAGE	
(7)	PR-2'-6"	8'-0"	1-3/8"	WHC.	SWING		PRIVACY LOCK	SHAKER STYLE

INTERIOR DOORS TO BE MASONITE "LINCOLN"

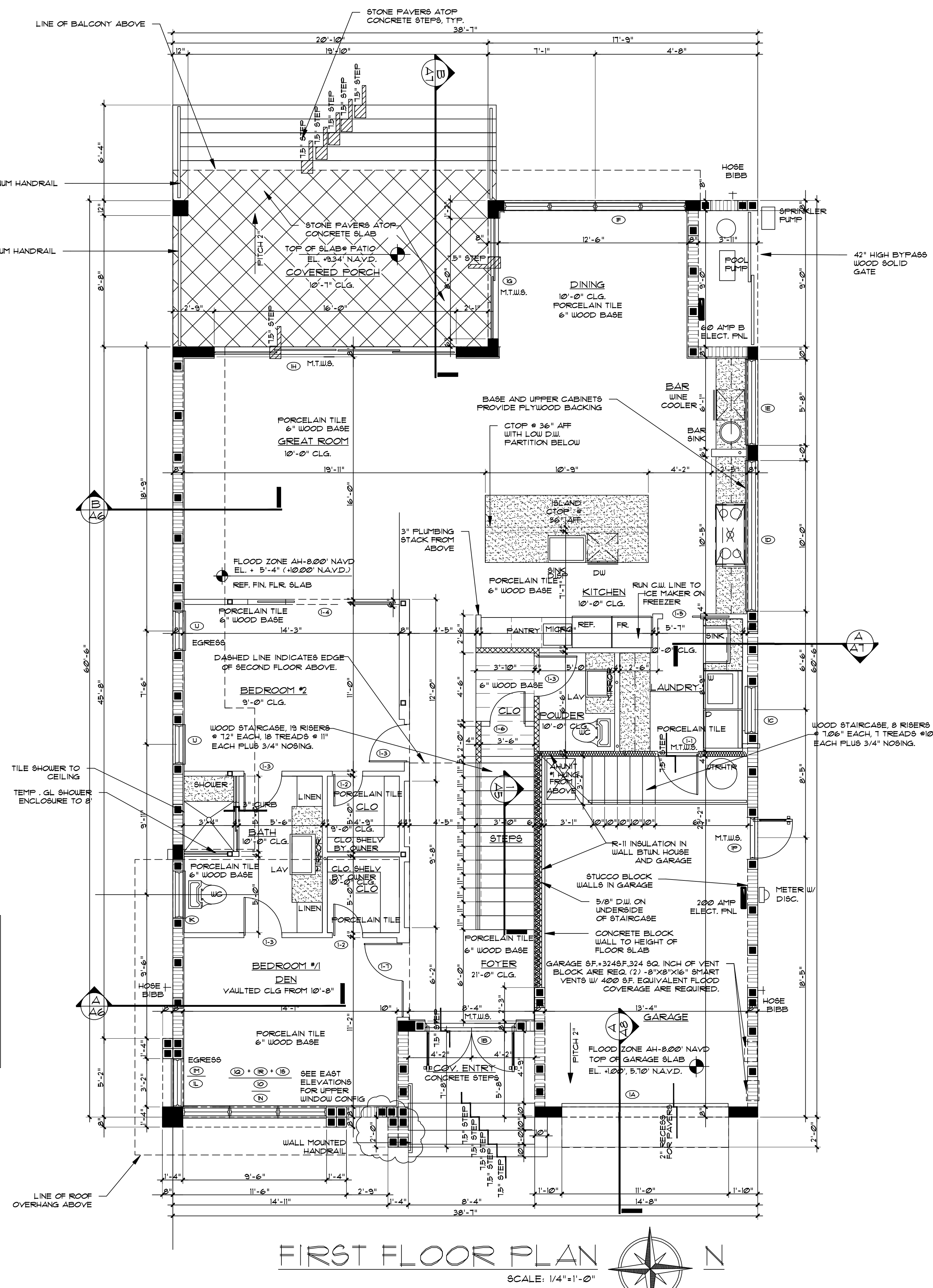


**AREA CALCULATIONS ZONING- H30B FOR 2 STORY**

A/C FIRST FLOOR	1,667 SF.
A/C SECOND FLOOR	1,425 SF.
TOTAL A/C FLOOR	3,092 SF.
GARAGE	342 SF.
FIRST FLOOR REAR PORCH	200 SF.
FIRST FLOOR FRONT PORCH	38 SF.
<b>TOTAL UNDER ROOF</b>	<b>3,672 SF.</b>
BUILDING FOOTPRINT	2,241 SF.
TOTAL SITE: 50'x112.5'	5,625 SF.
MAX. LOT COVERAGE = 40% X 5,625 SF.	2,250 SF.
LOT COVERAGE PROVIDED = 2,241 SF.	(399.4%)
LOWER STORY FLOOR AREA = 2,241 SF.	
UPPER STORY FLOOR AREA = 1,425 SF.	
1,425 SF / 2,241 SF = 63.4% RATIO OF SECOND FLOOR AREA TO FIRST FLOOR AREA	

**NOTES:**

- G.C. TO VERIFY ALL DIMENSIONS AND CONDITIONS ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.
- GLASS OR MIRRORS IMMEDIATELY SURROUNDING A BATH TUB OR SHOWER ENCLOSURE SHALL BE SAFETY GLAZED WHERE LESS THAN 60" ABOVE FLOOR OF
- ALL BATHROOM FLOORS AND BASES SHALL BE OF IMPERVIOUS MATERIAL.
- ALL FIXED GLASS SHALL BE 1/4" THICK (UNO).



**FIRST FLOOR PLAN**  
 SCALE: 1/4"=1'-0"

**SEAL**

**REVISIONS**

NO.	DATE	DESCRIPTION
1	2-4-2019	FOR ARCH REVIEW
2	2-8-2019	STAFF COMMENTS

**GERALD BELGRAVE DESIGNS, LLC**  
 Architect - Planner - Interior Designer  
 4823 NW 66th Ave. LAUDERHILL, FLORIDA 33319  
 Phone: (954) 298-2540  
 Arch. Reg. No. 15,085

**NEW SINGLE FAMILY RESIDENCE**  
**8836 FROUDE AVE**  
**SURFSIDE, FLORIDA**

2011  
 Date: 2-26-2019  
 Drawn by: JB  
 Checked: GB

ARCHITECTURE  
 Drawing No. A-1

**WALL SYMBOL LEGEND**

- NEW 8" CONCRETE BLOCK WALL.  
FINISH INTERIOR WITH 1/2" DRYWALL OVER 1X3 P.T. WOOD FURRING @ 24" O.C. WITH R-4.1 BETWEEN. FINISH EXTERIOR SIDE WITH 5/8" STUCCO. PAINT.
- NEW METAL STUD PARTITION. USE 2X6'S STUDS @ 16" O.C. FINISH WITH 1/2" DRYWALL. USE 1/2" GREENBOARD IN WET AREAS AND 1/2" DURA-ROCK IN SHOWER TO CEILING AND 1/2" DURA-ROCK IN SHOWER TO CEILING.
- ALL CEILING TO RECEIVE 5/8" DRYWALL.

**SECOND FLOOR INTERIOR DOOR SCHEDULE**

PK	WIDTH	HEIGHT	THICKNESS	MATERIAL	TYPE	THRESHOLD	DOOR TYPE	LOCK	REMARKS
2-1	2'-8"	8'-0"	1-3/8"	W.H.C.	SWING			PRIVACY LOCK	
2-2	2'-4"	8'-0"	1-3/8"	W.H.C.	SWING			PRIVACY LOCK ON BATHROOMS	
2-3	2'-4"	8'-0"	1-3/8"	W.H.C.	SWING			PRIVACY LOCK ON BATHROOMS	
2-4	PR 2'-4"	8'-0"	1-3/8"	W.H.C.	SWING			PRIVACY LOCK	

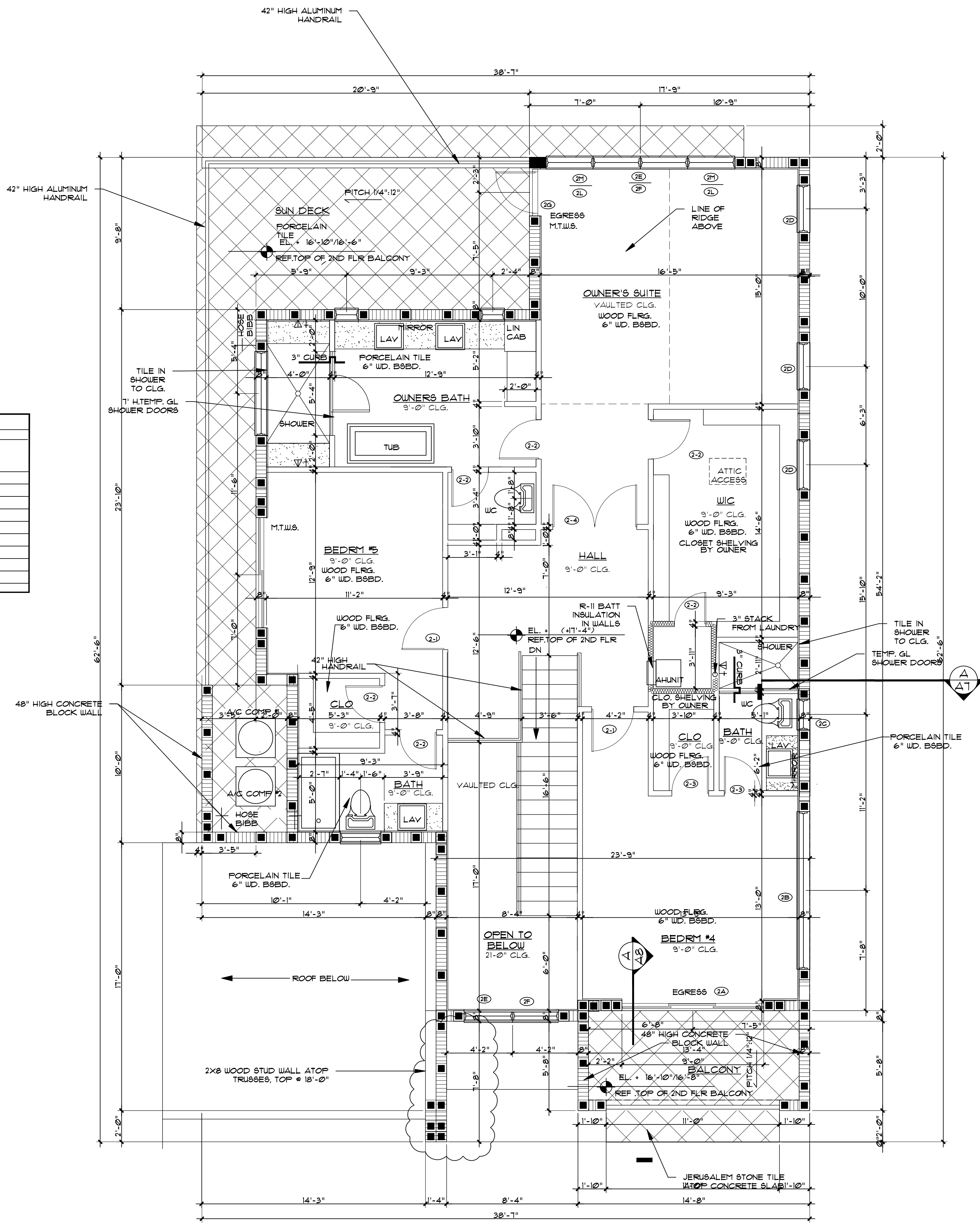
ALL BEDROOM AND BATHS TO HAVE PRIVACY LOCKS  
INTERIOR DOORS SHALL BE MASONITE "LINCOLN"

**SECOND FLOOR EXTERIOR DOOR AND WINDOW SCHEDULE**

PK	MARK	MATERIAL	MASONRY OPNG W X D	UNIT TYPE	FRAME	LOCATION	REMARKS	APPROVED PRESSURE POS NEG	REQUIRED PRESSURE POS NEG	PRODUCT APPROVAL	GLASS TYPE	FASTENER TYPE/SIZE	SPACING EDGE 4 O.C.			SHUTTERS		MULLION BARS		U VALUE	SHADING COEFFICIENT
													HEADER	SIDES	BILL	Y/N	YES/NO	NO*	BAR SIZE		
2A	1000	METAL	100"x36"	SLID.	METAL	EXTERIOR DOOR		N-80PSF	-81-95 TIPSF	16.06/1.62	N/A	1/4" TAPCON	9	8	9	NO	NO			1.02	3.0
2B	1002	METAL	100"x24"	FIXED	METAL	EXTERIOR SINGLE PANE		N-80PSF	-81-6 TIPSF	11.21/1.12	N/A	1/4" TAPCON	10	2	10	NO	NO			1.02	3.0
2C	2040	METAL	24-3/4"x48"	FIXED	METAL	EXTERIOR SINGLE PANE		N-80PSF	-81-9 TIPSF	11.21/1.12	N/A	1/4" TAPCON	2	4	2	NO	NO			1.02	3.0
2D	3050	METAL	36-3/4"x60"	FIXED	METAL	EXTERIOR SINGLE PANE		N-80PSF	-81-56 PSF	11.21/1.12	N/A	1/4" TAPCON	3	5	3	NO	NO			1.02	3.0
2E	3050	METAL	36"x18"x81"	FIXED	METAL	EXTERIOR SINGLE PANE		N-80PSF	-80-54 T PSF	11.21/1.12	N/A	1/4" TAPCON	6	8	6	NO	YES	XX	DK4, 2-1/4" TAPCONS	1.02	3.0
2F	3050	METAL	36"x21"x36"	FIXED	METAL	EXTERIOR SINGLE PANE	SEE ELEVATION	N-80PSF	-80-54 T PSF	11.21/1.12	N/A	1/4" TAPCON	3	2/3	3	NO	YES	XX	DK4, 2-1/4" TAPCONS	1.02	3.0
2G	2880	METAL	34-1/2"x36"	FRENCH	METAL	EXTERIOR SINGLE PANE		N-80PSF	-48-61 S TIPSF	11.20/1.12	N/A	1/4" TAPCON	3	8	3	NO	NO			1.02	3.0
2H	2030	METAL	24-3/4"x36"	CASSETTE	METAL	EXTERIOR SINGLE PANE		N-80PSF	-83-16016 PSF	18.01/1.04	N/A	1/4" TAPCON	2	3	2	NO	NO			1.02	3.0
2I	3-2180	METAL	11"x36"	FIXED	METAL	EXTERIOR SINGLE PANE		N-80PSF	-80-54 PSF	11.21/1.12	N/A	1/4" TAPCON	9	8	9	NO	YES	XX	DK4, 2-1/4" TAPCONS	1.02	3.0

APPROVED PRODUCT APPROVALS FOR EXTERIOR DOORS AND WINDOWS TO BE SUBMITTED WITH PERMITS PLANS.  
ALL GLASS SHALL BE IMPACT RESISTANT, TINTED GREY, UNLESS NOTED OTHERWISE.  
ALL EXTERIOR DOORS AND WINDOWS BY ES WINDOWS. FRAMES TO BE WHITE.  
FASTENERS SHALL BE SPACED MIN 6" FROM EDGES AND 11" O.C. THROUGHOUT.

NOTE: VERIFY ALL DOOR AND WINDOW MASONRY OPENINGS PRIOR TO COLUMN PLACEMENT.  
WINDOW MANUF. TO SIGN-OFF ON ALL MASONRY OPENINGS PRIOR TO INSTALLATION.



**SECOND FLOOR PLAN**

SCALE: 1/4"=1'-0"

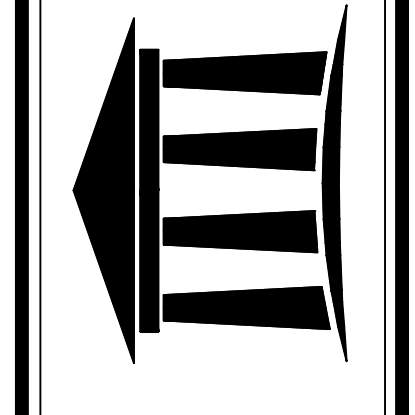
SEAL

ALL PERMITS AND APPROVALS AS NOTED OR REFERENCED BY THIS DRAWING ARE OBTAINED BY THE ARCHITECT OR HIS OFFICE. THE ARCHITECT OR HIS OFFICE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT OR HIS OFFICE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT OR HIS OFFICE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

**REVISIONS**

NO.	DATE	DESCRIPTION
1	2-4-2020	FORNIAL REVIEW
2	2-8-2020	STAFF COMMENTS

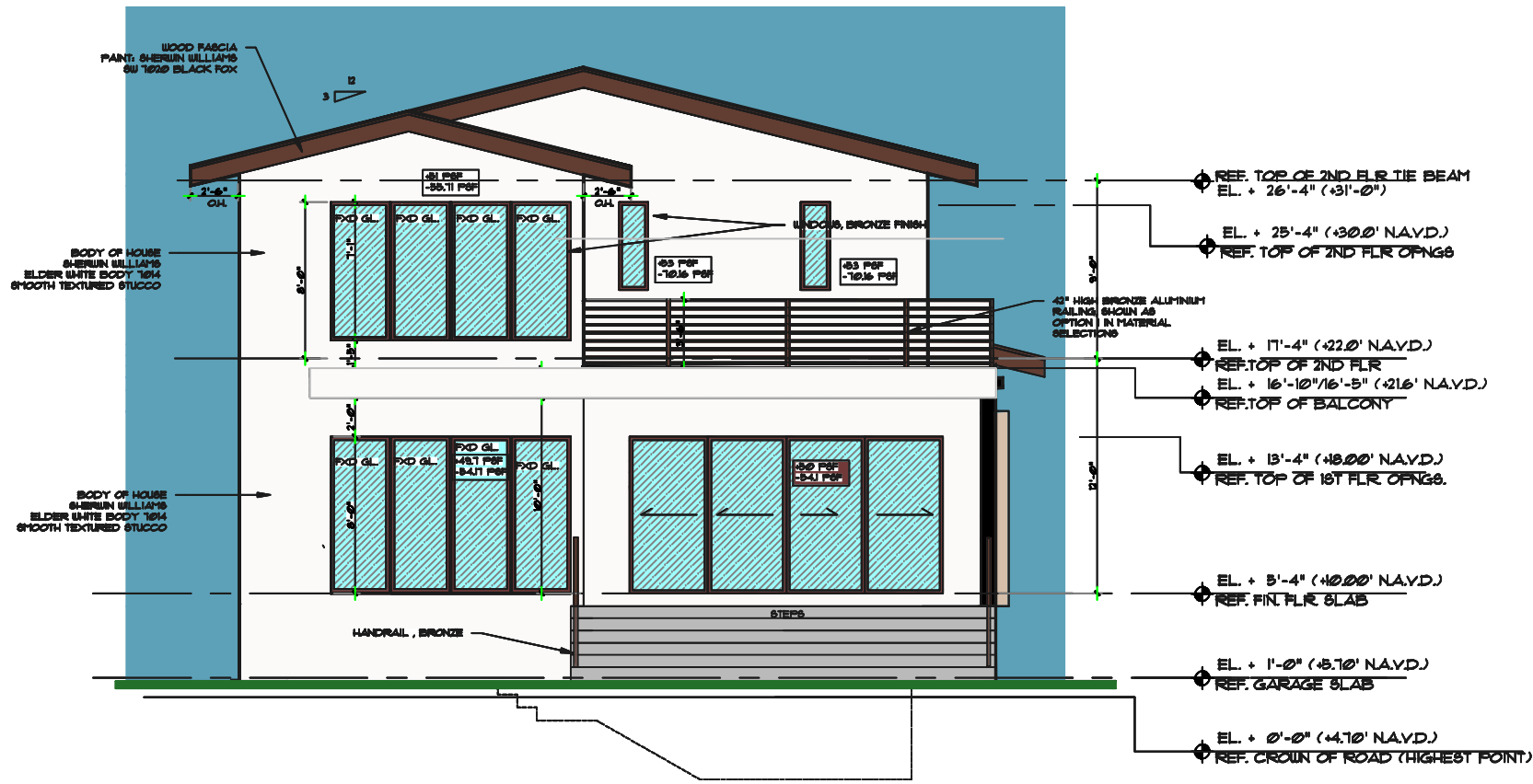
**GERALD BELGRAVE DESIGNS, LLC**  
Architect - Planner - Interior Designer  
4823 NW 66th Ave. LAUDERHILL, FLORIDA 33319  
Phone: (954) 298-2540  
Arch. Reg. No. 15,085



**NEW SINGLE FAMILY RESIDENCE**  
**8836 FROUDE AVE**  
**SURFSIDE, FLORIDA**

2E011  
Date: 2-26-2019  
Drawn by: JB  
Checked: GB

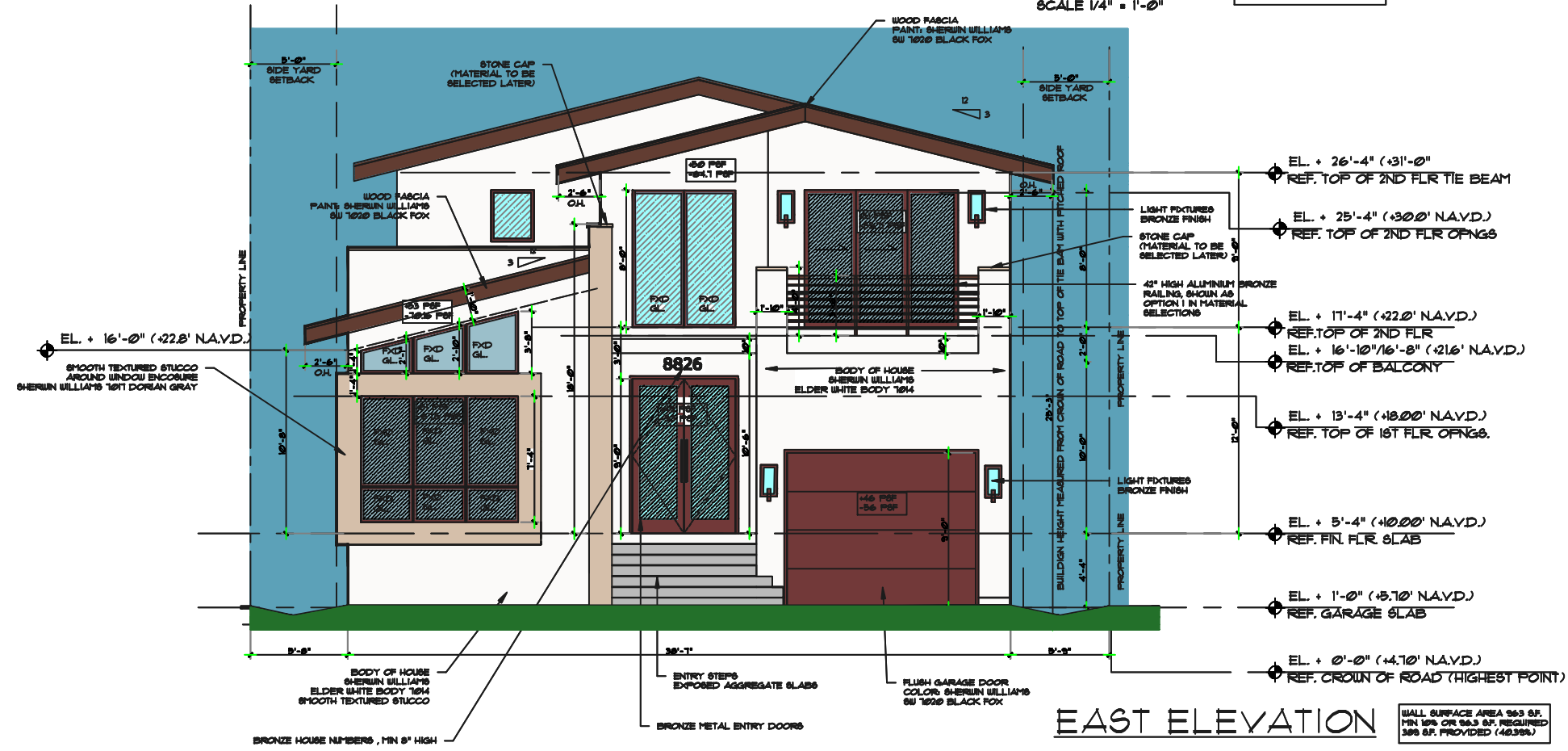
ARCHITECTURE  
Drawing No.  
**A-2**



**WEST ELEVATION**

SCALE 1/4" = 1'-0"

WALL SURFACE AREA 893 SF.  
MIN 10% OR 89.3 SF. REQUIRED  
249 SF. PROVIDED (28%)



**EAST ELEVATION**

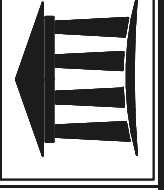
WALL SURFACE AREA 863 SF.  
MIN 10% OR 86.3 SF. REQUIRED  
396 SF. PROVIDED (46%)

SEAL

ALL WORK, MATERIALS AND FINISHES TO BE INSTALLED AND FINISHED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS OF THE STATE OF FLORIDA AND THE CITY OF LAUDERHILL, FLORIDA. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS.

REVISIONS

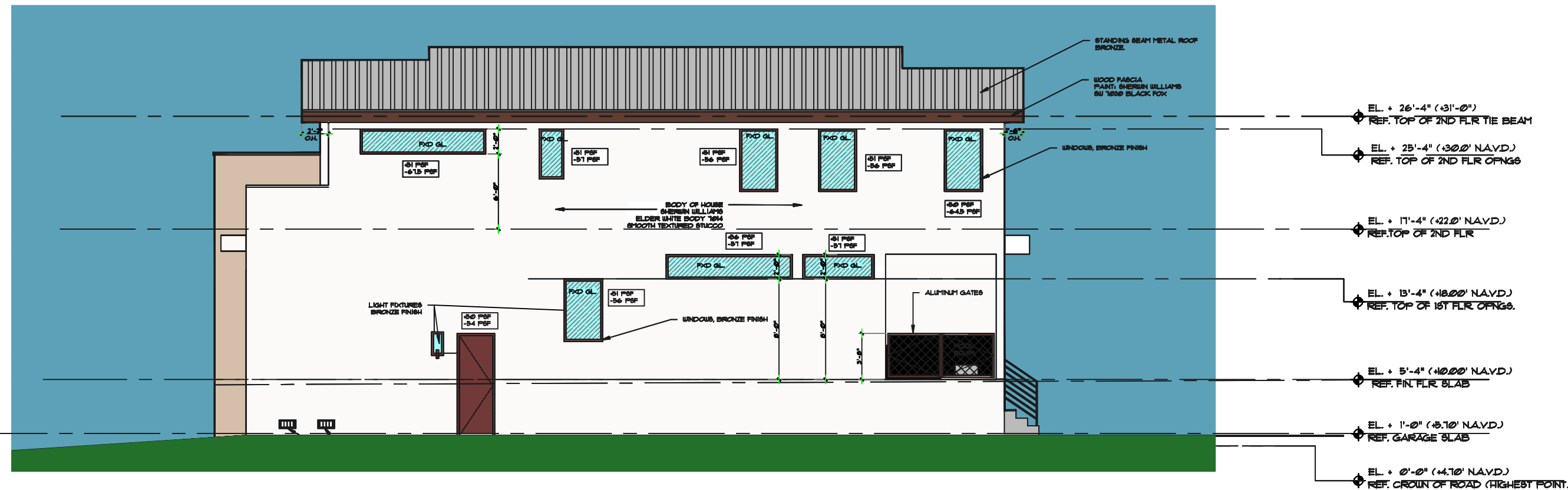
GERALD BELGRAVE DESIGNS, LLC  
Architect - Planner - Interior Designer  
4923 NW 66th AVE. LAUDERHILL, FLORIDA 33319  
Phone (954) 298-2540  
Arch. Reg. No. 15088



NEW SINGLE FAMILY RESIDENCE  
**8826 FROUDE AVE**  
SURFSIDE, FLORIDA

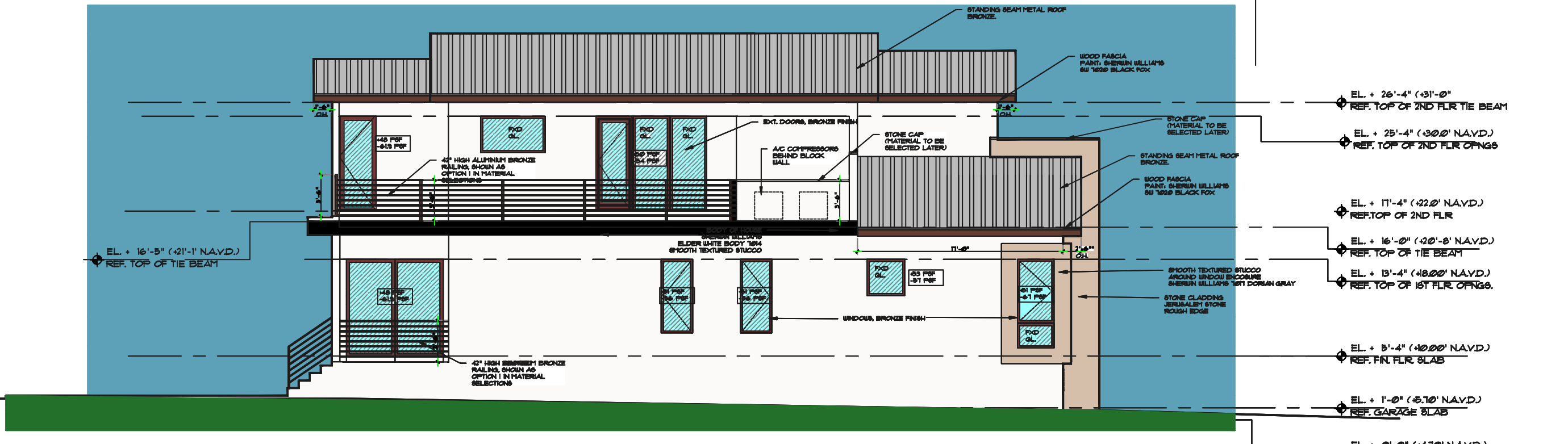
2011 Date: 2-26-2019  
Drawn by: JWB  
Checked by: GB

ARCHITECTURE  
Drawing No.  
**A-3**



NORTH ELEVATION  
SCALE 1/4" = 1'-0"

WALL SURFACE AREA 1481 SF.  
MIN. 10% OR 140 SF. REQUIRED  
1143 SF. PROVIDED



SOUTH ELEVATION  
SCALE 1/4" = 1'-0"

WALL SURFACE AREA 1430 SF.  
MIN. 10% OR 143 SF. REQUIRED  
236 SF. PROVIDED (16.56%)

SEAL

ALL TRADES, CONTRACTORS AND SUPPLIERS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE ARCHITECT IS NOT RESPONSIBLE FOR OBTAINING PERMITS AND APPROVALS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR OTHER SOURCES. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR OTHER SOURCES.

REVISIONS

GERALD BELGRAVE DESIGNS, LLC  
Architect - Planner - Interior Designer  
4923 NW 66th AVE. LAUDERHILL, FLORIDA 33319  
Phone (954) 298-2540  
Arch. Reg. No. 15088

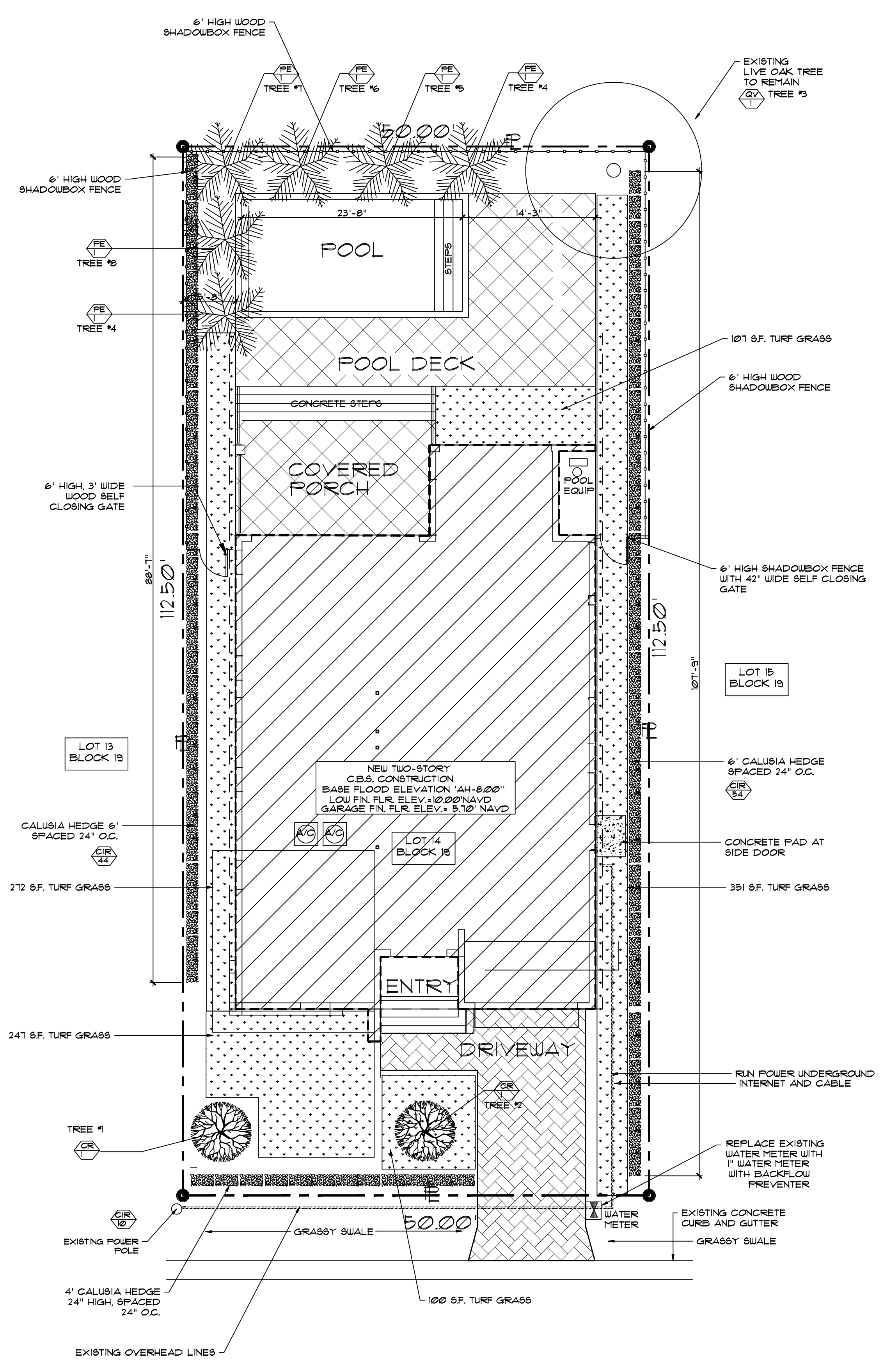
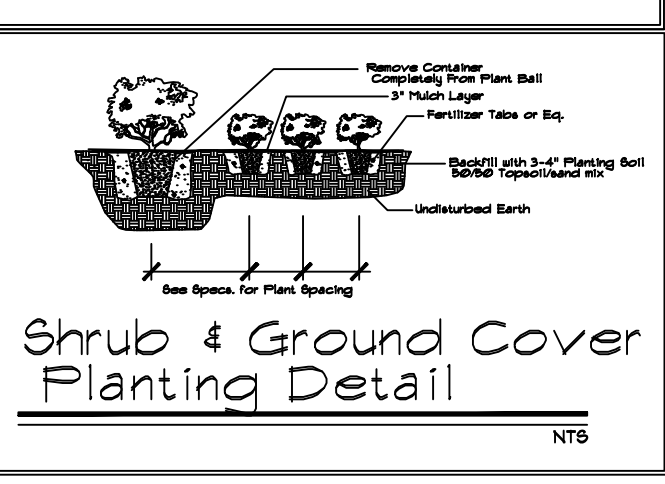
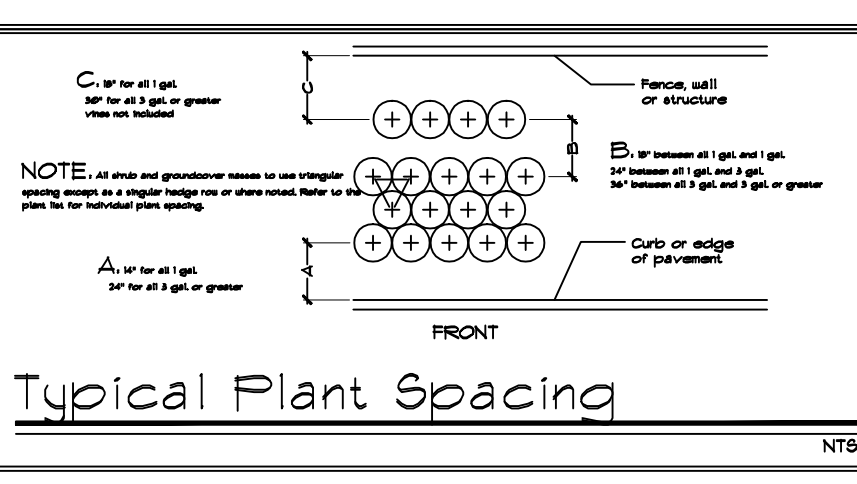
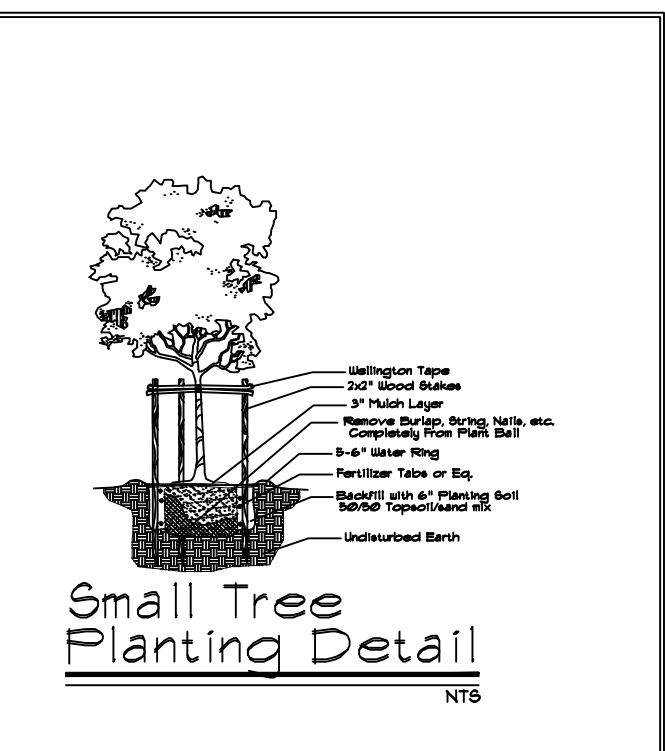
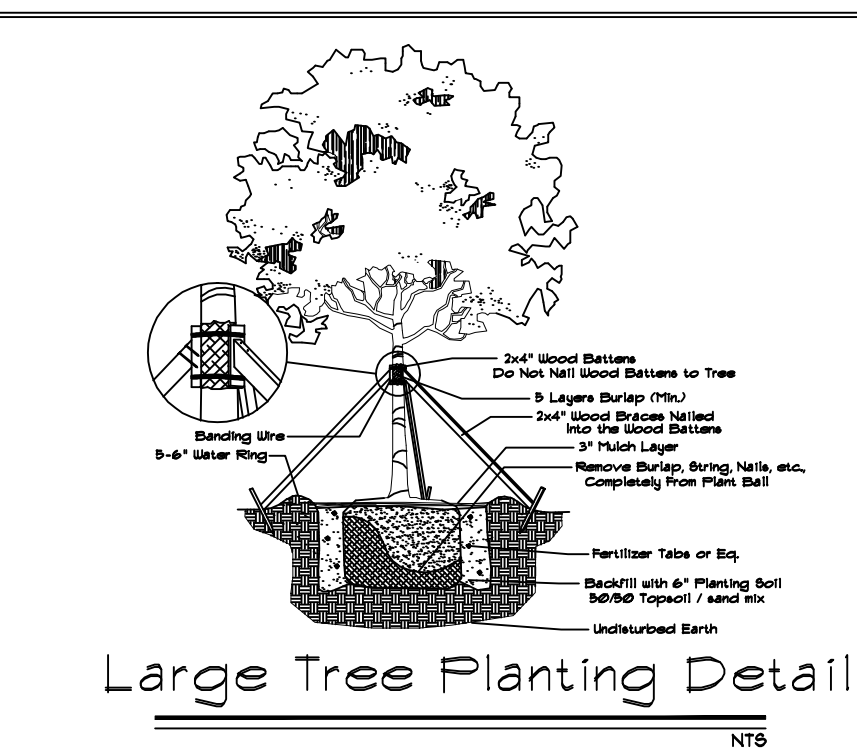
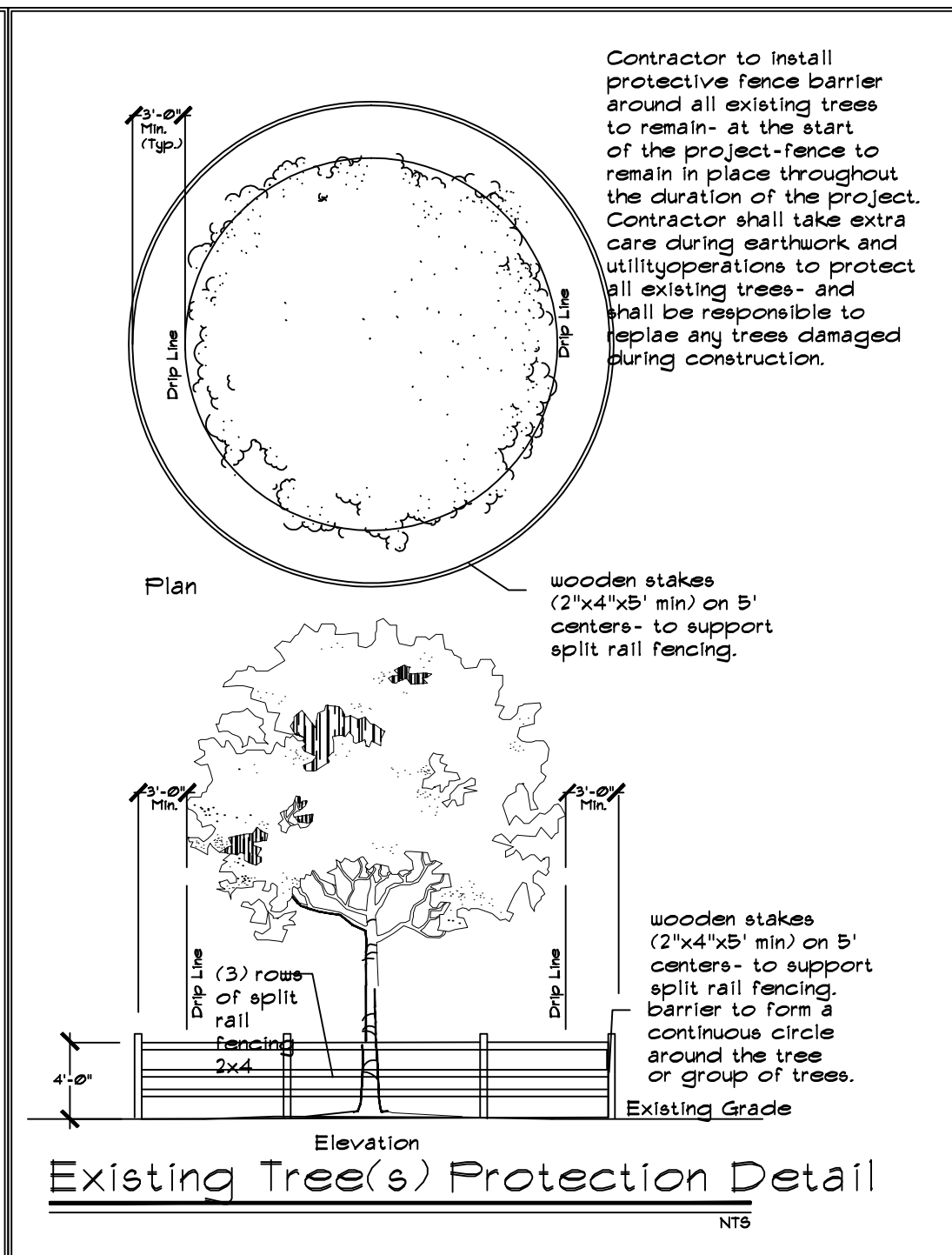
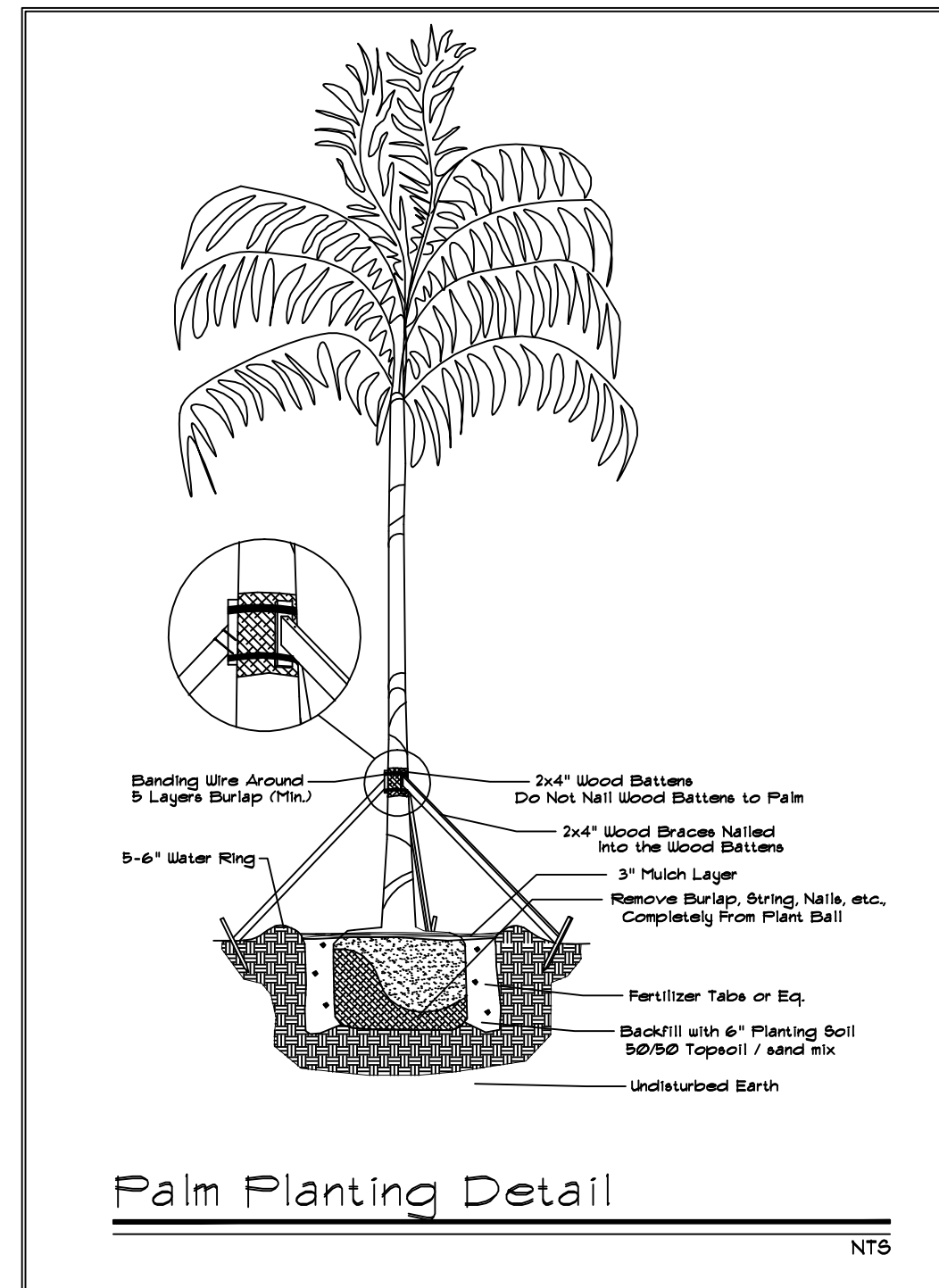


NEW SINGLE FAMILY RESIDENCE  
8826 FROUDE AVE  
SURFSIDE, FLORIDA

2011  
Date: 2-26-2019  
Drawn by: JB  
Checked by: GB

ARCHITECTURE  
Drawing No.

A-4



LANDSCAPE DATA				
CODE	REQUIREMENT	REQD	PROVIDED	COMMENTS
90-89.4 (6)	1 PER 20'	2	2	2 CLUSIA ROSEA
90-89.4	LOT TREES 4 TREES/ LOT	4	9	1 GUIMBO LIMBO, 1 EX LIVE OAK & SOLIATIRE PALMS, 1 EX ROYAL PALM
90-89.2(4)	NO MORE THAN 80% PERVIOUS TURF GRASS 8' X 2.050 SF. 1640 SF.	1640 SF.	1071 SF. (82.55%)	
TOTAL PERVIOUS		2050 SF. (36.45%)	PROVIDED MIN 35% REQUIRED	

PLANT LIST							
TREES							
Code TREES / PALMS	NATIVE	Drought	QTY.	TREE*	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	TRUNK DIAMETER CONDITION
CR	(N)	M	2	12	CLUSIA MAJOR CLUSIA ROSEA	B4B Field Grown, 12' - 0" HIGH, 5' SPREAD, 2" DBH, 4.5' CLEAR TRUNK	
QV	(N)	V	1	3	QUERCUS VIRGINIA/ LIVE OAK	EXISTING 30' HIGH TREE	
PE	(N)	M	6	4.5, 6, 1, 8, 9	ALEXANDER PALM PTYCHOSPERMA ELEGANS	B4B Field Grown, 6' OR 8' CLEAR TRUNK	
			TOTAL	9			
PLANTS							
Code TREES / PALMS	NATIVE	Drought	QTY.	BOTANICAL NAME / COMMON NAME		SPECIFICATIONS	
CIR	(N)	V	108	CLUSIA ROSEA / CLUSIA		3 Gal, 24" OA, 2' OC	

FROUDE AVE.  
50'0" RIGHT OF WAY  
32' ASPHALT PAVEMENT

**LANDSCAPE PLAN**  
SCALE: 1/8" = 1'-0"

SEAL

REVISIONS

2-4-2020	FORMAL REVIEW
2-8-2020	STAFF COMMENTS

GERALD BELGRAVE DESIGNS, LLC  
Architect - Planner - Interior Designer  
4823 NW 66th AVE. LAUDERHILL, FLORIDA 33319  
Phone (954) 298-2540  
Arch. Reg. No. 15,085



NEW SINGLE FAMILY RESIDENCE  
8826 FROUDE AVE  
SURFSIDE, FLORIDA

2E011	Date: 2-26-2019	Drawn by: JIB	Checked: CB
ARCHITECTURE			
Drawing No.			



8826 Froude Ave.  
Surfside, FL 33154

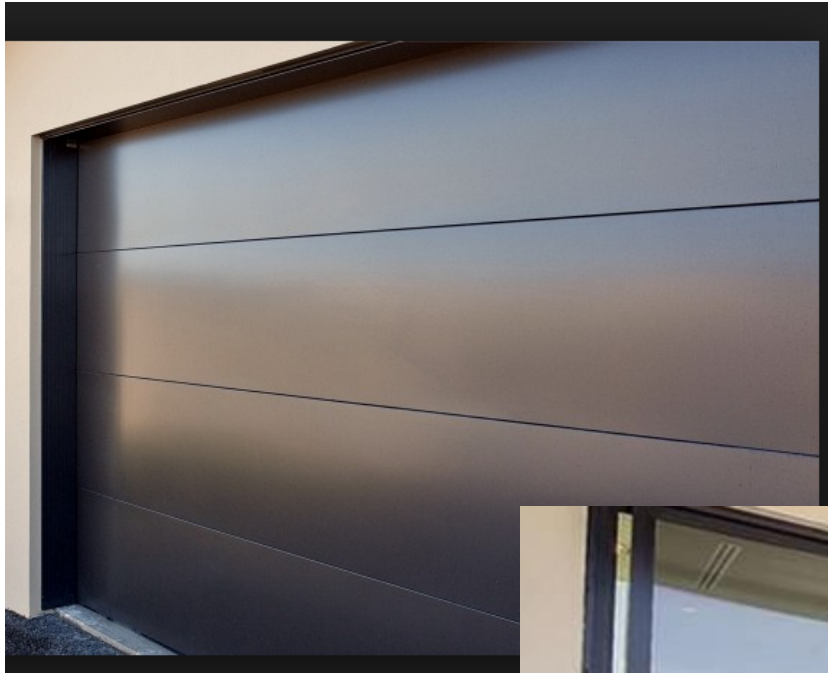
Exterior Finishes and Materials  
Design Review Board Meeting  
February 27, 2020

# - ROOF MATERIAL & COLOR -



BRONZE STANDING SEAM METAL ROOF

# - DOORS / WINDOWS / GARAGE DOORS -

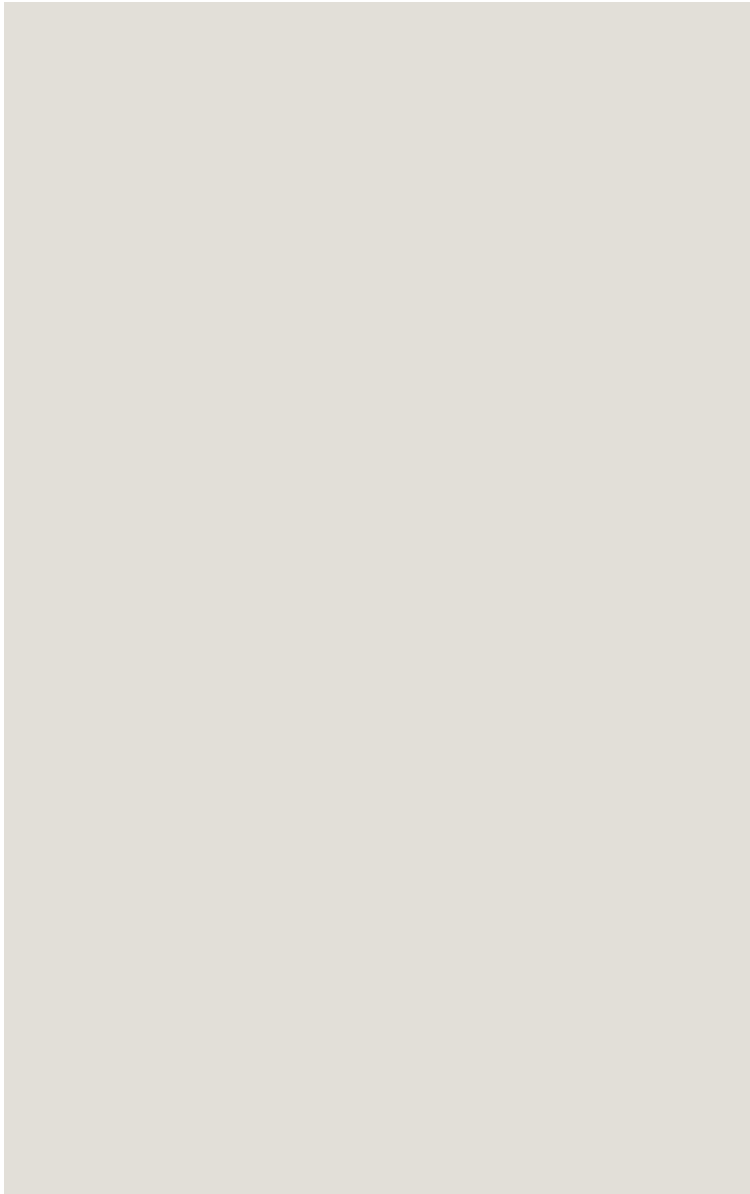


GARAGE DOOR – FLAT STEEL PAINTED FINISH



BRONZE EXTERIOR WINDOWS & DOORS THROUGHOUT

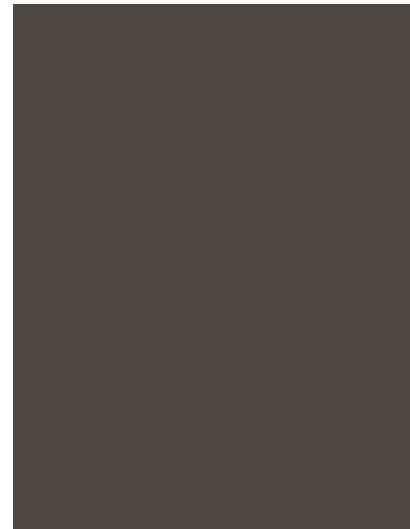
# - EXTERIOR WALL FINISHES -



SHERWIN WILLIAMS ELDER WHITE 7014 BODY



SHERWIN WILLIAMS DORIAN GRAY 7017  
BODY ACCENT COLOR



SHERWIN WILLIAMS BLACK FOX 7020  
FASCIA/GARAGE DOOR

# - EXTERIOR DECK & RAILINGS -

DRIVEWAY PAVERS



EXTERIOR BALCONY RAILINGS



EXTERIOR PATIO & POOL DECK PAVERS



# - LIGHTING -



EXTERIOR COACH LIGHTS (TYP)



EXTERIOR COACH LIGHTS (ADDRESS)

8826 Froude Ave.  
Surfside, FL 33154

Existing Photos

Design Review Board Meeting

February 27, 2020

# - PHOTOS -



CURRENT PHOTO OF 8826 FROUDE AVENUE, SURFSIDE, FL 33154  
(VACANT LOT)



# - PHOTOS -



EXISTING PHOTO OF 8818 FROUDE AVENUE, SURFSIDE, FL 33154  
THIS HOUSE IS ADJACENT TO THE SOUTH SIDE

# - PHOTOS -



EXISTING PHOTO OF 8834 FROUDE AVENUE, SURFSIDE, FL 33154  
THIS HOUSE IS ADJACENT TO THE NORTH SIDE

# - PHOTOS -

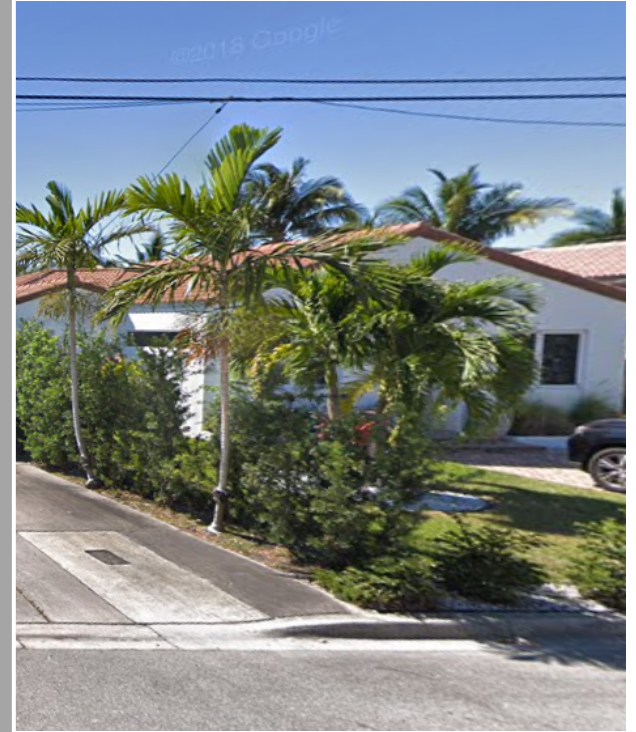


8818 FROUDE AVE.



8826 FROUDE AVE.

(SEE PAGE 2 FOR CURRENT PHOTO - HOUSE WAS DEMOLISHED)



8834 FROUDE AVE.

February 13, 2020

TO: TOWN OF SURFSIDE  
CLERK

FR: MARCI VARCA  
SURFSIDE 8826 LLC

RE: 8826 Froude Ave. Surfside, FL 33154  
Planning and Zoning Board Meeting February 27, 2020 at 6pm  
Notices and Signage

To whom it may concern,

Please be advised that I have issued all required letters and placed the sign on the property to notice the public of the Planning & Zoning Board Meeting scheduled for February 27, 2020 for the above-mentioned property.

The letters were mailed via certified mail on February 13, 2020 to the following neighbors (adjacent, across, and behind the property).

- Yaron Okun and Florence Laz 8834 Froude Ave. Surfside, FL 33154
- Murielle Parra 8818 Froude Ave. Surfside, FL 33154
- Lazaro Urrutia and Bertha Fernandez 8819 Froude Ave. Surfside, FL 33154
- Plyllis Bollettieri 8821 Froude Ave. Surfside, FL 33154
- Oscar Jacome 8835 Froude Ave. Surfside, FL 33154
- Isaac and Marissa Arber 8827 Garland Ave. Surfside, FL 33154

Enclosed are copies of the notice letter sent, photos of the certified mail receipts, and a photo of the sign placed at the property attached to the fence.

Should you have any questions my contact information is below.

Thank you,



Marci Varca  
Surfside 8826, LLC  
280 W. Hillsboro Blvd.  
Deerfield Beach, FL 33441  
786-338-8377 Cell



February 14, 2020

TO: PROPERTY OWNER

NOTICE IS HEREBY GIVEN that a Planning & Zoning Board Meeting will be held by the Planning & Zoning Board of the Town of Surfside, Florida, in the Commission Chambers, 9293 Harding Avenue, Surfside, Florida on **THURSDAY, FEBRUARY 27, 2020 at 6:00 p.m.**, to consider the following Zoning application:

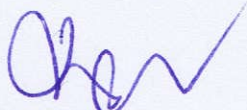
**Application:** New Single Family house (revision)

**Location:** 8826 Froude Avenue

Pursuant to Section 90-19.6 of the Town Zoning Code, construction of a new single family home requires notice to neighboring property owners. The application is for a new two-story, single family residence.

Plans are on file and may be examined in the Building Department entitled "8826 Froude Avenue", prepared by Gerald Belgrave Designs, Inc., dated February 4, 2020.

Respectfully,



Marci Varca  
Surfside 8826 LLC  
954-530-4370

7019 0160 0000 4342 5004

U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

MIAMI BEACH, FL 33154

**OFFICIAL USE**

Certified Mail Fee	\$3.55		0480
Extra Services & Fees (check box, add fee as appropriate)	\$2.85		02
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00		
<input type="checkbox"/> Return Receipt (electronic)	\$0.00		
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00		
<input type="checkbox"/> Adult Signature Required	\$0.00		
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00		
Postage	\$0.55		
Total Postage and Fees	\$6.95		

Postmark Here  
 FEB 13 2020  
 02/13/2020

Sent To **YARON OKUN + FLORENCE LAZ**  
 Street and Apt. No., or PO Box No.  
**8834 FROUDE AVE**  
 City, State, ZIP+4®  
**SURFSIDE, FL 33154**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 0700 0002 1231 0386

U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

MIAMI BEACH, FL 33154

**OFFICIAL USE**

Certified Mail Fee	\$3.55		0480
Extra Services & Fees (check box, add fee as appropriate)	\$2.85		02
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00		
<input type="checkbox"/> Return Receipt (electronic)	\$0.00		
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00		
<input type="checkbox"/> Adult Signature Required	\$0.00		
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00		
Postage	\$0.55		
Total Postage and Fees	\$6.95		

Postmark Here  
 FEB 13 2020  
 02/13/2020

Sent To **MARIELE PARRA**  
 Street and Apt. No., or PO Box No.  
**8818 FROUDE AVE**  
 City, State, ZIP+4®  
**SURFSIDE, FL 33154**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 0700 0002 1231 0331

U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

MIAMI BEACH, FL 33154

**OFFICIAL USE**

Certified Mail Fee	\$3.55		0480
Extra Services & Fees (check box, add fee as appropriate)	\$2.85		02
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00		
<input type="checkbox"/> Return Receipt (electronic)	\$0.00		
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00		
<input type="checkbox"/> Adult Signature Required	\$0.00		
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00		
Postage	\$0.55		
Total Postage and Fees	\$6.95		

Postmark Here  
 FEB 13 2020  
 02/13/2020

Sent To **LAZARO URRUTIA + BERTHA FERNANDEZ**  
 Street and Apt. No., or PO Box No.  
**8819 FROUDE AVE**  
 City, State, ZIP+4®  
**SURFSIDE FL 33154**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 0700 0002 1231 0393

U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

MIAMI BEACH, FL 33154

**OFFICIAL USE**

Certified Mail Fee	\$3.55		0480
Extra Services & Fees (check box, add fee as appropriate)	\$2.85		02
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00		
<input type="checkbox"/> Return Receipt (electronic)	\$0.00		
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00		
<input type="checkbox"/> Adult Signature Required	\$0.00		
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00		
Postage	\$0.55		
Total Postage and Fees	\$6.95		

Postmark Here  
 FEB 13 2020  
 02/13/2020

Sent To **PHYLLIS BOUETTIERI**  
 Street and Apt. No., or PO Box No.  
**8821 FROUDE AVE**  
 City, State, ZIP+4®  
**SURFSIDE, FL 33154**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 0700 0002 1231 0377

U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

MIAMI BEACH, FL 33154

**OFFICIAL USE**

Certified Mail Fee	\$3.55		0480
Extra Services & Fees (check box, add fee as appropriate)	\$2.85		02
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00		
<input type="checkbox"/> Return Receipt (electronic)	\$0.00		
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00		
<input type="checkbox"/> Adult Signature Required	\$0.00		
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00		
Postage	\$0.55		
Total Postage and Fees	\$6.95		

Postmark Here  
 FEB 13 2020  
 02/13/2020

Sent To **ISAAC + MELISSA ARISER**  
 Street and Apt. No., or PO Box No.  
**8827 GARLAND AVE**  
 City, State, ZIP+4®  
**SURFSIDE FL 33154**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 0700 0002 1231 0362

U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

MIAMI BEACH, FL 33154

**OFFICIAL USE**

Certified Mail Fee	\$3.55		0480
Extra Services & Fees (check box, add fee as appropriate)	\$2.85		02
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00		
<input type="checkbox"/> Return Receipt (electronic)	\$0.00		
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00		
<input type="checkbox"/> Adult Signature Required	\$0.00		
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00		
Postage	\$0.55		
Total Postage and Fees	\$6.95		

Postmark Here  
 FEB 13 2020  
 02/13/2020

Sent To **OSCAR JACOME**  
 Street and Apt. No., or PO Box No.  
**8835 FROUDE AVE**  
 City, State, ZIP+4®  
**SURFSIDE FL 33154**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



## MEMORANDUM

To: Planning and Zoning Board

Thru: Guillermo Olmedillo, Town Manager

From: Sarah Sinatra Gould, AICP, Town Planner

CC: Lillian Arango, Town Attorney

Date: February 27, 2019

Re: 9056 Bay Drive – New SFR

---

The property is located at 9056 Bay Drive, within the H30A zoning district. The applicant is requesting to build a 6,610 square foot home. The plans include a 2-car garage, roof deck, green roof, swimming pool and pool deck.



Staff has reviewed the current application for consideration by the Planning and Zoning Board. In this report Staff presents the following:

- Applicable Zoning Code regulations, along with the results of the review
- Applicable Design Guideline standards, along with the results of the review
- Staff Findings



## STANDARDS / RESULTS

### Town of Surfside Zoning Code, Applicable Requirements

**Sec. 42.92 Lowest Floor Elevation**

Residential	Lowest Floor	Proposed
Single-Family Residential	Base Flood +2	10 NGVD

**Sec. 90.43 Maximum building heights**

Height	Required Maximum	Proposed
H30B	30 feet	30 Feet

**Sec. 90-44. - Modifications of height regulations.**

**90-44.1 Architectural Elements**

Height	Required Maximum	Proposed
H30B	3 feet	10"

**Sec. 90-45. Setbacks**

<b>H30A AND H30B UPPER STORY FLOOR AREA IS 65% TO 80% OF FIRST STORY AREA</b>	<b>Required</b>	<b>Proposed</b>
<i>Maximum Lot Coverage</i>	40%	40%
<b>FIRST STORY (UP TO 15 FT IN HEIGHT)</b>		
Primary frontage	Minimum 20 FT	20'7"
Interior side (Lots over 50')	Minimum: 10% of Frontage	5'2" / 5'2"
Rear	Minimum 20 FT	45'6"
<b>UPPER STORY OR WALL PLANES GREATER THAN 15 FT IN HEIGHT</b>		
Primary frontage	Minimum 20 FT / Average 30 FT	36'3"
Interior sides (lots greater than 50 feet in width) H30A - Wall length is greater than 20% of the lot depth	Minimum: 10% of Frontage Average: 20% of Frontage	<b>North Side:</b> Minimum: 5'2" Average: 10.21'  <b>South Side:</b> Minimum: 5'2" Average: 12.89'
Rear	Minimum 20 FT / Average n/a	45'6"

**Sec. 90-47. – Yards generally, allowable projections**

	<b>Required</b>	<b>Proposed</b>
Every part of a required yard shall be open to the sky, except ordinary projections of sills, cornices, roof eaves and ornamental features	May project not more than 24 inches into any required yard	2” projection
Air conditioning equipment, pool pump or other mechanical equipment may be located in a required rear setback	<p>a) Such equipment is at least 15 feet from any other single-family or two-family residence</p> <p>b) Maintain at least a five-foot setback from the rear and side yards and is not visible from any street or waterway</p>	<p>a) &gt;15</p> <p>b) 5’8”</p>
Open, unenclosed building entrance porches, platforms, stairs or paved terraces, not covered by a roof or canopy, and which do not extend above the level of the grade or entrance floor of the building	<p>a) May extend or project into the required front or side yard no more than six feet</p> <p>b) and the encroachments shall not provide less than a 24-inch setback to the property line.</p>	<p>a) Entry stairs do not extend into the required front or side yard</p> <p>b) The provided setbacks are greater than 24”</p>

**Sec. 90.49 Lot standards**

<b>Lot Standards H30B</b>	<b>Required</b>	<b>Proposed</b>
Minimum Lot width	50 feet	51.30 feet
Minimum lot area	8,000 feet	9,250 square feet
Maximum lot coverage	40%	40%
Pervious area	35% (minimum)	37.11%

**Sec. 90.50 Architecture and roof decks**

	<b>Required</b>	<b>Proposed</b>
Unique Elevation	<p>A unique elevation from the main buildings of the adjacent two (2) homes shall be created through the modulation of at least three (3) of the following architectural features:</p> <p>(a)Length, width and massing of the structure;</p> <p>(b)Number of stories;</p> <p>(c)Façade materials;</p>	<p>A unique elevation from the main buildings of the adjacent two (2) homes is created through; (1) length, width and massing of the structure; (2) number of stories; and (3) façade materials</p>

	(d) Porches and other similar articulation of the front façade; (e) Number and location of doors and windows; and (f) Roof style and pitch.	
Wall openings	10% for all elevations	More than 10% for all elevations: <u>South Side Elevation:</u> 30% open <u>North Side Elevation:</u> 28% open <u>East Front Elevation:</u> 35% open <u>West Rear Elevation:</u> 79%
Roof Material	(a) Clay Tile; (b) White concrete tile; (c) Solid color cement tile which color is impregnated with the same color intensity throughout, provided said color is granted approval by the Design Review Board; (d) Architecturally embellished metal if granted approval by the Design Review Board; or (e) Other Florida Building Code approved roof material(s) if granted approval by the Design Review Board.	Flat roof with a parapet

**Sec. 90.50.2 Roof decks**

	Required	Proposed
For properties in the H30A District	<ol style="list-style-type: none"> <li>1) Exterior and interior stairs shall be permitted</li> <li>2) No extension of stairs over 30-foot height limitation;</li> <li>3) 10-foot setbacks on sides and rear of building</li> </ol>	<ol style="list-style-type: none"> <li>1) Provided</li> <li>2) No extension of stairs over 30'</li> <li>3) +10' setbacks on the sides</li> </ol>

**Sec. 90.54 Accessory Structures**

	Required	Proposed
<b>Accessory buildings</b>	<p>90-54.1 Any accessory buildings not connected to the main building, except by a breezeway, may be constructed in a rear yard, subject to the following provisions:</p> <p>(a) The maximum height shall be 12 feet</p>	<p><u>Gazebo</u></p> <ol style="list-style-type: none"> <li>a) 12'</li> <li>b) 245 square feet</li> <li>c) 5'2" setback provided</li> </ol>

	<p>(b) The maximum aggregated area shall be 500 square feet</p> <p>(c) The structure shall provide a minimum rear setback of five feet and shall conform to all other setbacks applicable to the property.</p>	
	<p>90-54.2 Accessory swimming pools and decks, open and unenclosed, or covered by a screen enclosure, may occupy a required rear, front, or side setback, subject to the following minimum setbacks:</p> <p>(a) Rear: Five feet.</p> <p>(b) Interior side: Five feet.</p> <p>(c) Primary (front) and secondary (Corner): Ten feet.</p>	<p>(a) 20'9"</p> <p>(b) 5'8"</p> <p>(c) +10'</p>

**Sec. 90-60. - Construction adjacent to bulkhead lines.**

	Required	Proposed
Indian Creek bulkhead lines	A swimming pool construction landward of less than 20 feet of the Indian Creek bulkhead line shall be thoroughly investigated by a registered structural engineer known to the building official to be qualified to evaluate retaining walls, seawalls, bulkhead or other shore protective structures. The structural engineer shall certify that said construction will not compromise the structural capacity of the adjacent retaining wall...	Pool has a 26'5" rear setback

**Sec. 90.56 Fences, walls and hedges**

	Required	Proposed
Fence	<p>90-56.1.A</p> <p>A fence or ornamental wall not more than six feet in height, as measured from grade, may project into or enclose an interior side or rear yard only.</p>	4' high CMU wall with aluminum gate
	<p>90-56.2</p> <p>A fence or ornamental wall may be placed within the front yard or primary corner yard if granted design review approval by the planning and zoning board</p>	A fence and sliding gate are proposed.
	90-56.4	Requiring applicant to provide opacity

	All wall and fence surfaces above two (2) feet measured from grade shall maintain a maximum opacity of fifty (50) percent	
--	---	--

**Sec. 90.61 Paving in front and rear yards in H30 and H40 Districts**

Paving Yards	Required	Proposed
Front setback permeability	50% minimum	64%
Front yard landscaped	30% minimum	>30%
Rear yard landscaped	20% minimum	>20%
Number of Curb Cuts	One minimum	1 provided
Curb Cut side set back	5 feet minimum	5'4"
Curb cut width	18 feet maximum	18'
Driveway Materials	Limited to the following 1. Pavers 2. Color and texture treated concrete, including stamped concrete 3. Painted concrete shall not be permitted. 4. Asphalt shall not be permitted.	Concrete pad with grass in between

**Sec. 90-89.4(6). Street Tree Requirements**

Required	Required	Proposed
Street trees shall be required at one shade tree/palm tree per 20 linear feet of street frontage thereof along all public or private street right-of-ways in all zoning districts.	2.5 trees (50' frontage)	>2.5 trees

**Sec. 90-95. Single-family H30A and H30B district landscape requirements.**

Required	Required	Proposed
A minimum of five trees of two different species and 25 shrubs shall be planted per lot.	5 trees, 25 shrubs	>5 trees > 25 shrubs

**Sec. 90-77 Off-Street Parking Requirements**

Required	Minimum Space Requirements	Proposed
Single-family	2 spaces	2 spaces provided

**Town of Surfside Adopted Residential Design Guidelines**

***Building Massing***

Required	Proposed
Building forms should be varied enough to avoid monotony and to avoid pyramidal massing and should be compatible with surrounding houses.	Consistent

***Decorative Features***

Required	Proposed
Decorative features should be stylistically consistent throughout the entire building.	Consistent

***Overall Architectural Style***

Required	Proposed
The overall style of each house should be consistent on all sides of the building, as well as among all portions of the roof.	Consistent

***Wall Materials and Finishes***

Required	Proposed
The same material should be used on all building elevations unless multiple materials are a legitimate expression of the particular style.	Consistent

***Roof Materials, Types, and Slopes***

Required	Proposed
Roof types and slopes should be generally the same over all parts of a single building.	Flat roof with parapet
Restricted materials for roofs are pre-determined in the Town's Building Code, which restricts roofing materials to: 1. Clay tile; 2. White concrete tile; 3. Solid color cement tile which color is impregnated with the same color intensity throughout, provided said color is first approved by the planning and zoning board; and 4. Metal.	Flat roof with parapet

***Windows and Trims***

Required	Proposed
Window styles should always be consistent among all elevations of a building.	Consistent
Frame materials should never vary on a single building.	Consistent

Window, door and eave trim should be consistent on all elevations of the house	Consistent
--	------------

### FINDINGS

Staff finds the application meets the Code subject to the following Conditions of Approval. Such conditions of approval were addressed after the submittal deadline. The applicant has stated that they would like to present such changes tonight in the form of a PowerPoint.

- 1) At time of Building Permit, the proposed retaining wall will need to be verified and approved by the Building Official.
- 2) The retaining wall the rear of the house cannot extend beyond six feet as measured from the existing grade. Currently, the wall measures 13 feet.
- 3) Requiring the applicant to provide the opacity of the aluminum fence in the front yard. Per code section 90-56.4, all wall and fence surfaces above two (2) feet measured from grade shall maintain a maximum opacity of fifty (50) percent.
- 4) The front gate requires a 20-foot setback from the edge of the pavement.



DRB Meeting	<u>02 / 27 / 2020</u>
Application / Plans Due	<u>02 / 06 / 2020</u>

**TOWN OF SURFSIDE**  
**SINGLE-FAMILY and TWO-FAMILY SITE PLAN APPLICATION**

A complete submittal includes all items on the "Single-Family and Two-Family Site Plan Application Submission Checklist" document as well as completing this application in full. The owner and agent must sign the application with the appropriate supplemental documentation attached. Please print legibly in ink or type on this application form.

<b><u>PROJECT INFORMATION</u></b>	
OWNER'S NAME	Jaime Angel Rubinson <i>Living Trust</i>
PHONE / FAX	305-608-8382
AGENT'S NAME	Jose Sanchez
ADDRESS	278 NW 37 st. Miami, Fl. 33127
PHONE / FAX	305-576-8063 (Praxis Architecture)
PROPERTY ADDRESS	9056 Bay Dr. Surfside, Fl. 33154
ZONING CATEGORY	H30A
DESCRIPTION OF PROPOSED WORK	New Construction, Modern two story

<b><u>INTERNAL USE ONLY</u></b>	
Date Submitted	<u>2/6/2020</u> Project Number _____
Report Completed	_____ Date _____
Fee Paid	\$ _____

<b><u>ZONING STANDARDS</u></b>	Required	Provided
Plot Size	8,000 sf	9,250 sf
Setbacks (F/R/S)	20ft   20.66ft   5.13ft	20.58ft   45.5ft   5.19ft
Lot Coverage	3,700 s.f.	3,700 s.f.
Height	30 ft max	30 ft
Pervious Area	35% min	64%

*[Signature]*  
 SIGNATURE OF OWNER      2/6/20  
 DATE

*[Signature]*  
 SIGNATURE OF AGENT      02/6/20  
 DATE





**TOWN OF SURFSIDE**  
**SINGLE-FAMILY and TWO-FAMILY SITE PLAN APPLICATION**  
**PLANNING AND ZONING BOARD Rules and Procedures (June 2002)**

The Planning and Zoning Board shall generally meet the last **Thursday** of each month at 7:00 pm. at Town Hall.

Plans and completed applications (including all supporting documentation) must be submitted to the Building Department at least 21 days prior to the meeting, with the payment of applicable fees (example: \$200.00 for Plan Review for Zoning), at which time they will be considered. Incomplete plans and applications will not be processed.

The applicant or duly authorized agent (per ownership affidavit) must be present at the meeting. If there are no applications for consideration by the Planning and Zoning Board, the monthly meeting may be cancelled at the discretion of the Chairman of the Board.

**Please advise the name of the Representative who will attend the hearing on behalf of this application:**

Jose Sanchez

NAME OF REPRESENTATIVE

DATE



**TOWN OF SURFSIDE**  
**SUBMISSION CHECKLIST**  
**SINGLE-FAMILY and TWO-FAMILY SITE PLAN APPLICATION**

Project Name 9056 Bay Dr. Surfside

Project Number \_\_\_\_\_

**SUBMITTAL REQUIREMENTS FOR REVIEW:**

- Completed "Single-Family and Two-Family Site Plan Application" form
- Application fee: \$\_\_\_\_\_ made out to "Town of Surfside"
- Ownership Affidavit
- Survey less than one (1) year old. A survey over one (1) year is sufficient as long as the property has not changed ownership and the owner provides an affidavit that no changes have occurred since the date of the survey.
- Recent photographs, as visible from the street, of the subject property and of the adjacent two (2) homes on each side of the subject property on the same side of street. If the adjacent lot(s) are vacant then the next adjacent home(s) shall be utilized.

**FOR THE FOLLOWING PLEASE PROVIDE:**

- Two (2) full sized sets (24" x 36" sheets) of complete design development drawings signed and sealed
- One (1) CD, with site plan in PDF format, or other common windows based format.
- Provided prior to Design Review Board Meeting – Fifteen (15) reduced sized sets (11" x 17" sheets) of the complete design development drawings
- Site Plan (Minimum scale of 1" = 20').  
*Please show / provide the following:*
  - Tabulations of total square footage, lot coverage, setbacks and acreage
  - Entire parcel(s) with dimensions and lot size in square feet
  - Existing and proposed buildings with square footage
  - Buildings to be removed
  - Setbacks
  - Dimensions and locations of all existing and proposed right-of-ways, easements and street frontage, including sidewalks, curb and gutter and planting strips
  - All existing and proposed site improvements, including, but not limited to, all utilities, retaining walls, fences, decks and patios, driveways and sidewalks, signs, parking areas, and erosion control features
  - Location of all existing and proposed trees, vegetation, palms and note tree species
  - Locations and dimensions of parking spaces and lot layout
  - Driveway entrance width and setbacks from property line
- Architectural Elevations (Minimum scale of 1/8" = 1'):  
*Please show / provide the following:*
  - Provide color elevations, showing all material finishes, textures and landscaping for all elevations of the proposed building(s). They should include, at a minimum:
  - All exterior materials, colors and finishes, keyed to samples provided

Cont.



- Roof slopes and materials and color
  - Detail of doors, windows, garage doors
  - Lighting locations and details
  - Dimensions of structure(s) – height, width, and length
  - Deck, railing, stairs details including materials, colors, finishes, and decorative details
  - Exposed foundation treatment
  - Gutters and eaves
  - Abutting structure heights
- 
- Provide samples of colors and/or materials mounted on a display board (to be provided prior to Design Review Board Meeting)
- 
- Such additional data, maps, plans, or statements as the Town may require to fully describe and evaluate the particular proposed plan

# SURFSIDE RESIDENCE

9056 BAY DRIVE, SURFSIDE, FL. 33154

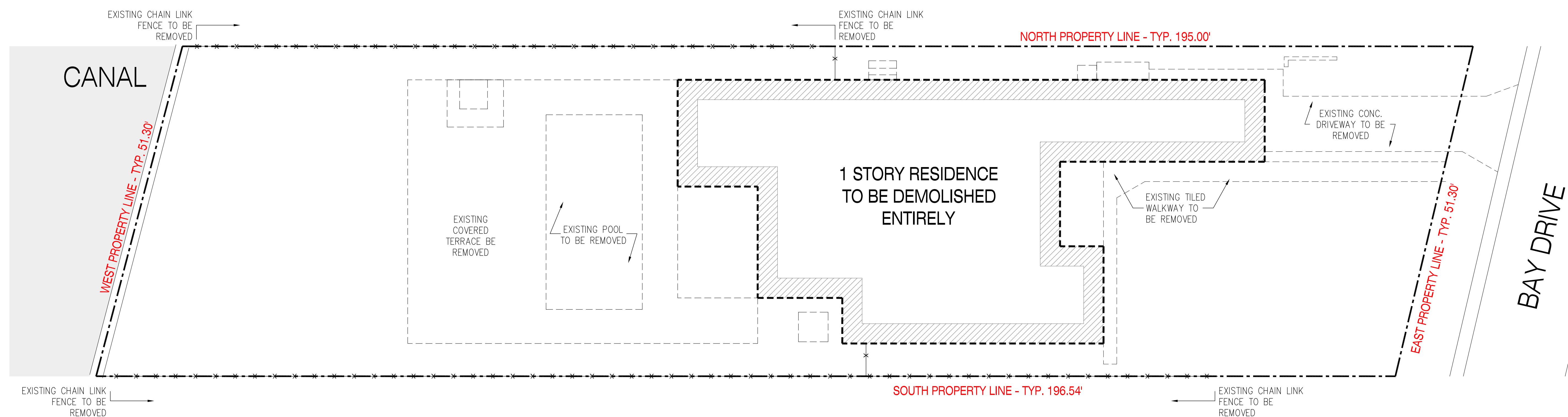


## INDEX OF DRAWINGS

### MISC. - EXISTING

COVER	COVER & INDEX OF DRAWINGS
D-1	DEMOLITION PLAN & LANDSCAPE
A-1.0	SITE PLAN & ZONING DATA / ADJACENT PROP.
A-1.2	AVERG. SIDE SETBACK & BUILD. VOLUME
A-1.3	COVERAGE & PERVIOUS DIAGRAM
A-1.4	BUILDING OPENINGS CALC.
A-2.1	FIRST FLOOR PLAN
A-2.2	SECOND FLOOR PLAN
A-3.1	ELEVATION (FRONT + SIDE) & COLOR ELEVATION
A-3.2	ELEVATION (REAR + SIDE)

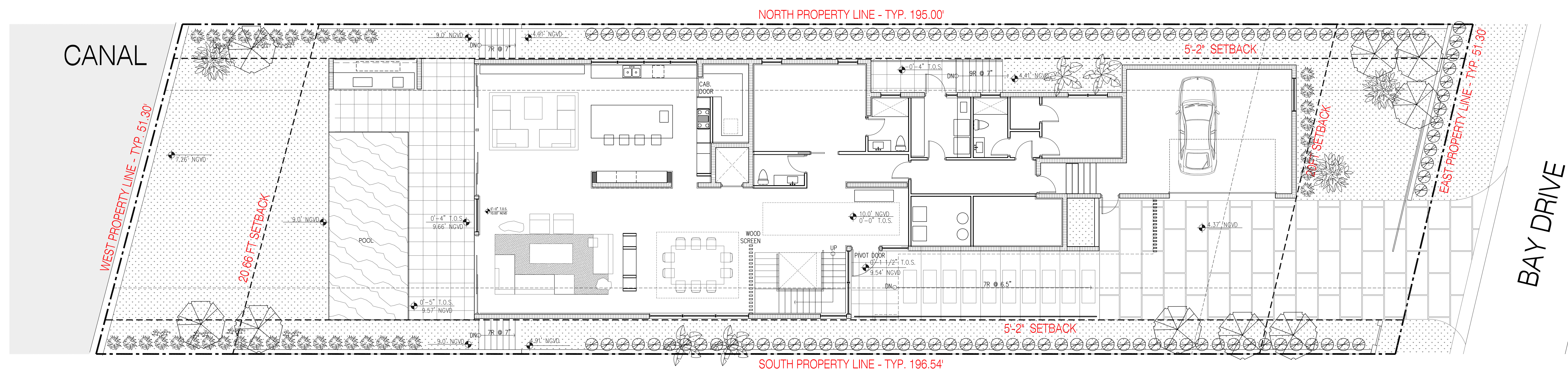
COPYRIGHT © 2020  
 ALL RIGHTS RESERVED.  
 THESE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF PRAXIS ARCHITECTURE + DESIGN, WHETHER PREPARED OR NOT. THEY ARE NOT TO BE USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH THE APPROPRIATE COMPENSATION TO PRAXIS ARCHITECTURE + DESIGN. REPRODUCTION OF DRAWINGS & SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF PRAXIS ARCHITECTURE + DESIGN IS PROHIBITED. CONTRACTORS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.



**DEMOLITION NOTES**

- SCOPE OF DEMOLITION ENTAILS ENTIRE HOUSE.
- REMOVE WALKWAYS, CONCRETE PATIO, DRIVES AND FENCES AS INDICATED ON PLANS.

**1 DEMOLITION PLAN**  
 1/8"=1'-0"



PLANTS SCHEDULE		
NAME	QTY.	
SAINT AUGUSTINE GRASS	QTY.	
WLD TAMARIND TREE	3	
FERN SHRUB	117	
SAW PALMETTO SHRUB	40	
BAMBOO	14	
ALEXANDER PALM	4	
SEA GRAPE TREE	9	

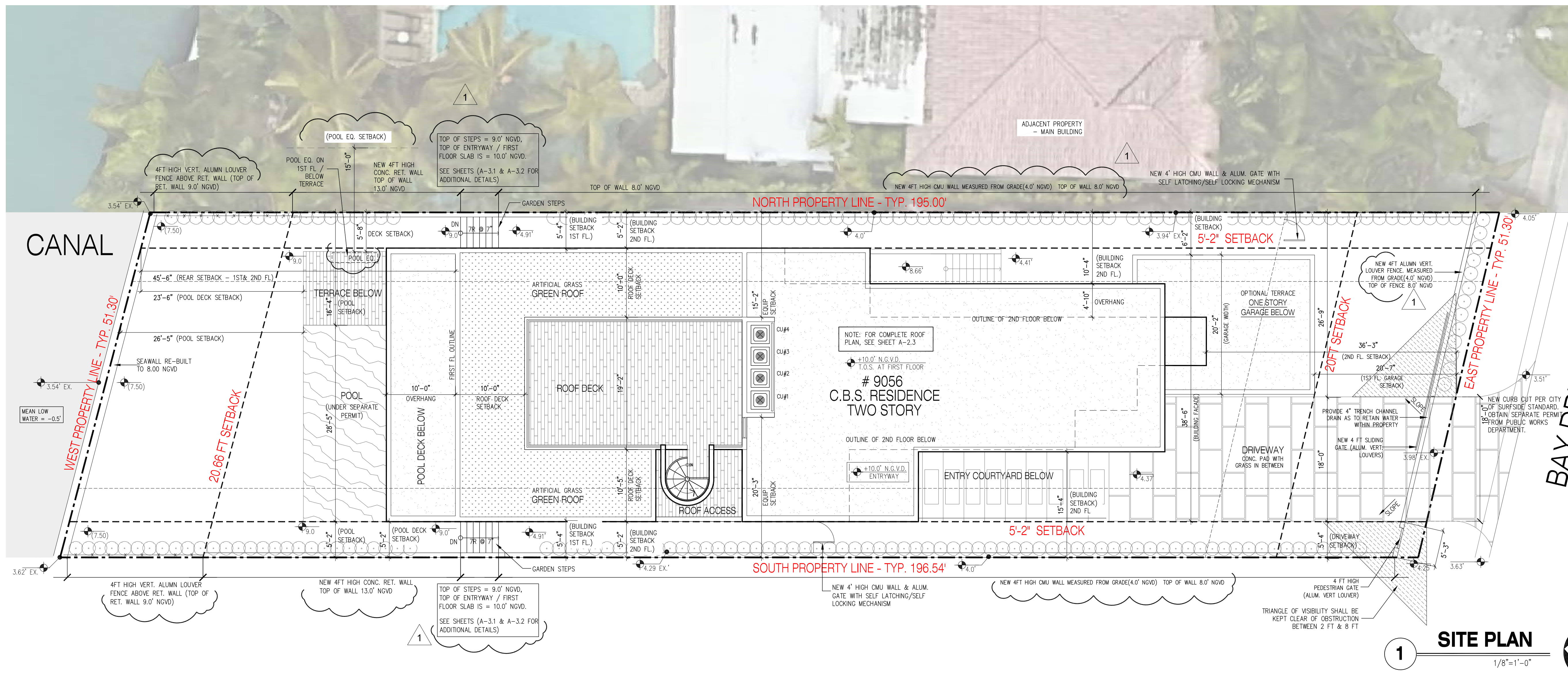
**2 LANDSCAPING PLAN**  
 1/8"=1'-0"

**NEW RESIDENCE**  
 9056 BAY DRIVE  
 SURFSIDE, FL, 33154  
 JAIME ANGEL RUBINSON

Project:  
 Client:  
 Drawing Title  
**DEMOLITION / LANDSCAPING PLAN**

Revision	Date
1	PRELIM COMMENTS 02-05-2020

Scale: As Shown  
 Date: 05-07-19  
 Dwg: **D-1**



**1 SITE PLAN**  
1/8"=1'-0"

**ZONING DATA/CALCULATIONS**

ZONING DISTRICT: H30A / SINGLE-FAMILY RESIDENTIAL  
 FLOOD CONSTRUCTION TYPE: FLOOD DESIGN CLASS 2  
 GRADE: +4.2' NGVD (CROWN OF ROAD)  
 BASE FLOOD ELEV. (BFE) = +8.0' NGVD  
 DESIGN ELEV. (DFE) = +10.0' NGVD

ZONING REGULATION	REQUIRED	PROVIDED
LOT SIZE	8,000 SF	9,250 SF
LOT WIDTH	50 FT.	50 FT.
LOT DEPTH (AVERAGE)	-	190.77 FT.
LAND COVERAGE	40%	3,700 SF
PERVIOUS AREA	35% MIN.	64.03%
BUILDING HEIGHT	2 STY. 30 FT.	30'-0" FT.
FIRST FLOOR AREA	3,700 SF	
SECOND FLOOR AREA	2,910 SF (78.64% OF FIRST FLOOR AREA)	

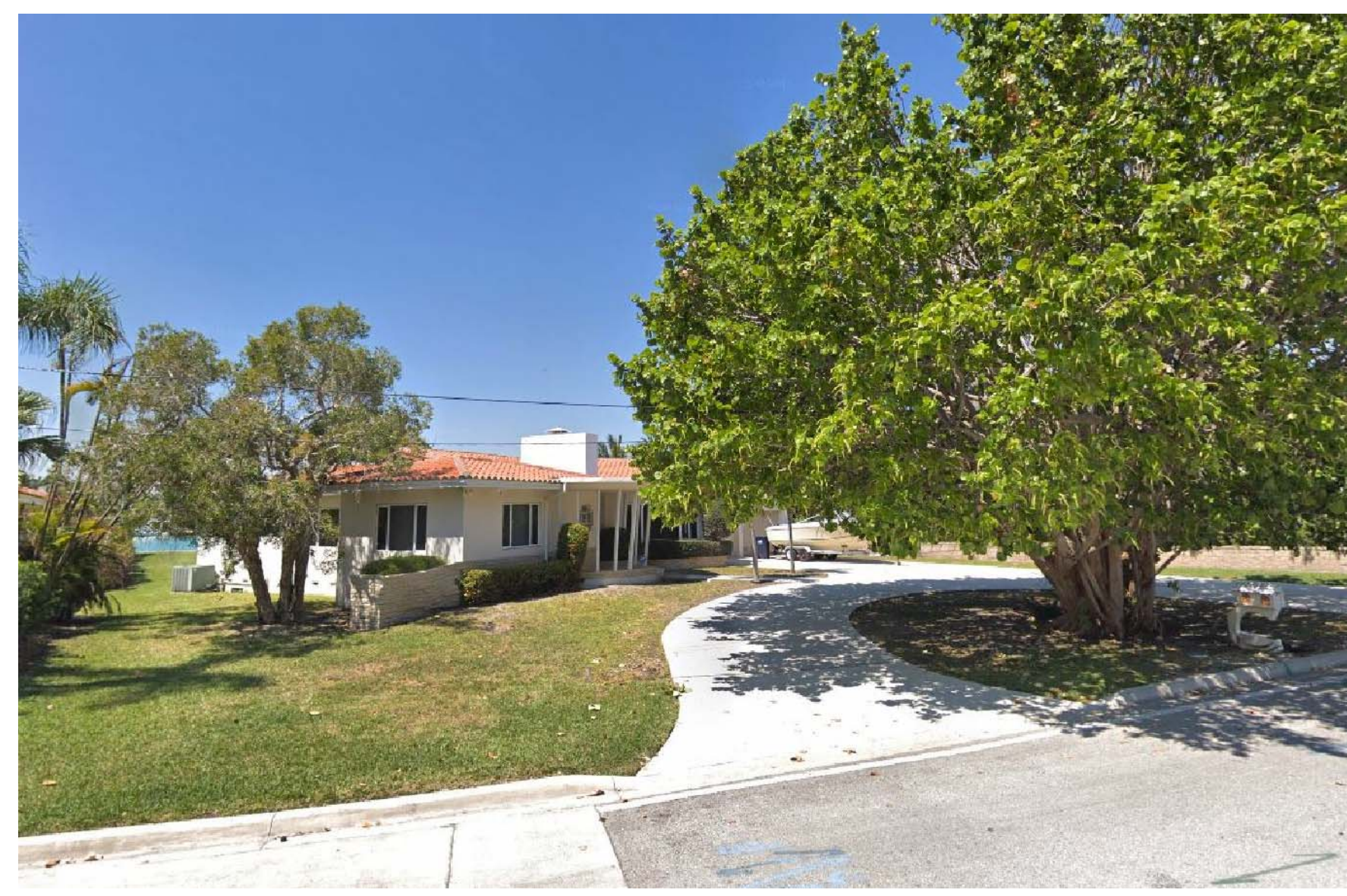
VOLUMETRIC CONFIGURATION :  
 UPPER STORY AREA IS 65% TO 80% OF STORY FLOOR AREA

**SETBACKS**  
 LOT DEPTH (AVERAGE): 190.77 FT. (20% = 38.15 FT)

	REQUIRED	PROVIDED
FRONT - 1ST FL.	20 FT.	20'-7"
FRONT (AVERAGE) - 2ND FL.	30 FT.	36'-3"
SIDE - 1ST FL.	5.13 FT. MIN.	(5.19') 5'-2" N.& SOUTH
SIDE (AVERAGE) - 2ND FL.	10 FT. MIN.	SEE SHEET A-2.2 FOR AVERAGE SETBACKS
REAR SETBACK - 1ST FL.	20.66 FT.	45'-6"



**2 LOCATION PLAN**  
N.T.S.



**A**



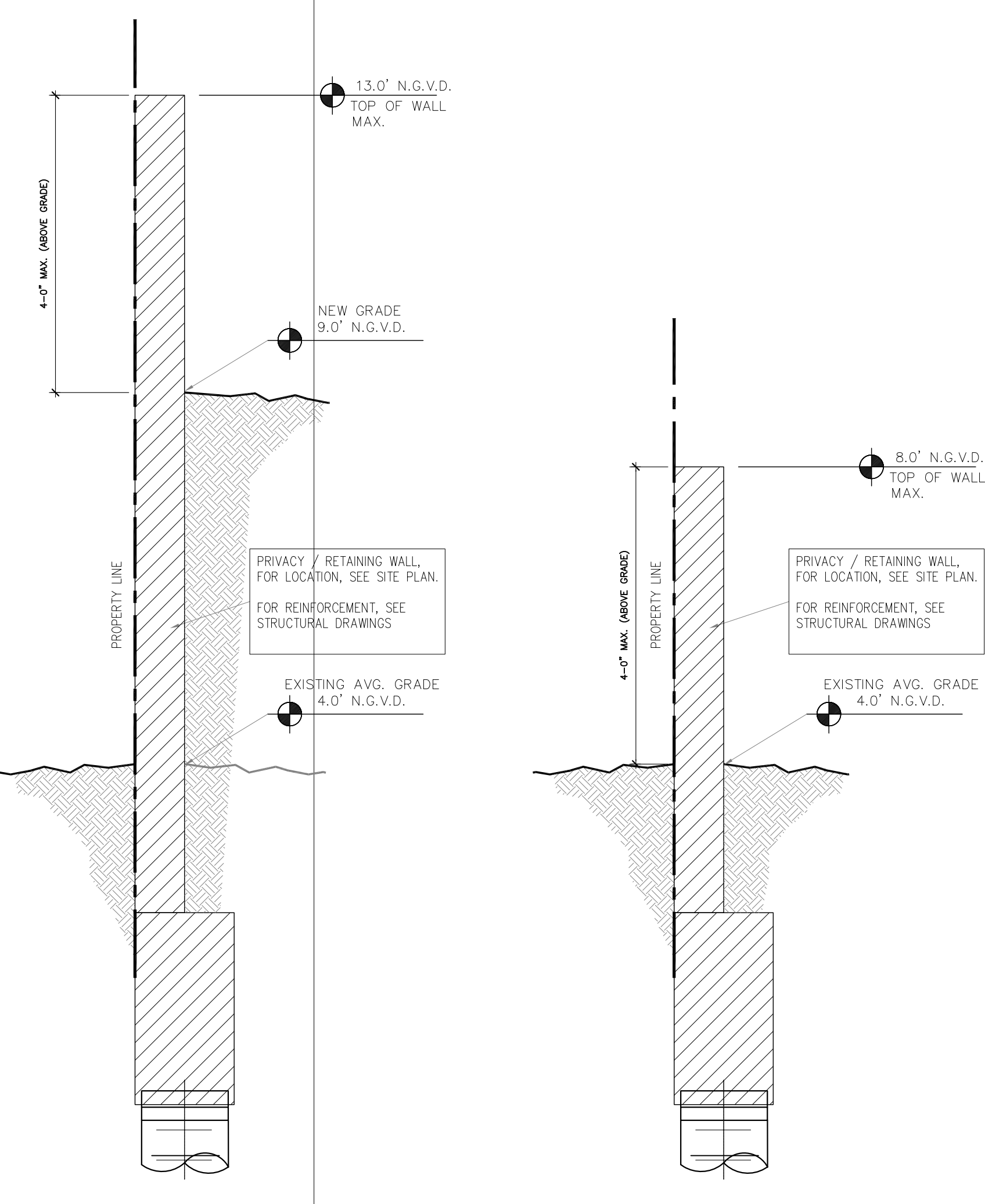
**B**



**C**

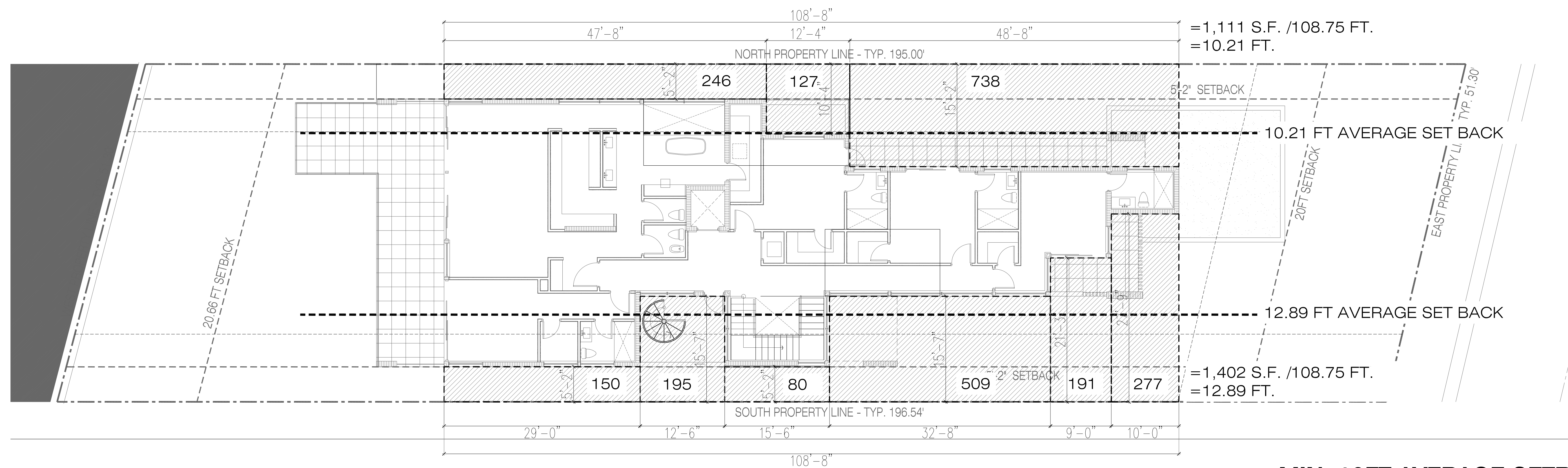


**D**

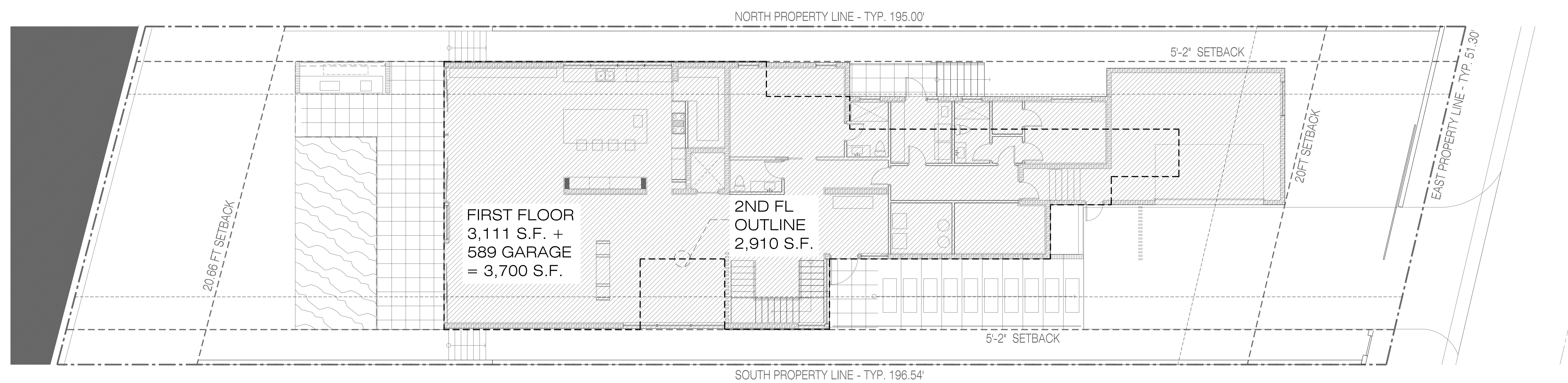


**4 PRIVACY WALL ON RAISED PORTION** N.T.S.

**3 PRIVACY WALL ON EXISTING GRADE** N.T.S.



**MIN. 10FT AVERAGE SETBACK :  
SECOND FLOOR DIAGRAM**



**BUILDING VOLUME: FIRST  
FLOOR SHADED DIAGRAM**

BUILDING VOLUME CALCULATION

FIRST FLOOR	3,111 Sq. Ft.
GARAGE	589 Sq. Ft.
TOTAL FIRST FLOOR	3,700 Sq. Ft.
SECOND FLOOR	2,910 Sq. Ft.
SECOND FLOOR VOLUME RATIO TO FIRST FLOOR	(2,910 Sq. Ft.) = 78.64%

COPYRIGHT © 2020  
ALL RIGHTS RESERVED.

THESE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF PRAXIS ARCHITECTURE + DESIGN, WHETHER PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH THE APPROPRIATE COMPENSATION TO PRAXIS ARCHITECTURE + DESIGN. REPRODUCTION OF DRAWINGS & SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF PRAXIS ARCHITECTURE + DESIGN IS PROHIBITED. CONTRACTORS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

**NEW RESIDENCE**  
9056 BAY DRIVE  
SURFSIDE, FL, 33154

**JAIME ANGEL RUBINSON**

Project:

Client:

Drawing Title

**2ND FL SETBACK  
BUILDING VOL.  
DIAGRAMS**

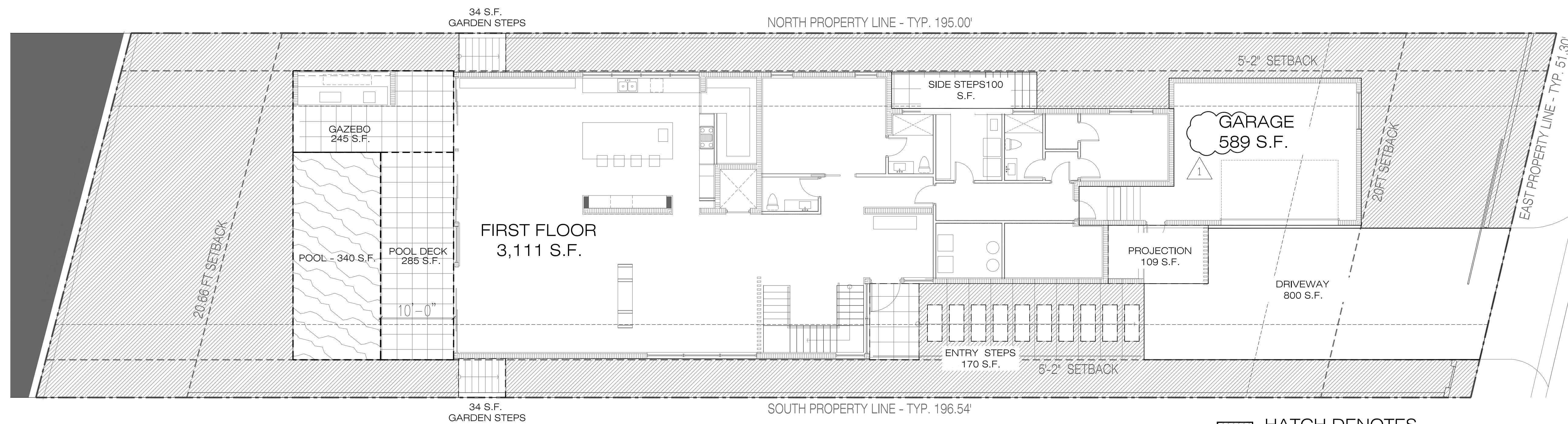
Revision Date

1 PRELIM. COMMENTS 02-05-2020

Scale: As Shown  
Date 05-07-19

Dwg:

**A-1.2**



**LOT COVERAGE & ENTIRE PERVIOUS OPEN SPACE SHADED DIAGRAM**

HATCH DENOTES PERVIOUS OPEN SPACE

**ENTIRE SITE - PERVIOUS OPEN SPACE**

TOTAL LOT AREA	9,250 S.F.
<b>IMPERVIOUS AREAS</b>	
1ST FLOOR	3,111 S.F.
2ND FLOOR PROJECTIONS	109 S.F.
GARAGE	589 S.F.
DRIVEWAY	800 S.F.
STEPS (ENTRY PADS 170 + SIDE 100)	270 S.F.
REAR TERRACE/POOL DECK	530 S.F.
GARDEN STEPS (34+34)	68 S.F.
POOL	340 S.F.
TOTAL IMPERVIOUS AREAS (TO BE EXCLUDED FROM OPEN SPACE)	5,817 S.F.
<b>PERVIOUS OPEN SPACE</b>	
LOT AREA	9,250 S.F.
IMPERVIOUS AREAS	- 3,433 S.F.
TOTAL SITE OPEN SPACE	3,746 S.F.
PERCENTAGE OF OPEN SPACE	37.11%

NOTE: SWIMMING POOL BELOW ADJUSTED GRADE. COUNTED AS OPEN SPACE.

**LOT COVERAGE CALCULATION**

LOT AREA	9,250 Sq. Ft.
MAX COVERAGE (40%)	3,700 Sq. Ft.
1ST FLOOR	3,111 Sq. Ft.
GARAGE	589 Sq. Ft.
TOTAL LOT COVERAGE	3,700 Sq. Ft.
PERCENTAGE PROPOSED	40.0%

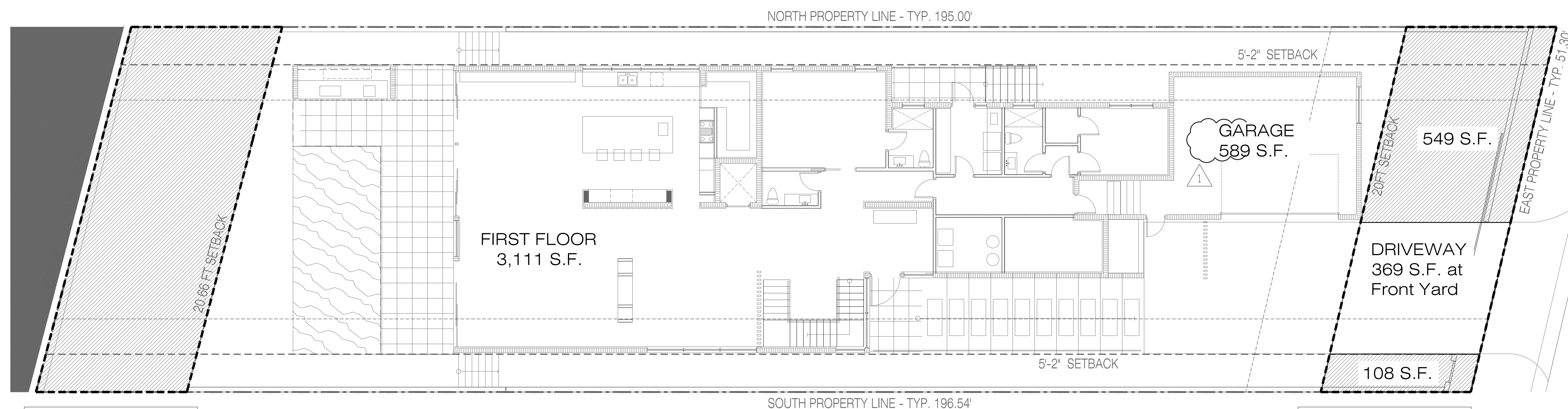
**FRONT SETBACK AREA - PERVIOUS OPEN SPACE**

FRONT SETBACK TOTAL AREA	1,026 S.F.
FRONT SETBACK PERVIOUS OPEN SPACE MIN. - 50%	513 S.F.
<b>IMPERVIOUS AREAS</b>	
DRIVEWAY	369 S.F.
TOTAL IMPERVIOUS AREAS (TO BE EXCLUDED FROM OPEN SPACE)	369 S.F.
<b>PERVIOUS OPEN SPACE</b>	
FRONT SETBACK AREA	1,026 S.F.
IMPERVIOUS AREAS	- 369 S.F.
TOTAL FRONT YARD OPEN SPACE	657 S.F.
PERCENTAGE OF OPEN SPACE	64.03%

**REAR SETBACK AREA - PERVIOUS OPEN SPACE**

REAR SETBACK TOTAL AREA	1,032 S.F.
REAR SETBACK PERVIOUS OPEN SPACE MIN. - 70%	722 S.F.
<b>IMPERVIOUS AREAS</b>	
POOL	0 S.F.
POOL DECK	0 S.F.
TOTAL IMPERVIOUS AREAS (TO BE EXCLUDED FROM OPEN SPACE)	0 S.F.
<b>PERVIOUS OPEN SPACE</b>	
REAR SETBACK AREA	1,032 S.F.
IMPERVIOUS AREAS	- 9 S.F.
TOTAL REAR YARD OPEN SPACE	1,032 S.F.
PERCENTAGE OF OPEN SPACE	100%

NOTE: SWIMMING POOL BELOW ADJUSTED GRADE. COUNTED AS OPEN SPACE.



REAR SETBACK AREA: 1,032 S.F.

HATCH DENOTES PERVIOUS OPEN SPACE

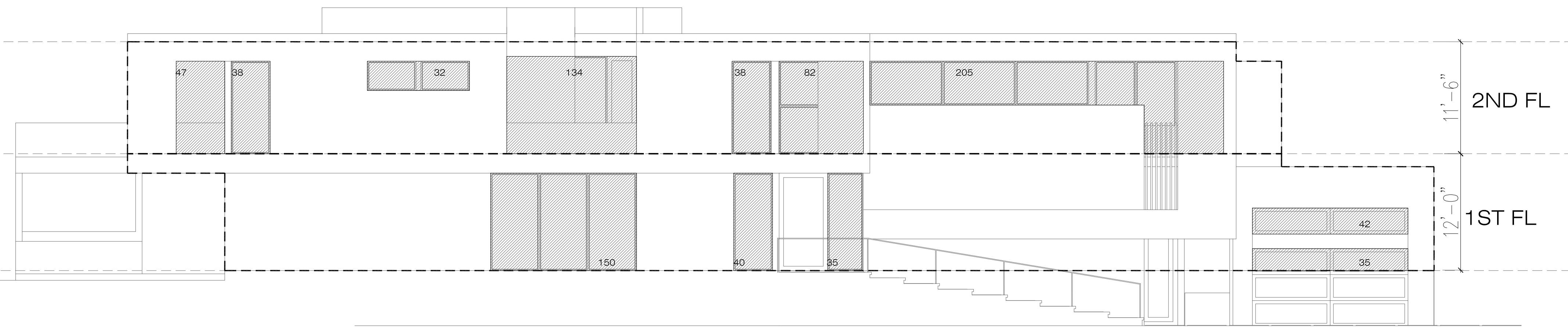
FRONT SETBACK AREA: 1,026 S.F.

**REAR & FRONT PERVIOUS SPACE SHADED DIAGRAM**



TOTAL AREA  
1,355 S.F.  
576 S.F.  
42.5% OPEN

TOTAL AREA  
1485 S.F.  
302 S.F.  
20.3% OPEN

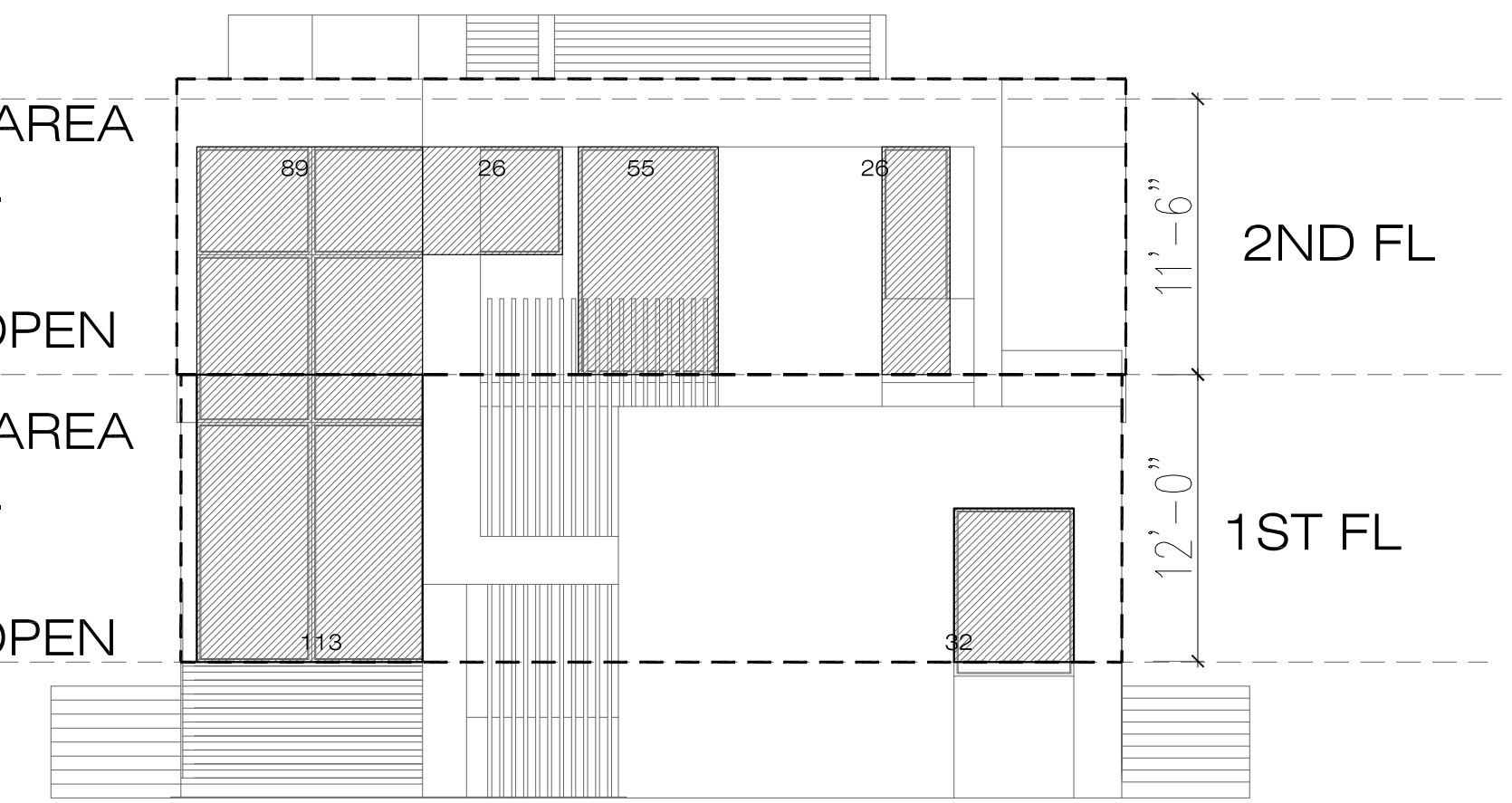


**BUILDING OPENING  
ELEVATIONS**  
**SIDE**

HATCH DENOTES  
OPENINGS

TOTAL AREA  
488 S.F.  
196 S.F.  
40.1% OPEN

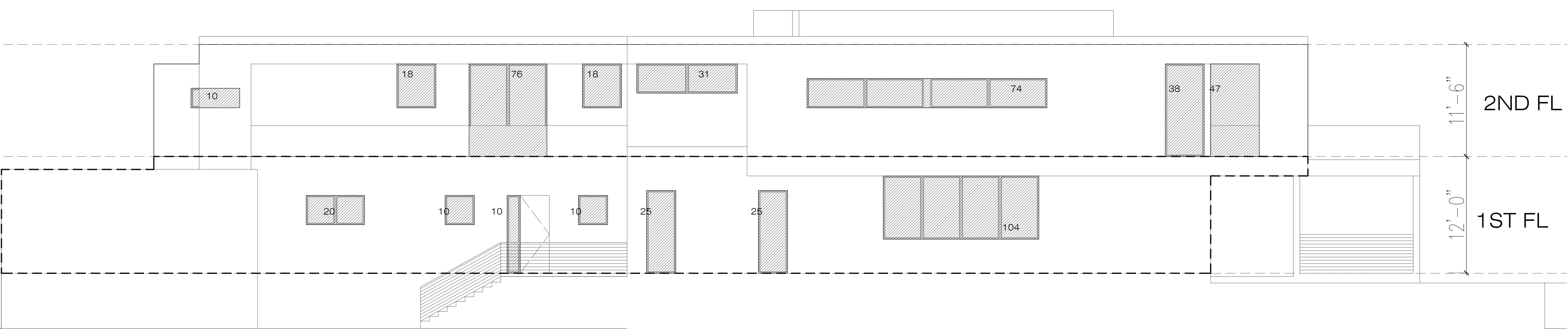
TOTAL AREA  
470 S.F.  
145 S.F.  
30.8% OPEN



**BUILDING OPENING  
ELEVATIONS**  
**FRONT**

TOTAL AREA  
455 S.F.  
360 S.F.  
79.1% OPEN

TOTAL AREA  
1491 S.F.  
204 S.F.  
13.6% OPEN

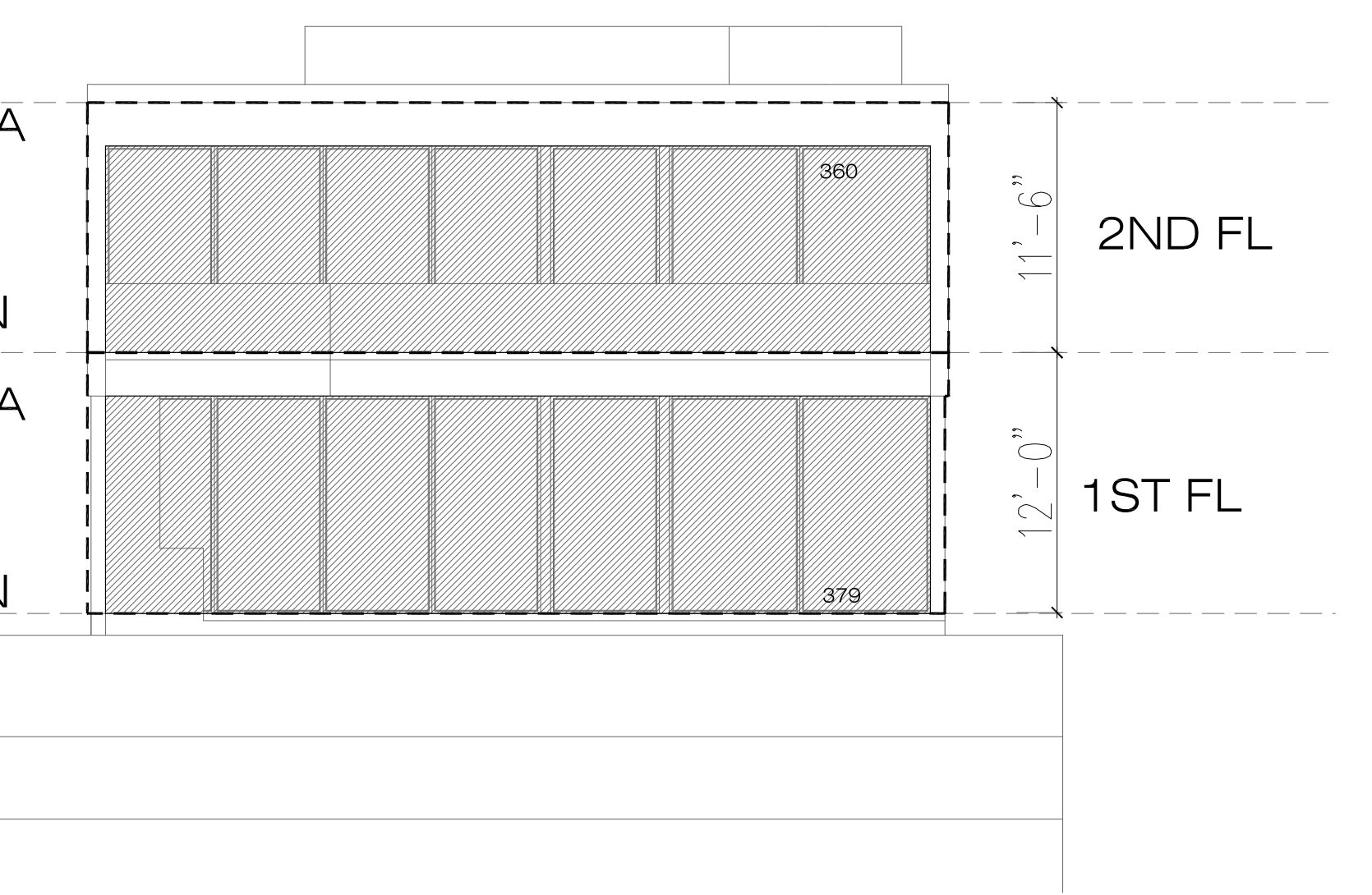


**BUILDING OPENING  
ELEVATIONS**  
**SIDE**

HATCH DENOTES  
OPENINGS

TOTAL AREA  
455 S.F.  
360 S.F.  
79.1% OPEN

TOTAL AREA  
470 S.F.  
379 S.F.  
80.6% OPEN



**BUILDING OPENING  
ELEVATIONS**  
**REAR**

COPYRIGHT © 2020  
ALL RIGHTS RESERVED.  
THESE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF PRAXIS ARCHITECTURE + DESIGN, WHETHER PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH THE APPROPRIATE COMPENSATION TO PRAXIS ARCHITECTURE + DESIGN. REPRODUCTION OF DRAWINGS & SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF PRAXIS ARCHITECTURE + DESIGN IS PROHIBITED. CONTRACTORS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

**NEW RESIDENCE**  
9056 BAY DRIVE  
SURFSIDE, FL, 33154

**JAIME ANGEL RUBINSON**

Project:

Client:

Drawing Title

**BUILDING  
OPENINGS**

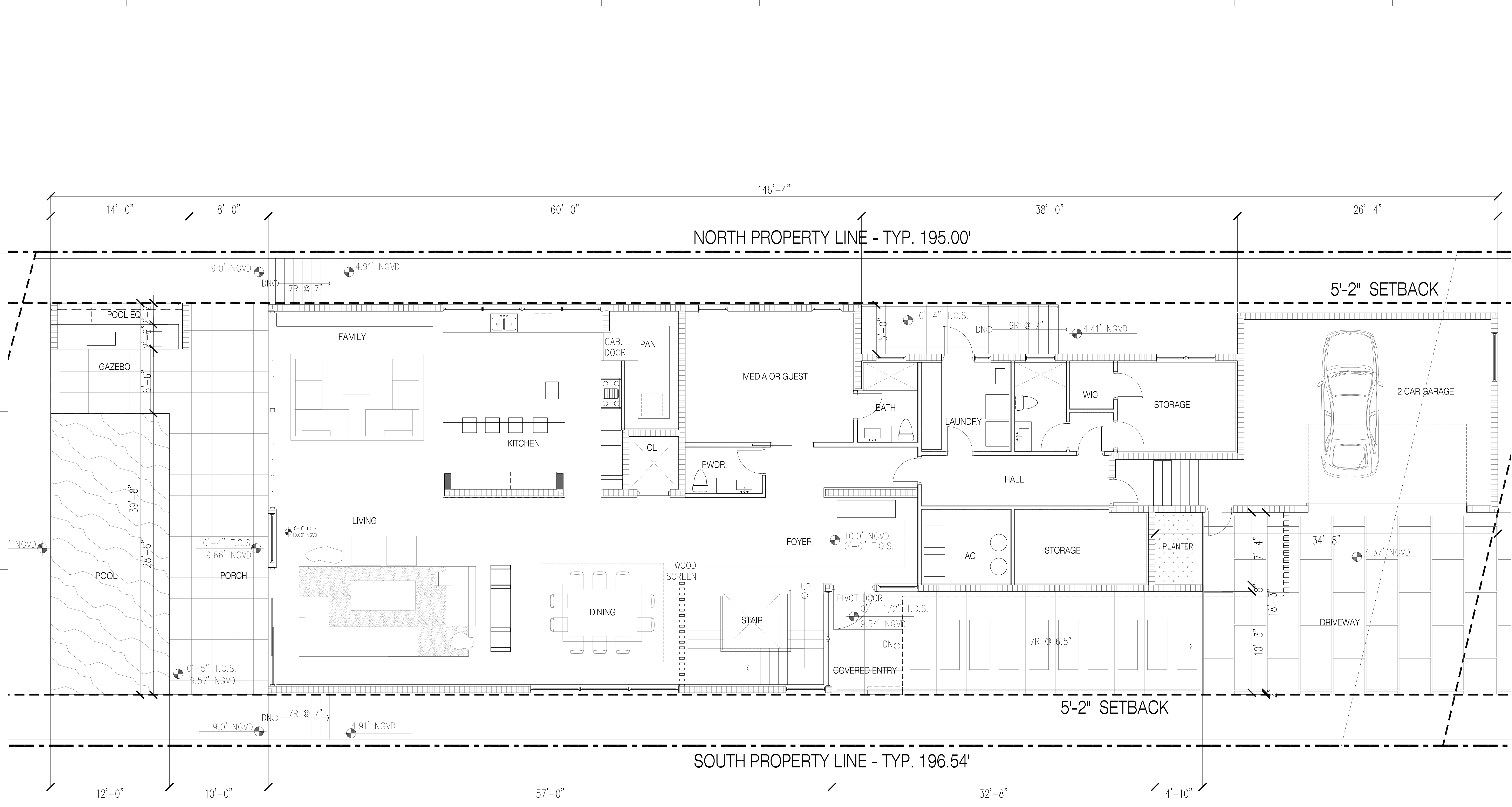
Revision Date

1	PRELIM. COMMENTS	02-05-2020
---	------------------	------------

Scale: As Shown  
Date 05-07-19

Dwg:

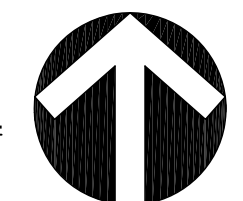
**A-1.4**



COPYRIGHT © 2020  
 ALL RIGHTS RESERVED.  
 THESE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF PRAXIS ARCHITECTURE + DESIGN, WHETHER PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH THE APPROPRIATE COMPENSATION TO PRAXIS ARCHITECTURE + DESIGN. REPRODUCTION OF DRAWINGS & SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF PRAXIS ARCHITECTURE + DESIGN IS PROHIBITED. CONTRACTORS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

**NEW RESIDENCE**  
 9056 BAY DRIVE  
 SURFSIDE, FL, 33154  
 JAIME ANGEL RUBINSON

**1 FIRST FLOOR PLAN**  
 1/4"=1'-0"



WALL LEGEND	
[Symbol]	NEW 8" C.M.U. WALL W/ PRESSURE TREATED FURRING STRIPS, R-7.1 INSULATION @ 1/2" G.P. ED. FINISH.
[Symbol]	NEW 8" C.M.U. W/ CEMENT STUCCO FINISH BOTH SIDES
[Symbol]	NEW DRYWALL PARTITION - 5/8" GYPSUM BOARD ON 22 GAGE METAL STUDS @ 16" O.C. - ALTERNATIVE: 2"x4" WOOD STUDS PROVIDE 1/2" DUCK BOARD AT NET AREAS AND 5/8" MOISTURE RESISTANT GREENBOARD AT AREAS SUBJECT TO MOISTURE (BATHROOMS).
[Symbol]	NEW DRYWALL PARTITION - PROVIDE ACOUSTIC INSULATION WHERE NOTED BY INSULT. SYMBOL
[Symbol]	CONCRETE COLUMN (SEE STRUCT. DWGS FOR REINF.)

Project: \_\_\_\_\_ Client: \_\_\_\_\_

Drawing Title: **FIRST FLOOR PLAN**

Revision	Date
1	PRELIM. COMMENTS 02-05-2020

Scale: As Shown  
 Date: 05-07-19

Dwg: **A-2.1**

COPYRIGHT © 2020  
ALL RIGHTS RESERVED.

THESE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF PRAXIS ARCHITECTURE + DESIGN, WHETHER PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH THE APPROPRIATE COMPENSATION TO PRAXIS ARCHITECTURE + DESIGN. REPRODUCTION OF DRAWINGS & SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF PRAXIS ARCHITECTURE + DESIGN IS PROHIBITED. CONTRACTORS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

**NEW RESIDENCE**  
9056 BAY DRIVE  
SURFSIDE, FL, 33154

**JAIME ANGEL RUBINSON**

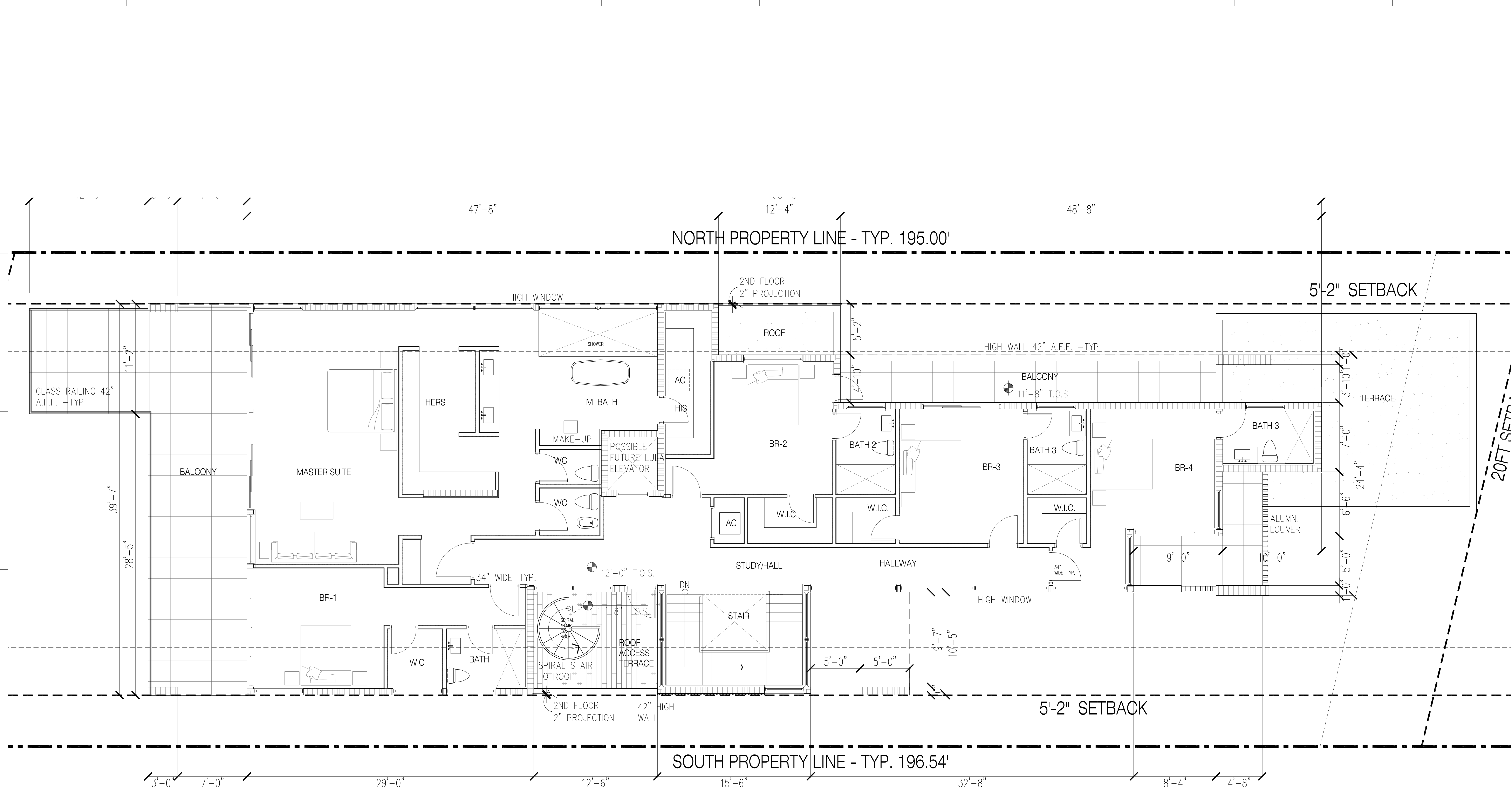
Project:  
Client:

Drawing Title  
**SECOND FLOOR PLAN**

Revision	Date
1	PRELIM. COMMENTS 02-05-2020

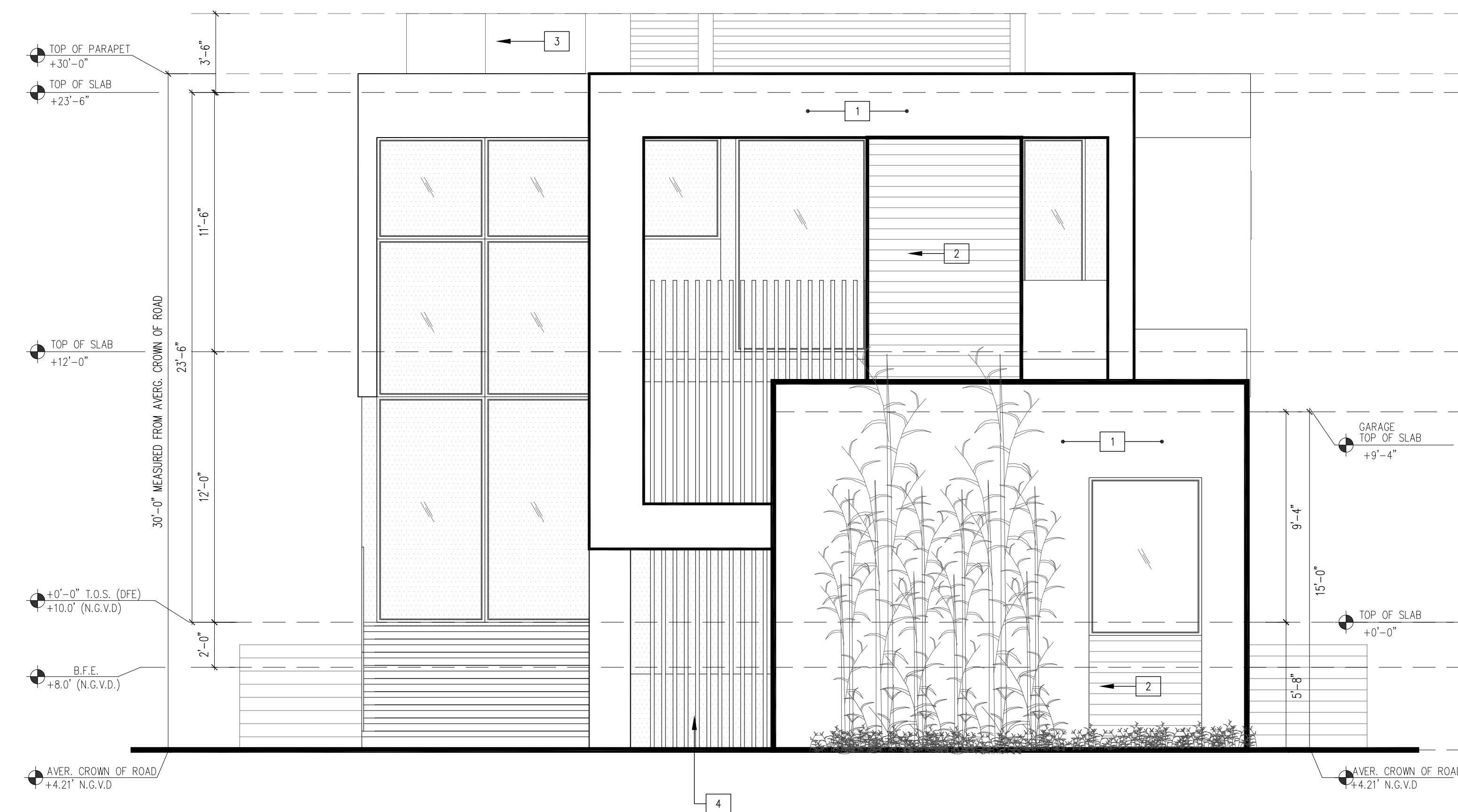
Scale: As Shown  
Date: 05-07-19

Dwg:  
**A-2.2**



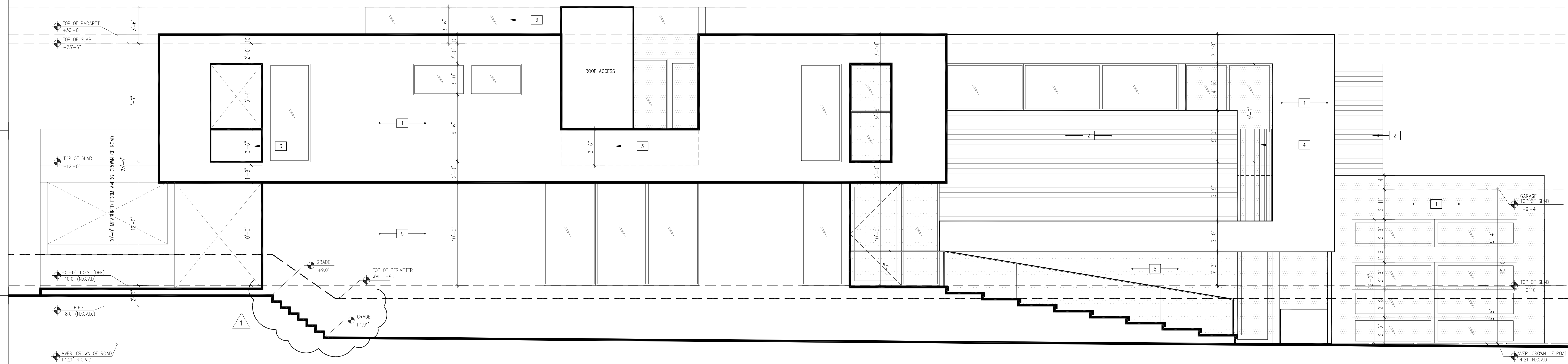
**1 SECOND FLOOR PLAN**  
1/4"=1'-0"

WALL LEGEND	
	NEW 8" C.M.U. WALL W/ PRESSURE TREATED FURRING STRIPS, R-7.1 INSULATION BTK 5/8" GYP. BD. FINISH.
	NEW 8" C.M.U. W/ CEMENT STUCCO FINISH BOTH SIDES
	NEW DRYWALL PARTITION - 5/8" GYPSUM BOARD ON 22 GAGE METAL STUDS @ 16" O.C. - ALTERNATIVE 2"x4" WOOD STUDS; PROVIDE 1/2" DARKWOOD BOARD AT MET AREAS AND 5/8" MOISTURE RESISTANT GREENBOARD AT AREAS SUBJECT TO MOISTURE (BATHROOMS).
	NEW DRYWALL PARTITION - PROVIDE ACOUSTIC INSULATION WHERE NOTED BY INSULT. SYMBOL
	CONCRETE COLUMN (SEE STRUCT. DWGS FOR REINF.)



**1 EAST ELEVATION (FRONT)**  
1/4"=1'-0"

- ELEVATION KEYNOTES**
1. SMOOTH CEMENT STUCCO
  2. SYNTHETIC WOOD BOARDS- REYSYSTA , ESTEC OR SIMILAR.
  3. GLASS GLAZED 42" HIGH A.F.F.
  4. DECORATIVE ALUM. LOUVERS (UNDER SEPARATE PERMIT)
  5. STONE TILE TO BE SELECTED BY OWNER.



**2 SOUTH ELEVATION (SIDE)**  
1/4"=1'-0"

COPYRIGHT © 2020  
ALL RIGHTS RESERVED.  
THESE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF PRAXIS ARCHITECTURE + DESIGN, WHETHER PREPARED OR NOT, THEY ARE NOT TO BE USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH THE APPROPRIATE COMPENSATION TO PRAXIS ARCHITECTURE + DESIGN. REPRODUCTION OF DRAWINGS & SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF PRAXIS ARCHITECTURE + DESIGN IS PROHIBITED. CONTRACTORS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

**NEW RESIDENCE**  
9056 BAY DRIVE  
SURFSIDE, FL, 33154  
**JAIME ANGEL RUBINSON**

Project: \_\_\_\_\_  
Client: \_\_\_\_\_  
Drawing Title: **ELEVATIONS**

Revision	Date
1	

Scale: As Shown  
Date: 05-07-19  
Dwg: **A-3.1**

COPYRIGHT © 2020  
 ALL RIGHTS RESERVED.  
 THESE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF PRAXIS ARCHITECTURE + DESIGN, WHETHER PREPARED IS EXCUTED OR NOT. THEY ARE NOT TO BE USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH THE APPROPRIATE COMPENSATION TO PRAXIS ARCHITECTURE + DESIGN. REPRODUCTION OF DRAWINGS & SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF PRAXIS ARCHITECTURE + DESIGN IS PROHIBITED. CONTRACTORS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

**NEW RESIDENCE**  
 9056 BAY DRIVE  
 SURFSIDE, FL, 33154  
 Client: JAIME ANGEL RUBINSON

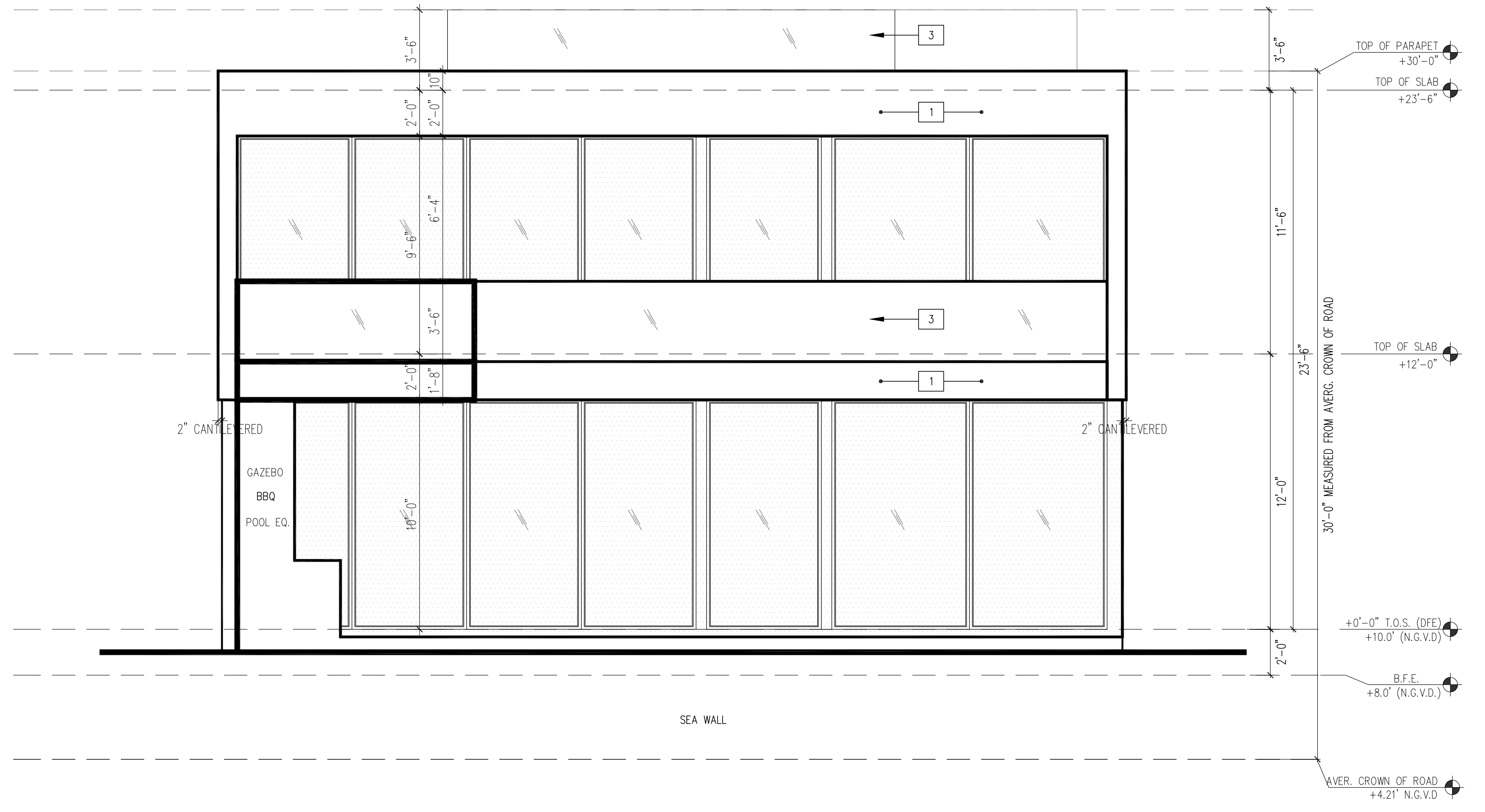
Project: **NEW RESIDENCE**  
 Client: **JAIME ANGEL RUBINSON**

Drawing Title: **ELEVATIONS**

Revision	Date
1	

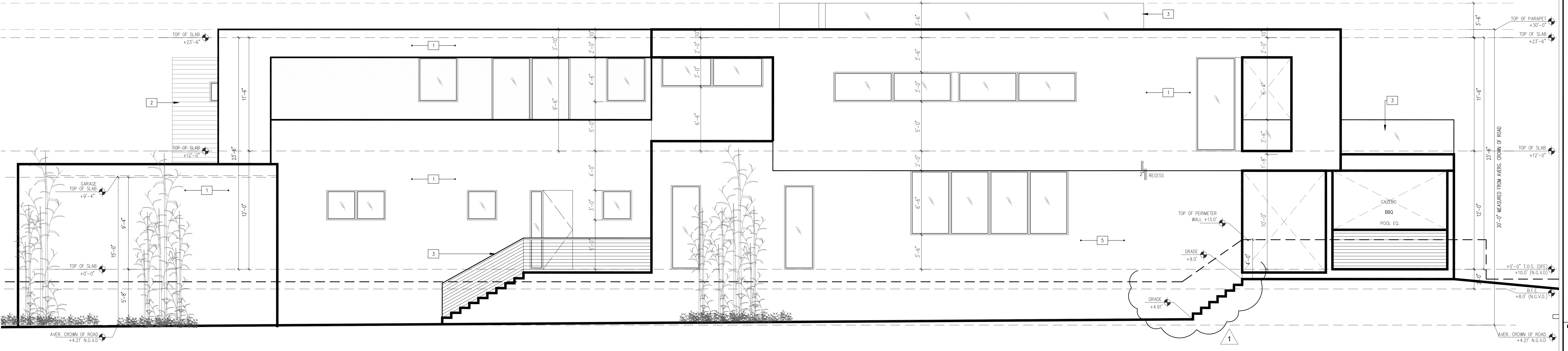
Scale: As Shown  
 Date: 05-07-19

Dwg: **A-3.2**

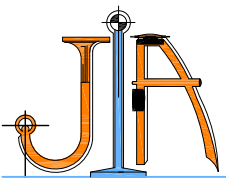


**1 WEST ELEVATION (REAR)**  
 1/4"=1'-0"

- ELEVATION KEYNOTES**
1. SMOOTH CEMENT STUCCO
  2. SYNTHETIC WOOD BOARDS- REYSITA , ESTHEC OR SIMILAR.
  3. GLASS GLAZEDRAL 42" HIGH A.F.F.
  4. DECORATIVE ALUM. LOUVERS (UNDER SEPARATE PERMIT)
  5. STONE TILE TO BE SELECTED BY OWNER.



**2 NORTH ELEVATION (SIDE)**  
 1/4"=1'-0"



# JOHN IBARRA & ASSOCIATES, INC.

## Professional Land Surveyors & Mappers

777 N.W. 72nd AVENUE  
SUITE 3025  
MIAMI, FLORIDA 33126  
PH: (305) 262-0400  
FAX: (305) 262-0401

WWW.IBARRALANDSURVEYORS.COM

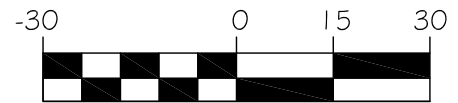
4851 TAMiami TRAIL NORTH  
SUITE # 200  
NAPLES, FL 34103  
PH: (239) 540-2660  
FAX: (239) 540-2664



# MAP OF BOUNDARY SURVEY

9056 BAY DRIVE, SURFSIDE, FLORIDA 33154

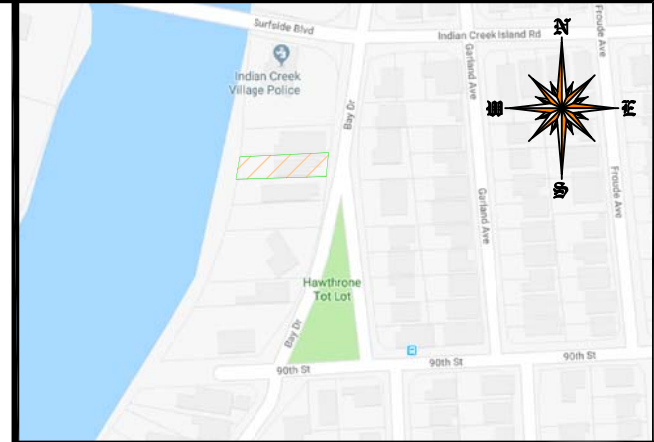
## GRAPHIC SCALE



(IN FEET)  
1 INCH = 30 FEET

### ABBREVIATIONS AND MEANINGS

- A = ARC
- A.C. = AIR CONDITIONER PAD
- A.E. = ANCHOR EASEMENT
- AR = ALUMINUM ROOF
- AS = ALUMINUM SHED
- ASPH = ASPHALT
- B.C. = BLOCK CORNER
- B.C.R. = BROWARD COUNTY RECORDS
- BLDG. = BUILDING
- B.M. = BENCH MARK
- B.O.B. = BASIS OF BEARINGS
- B.S.L. = BUILDING SETBACK LINE
- C = CALCULATED
- C.B. = CATCH BASIN
- C.B.S. = CONCRETE BLOCK STRUCTURE
- CBW = CONCRETE BLOCK WALL
- CH = CHORD
- CH.B. = CHORD BEARING
- CL = CLEAR
- C.L.F. = CHAIN LINK FENCE
- C.M.E. = CANAL MAINTENANCE EASEMENTS
- CONC. = CONCRETE
- C.P. = CONC. PORCH
- C.S. = CONCRETE SLAB
- C.U.P. = CONC. UTILITY POLE
- C.W. = CONCRETE WALK
- D.E. = DRAINAGE EASEMENT
- D.M.E. = DRAINAGE MAINTENANCE EASEMENTS
- DRIVEWAY = DRIVEWAY
- ° = DEGREES
- E = EAST
- EB = ELECTRIC BOX
- E.T.P. = ELECTRIC TRANSFORMER PAD
- ELEV. = ELEVATION
- ENCR. = ENCROACHMENT
- F.H. = FIRE HYDRANT
- F.I.P. = FOUND IRON PIPE
- F.I.R. = FOUND IRON ROD
- F.F.E. = FINISHED FLOOR ELEVATION
- F.N.D. = FOUND NAIL & DISK
- FR = FRAME
- FT = FEET
- FNIP = FEDERAL NATIONAL INSURANCE
- F.N. = FOUND NAIL
- H. = HIGH (HEIGHT)
- I.C.V. = IRRIGATION CONTROL VALVE
- I.F. = IRON FENCE
- IN. EG. = INGRESS AND EGRESS EASEMENT
- L.B. = Certificate of Authorization L.B.#7806
- L.P. = LIGHT POLE
- L.F.E. = LOWEST FLOOR ELEVATION
- L.M.E. = LAKE MAINTENANCE EASEMENT
- ' = MINUTES
- M. = MEASURED DISTANCE
- MB = MAIL BOX
- M.D.C.R. = MIAMI DADE COUNTY RECORDS
- M.E. = MAINTENANCE EASEMENTS
- MON. = MONUMENT LINE
- MH = MANHOLE
- ML = MONUMENT LINE
- N.A.P. = NOT A PART OF
- NGVD = NATIONAL GEODETIC VERTICAL DATUM
- N. = NORTH
- N.T.S. = NOT TO SCALE
- # AND = NUMBER
- O.S. = OFFSET
- O.H. = OVERHEAD
- O.H.L. = OVERHEAD UTILITY LINES
- O.R.B. = OFFICIAL RECORDS BOOK
- OVH = OVERHANG
- P.V.M.T. = PAVEMENT
- PL = PLANTER
- PL = PROPERTY LINE
- P.C.C. = POINT OF COMPOUND CURVE
- P.C. = POINT OF CURVE
- PT. = POINT OF TANGENCY
- POC = POINT OF COMMENCEMENT
- POB = POINT OF BEGINNING
- P.R.C. = POINT OF REVERSE CURVE
- P.B. = PLAT BOOK
- PG. = PAGE
- PRM. = PERMANENT REFERENCE MONUMENT
- P.L.S. = PROFESSIONAL LAND SURVEYOR
- R. = RECORDED DISTANCE
- RR. = RAIL ROAD
- RES. = RESIDENCE
- PROP. COR. = PROPERTY CORNER
- R.W. = RIGHT-OF-WAY
- R.P. = RADIUS POINT
- RGE. = RANGE
- SEC. = SECTION
- STY. = STORY
- SWK. = SIDEWALK
- S.I.P. = SET IRON PIPE L.B.#7806
- S.P.P. = SCREENED PORCH
- S. = SOUTH
- " = SECONDS
- T = TANGENT
- T.B. = TELEPHONE BOOTH
- T.U.E. = TECHNOLOGY UTILITY EASEMENT
- T.S.B. = TRAFFIC SIGNAL BOX
- T.S.P. = TRAFFIC SIGNAL POLE
- TWP. = TOWNSHIP
- UTL. = UTILITY
- U.P. = UTILITY POLE
- W.M. = WATER METER
- W.F. = WOOD FENCE
- W.R. = WOOD ROOF
- W.M. = WATER METER
- W.F. = WOOD FENCE
- W.R. = WOOD ROOF
- W.S. = WOOD SHED
- W. = WEST
- W. = CENTER LINE
- Δ = CENTRAL ANGLE
- ∠ = ANGLE



### LOCATION SKETCH

SCALE = N.T.S.

### LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING.
- PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

### FLOOD ZONE INFORMATION:

THE FNIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:  
**FLOOD ZONE:** "AE"  
**BASE FLOOD ELEVATION:** 8FL  
**COMMUNITY:** 120659  
**PANEL:** 0144  
**SUFFIX:** L  
**DATE OF FIRM:** 09/11/2009  
 THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

### SURVEYOR'S NOTES:

1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
3. CERTIFICATE OF AUTHORIZATION L.B.# 7806.
4. ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 MIAMI DADE COUNTY BENCH MARK #F-243. LOCATOR NO. 3220 N; ELEVATION IS 13.03 FEET OF N.G.V.D. OF 1929.

### SURVEYOR'S CERTIFICATION:

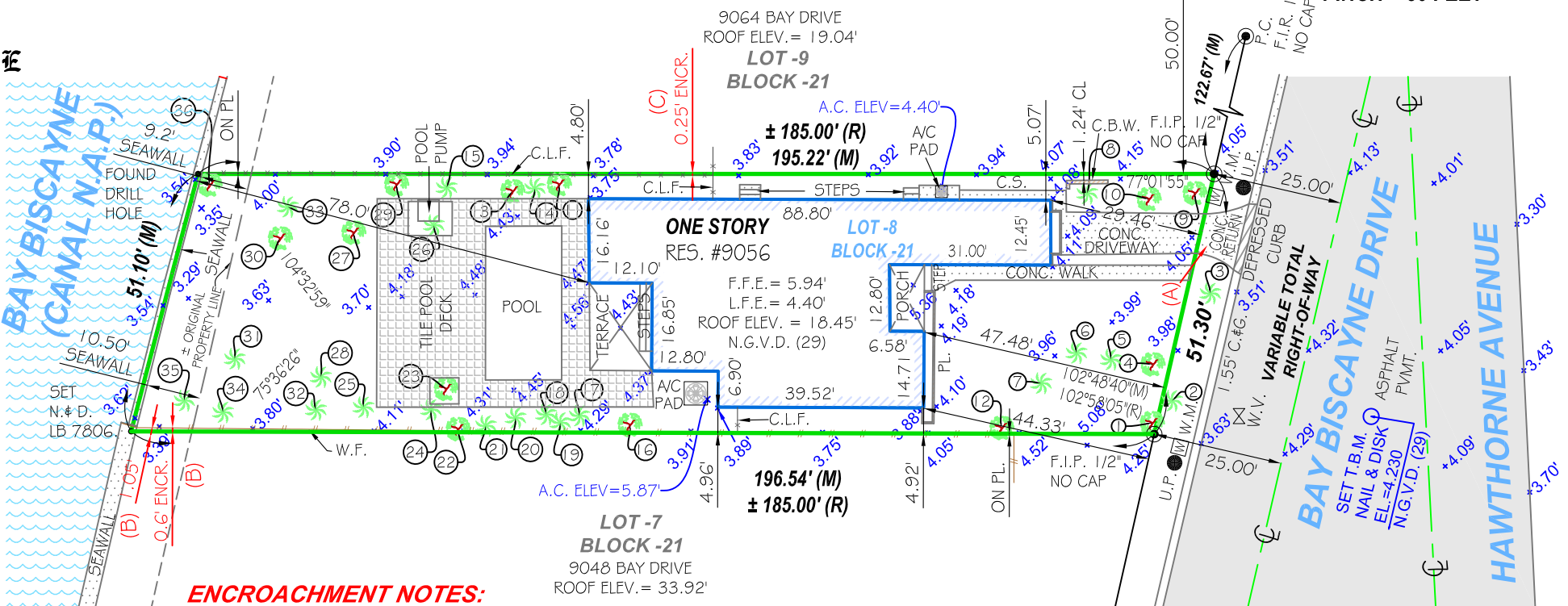
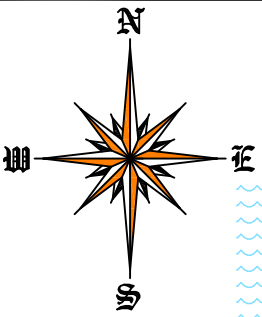
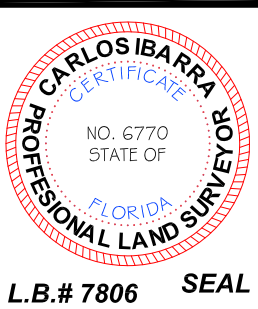
I HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

BY:  **04/24/2018**  
**CARLOS IBARRA** (DATE OF FIELD WORK)

PROFESSIONAL LAND SURVEYOR NO.: 6770 STATE OF FLORIDA  
 (NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER).

REVISED ON: \_\_\_\_\_  
 REVISED ON: \_\_\_\_\_

<b>DRAWN BY:</b>	AS
<b>FIELD DATE:</b>	04/24/2018
<b>SURVEY NO.:</b>	18-001900-1
<b>SHEET:</b>	1 OF 1



No.	NAME	"DIAMETER (Ft.)"	"HEIGHT (Ft.)"	"SPREAD (Ft.)"
1	OAK	0.80	25.00	20.00
2	SABAL PALM	0.80	30.00	12.00
3	ALEXANDER PALM	0.80	20.00	8.00
4	MULBERRY	0.50	15.00	15.00
5	ALEXANDER PALM (9)	0.50	20.00	10.00
6	ALEXANDER PALM (3)	0.30	15.00	8.00
7	COCONUT PALM	0.70	30.00	20.00
8	SABAL PALM	1.30	20.00	15.00
9	FICUS	0.50	12.00	8.00
10	FICUS	0.50	12.00	8.00
11	FICUS	1.00	15.00	10.00
12	MANGO	0.30	10.00	8.00
13	FICUS	1.00	15.00	12.00
14	ARECA	4.00	20.00	15.00
15	SABAL PALM	1.30	20.00	15.00
16	UMBRELLA	3.00	35.00	20.00
17	FISHTAIL PLAM (4)	0.40	25.00	15.00
18	FISHTAIL PLAM (3)	0.30	25.00	15.00

No.	NAME	"DIAMETER (Ft.)"	"HEIGHT (Ft.)"	"SPREAD (Ft.)"
19	COCONUT PALM	1.00	35.00	20.00
20	COCONUT PALM	1.00	35.00	20.00
21	COCONUT PALM	1.00	35.00	20.00
22	UMBRELLA	2.00	30.00	20.00
23	DRACAENA	0.50	15.00	6.00
24	SABAL PALM	1.00	40.00	12.00
25	SABAL PALM	1.00	20.00	15.00
26	ARECA	2.00	20.00	10.00
27	MANGO	0.80	25.00	20.00
28	COCONUT PALM	1.00	20.00	20.00
29	FICUS	0.30	15.00	10.00
30	MANGO	0.25	12.00	6.00
31	COCONUT PALM	0.80	20.00	15.00
32	COCONUT PALM	1.00	35.00	20.00
33	BIRD OF PARADISE	0.50	12.00	5.00
34	COCONUT PALM	0.80	30.00	15.00
35	COCONUT PALM	1.00	25.00	20.00
36	FICUS	1.00	20.00	12.00



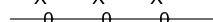


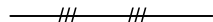



### CERTIFICATION:

CITY NATIONAL BANK OF FLORIDA,  
 ISAOA/TITIMA;  
 TRIDENT TITLE, A DIVISION OF LANDCASTLE  
 TITLE GROUP, LLC;  
 COMMONWEALTH LAND TITLE INSURANCE  
 COMPANY;  
 LEVINE & PARTNERS, P.A. AND JAIME  
 RUBINSON

### LEGAL DESCRIPTION:

LOT 8, BLOCK 21, OF ALTOS DEL MAR  
 No.4, ACCORDING TO THE PLAT THEREOF  
 AS RECORDED IN PLAT BOOK 10, PAGE 63,  
 OF THE PUBLIC RECORDS OF MIAMI DADE  
 COUNTY, FLORIDA.

### LEGEND

-  = OVERHEAD UTILITY LINES
-  = CONCRETE BLOCK WALL
-  = CHAIN LINK FENCE
-  = IRON FENCE
-  = WOOD FENCE
-  = BUILDING SETBACK LINE
-  = UTILITY EASEMENT
-  = LIMITED ACCESS RW
-  = NON-VEHICULAR ACCESS RW
-  = EXISTING ELEVATIONS



## MEMORANDUM

To: Planning and Zoning Board

Thru: Guillermo Olmedillo, Town Manager

From: Sarah Sinatra Gould, AICP, Town Planner

CC: Lillian Arango, Town Attorney

Date: February 27, 2020

Re: 1116 88<sup>th</sup> Street– New 2 Story Home

---

The property is located at 1116 88<sup>th</sup> Street, within the H30A zoning district. The applicant is requesting to build a new 6,281 square foot two-story home. The plans include a new driveway, balcony, covered terrace, wood trellis and a 2-car garage. An application for an addition and a variance to the existing home was reviewed and approved by the Planning and Zoning Board at the December 2019 meeting. Since that time, the site suffered significant flooding and the applicant has now decided to demolish and rebuild the home. The proposed project no longer requires a variance.



Staff has reviewed the current application for consideration by the Planning and Zoning Board. In this report Staff presents the following:

- Applicable Zoning Code regulations, along with the results of the review

- Applicable Design Guideline standards, along with the results of the review
- Staff Findings

## STANDARDS / RESULTS

### Town of Surfside Zoning Code, Applicable Requirements

#### **Sec. 42.92 Lowest Floor Elevation**

Residential	Lowest Floor	Proposed
Single-Family Residential	Base Flood +2	10 NGVD

#### **Sec. 90.43 Maximum building heights**

Height	Required Maximum	Proposed
H30B	30 feet	30' from crown of road

#### **Sec. 90-45. Setbacks**

H30A AND H30B UPPER STORY FLOOR AREA IS 50% TO 64% OF FIRST STORY AREA	Required	Proposed
<i>Maximum Lot Coverage</i>	40%	26% (2,974/11,512=.258)
FIRST STORY (UP TO 15 FT IN HEIGHT)		
Primary frontage	Minimum 20 FT	20'
Interior side (Lots greater than 50 feet in width)	Minimum 10%	<u>East Side</u> 6'1" (10% of 60.50)
Secondary frontage (corner only)	Minimum 10 FT	<u>West Side</u> 10'
Rear	Minimum 20 FT	20'
UPPER STORY OR WALL PLANES GREATER THAN 15 FT IN HEIGHT		
Primary frontage	Minimum 20 FT / Average 25 FT	Minimum: 33'11" Average: 33'11"
Interior side (lots greater than 50' in width) – Wall length is greater than 20% of the lot depth	Minimum 10% of frontage / Average 15% of frontage	<u>East Side</u> Minimum: 6'1" (10%) Average: 9'1" (15%)
Secondary Frontage (corner only)	Minimum 10 FT / Average 15 FT	<u>West Side</u> Minimum: 10' Average: 15'
Rear	Minimum 20 FT / Average n/a	66'9"



**Sec. 90-47. – Yards generally, allowable projections**

	<b>Required</b>	<b>Proposed</b>
Every part of a required yard shall be open to the sky, except ordinary projections of sills, cornices, roof eaves and ornamental features	May project not more than 24 inches into any required yard	Less than 24"
Air conditioning equipment, pool pump or other mechanical equipment may be located in a required rear setback, provided;	<ul style="list-style-type: none"> <li>a. such equipment is at least 15 feet from any other single-family or two-family residence</li> <li>b. shall maintain at least a five-foot setback from the rear and side yards</li> <li>c. is not visible from any street or waterway</li> </ul>	<ul style="list-style-type: none"> <li>a. The pool equipment is not being moved from its existing location and the other equipment is located on the 2nd floor balcony.</li> <li>b. Existing pool equipment provides less than a 5' setback. The proposed new equipment conforms with the 5' setback.</li> <li>c. Not visible</li> </ul>

**Sec. 90.49 Lot standards**

<b>Lot Standards H30A</b>	<b>Required</b>	<b>Proposed</b>
Minimum Lot width	50 feet	60 feet
Minimum lot area	8,000 feet	11,512 SF
Maximum lot coverage	40%	26% (2,974/11,512=.258)
Pervious area	35% (minimum)	37% (4,239/11,512=.368)

**Sec. 90.50 Architecture and roof decks**

	<b>Required</b>	<b>Proposed</b>
Unique Elevation	<p>A unique elevation from the main buildings of the adjacent two (2) homes shall be created through the modulation of at least three (3) of the following architectural features:</p> <ul style="list-style-type: none"> <li>(a)Length, width and massing of the structure;</li> <li>(b)Number of stories;</li> <li>(c)Façade materials;</li> <li>(d)Porches and other similar articulation of the front façade;</li> <li>(e)Number and location of doors and windows; and</li> <li>(f)Roof style and pitch.</li> </ul>	<p>A unique elevation from the main buildings of the adjacent two (2) homes is created through the modulation of;</p> <ul style="list-style-type: none"> <li>(a) Length, width and massing of the structure</li> <li>(b) Number of stories</li> <li>(c) Roof style and pitch</li> </ul>
Wall openings	10% for all elevations	>10%

Roof Material	(a) Clay Tile; (b) White concrete tile; (c) Solid color cement tile which color is impregnated with the same color intensity throughout, provided said color if granted approval by the Design Review Board; (d) Architecturally embellished metal if granted approval by the Design Review Board; or (e) Other Florida Building Code approved roof material(s) if granted approval by the Design Review Board.	Spanish "S" Roof Tile
---------------	---	-----------------------

**Sec. 90.54 Accessory Structures**

	Required	Proposed
<b>Accessory buildings</b>	90-54.2 Accessory swimming pools and decks, open and unenclosed, or covered by a screen enclosure, may occupy a required rear, front, or side setback, subject to the following minimum setbacks:  (a) Rear: Five feet.  (b) Interior side: Five feet.  (c) Primary (front) and secondary (Corner): Ten feet.	(a) 10'5" (b) 15'4" (c) +10'

**Sec. 90.56 Fences, walls and hedges**

	Required	Proposed
Fence	90-56.1.A A fence or ornamental wall not more than six feet in height, as measured from grade, may project into or enclose an interior side or rear yard only.	6' proposed

**Sec. 90.61 Paving in front and rear yards in H30 and H40 Districts**

Paving Yards	Required	Proposed
Front setback permeability	50% minimum	60% (730/1210=.603)
Front yard landscaped	30% minimum	>30%
Rear yard landscaped	20% minimum	>20%
Number of Curb Cuts	One minimum	1
Curb Cut side set back	5 feet minimum	>5 feet

Curb cut width	1 curb cut, not more than 18' in width	1 curb cut 18' in width
Driveway Materials	Limited to the following 1. Pavers 2. Color and texture treated concrete, including stamped concrete 3. Painted concrete shall not be permitted. 4. Asphalt shall not be permitted.	Pavers

**Sec. 90-77 Off-Street Parking Requirements**

Required	Minimum Space Requirements	Proposed
Single-family	2 spaces	+ 2 spaces

**Sec. 90-89.4(6). Street Tree Requirements**

Required	Required	Proposed
Street trees shall be required at one shade tree/palm tree per 20 linear feet of street frontage thereof along all public or private street right-of-ways in all zoning districts.	3 trees (60 feet on street frontage)	3 trees provided

**Sec. 90-95. Single-family H30A and H30B district landscape requirements.**

Required	Required	Proposed
A minimum of five trees of two different species and 25 shrubs shall be planted per lot.	5 trees, 25 shrubs	8 trees and 45 shrubs

**Town of Surfside Adopted Residential Design Guidelines**

***Building Massing***

Required	Proposed
Building forms should be varied enough to avoid monotony and to avoid pyramidal massing and should be compatible with surrounding houses.	Consistent

***Decorative Features***

Required	Proposed
Decorative features should be stylistically consistent throughout the entire building.	Consistent

***Overall Architectural Style***

Required	Proposed

The overall style of each house should be consistent on all sides of the building, as well as among all portions of the roof.	Consistent
---	------------

**Wall Materials and Finishes**

Required	Proposed
The same material should be used on all building elevations unless multiple materials are a legitimate expression of the particular style.	Consistent

**Roof Materials, Types, and Slopes**

Required	Proposed
Roof types and slopes should be generally the same over all parts of a single building.	4/12 pitch
Restricted materials for roofs are pre-determined in the Town's Building Code, which restricts roofing materials to: 1. Clay tile; 2. White concrete tile; 3. Solid color cement tile which color is impregnated with the same color intensity throughout, provided said color is first approved by the planning and zoning board; and 4. Metal.	Spanish "S" Roof Tile

**Windows and Trims**

Required	Proposed
Window styles should always be consistent among all elevations of a building.	Consistent
Frame materials should never vary on a single building.	Consistent
Window, door and eave trim should be consistent on all elevations of the house	Consistent

**RECOMMENDATION**

Staff finds the application meets the Code.



DRB Meeting	___/___/20__
Application / Plans Due	___/___/20__


**TOWN OF SURFSIDE  
SINGLE-FAMILY and TWO-FAMILY SITE PLAN APPLICATION**

A complete submittal includes all items on the "Single-Family and Two-Family Site Plan Application Submission Checklist" document as well as completing this application in full. The owner and agent must sign the application with the appropriate supplemental documentation attached. Please print legibly in ink or type on this application form.

<b>PROJECT INFORMATION</b>	
OWNER'S NAME	Stephen Scholt
PHONE / FAX	786-390-8721
AGENT'S NAME	Jeffrey Rose
ADDRESS	8851 Froude Ave, Surfside, FL 33154
PHONE / FAX	305-733-2485
PROPERTY ADDRESS	1116 88th St, Surfside, FL 33154
ZONING CATEGORY	H30A
DESCRIPTION OF PROPOSED WORK	new 2 story construction single family home

<b>INTERNAL USE ONLY</b>			
Date Submitted	_____	Project Number	_____
Report Completed	_____	Date	_____
Fee Paid	\$ _____		

<b>ZONING STANDARDS</b>	Required <i>survey</i>		Provided <i>tax survey</i>	
	<i>tax</i>	<i>survey</i>	<i>tax</i>	<i>survey</i>
Plot Size	12,160	11,512	12,160	11,512
Setbacks (F/R/S)	20'0"	20'0" 6'1" & 10'0"	20'0"	56'2" 6'1" & 10'0"
Lot Coverage	40%	4,406 sq ft	2,974 sq ft	24%
Height	30'00"		30'00"	
Pervious Area	4,029	35%	4,239	37%

	<i>2-3-20</i>	<i>Jeffrey R Rose</i>	<i>2-3-20</i>
SIGNATURE OF OWNER	DATE	SIGNATURE OF AGENT	DATE



**TOWN OF SURFSIDE**  
**SINGLE-FAMILY and TWO-FAMILY SITE PLAN APPLICATION**  
**PLANNING AND ZONING BOARD Rules and Procedures (June 2002)**

The Planning and Zoning Board shall generally meet the last Thursday of each month at 7:00 pm. at Town Hall.

Plans and completed applications (including all supporting documentation) must be submitted to the Building Department at least 21 days prior to the meeting, with the payment of applicable fees (example: \$200.00 for Plan Review for Zoning), at which time they will be considered. Incomplete plans and applications will not be processed.

The applicant or duly authorized agent (per ownership affidavit) must be present at the meeting. If there are no applications for consideration by the Planning and Zoning Board, the monthly meeting may be cancelled at the discretion of the Chairman of the Board.

Please advise the name of the Representative who will attend the hearing on behalf of this application:

Jeffery R. Rose  
NAME OF REPRESENTATIVE

2-3-20

DATE



**TOWN OF SURFSIDE**  
**SUBMISSION CHECKLIST**  
**SINGLE-FAMILY and TWO-FAMILY SITE PLAN APPLICATION**

Project Name 1116 65th St

Project Number \_\_\_\_\_

**SUBMITTAL REQUIREMENTS FOR REVIEW:**

- Completed "Single-Family and Two-Family Site Plan Application" form
- Application fee: \$ 200 made out to "Town of Surfside"
- Ownership Affidavit
- Survey less than one (1) year old. A survey over one (1) year is sufficient as long as the property has not changed ownership and the owner provides an affidavit that no changes have occurred since the date of the survey.
- Recent photographs, as visible from the street, of the subject property and of the adjacent two (2) homes on each side of the subject property on the same side of street. If the adjacent lot(s) are vacant then the next adjacent home(s) shall be utilized.

**FOR THE FOLLOWING PLEASE PROVIDE:**

- Two (2) full sized sets (24" x 36" sheets) of complete design development drawings signed and sealed
- One (1) CD, with site plan in PDF format, or other common windows based format.
- Provided prior to Design Review Board Meeting – Fifteen (15) reduced sized sets (11" x 17" sheets) of the complete design development drawings
- Site Plan (Minimum scale of 1" = 20').  
*Please show / provide the following:*
  - Tabulations of total square footage, lot coverage, setbacks and acreage
  - Entire parcel(s) with dimensions and lot size in square feet
  - Existing and proposed buildings with square footage
  - Buildings to be removed
  - Setbacks
  - Dimensions and locations of all existing and proposed right-of-ways, easements and street frontage, including sidewalks, curb and gutter and planting strips
  - All existing and proposed site improvements, including, but not limited to, all utilities, retaining walls, fences, decks and patios, driveways and sidewalks, signs, parking areas, and erosion control features
  - Location of all existing and proposed trees, vegetation, palms and note tree species
  - Locations and dimensions of parking spaces and lot layout
  - Driveway entrance width and setbacks from property line
- Architectural Elevations (Minimum scale of 1/8" = 1'):  
*Please show / provide the following:*
  - Provide color elevations, showing all material finishes, textures and landscaping for all elevations of the proposed building(s). They should include, at a minimum:
  - All exterior materials, colors and finishes, keyed to samples provided

Cont.



- Roof slopes and materials and color
- Detail of doors, windows, garage doors
- Lighting locations and details
- Dimensions of structure(s) – height, width, and length
- Deck, railing, stairs details including materials, colors, finishes, and decorative details
- Exposed foundation treatment
- Gutters and eaves
- Abutting structure heights
- Provide samples of colors and/or materials mounted on a display board (to be provided prior to Design Review Board Meeting)
- Such additional data, maps, plans, or statements as the Town may require to fully describe and evaluate the particular proposed plan



NEW SINGLE FAMILY HOME  
OWNER: MR. SCHOTT  
1116 88TH STREET  
SURFSIDE, FLORIDA 33154



PROPOSED FRONT ELEVATION  
SCALE 1/4"=1'-0"

REVISIONS:	
▲	00-00-00 blg. dpt. comm.

**NEW SINGLE FAMILY HOME**  
**MR. SCHOTT**  
 1116 88 STREET  
 SURFSIDE, FLORIDA

FL. LIC. N° 14320

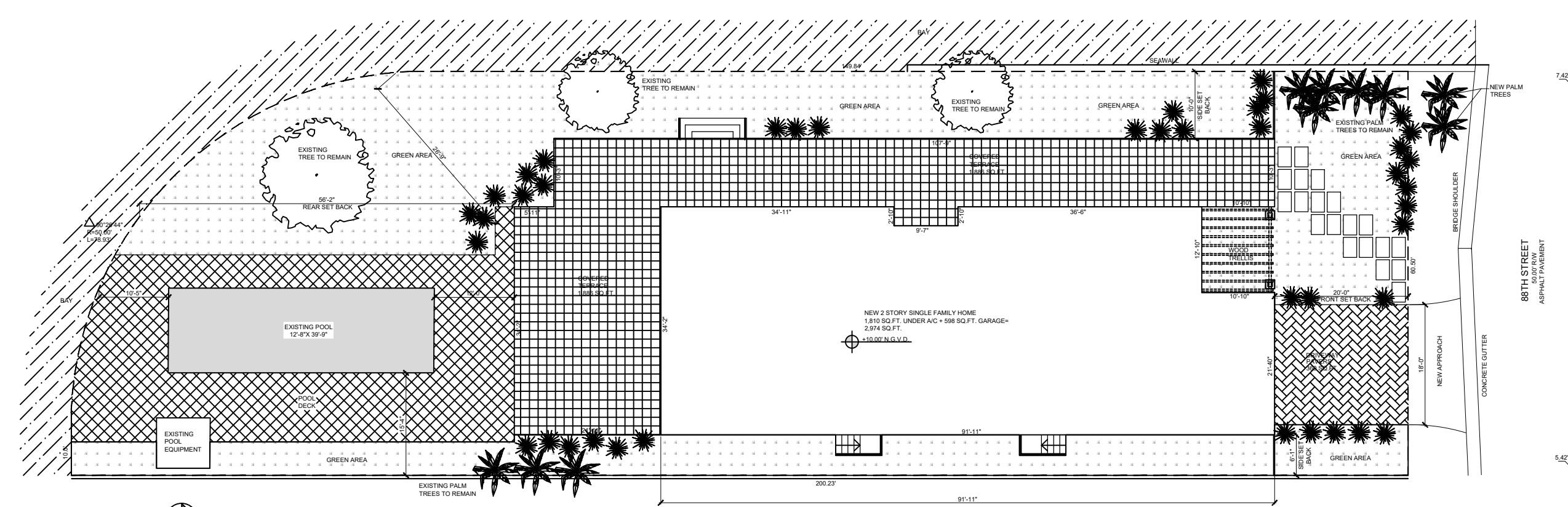
**JORGE D. MANTILLA**  
 ARCHITECT  
 5901 SW 63rd COURT SOUTH MIAMI FLORIDA 33143  
 STATE OF FLORIDA LICENSE No. 14320  
 P: (305) 815-6849 E: mail: mantillaarchitect@gmail.com

DRAWN BY: V.V.L  
 REVIEW BY: J.D.M.

SCALE:  
 AS SHOWN

DATE: 02-03-20

**A-101**  
 SITE PLAN



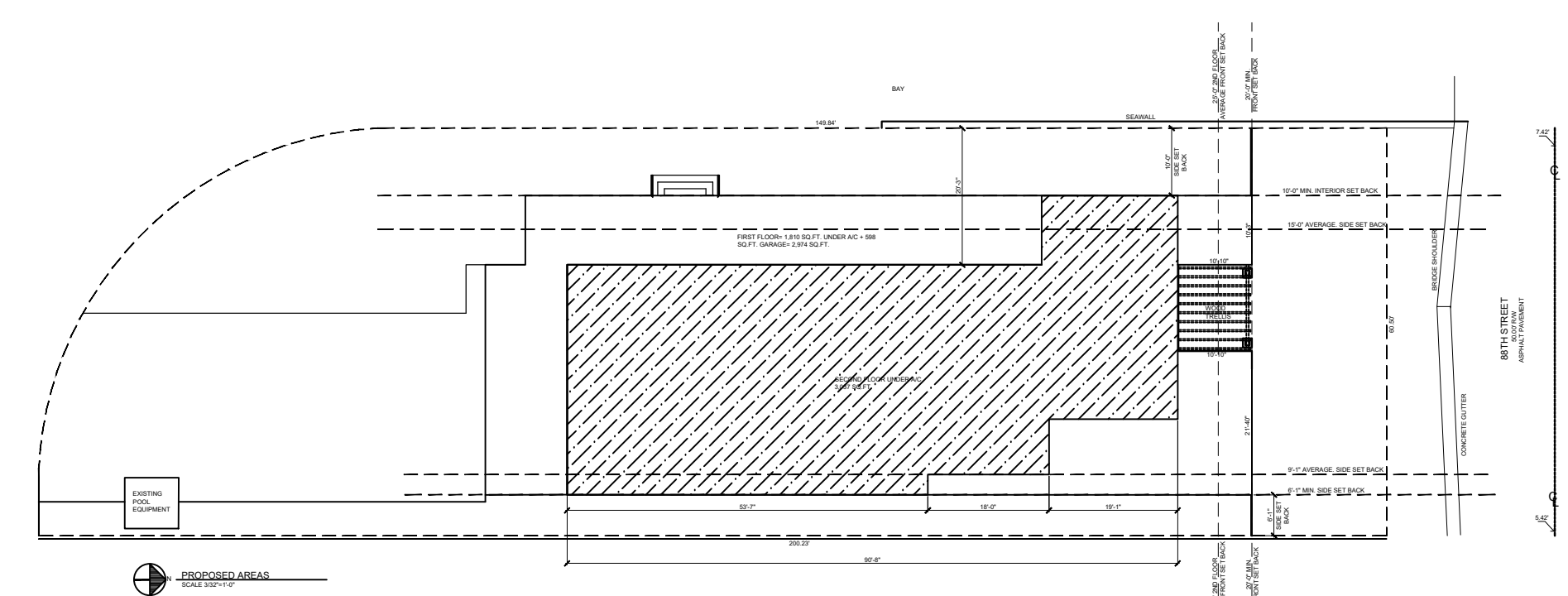
**ZONING REQUIREMENTS: H30A**

LOT SIZE: 11,512 SQ. FT.  
 MAX. LOT COVERAGE: 40% (11,512)= 4,604.8 SQ. FT.

	REQUIRED	PROPOSED
<b>FIRST FLOOR BUILDING SET BACKS:</b>		
FRONT SET BACK	20'-0"	20'-0"
EAST SET BACK	6'-1"	6'-1"
WEST SET BACK	10'-0"	10'-0"
REAR SET BACK	20'-0"	56'-2"
FIRST FLOOR LOT COVERAGE	4,406.8 SQ. FT.	2,974 SQ. FT.
FIRST FLOOR AREA + TERRACE	N/A	4,860 SQ. FT.
<b>SECOND FLOOR BUILDING SET BACKS:</b>		
<b>FRONT SET BACK AVERAGE:</b>		
FRONT SET BACK AVERAGE	25'-0"	31'-0"
REAR SET BACK	20'-0"	66'-9"
WEST SET BACK AVERAGE	15'-0"	15'-0"
EAST SET BACK AVERAGE	9'-1"	10'-7"
UPPER FLOOR AREA UNDER A/C PROPOSED	3,307 SQ. FT. (62% OF FIRST FLOOR)	
MAX. HEIGHT FROM CROWN OF ROAD	2 STORIES 30'-0"	2 STORIES 30'-0"
MIN. PERVIOUS AREA (35% OF 11,512 SQ. FT.)	4,029.2 SQ. FT.	4,239 SQ. FT.
FRONT SET BACK PERMEABILITY (50% OF 1,210 SQ. FT.)	500 SQ. FT.	730 SQ. FT.

**LANDSCAPING REQUIREMENTS: H30A**

	REQUIRED	PROPOSED
STREET TREES	2	2
LOT TREES	7	8
SHRUBS	45	45



REVISIONS:  
 00-00-00  
 bldg. dpt. comm.

NEW SINGLE FAMILY HOME  
 MR. SCHOTT  
 1116 88 STREET  
 SURFSIDE, FLORIDA

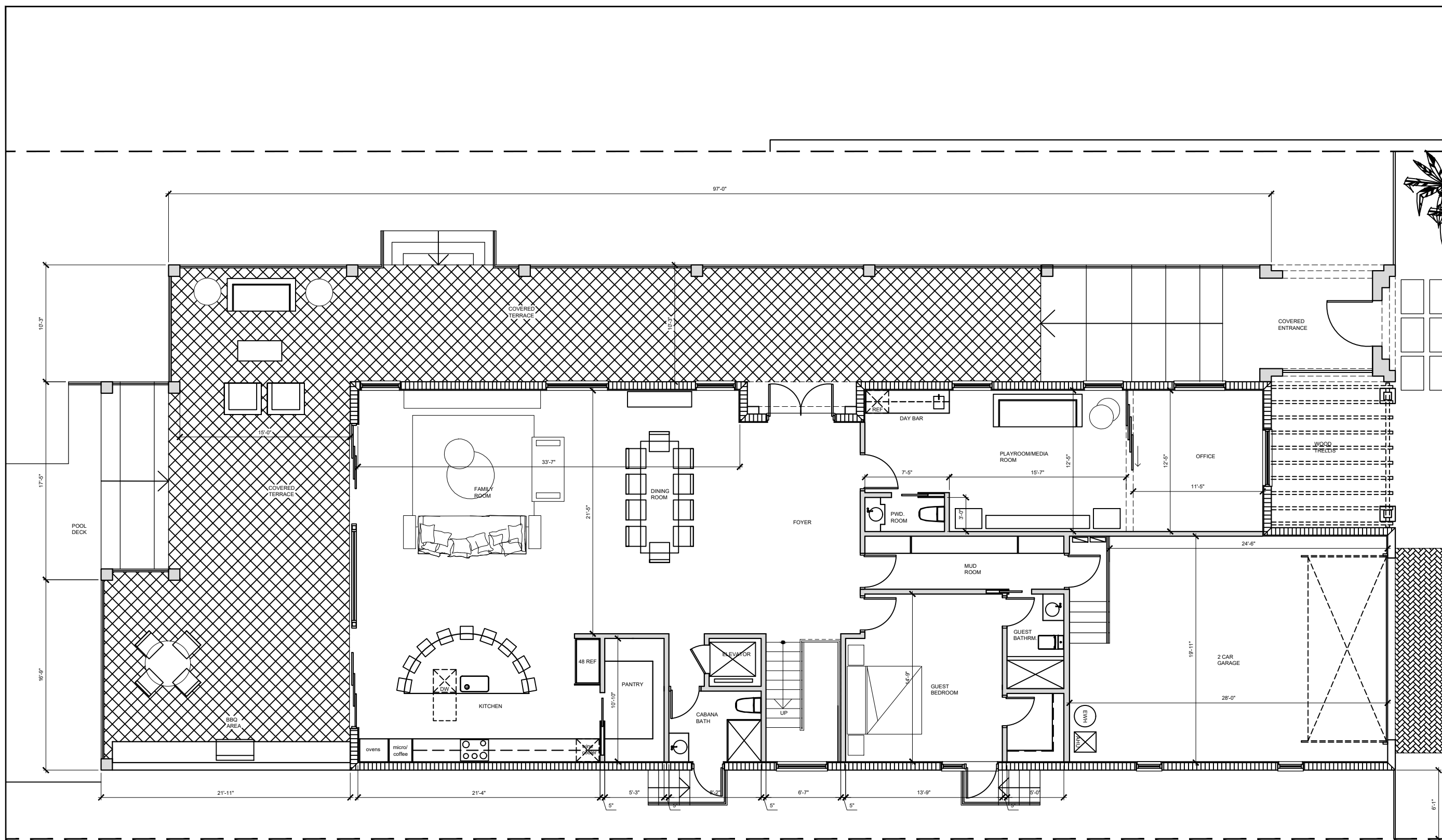
FL. LIC. NO. 14320

JORGE D. MANTILLA  
 ARCHITECT  
 5801 SW 65th COURT SOUTH MIAMI FLORIDA 33143  
 STATE OF FLORIDA LICENSE NO. 14320  
 P: (305) 815-4949 E-mail: mantillaarchitect@gmail.com

DRAWN BY: V.V.L.  
 REVIEW BY: J.D.M.  
 SCALE:  
 AS SHOWN  
 DATE: 02-03-20

A-201  
 FIRST FLOOR  
 PLAN

SHEET NO. 2 OF 6



PROPOSED 1ST FLOOR PLAN  
 SCALE 1/4"=1'-0"

REVISIONS:	
▲	00-00-00 bidg. dpt. comm.

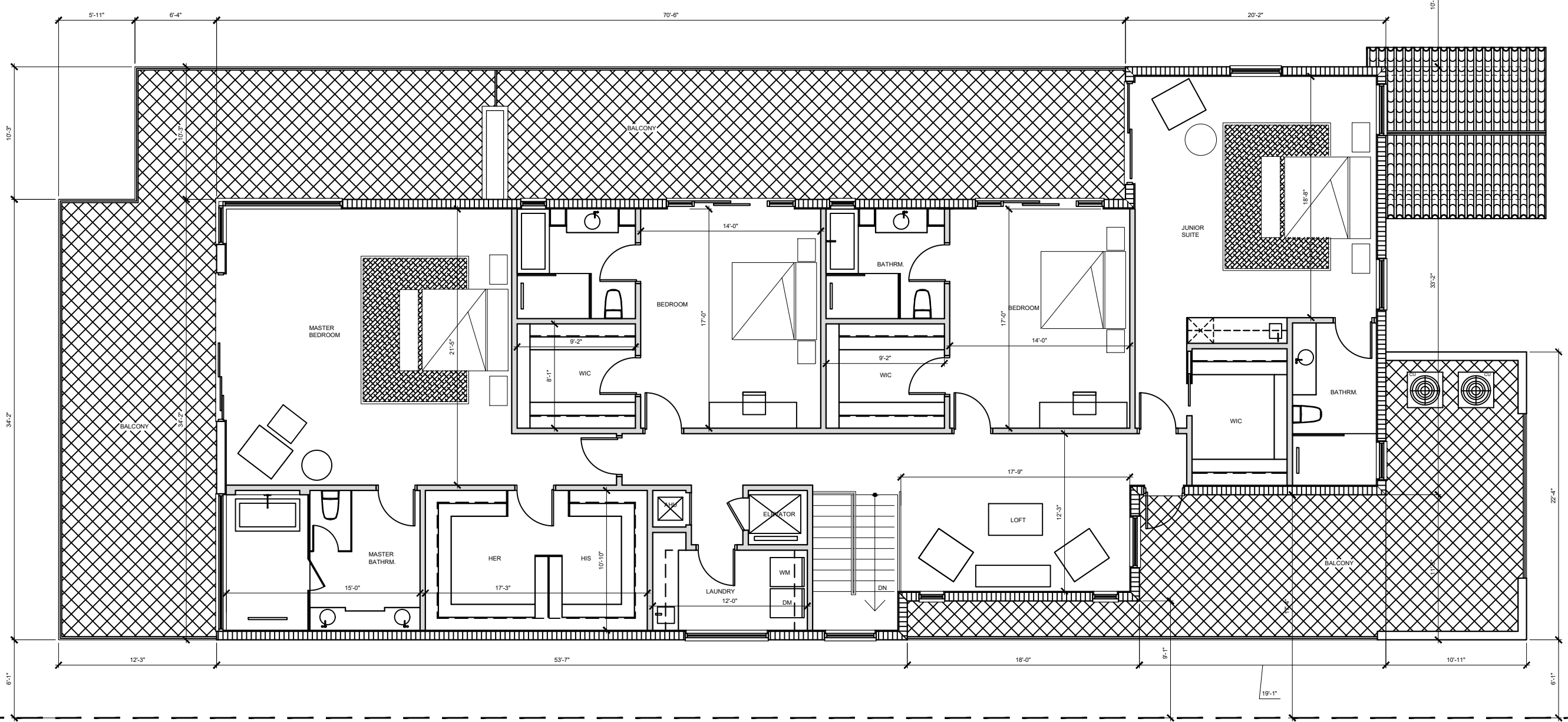
NEW SINGLE FAMILY HOME  
MR. SCHOTT  
1116 88 STREET  
SURFSIDE, FLORIDA

FL. LIC. NO. 14320

**JORGE D. MANTILLA**  
ARCHITECT  
5801 SW 65th COURT SOUTH MIAMI FLORIDA 33143  
STATE OF FLORIDA LICENSE No. 14320  
P: (305) 815-4949 E-mail: mantillaarchitect@gmail.com

DRAWN BY: V.V.L.  
REVIEW BY: J.D.M.  
SCALE:  
AS SHOWN  
DATE: 02-03-20

**A-202**  
SECOND FLOOR PLAN



PROPOSED 2ND FLOOR PLAN  
SCALE 1/4"=1'-0"

REVISIONS:	
▲	00-00-00 bidg. dpt. comm.

NEW SINGLE FAMILY HOME  
MR. SCHOTT  
1116 88 STREET  
SURFSIDE, FLORIDA

FL. LIC. NO. 14320

**JORGE D. MANTILLA**  
ARCHITECT  
5901 SW 65th COURT SOUTH MIAMI FLORIDA 33143  
STATE OF FLORIDA LICENSE No. 14320  
P: (305) 815-4949 E-mail: mantillaarchitect@gmail.com

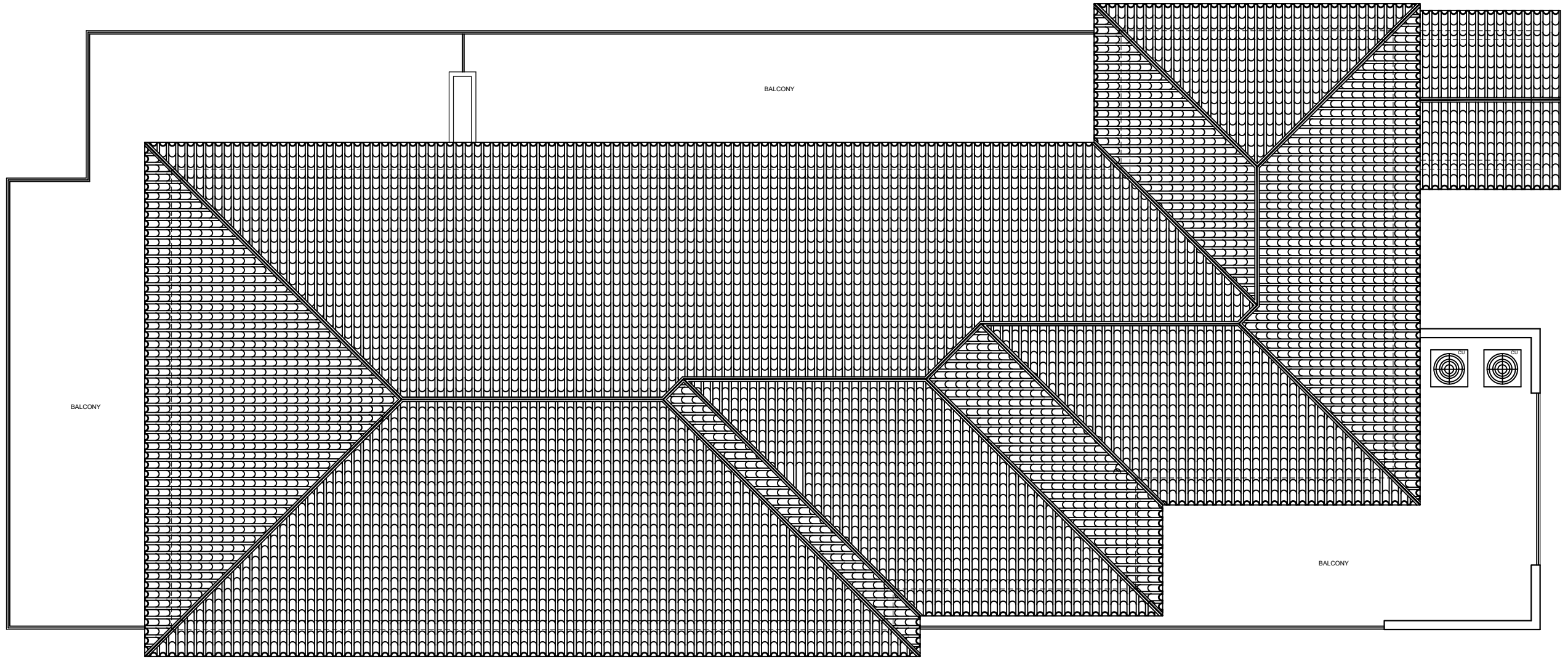
DRAWN BY: V.V.L.  
REVIEW BY: J.D.M.

SCALE:  
AS SHOWN

DATE: 02-03-20

**A-203**  
ROOF PLAN

SHEET NO. 4 OF 6



PROPOSED ROOF PLAN  
SCALE 1/4"=1'-0"



REVISIONS:	
▲	00-00-00 bidg. dpt. comm.

NEW SINGLE FAMILY HOME  
MR. SCHOTT  
1116 88 STREET  
SURFSIDE, FLORIDA

FL. LIC. NO. 14320

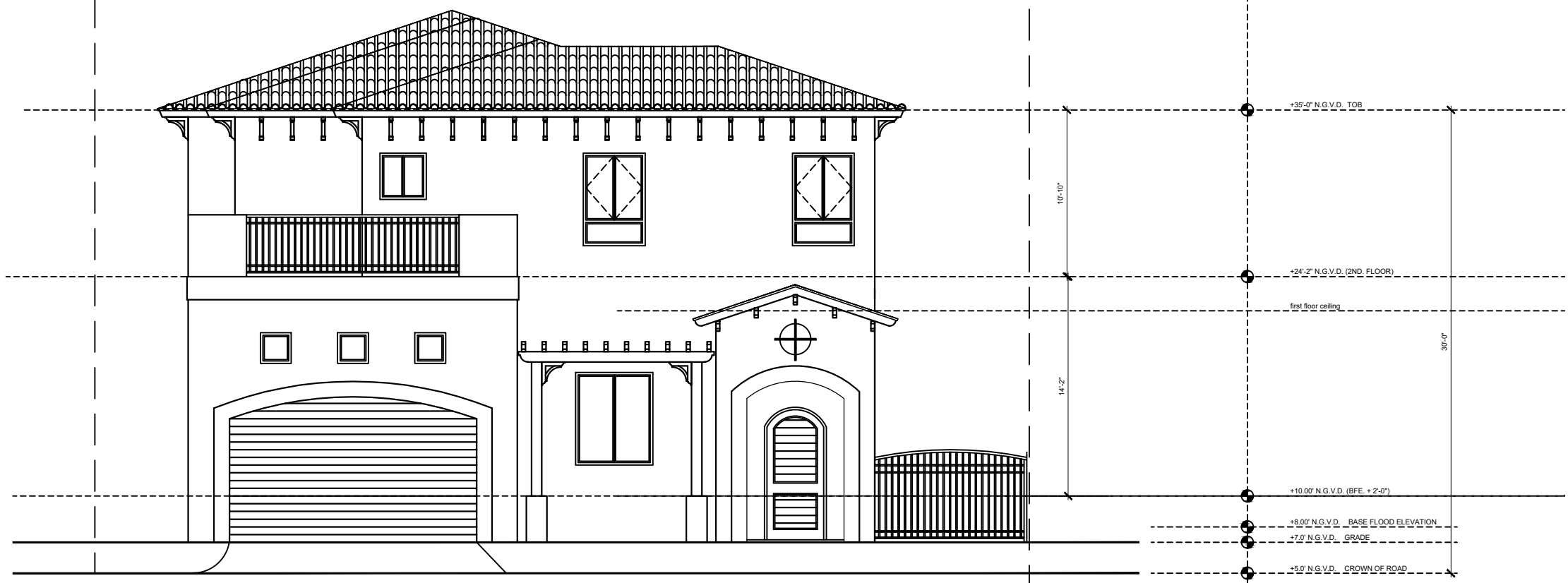
JORGE D. MANTILLA  
ARCHITECT  
5901 SW 65th COURT SOUTH MIAMI FLORIDA 33143  
STATE OF FLORIDA LICENSE No. 14320  
P: (305) 815-4949 E-mail: mantillaarchitect@gmail.com

DRAWN BY: V.V.L.  
REVIEW BY: J.D.M.

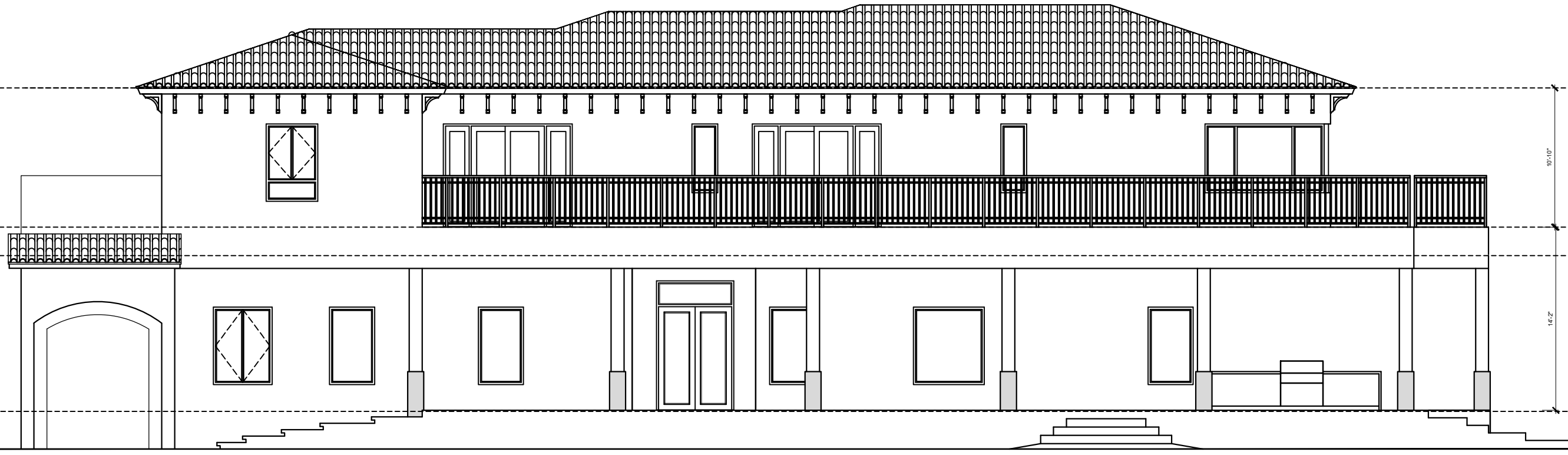
SCALE:  
AS SHOWN

DATE: 02-03-20

**A-301**  
BUILDING  
ELEVATIONS



PROPOSED FRONT ELEVATION  
SCALE 1/4"=1'-0"



PROPOSED WATER ELEVATION  
SCALE 1/4"=1'-0"

REVISIONS:	
▲	00-00-00 bidg. dpt. comm.

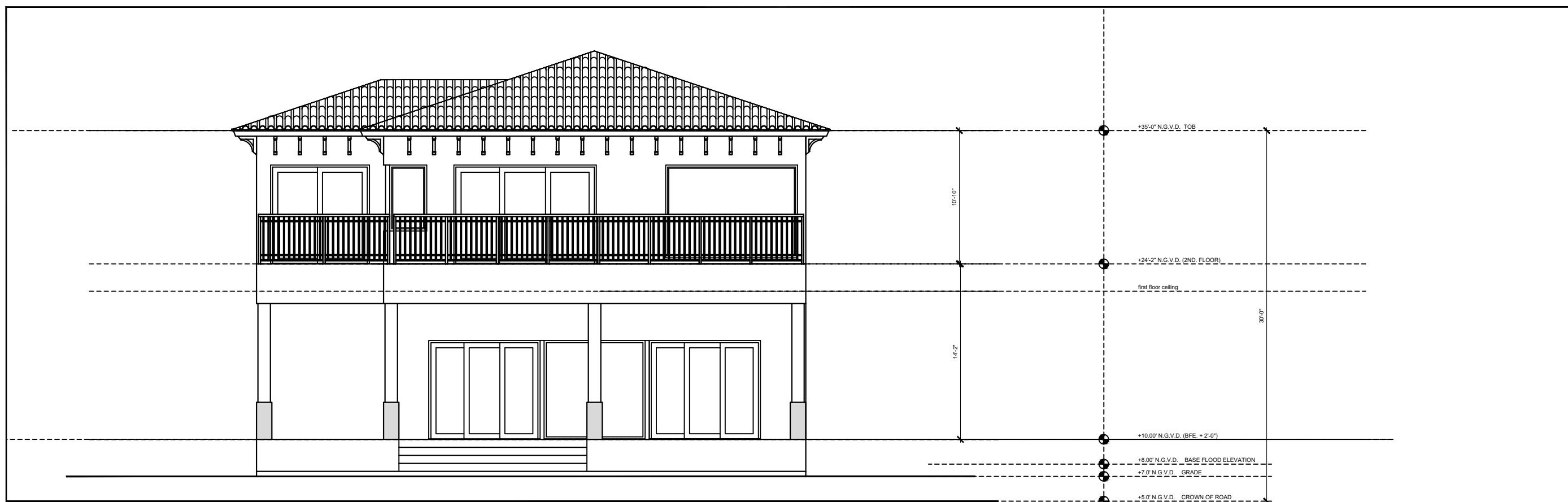
NEW SINGLE FAMILY HOME  
MR. SCHOTT  
1116 88 STREET  
SURFSIDE, FLORIDA

FL. LIC. NO. 14320

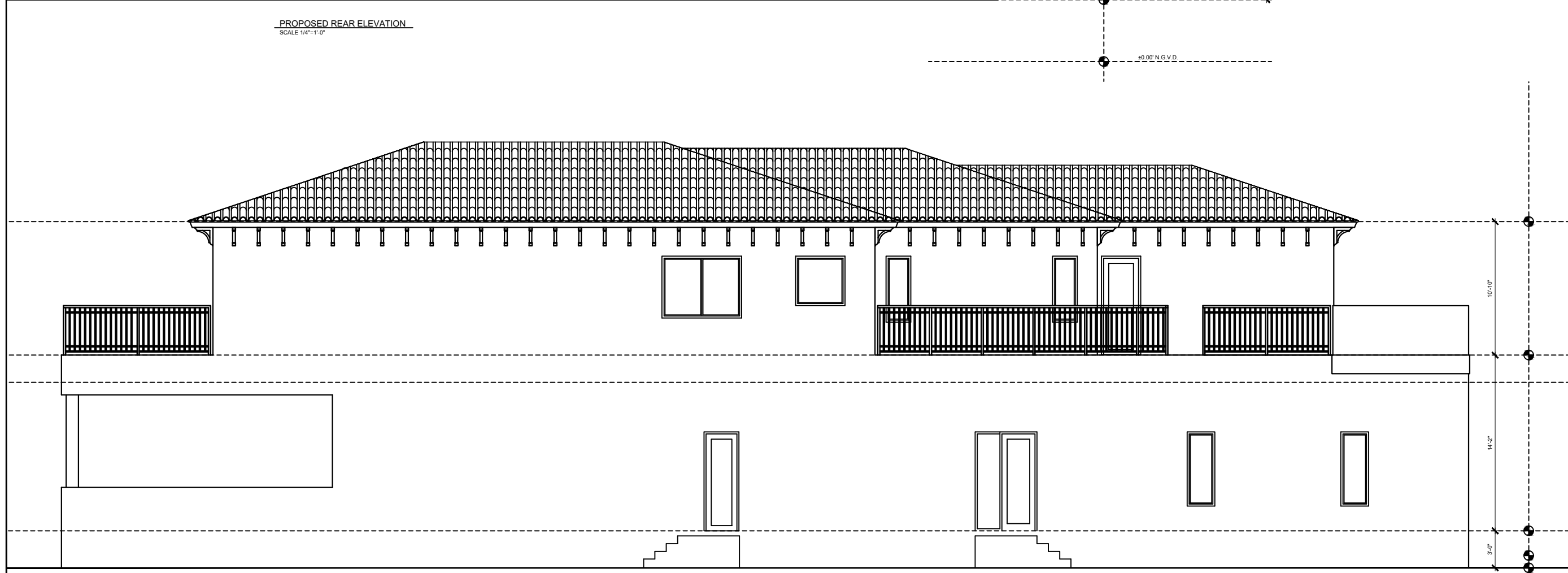
JORGE D. MANTILLA  
ARCHITECT  
5901 SW 65th COURT SOUTH MIAMI FLORIDA 33143  
STATE OF FLORIDA LICENSE No. 14320  
P: (305) 815-4949 E-mail: mantillaarchitect@gmail.com

DRAWN BY: V.V.L.  
REVIEW BY: J.D.M.  
SCALE:  
AS SHOWN  
DATE: 02-03-20

**A-302**  
BUILDING  
ELEVATIONS



PROPOSED REAR ELEVATION  
SCALE 1/4"=1'-0"



PROPOSED SIDE ELEVATION  
SCALE 1/4"=1'-0"



## MEMORANDUM

To: Chair, Vice-Chair and Members of the Planning and Zoning Board

From: Sarah Sinatra Gould, AICP, Town Planner

Date: February 27, 2020

Re: Single Family Regulation Discussion

---

At the joint Planning and Zoning and Town Commission Special Meeting of January 28, 2020, discussion on modifications to the single family requirements. The attached language is an initial step to address the concerns of the front setback in the H30A district and an option of a flush second story with a greater side setback.

Reviewed by

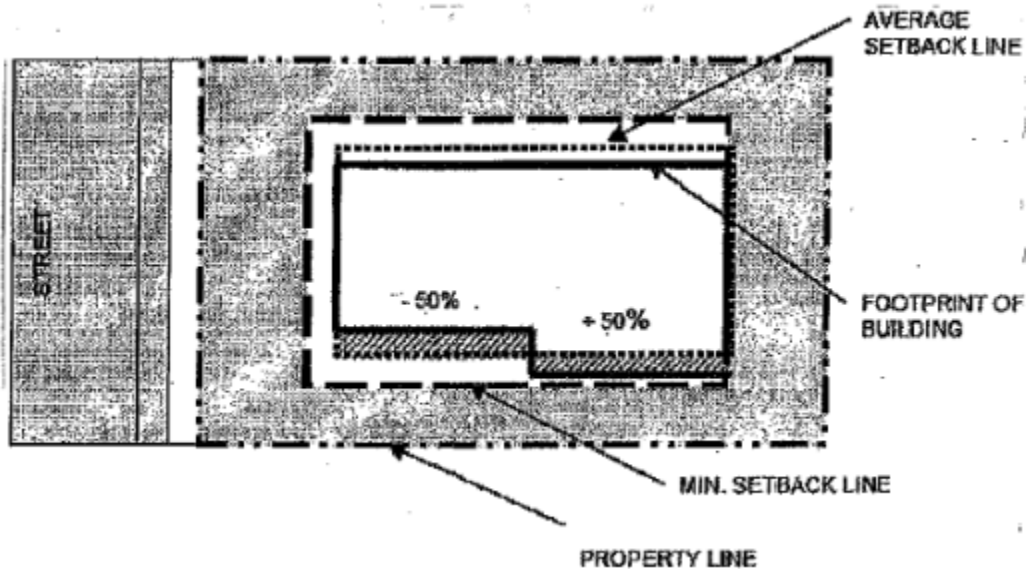
Prepared by SSG



*Setback: The minimum distance required by a zoning district that all structures shall be from front, side and rear lot lines. Setback includes the words "required yards" or "minimum required yards" and "minimum yards." Lot width for purposes of determining side setbacks shall be measured at the front setback line.*

Setback Line, Front Lot: The required minimum distance between the edge of the front property line to the primary structure.

*Setback (average):* The average minimum distance required by a zoning district that all structures shall be from front, side and rear lot lines. The following diagram illustrates how the average setback is utilized.



### How an Average Setback Works

The diagram above shows the building footprint varying around the average setback line. If the builder chooses to construct in the area between the minimum setback lines and the average setback lines (area shaded red), an equal area length within the average setback line must be sacrificed (area shaded blue). In this example a simple 50/50 split is made at the mid point of the side yard facade of the building.

Note that any number of variations can occur around the average setback line just as long as the sum of the areas length outside of the average setback line balance with the sum of the areas length sacrificed within the average setback line.

The builder has the option of building continuously along the average setback line without variation. The builder also can construct anywhere within the average setback line in any variation.

Sec. 90-45. - Setbacks.

(a) *Massing:*

- (1) *Required massing—Generally.* The development of new single-family structures and additions to existing single-family structures shall abide by height and massing regulations.

Massing regulations are based on the height of the structure and are delineated between (a) single and multi-story structures (b) new structures or additions to existing structures and (c) the ratio of area of the first story to the area of the upper stories (d) the linear feet measured at the front lot setback line.

- (2) *Required Massing—New single-story structures and single-story additions to single-story structures in H30A and H30B districts.* The following table shall be utilized for new single-story structures and single-story additions to existing single-story structures (up to 15 feet in height) in both the H30A and 30B districts.

H30A and H30B (SINGLE-STORY STRUCTURES UP TO 15 FEET IN HEIGHT)	PERCENTAGE
Maximum Lot Coverage	40%
SINGLE STORY STRUCTURES	MINIMUM SETBACK
<u>H30A Primary frontage</u>	<u>30 FT for lots exceeding 120 feet in depth</u>
<u>H30A and H30B</u> Primary frontage	20 FT
Interior side (lots equal to or less than 50 feet in width)	5 FT
Interior side (lots over 50 feet in width)	<u>10% of the frontage</u> <u>10% of the front lot setback line</u>
Rear	20 FT
Secondary frontage (Corner only)	10 FT
Secondary frontage (corner only)(when the site consists of more than one lot of record, as shown on plats in effect on November 13, 2018	20 FT or 20% of the frontage whichever is greater

- (3) *Required Massing—Single-family homes within the H30A and H30B districts.* For single-family homes within the H30A and H30B districts, the following table shall be utilized for new multi-

story structures or multi-story additions (additions greater than 15 feet in height) to existing single-story structures where the upper-story floor area is less than 50 percent of first-story floor area. Where provided both the minimum and average setback shall be utilized. However, the option shall be given to the applicant to choose between an average side setback or a flush wall plane.

H30A AND H30B UPPER STORY FLOOR AREA IS LESS THAN 50% OF FIRST STORY FLOOR AREA	PERCENTAGE
Maximum Lot Coverage	40%
FIRST STORY (UP TO 15 FT IN HEIGHT)	SETBACK
<u>H30A Primary frontage</u>	<u>Minimum 30 FT for lots exceeding 120 feet in depth</u>
<u>H30A and H30B</u> Primary frontage	Minimum 20 FT
Interior side (lots equal to or less than 50 feet in width)	Minimum 5 FT
Interior side (lots over 50 feet in width)	Minimum 10% of the frontage
Rear	Minimum 20 FT
Secondary frontage (Corner only)	Minimum 10 FT
Secondary frontage (corner only)(when the site consists of more than one lot of record, as shown on plats in effect on November 13, 2018	20 FT or 20% of the frontage whichever is greater
UPPER STORY OR WALL PLANES GREATER THAN 15 FT IN HEIGHT	SETBACK
<u>H30A Primary Frontage</u>	<u>Minimum 30 FT for lots exceeding 120 feet in depth</u>
	<u>Average 32.5 FT for lots exceeding 120 feet in depth</u>

<b>H30A &amp; H30B</b> Primary frontage	Minimum 20 FT
	Average 22.5 FT
Interior side (lots equal to or less than 50 feet in width)	Minimum 5 FT
	Average n/a
Interior side (lots greater than 50 feet in width)	Minimum 10% of lot frontage <b>Minimum 10% of the front lot setback line</b>
	Average n/a
<b>Interior side (If the second floor is flush with the first floor)</b>	<b>Minimum 15% of the front lot setback line for both floors</b>
Rear	Minimum 20 FT
	Average n/a
Secondary frontage (corner only)	Minimum 10FT
	Average 12.5 FT
Secondary frontage (corner only)(when the site consists of more than one lot of record, as shown on plats in effect on November 13, 2018	20 FT or 20% of the frontage whichever is greater
	Average 20 FT or 20% of the frontage whichever is greater, plus 5 FT

- (4) Required massing—New multi-story structures or multi-story additions. For single-family homes within the H30A and H30B districts, the following table shall be utilized for new multi-story structures or multi-story additions (additions greater than 15 feet in height) to existing single-story structures where the upper-story floor area is 50 percent to 64 percent of first-story floor area. Where provided, both the minimum and average setbacks shall be utilized. **However, the option shall be given to the applicant to choose between an average side setback or a flush wall plane.**

H30A AND H30B UPPER STORY FLOOR AREA IS 50% TO 64% OF FIRST STORY AREA	PERCENTAGE
Maximum Lot Coverage	40%
FIRST STORY (UP TO 15 FT IN HEIGHT)	SETBACK
<u>H30A Primary frontage</u>	<u>Minimum 30 FT for lots exceeding 120 feet in depth</u>
<u>H30A and H30B</u> Primary frontage	Minimum 20 FT
Interior side (lots equal to or less than 50 feet in width)	Minimum 5 FT
Interior side (lots over 50 feet in width)	<del>Minimum 10% of the frontage</del> <u>Minimum 10% of the front lot setback line</u>
Secondary frontage (corner only)	Minimum 10 FT
Rear	Minimum 20 FT
Secondary frontage (corner only)(when the site consists of more than one lot of record, as shown on plats in effect on November 13, 2018	20 FT or 20% of the frontage whichever is greater
UPPER STORY OR WALL PLANES GREATER THAN 15 FT IN HEIGHT	SETBACK
<u>H30A Primary Frontage</u>	<u>Minimum 30 FT for lots exceeding 120 feet in depth</u>
	<u>Average 35 FT for lots exceeding 120 feet in depth</u>
<u>H30A and H30B</u> Primary frontage	Minimum 20 FT
	Average 25 FT

Interior side (lots equal to or less than 50 feet in width)	H30A - Wall length is equal to or less than 20% of the lot depth	Minimum 5 FT
		Average n/a
	H30A - Wall length is greater than 20% of the lot depth	Minimum 5 FT
		Average 7.5 FT
	H30B - Wall length is equal to or less than 25% of the lot depth	Minimum 5 FT
		Average n/a
	H30B - Wall length is greater than 25% of the lot depth	Minimum 5 FT
		Average 7.5 FT
Interior side (lots greater than 50 feet in width)	H30A - Wall length is equal to or less than 20% of the lot depth	<u>Minimum 10% of lot frontage</u>
		<u>Minimum 10% of the front lot setback line</u>
		Average n/a
	H30A - Wall length is greater than 20% of the lot depth	<u>Minimum 10% of lot frontage</u>
		<u>Minimum 10% of the front lot setback line</u>
		<u>Average 15% of the frontage</u> <u>Average 15% of the front lot setback line</u>
	H30B - Wall length is equal to or less than 25% of the lot depth	<u>Minimum 10% of the frontage</u>
		<u>Minimum 10% of the front lot setback line</u> Average n/a
	H30B - Wall length is greater than 25% of the lot depth	<u>Minimum 10% of lot frontage</u> <u>Minimum 10% of the front lot setback line</u>

		<u>setback line</u>
		<u>Average 15% of the frontage</u> <u>Average 15% of the front lot</u> <u>setback line</u>
<u>Interior side (If the second floor is flush with the first floor)</u>	<u>H30A or H30B</u>	<u>Minimum 15% of the front lot</u> <u>setback line for both floors</u>
Rear		Minimum 20 FT
		Average n/a
Secondary frontage (corner only)		Minimum 10 FT
		Average 15 FT
Secondary frontage (corner only)(when the site consists of more than one lot of record, as shown on plats in effect on November 13, 2018		20 FT or 20% of the frontage whichever is greater
		Average 20 FT or 20% of the frontage whichever is greater, plus 5 FT

- (5) Required Massing—New multi-story structures or multi-story additions (additions greater than 15 feet in height) to existing single-story structures where the upper-story floor area is 65 percent to 80 percent of first-story floor area. For single family homes within the H30A and H30B districts, the following table shall be utilized for new multi-story structures or multi-story additions (additions greater than 15 feet in height) to existing single-story structures where the upper-story floor area is 65 percent to 80 percent of first-story floor area. Where provided, both the minimum and average setbacks shall be utilized. However, the option shall be given to the applicant to choose between an average side setback or a flush wall plane.

H30A AND H30B UPPER STORY FLOOR AREA IS 65% TO 80% OF FIRST STORY FLOOR AREA		PERCENTAGE
Maximum Lot Coverage		40%
FIRST STORY (UP TO 15 FT IN HEIGHT)		SETBACK
<u>H30A Primary frontage</u>		<u>Minimum 30 FT for lots exceeding 120 feet in depth</u>
<u>H30A and H30B</u> Primary frontage		Minimum 20 FT
Interior side (lots equal to or less than 50 feet in width)		Minimum 5 FT
Interior side (lots over 50 feet in width)		<u>Minimum 10% of the frontage</u> <u>Minimum 10% of the front lot setback line</u>
Rear		Minimum 20 FT
Secondary frontage (corner only)		Minimum 10 FT
UPPER STORY OR WALL PLANES GREATER THAN 15 FT IN HEIGHT		SETBACK
<u>H30A</u> Primary Frontage		<u>Minimum 30 FT for lots exceeding 120 feet in depth</u>
		<u>Average 40 FT for lots exceeding 120 feet in depth</u>
<u>H30A and H30B</u> Primary frontage		Minimum 20 FT
		Average 30 FT
Interior side (lots equal to or less than 50 feet in width)	H30A - Wall length is equal to or less than 20% of the lot depth	Minimum 5 FT
		Average n/a
	H30A - Wall length is greater than	Minimum 5 FT



	20% of the lot depth	Average 10 FT	
	H30B - Wall length is equal to or less than 25% of the lot depth	Minimum 5 FT	
		Average n/a	
	H30B - Wall length is greater than 25% of the lot depth	Minimum 5 FT	
		Average 10 FT	
Interior side (lots greater than 50 feet in width)	H30A - Wall length is equal to or less than 20% of the lot depth	<del>Minimum 10% of lot frontage</del>	
		<u>Minimum 10% of the front lot setback line</u>	
		Average n/a	
	H30A - Wall length is greater than 20% of the lot depth	<del>Minimum 10% of lot frontage</del>	
		<u>Minimum 10% of the front lot setback line</u>	
		<u>Average 20% of the frontage</u> <u>Average 20% of the front lot setback line</u>	
	H30B - Wall length is equal to or less than 25% of the lot depth	<del>Minimum 10% of lot frontage</del>	
		<u>Minimum 10% of the front lot setback line</u> Average n/a	
	H30B - Wall length is greater than 25% of the lot depth	<del>Minimum 10% of lot frontage</del>	
		<u>Minimum 10% of the front lot setback line</u> <u>Average 20% of the frontage</u> <u>Average 20% of the front lot setback line</u>	
	<u>Interior side (If the second floor is flush with the first floor)</u>	<u>H30A or H30B</u>	<u>Minimum 15% of the front lot setback line for both floors</u>

Rear	Minimum 20 FT
	Average n/a
Secondary frontage (corner only)	Minimum 10 FT
	Average 20 FT

(b) *Setbacks.*

(1) *Required setbacks—Tables.* The following tables shall be utilized for structures in the H30C, H40, H120, and SD-B40 zoning districts.

<b>H30C</b>	<b>Minimum Setback (Feet)</b>
Harding Avenue frontage	20 FT
Interior side	6 FT Minimum or 10% of the total interior frontage up to 15 FT, whichever is greater
Rear	10 FT
Secondary frontage (corner only)	10 FT
Interior side setbacks for lots over 50 feet in width	6 FT Minimum or 10% of the total interior frontage up to 15 FT, whichever is greater
<b>H40 - Less than or equal to 50 ft. in width</b>	<b>Minimum Setback (Feet)</b>
Collins Avenue and Harding Avenue frontage	20 FT; 25 FT setback for any portions above 30 FT, except on structures designated as historic
Interior side	6 FT Minimum or 10% of the total interior frontage up to 15 FT, whichever is greater
Rear	10 FT
Secondary frontage (corner only)	10 FT

<b>H40 - Wider than 50 ft.</b>	<b>Minimum Setback (Feet)</b>
Collins Avenue and Harding Avenue frontage	20 FT; 25 FT setback for any portions above 30 FT, except on structures designated as historic
Interior side	7 FT Minimum or 10% of the total interior frontage up to 15 FT, whichever is greater
Rear	10 FT
Secondary frontage (corner only)	10 FT
<b>H120</b>	<b>Minimum Setback (Feet)</b>
Primary frontage	40 FT
Side	10% of the lot frontage, no less than 10 feet
Rear	30 FT
Secondary frontage (corner only)	10% of the lot frontage, no less than 20 feet
<b>SD-B40</b>	<b>Maximum Setback (Feet)</b>
Primary frontage	0 FT
Interior side	0 FT
Rear	0 FT
Secondary frontage (Corner only)	0 FT
<b>CF</b>	<b>Maximum Setback (Feet)</b>
Primary frontage	20 FT
Interior side	10 FT
Rear	20 FT

Secondary frontage (Corner only)	15 FT
----------------------------------	-------

(Ord. No. 1504, § 2(Exh. A), 11-10-08; Ord. No. 1514, § 2, 4-14-09; Ord. No. 1558, § 2(Exh. A), 8-10-10; Ord. No. 1572, § 4-12-11; Ord. No. 1615, § 2, 2-11-14; [Ord. No. 2016-1642, § 2, 1-12-16](#); [Ord. No. 18-1694](#), § 2, 12-11-18)

\_\_\_\_\_

Item 5B

ITEM	OUTCOME	NEXT STEPS	TENTATIVE SCHEDULE	COMPLETE
<b>FUTURE PZ DISCUSSION ITEMS</b>				
Update to sign code	Need to make revisions to the sign code including limiting the overall allowances for window signage to one window or door rather than multiple	Staff to prepare	Future PZ	
Stepback discussion	Commission has requested the PZ board analyze this requirement	Prepare visual and calculation of volume, how much square footage does this equate to	Future PZ	
Modifications to the second story	PZ Requests discussion including side setbacks, discussion of 80% of 2 <sup>nd</sup> floor	Provide text to PZ for discussion.	March PZ	
Tint of glass in Business District	DVAC requested PZ analyze the current code	DVAC to analyze business district	Future PZ	
Synthetic turf	Consider expansion of proposed ordinance	Provide samples and example city ordinance (i.e. Lighthouse Point)	Future PZ	
Increasing Freeboard			Future PZ	
<b>ON FUTURE COMMISSION AGENDA</b>				
Aggregated Lots	PZ requested discussion analyzing impacts on lots		Future Commission	
Landscaping in front of fences	PZ requested fences along a ROW to have landscaping	Propose code amendment to propose landscaping	Future Commission	
Circulation pattern	PZ discussion on pedestrian safety and walkability	Pilot project	Ongoing	Ongoing
Impact fee discussion		Town is requesting a proposal from a consultant to do the impact fee analysis.	Working with consultant on proposal	
<b>COMPLETED</b>				
Freeboard & Height	PZ requests discussion on additional freeboard & height	Joint meeting with Commission on 8-26-19	No action	

Parking needs	Evaluate if parking code requirements are expected to be status quo based on current ride sharing trends or if the need will be reduced		Commission gave direction not to move forward with any action	No action
Fences & Hedges in the front of single family residences	Discussion on hedge height in the front		December Commission 2 <sup>nd</sup> reading	Approved
Landscape Plans	Require landscape plans for large scale renovations (renovations affecting more than 50% of the square footage of the house)	Requested Ross to attend meeting to discuss requirements for landscape plans as well as the drainage review process	November PZ	Ross provided details. No further action requested.
Sidewalk aesthetics	Prepare discussion item to determine if walkability can be improved.	Prepare graphics depicting 8 ft wide sidewalk & landscape buffer	November PZ	No action
Aggregation of Single Family	Requested by the Town Commission	Discuss limitations on building length	August Commission First Reading November second reading	Adopted

			relating to single family lots, if aggregated.				
Resiliency Strategy		PZ has requested staff to prepare a discussion item was to improve sustainability	Invite Betsy Wheaton from Miami Beach to discuss what improvements Miami Beach has implemented	Future PZ or Sustainability Committee			Move to sustainability
Parking in Single Family		In order to increase pervious areas, evaluate if two vehicles on a driveway are needed.		October PZ			No action
Update on business district		Follow up with PZ to notify the board of who is working on strategies & any improvements to the business district	Discussion of reinstating DVAC on October 9 <sup>th</sup> commission agenda	October PZ			Completed
Ways to increase pervious area of lots		Place on PZ agenda for discussion. Provide PZ with current standards		September PZ			No action
Limitation on building length in H40 & H30C		Revisit building limitations as well as green walls to soften the breaks in the building.	PZ Review. Commission heard on first reading, March 13	April PZ			Completed
H40, H30 & SDB40 Architecturally Significant ordinance		Review with PZ options for architecturally significant ordinance for other zoning districts.	PZ discussion	March PZ			No action
Green Roofs		Requested by the Town Commission		February PZ			No action

Photovoltaic Incentives	Requested by the Town Commission	Discuss requiring solar panels for all residential properties.	February PZ	No action
Driveway	Prepare code modification that limits a driveway so that it does not exceed the front plane of the home.		January Commission	Complete
Give a foot, get a foot relating Sea Level Rise - Flat Roof vs. Pitch roof	Place on agenda for discussion on referendum	Prepare visuals, timeline and cross-section.	February Commission 2 <sup>nd</sup> reading	Complete
Roof Pitch of Single Family	Modify ordinance to include roof pitch above top of the truss as an architectural feature	Provide side elevation in current code to the top of the flat roof to demonstrate it is 3 feet above the top of a pitched roof.	February Commission 2 <sup>nd</sup> reading	Complete
Trellis	Review if a trellis attached to the house is considered an accessory structure.	This has not been a recurring issue. Provide direction if this is necessary.	Trellis	This has not been a recurring issue. P
	Review if a trellis attached to the house is considered an accessory structure.			Review if a trellis attached to the house is considered an accessory structure.



Average side setback /Massing	Modify ordinance for additional side setbacks on upper floors for single family homes	Direction if this is necessary. The Town has already modified the code to prohibit covered balconies counted towards setbacks.	Average side setback /Massing	Modify ordinance for additional side setbacks on upper floors for single family homes	The Town has already modified the code to prohibit covered balconies counted towards setbacks.
Satellite dishes	Further review by staff	Direction if this is necessary. This issue has not come up as a problem and it is not clear if this is still desired to be regulated.	Satellite dishes	Further review by staff	This issue has not come up as a problem and it is not clear if this is still desired to be regulated.
Commercial waste and recycling container screening	Screening for containers, green screen, vegetation, include pictures from Commissioner Kligman	Draft code amendment			Did not move forward
Driveway material regulations	Modify code to allow stamped concrete and concrete slabs with decorative rock or grass in between	Draft code amendment			Did not move forward
Painting of commercial structures	Town Staff to prepare ordinance	Prepare ordinance for commission			Did not move forward

<p>Residential or commercial wind turbine regulations</p>	<p>Prepare ordinance regulating wind turbines including hurricane precautions, noise regulations, insurance considerations</p>	<p>Residential or commercial wind turbine regulations</p>	<p>Prepare ordinance regulating wind turbines including hurricane precautions, noise regulations, insurance considerations</p>	<p>Direction if this is necessary: This issue has not come up as a problem and it is not clear if this is still desired to be regulated.</p>	<p>This issue has not come up as a problem and it is not clear if this is still desired to be regulated.</p>
<p>Setback for parapet above 30 feet on single family homes</p>	<p>Prepare ordinance to require additional setback</p>	<p>Setback for parapet above 30 feet on single family homes</p>	<p>Prepare ordinance to require additional setback</p>	<p>Direction if this is still necessary as the code could be modified to encourage pitched roofs.</p>	<p>Direction if this is still necessary as the code could be modified to encourage pitched roofs.</p>
<p>Final Zoning Inspections</p>	<p>Town Manager will analyze</p>	<p>Final Zoning Inspections</p>	<p>Town Manager will analyze</p>	<p>Building performs inspections based on conditions on the plans. Need direction if anything further is necessary</p>	<p>Building performs inspections based on conditions on the plans.</p>
<p>Requiring noticing for demolition of houses</p>	<p>Research option and place on agenda for discussion</p>		<p>Research option and place on agenda for discussion</p>		<p>Yes</p>

Sign-Definitions	Modify sign definitions for monument and sign area	Drafted code amendment			
Carpools	Require improved surface on frame	Addressed in Code		September PZ	Yes
Provide summary on construction hours and noise ordinance	Place update on PZ agenda.			September PZ	Yes
Workforce housing update				September PZ	Yes
Add requirement for licensed architect for DRB submittals	Reviewing entire section relating to DRB	Draft code amendment			May Commission Agenda
Corridor Analysis	Study corridor between Collins & Harding	Prepare code amendments	Work authorization to be approved in <b>NOVEMBER</b>	January Commission	Complete
Single Family Paint Colors	Discussion with the Planning & Zoning Board to determine if a color palette is appropriate for single family homes and what colors/criteria should be included	Place on future Planning and Zoning agenda for discussion	In contract	Will add to Joint Meeting with PZ/Commission.	Complete
Parking Trust Fund	Discussion with the Planning & Zoning Board to provide a cap for payment into the fund	Ordinance on July PZ agenda	In contract	July Commission for 1 <sup>st</sup> reading, July PZ August Commission for 2 <sup>nd</sup> reading	Complete
Turtle Lighting	Town Staff to prepare review	No ordinance necessary. Turtle lighting already required in code.	COMPLETE	Turtle Lighting	Town Staff to prepare review

Downtown Color Palette	Discussion with the Planning & Zoning Board to determine if a color palette is appropriate and what colors/criteria should be included	Place on future Planning and Zoning agenda for discussion	In contract	Replaced with repainting of structures.	Complete
Bay Drive & 96 <sup>th</sup> Street	Open Bay Drive off 96 <sup>th</sup> Street	Staff will research	Police and Building to research	No change. Police Chief cited safety concerns	COMPLETE
Sign/awning code	Discussed at Joint Meeting	Staff beginning to work on draft	Work Authorization approved	July Commission August Commission	COMPLETE
As-built reviews for residential projects	Discuss increasing canopy in town, street trees, what can be planted in ROW	Research and prepare report for discussion and possible code amendment	In contract	March PZ	COMPLETE Added a program modification to FY2015 budget
Interpretation of base flood elevation for the H120 district	No change	No further action needed		N/A	COMPLETE
Solar panel regulations	Prepare ordinance regulating solar panels	Draft code amendment	In contract	March PZ	COMPLETE
Car charging station regulations	Prepare ordinance regulating car charging stations requiring them in new multi-family, research what other communities are doing	Draft code amendment	In contract	December PZ	COMPLETE
Pyramiding effects of stepbacks in the H120 district	No action necessary since Planning and Zoning Board currently reviewing stepbacks as part of wall frontage modifications			N/A	
Garage door clarification	Modify code to remove requirement for two separate garage doors	Draft code amendment	In contract	November PZ	COMPLETE

10% window opening requirement per story	Discussion with the Planning & Zoning Board	Prepare ordinance for commission	In contract	June PZ	November Commission for first reading
Landscaping in front of converted garage	Determine if landscaping planter is sufficient versus requiring landscaping.	Reviewed code and determined that planter is only permitted in cases where the driveway would be too short.	In contract	No further modification necessary	Yes
Sheds	Modify ordinance to increase square footage, but reduce height and add landscape requirements.	Draft code amendment	In contract	Discussed at March meeting.	Commission 1st reading in May. PZ in May